

FINAL ENVIRONMENTAL IMPACT REPORT

Volume II

SCH #2004071095

West Haven Specific Plan

(PSP03-006)

APPENDIX H

West Haven Draft Specific Plan

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(PSP03-006)

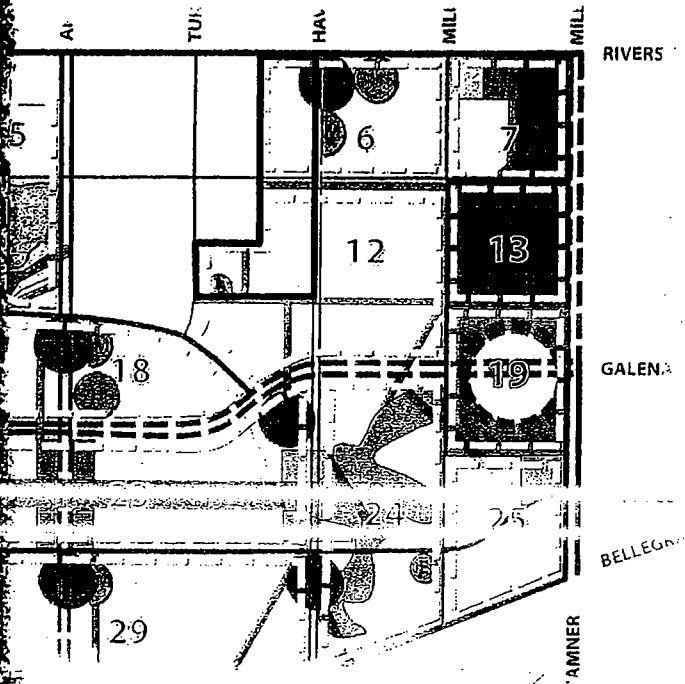
APPENDIX H

West Haven Draft Specific Plan

DRAFT ENVIRONMENTAL IMPACT REPORT
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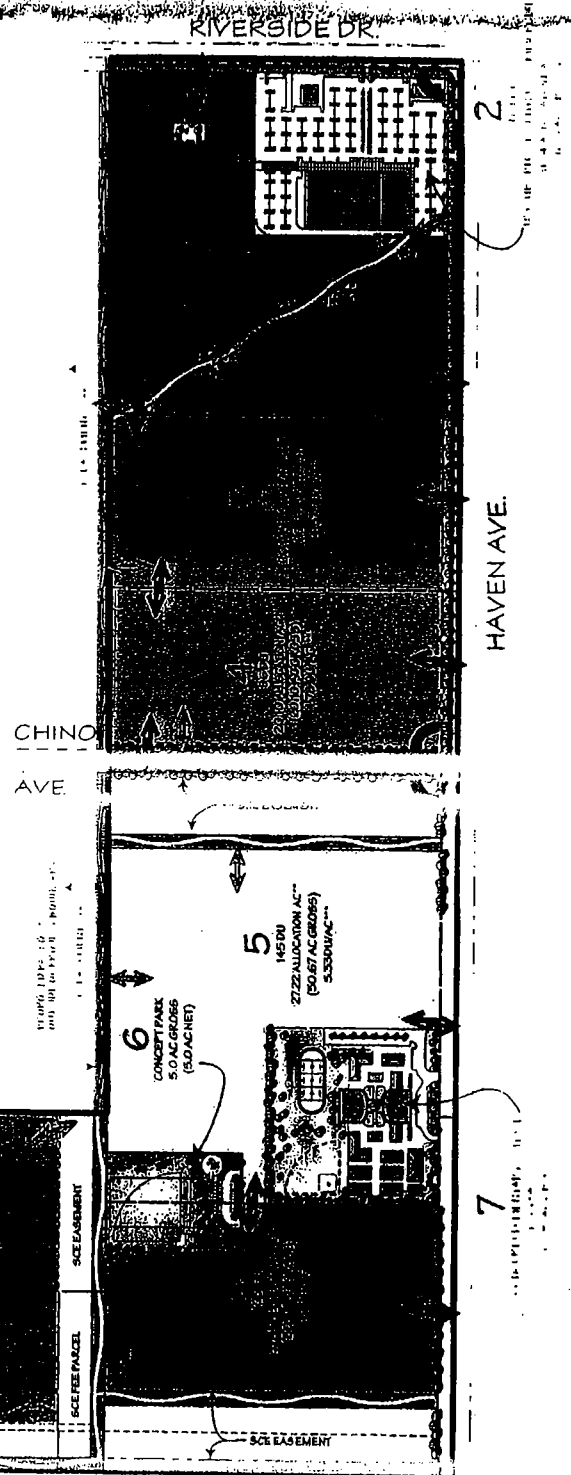
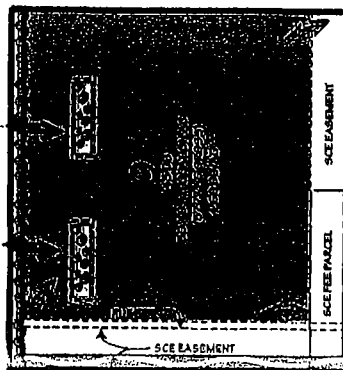


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Section I. Introduction

1.1 Specific Plan Purpose

The West Haven Specific Plan (Project, Project Site) provides land use concept design guidelines and development regulations for an integrated mixed use project that includes residential neighborhoods, a neighborhood center commercial use area, open space and recreational uses. The West Haven Specific Plan document defines the methods and requirements for development of the project to ensure that the City of Ontario, New Model Colony (NMC) General Plan Amendment (GPA) requirements are implemented.

The West Haven Specific Plan, when adopted, will serve as a legal document, which defines and implements the Land Use Designations of:

- Residential Medium Density
- Residential Low Density
- Neighborhood Center
- Elementary School
- Neighborhood Park

It will serve as the zoning for the Project Site. The West Haven Specific Plan serves as a “blueprint” for development by establishing the distribution of land use and the criteria for development of each land use as set forth herein. The West Haven Specific Plan establishes the development requirements and guidelines to be applied to each land use contained within the Project Site area.

Tentative Tract(s) / Parcel Map(s) and/or Development Plans (*C.U.P., Plot Plans, etc.*) will be prepared and submitted to the City pursuant to the applicable provisions of the State of California Subdivision Map Act (*Government Code Section 66410 through 66499*), the City of Ontario Subdivision Ordinance and be consistent with the applicable provisions contained within the West Haven Specific Plan. The Subdivision Maps/Development Plans will be submitted for City review and approval prior to development of the Project Site.

1.2 Authority for the Specific Plan

State of California Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450-57 grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of their General Plans. The Government Code states that Specific Plans may be adopted either by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body. No Specific Plan may be

adopted or amended unless the proposed plan or amendment is consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for Specific Plans, including provisions of a Land Use Plan, Infrastructure and Public Services Plan, criteria and standards for development and implementation measures. The Government Code also states that Specific Plans may address any other subjects which, in the judgment of the City, are necessary or desirable for implementation of the General Plan.

Following adoption by the City of Ontario of the New Model Colony General Plan Amendment, the Project Site was pre-zoned as SP "Ag Preserve". The Specific Plan Zone includes policies requiring that a Specific Plan be approved for the Project Site to implement the NMC land uses.

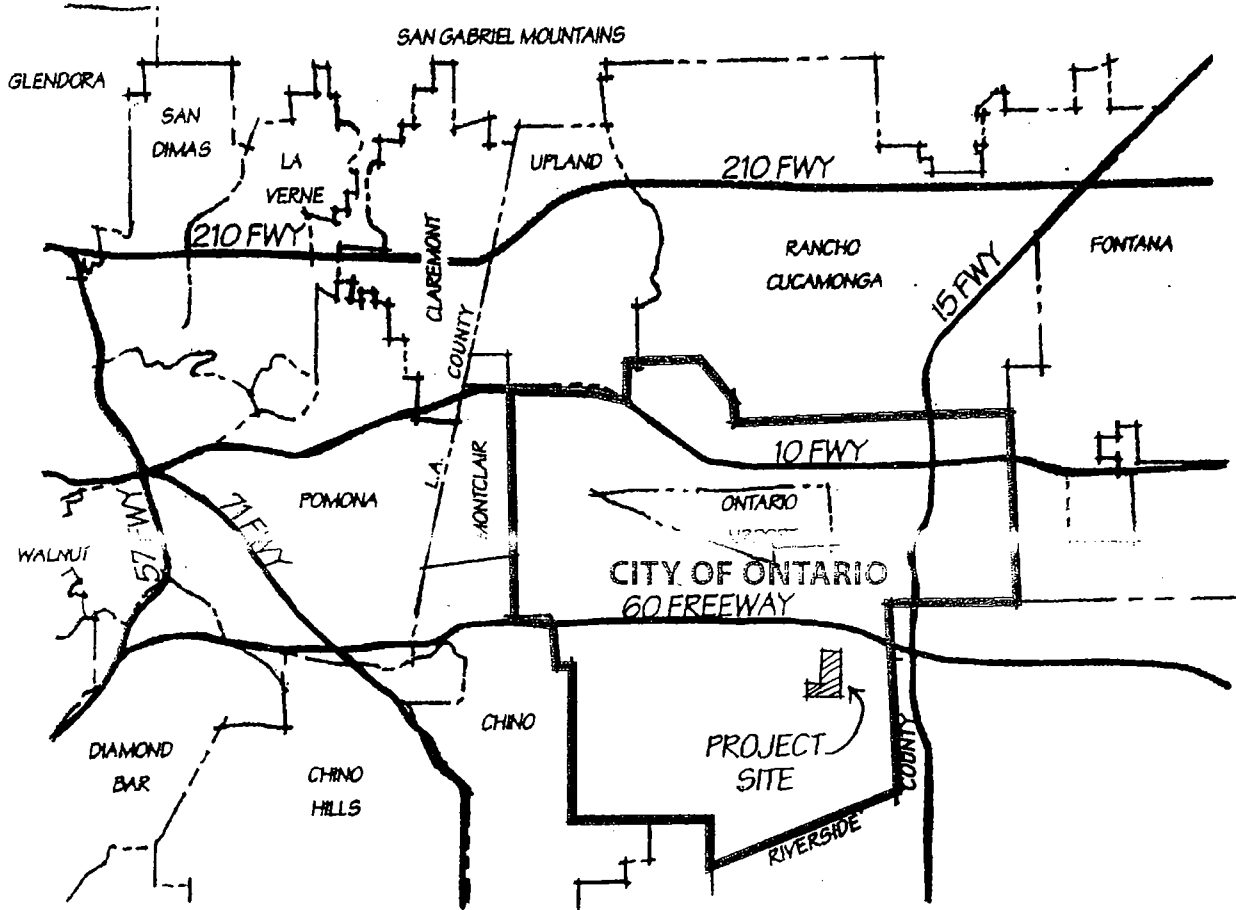
The West Haven Specific Plan is designed to meet the requirements of the State of California Government Code and the City of Ontario NMC General Plan. The City of Ontario will adopt the West Haven Specific Plan by resolution thereby establishing the zoning regulations for the development of the Project Site. The requirements of the Specific Plan shall take precedence over the City of Ontario Development Code. In instances where the West Haven Specific Plan does not address specific zoning requirements, development standards or guidelines, the City of Ontario Development Code shall prevail.

The West Haven Specific Plan is the major component in the City's entitlement process that will result in the future development of the master planned community. The components of the development entitlement process for the Project are discussed within the West Haven Specific Plan document.

1.3 Background

The West Haven Specific Plan community is located in the City of Ontario in what was formerly the approximate 8,200-acre City of Ontario Sphere of Influence (SOI). On January 7, 1998, the City of Ontario adopted the New Model Colony General Plan Amendment (GPA) setting forth a comprehensive strategy for the future development of the SOI. The SOI was annexed into the City of Ontario in November 1999, and is now referred to as the New Model Colony (NMC). The regional location of the West Haven Specific Plan area is illustrated in ***Exhibit 1-1, "Regional Context Map"***. The West Haven Specific Plan location is illustrated in ***Exhibit 1-2, "Vicinity Map"***.

The West Haven Specific Plan is proposed as a master planned, single-family detached and attached residential and Neighborhood Center Commercial Development with approximately 202 total gross acres. Portions are to be developed by Centex Homes, Richland Communities and Stratham Properties, Inc. Approximately 11.7 gross acres will be developed in the future as Neighborhood Center Commercial. The project area consists of ten (10) parcels with six (6) separate ownerships, and is being developed by three (3) separate developers at this time. ***Exhibit 1-3, "Existing Assessor's Parcels, Developers and Property Ownership"*** illustrates this information.



NORTH

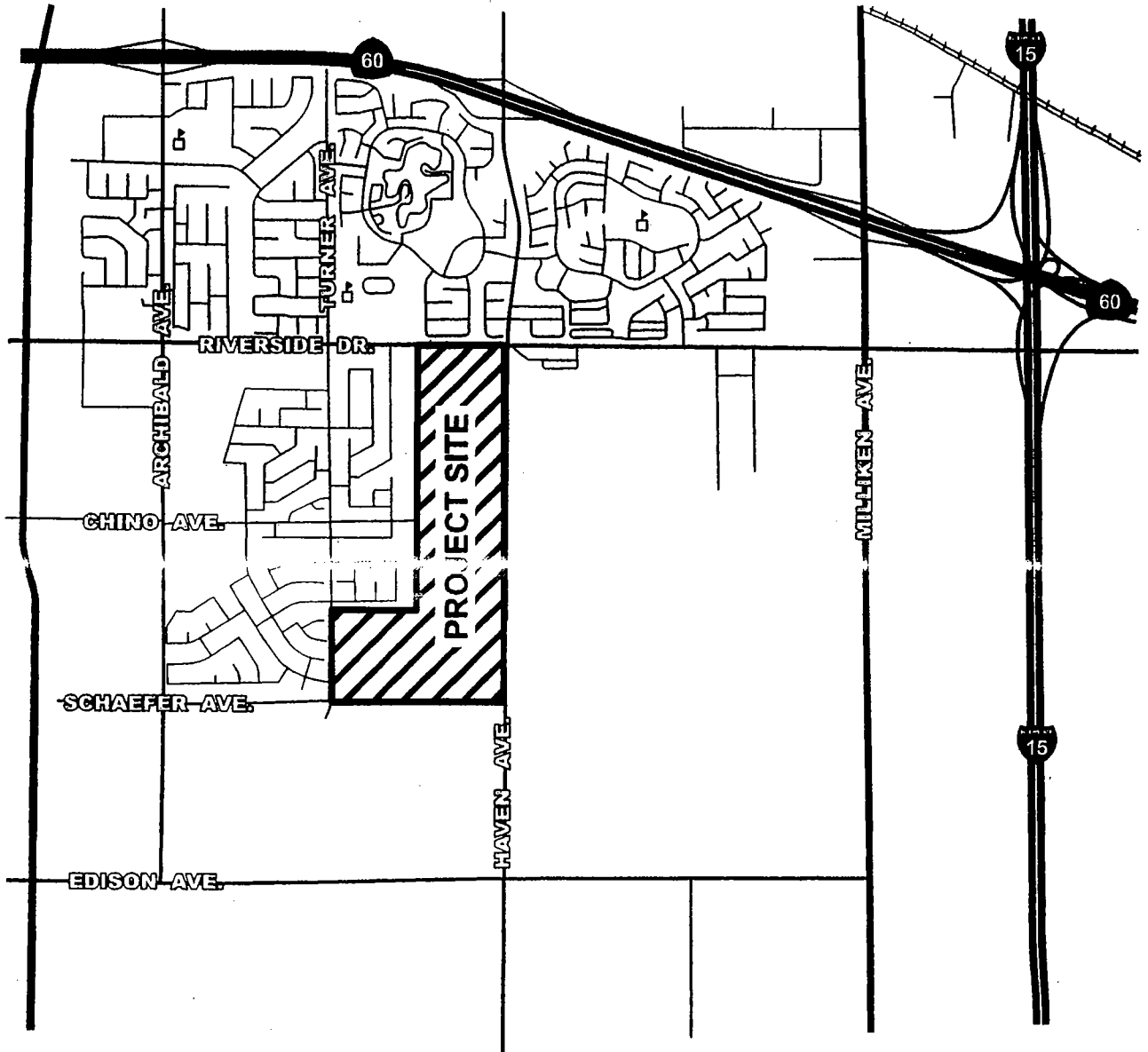
LDKING

Not to Scale

Regional Context Map

(December 15, 2004)

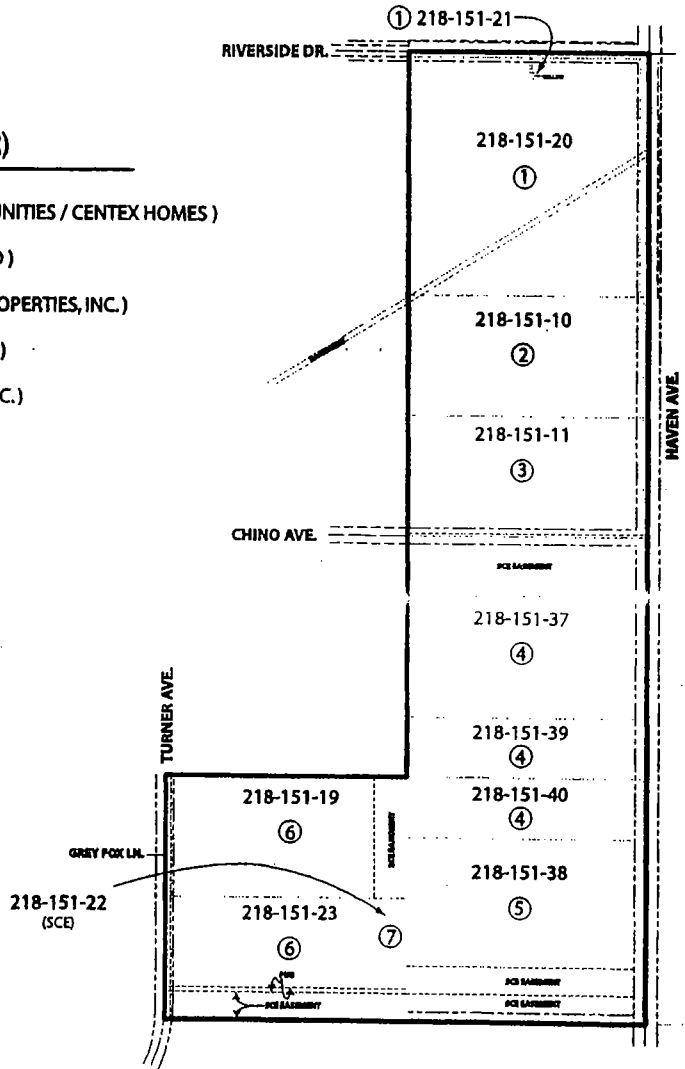
Exhibit
1-1




 <p>NORTH</p>	<p>LDKING Not to Scale</p>	<p>Vicinity Map</p>	<p>(December 15, 2004) Exhibit 1-2</p>
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OWNERSHIP & (DEVELOPER)

- ① SLEGGERS FAMILY TRUST (RICHLAND COMMUNITIES / CENTEX HOMES)
- ② ANGELA D'ASTISI DUSA (TO BE DETERMINED)
- ③ STRATHAM PROPERTIES, INC. (STRATHAM PROPERTIES, INC.)
- ④ BOSCHMA TRUST (RICHLAND COMMUNITIES)
- ⑤ VAN DYK TRUST (STRATHAM PROPERTIES, INC.)
- ⑥ MINABERRY TRUST (JMS HOMES, LLC)
- ⑦ SOUTHERN CALIF. EDISON



	<p>Existing Assessor's Parcels, Developers, & Property Ownership</p>	<p>December 15, 2006 Exhibit 1-3</p>
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The West Haven Specific Plan consists of that portion of the New Model Colony Subareas 6 and 12, west of Haven Avenue. Originally, at the request of the City of Ontario Planning Staff, a Residential Allocation Determination Study was prepared to determine the residential units allowable in Subareas 6 and 12, east and west of Haven Avenue. Refer to ***Exhibit 1-4, "Subareas 6 and 12 Residential Allocation Exhibit"***. The study indicated that the NMC Land Use Plan designations within Subareas 6 and 12 for the area west of Haven Avenue would allow for a total of 1,037 dwelling units. Please refer to ***Section 2.2.6, "Existing General Plan Land Use and Zoning"*** for more detailed information.

With subsequent shifts in residential unit allocations and Subarea realignments, the dwelling units allocated to the West Haven Specific Plan, by the City of Ontario, has been adjusted to 753.

1.4 Project Description

The West Haven Specific Plan is a comprehensive plan for the development of a mixed-use community with Planned Residential Sites that will accommodate 753 dwelling units on approximately 146.9 residential acres; Neighborhood Center on approximately 11.7 gross acres; an elementary school site on 10 acres, a five (5) acre Neighborhood Park, and approximately 8.8 acres of paseos and pocket parks within the Specific Plan community and the adjacent utility easements. The combination of these master planned uses truly makes this a mixed-use development.

The City of Ontario NMC General Plan Amendment establishes a bike route system connecting the West Haven Specific Plan to planned bike routes within the remainder of the New Model Colony. A Class I Bike Path is designated to be included within the improved right-of-way of Haven Avenue and within the east-west Edison Easement which comprises the southern boundary of the Project Site. The bike paths will eventually connect to the planned City of Ontario bike route system consistent with the NMC General Plan.

A primary landscape entry monumentation area is to be constructed at the intersection of Riverside Drive and Haven Avenue (*southwesterly corner*).

Secondary landscaped entry monumentations will be constructed at the intersection of Haven and Chino Avenues at both northwesterly and southwesterly corners.

RESIDENTIAL AND NON-RESIDENTIAL USE ACREAGE TABLE
 FOR SUBAREAS 6 AND 12 - EAST AND WEST OF HAVEN AVENUE

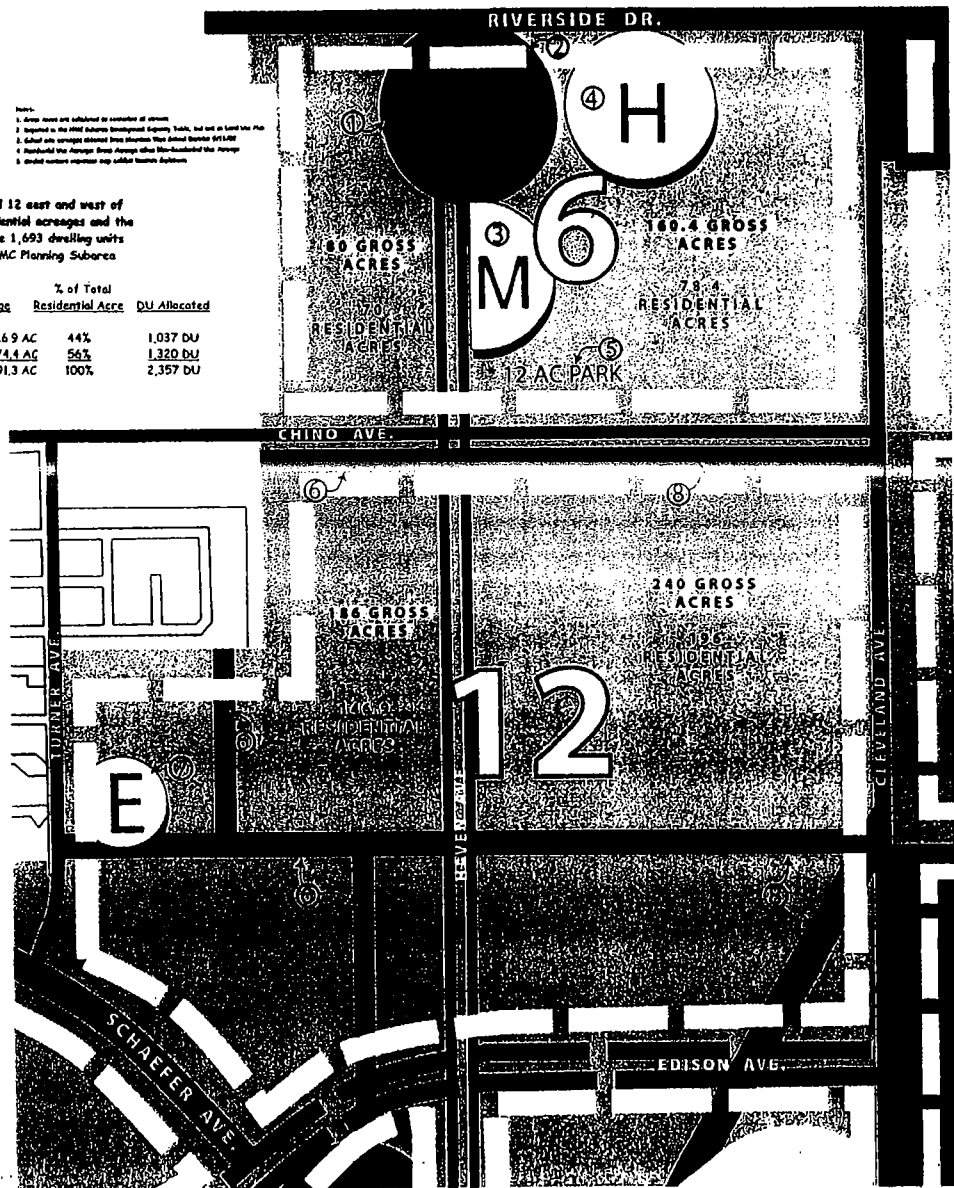
	Subarea 6 West of Haven	Subarea 6 East of Haven	Subarea 12 West of Haven	Subarea 12 East of Haven	Totals
Gross Acres ¹	80 GR/AC	160.4 GR/AC	186.7 GR/AC	240 GR/AC	667.1 Gross Acres
Non-Residential Uses and acreages	Minor Neighborhood Center (10 AC) ①	Minor Elementary School ² (10 AC) ② Minor Middle School ³ (20 AC) ③ Minor High School ³ (40 AC) ④ Minor 12 Acre Park ⁴ (12 AC) ⑤	Minor Greenbelt Area (29.8 AC) ⑥ per NMC Land Use Plan	Minor Greenbelt Area (44 AC) ⑦ Per NMC Land Use Plan	
Subtotal Non-Residential Use Acreage	(10 AC) Non-Residential Use Acres	(82 AC) Non-Residential Use Acres	(29.8 AC) Non-Residential Use Acres	(44 AC) Non-Residential Use Acres	(176.6) Non-Residential Use Acres
Total Acres Allocated For Residential Use ⁴	70 Residential Acres	78.4 Residential Acres	146.9 Residential Acres	196 Residential Acres	491.3 Residential Acres

SUMMARY OF SUBAREAS 6 AND 12
 EAST AND WEST OF HAVEN AVENUE
 COMBINED DWELLING UNIT ALLOCATION

- Notes:
 1. Gross Acres are calculated by summing all acres.
 2. Reported in the 2002 Agency Environmental Capacity Study, but not on Land Use Plan.
 3. School site acreage obtained from Ontario West Central District 915-916.
 4. Rounding the Average Gross Acreage after Non-Residential Use Acreage.
 5. Small amount reported map label number 5/10/00.

Dwelling Unit (DU) allocations within Subareas 6 and 12 east and west of Haven Avenue are based on the % of Subarea residential acreages and the 664 dwelling units allowed within Subarea 6, and the 1,693 dwelling units allowed within Subarea 12 (2,357 total), per the NMC Planning Subarea Development Capacity Table.

Subareas	Residential Acreage	% of Total Residential Acre	DU Allocated
Subareas 6 & 12 West of Haven	70 + 146.9 = 216.9 AC	44%	1,037 DU
Subareas 6 & 12 East of Haven	78.4 + 196 = 274.4 AC	56%	1,320 DU
Totals	491.3 AC	100%	2,357 DU



SOURCE: CITY OF ONTARIO NMC LAND USE PLAN

NORTH
LD KING
 Not to Scale

Subareas 6 & 12
 Residential Allocation Exhibit

(December 15, 2004)
 Exhibit
 1-4

1.5 West Haven Specific Plan Goals and Objectives

The West Haven Specific Plan proposes to meet the following objectives and addresses the following issues.

- To provide an integrated quality mixed-use Planned Residential and Neighborhood Center community of appropriate density and lot sizes, supported by landscaped open spaces, landscaped pedestrian and bike paseos, elementary school, Neighborhood Park and recreational uses.
- To provide six (6) distinct yet blended residential neighborhoods with a variety of housing types, including single-family detached and attached courtyard and alley loaded residences, on lot sizes ranging from 3,000 square feet to 7,200 square feet.
- To provide for adequate planning, financing and implementation mechanisms for infrastructure and community facilities to serve the master planned community.
- To establish appropriate relationships with existing adjacent commercial and residential land uses.
- To integrate existing and proposed commercial areas into the community fabric via pedestrian links and walkways.
- To provide for a circulation network which promotes pedestrian walkways and bicycle activity as alternative modes of travel while also providing for safe and efficient movement of automobile travel through the Project Site. This includes:
 - A major paseo linking all areas of the site and connecting recreation spaces within the community. The paseo network will also link to the NMC's master planned residential paseo system and to regional destinations.
 - Creation of a formal primary entry, at the intersection of Haven Avenue and Riverside Drive.
 - Creation of formal secondary entries at the intersection of Haven and Chino Avenues.
- To incorporate active recreation sites for both residential and commercial communities linked by the paseo system.
- To provide a well-integrated retail area at the corner of Riverside Drive and Haven Avenue allowing community residents' convenient pedestrian access to employment opportunities and day-to-day shopping and service establishments.
- To locate surface parking areas within the proposed Neighborhood Center and to screen them from adjacent residential uses by a landscaped pedestrian paseo or suitable landscaped setback buffer.

- To include well-landscaped streetscape and sidewalk connections to provide alternative and/or secondary pedestrian connections parallel to Riverside Drive, Haven, Turner and Chino Avenues.
- To ensure that the development of the project addresses pertinent City of Ontario NMC General Plan policies and objectives.
- To establish a unique character for the West Haven Specific Plan community area through the implementation of Design Guidelines and Development Standards specifically prepared for the West Haven development.
- To establish neighborhood linkages to connected portions of the West Haven Specific Plan.

1.6 Relationship of the Specific Plan to the City of Ontario General Plan

Please refer to *Appendix I, "Ontario Sphere of Influence West Haven Specific Plan Policy Matrix and Explanations"* submitted under separate cover.

1.7 CEQA Compliance

Prior to the adoption of the GPA for the NMC, the City of Ontario certified a program level Environmental Impact Report identifying environmental impacts associated with the activities proposed for the NMC and established mitigation measures for future activities. A project level Environmental Impact Report (EIR), prepared by the City of Ontario for the West Haven Specific Plan, in accordance with the California Environmental Quality Act (CEQA) and City requirements, will provide a more detailed analysis of potential environmental impacts associated with the specific development project proposed for the Project Site. The EIR prepared for the West Haven Specific Plan should address the potential environmental factors associated with the project and recommend mitigation measures to reduce impacts to a less than significant level. The EIR will be prepared to fulfill the requirement for environmental determinations for all subsequent discretionary and ministerial applications for development within the West Haven Specific Plan. The City of Ontario will prepare a Fiscal Impact Analysis to accompany the EIR for the Specific Plan to determine the project's fiscal impact.

1.8 Servability

If any regulation, condition, program or portion of the West Haven Specific Plan is held invalid or unenforceable, such portions shall be deemed separate, distinct and independent provisions and the invalidity of such portions or provisions shall not affect the validity and enforceability of the remaining portions and provisions therein.

Section 2. Existing Project Site Conditions

2.1 Site History

The Project Site is part of an 8,200 acre area annexed into the City of Ontario on November 30, 1999. The approximate 202 acre West Haven Specific Plan area has historically been used for agricultural purposes. Agricultural activities have included dairy farming, vineyards and row crop production.

2.2 Existing Project Site Conditions

The Project Site is gently sloping approximately 2% to the southwest with approximately 50 feet of fall diagonally from the northeasterly corner to the southwesterly corner. Refer to *Exhibit 2-1, "Existing West Haven Topography"*, which details the terrain.

Detention basins are found throughout the Project Site. These are used to detain dairy rinse wastewater and rain runoff.

2.2.1 *Existing Land Use*

Dairy farm operations are found throughout the Project Site. Ancillary uses such as feed lots, feed storage, dairy cattle pens, feed crop growing areas and residences associated with dairy operations are found within the area. The portion adjacent to Turner Avenue was utilized for vineyard use but is now vacant. There is an existing horticulture nursery located approximately 1,245 feet south of the intersection of Haven Avenue and Riverside Drive.

Surrounding land uses are as follows:

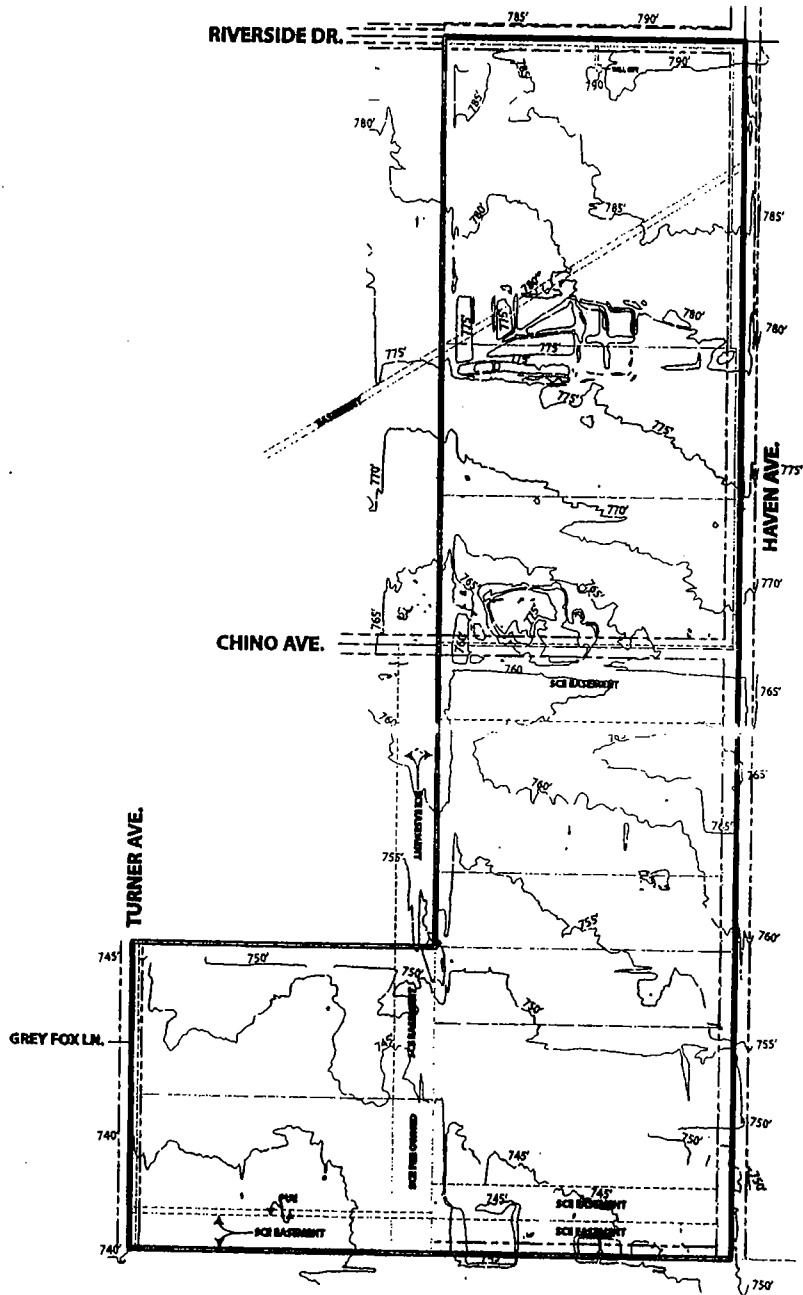
North: Single Family Residential and Par 3 Golf Course

South: Dairy Farming and Residences

East: Dairy Farming, Crops, Nursery and Residences

West: Residences, Utility Corridor and Nursery

Existing onsite and surrounding land uses are depicted on *Exhibit 2-2, "Existing On-site and Surrounding Land Uses"*.



NORTH **LDKING**
 0' 400' 800'

Existing West Haven Topography

(December 15, 2004)
Exhibit 2-1



LD KING
Not to Scale

Existing On-Site & Surrounding Land Uses

December 15, 2006

Exhibit
2-2

2.2.2 Existing Environmental Conditions

2.2.2(a) Geology and Soils

The Program EIR prepared for the City's GPA for the NMC identifies the approximately 8,200 acre NMC area, including the Project Site, as underlain by Pleisocene age (*older than 12,000 years*) and Holocene age (less than 12,000 years old) alluvial deposits. The youngest surficial deposit is eolian sands (Qhs), comprising wind-blown sands having fine to medium-sized grains. These loose sands form sheets and low-dune deposits that have been stabilized by vegetation. These deposits are exposed in the eastern portion of the NMC area, including the Project Site and extend westward to an area defined generally by a diagonal line extending from Harrison Avenue within Riverside County on the south to Vineyard Avenue on the north.

It is expected that most of these materials will be uncemented and subject to consolidation when saturated under structural loads. Erosion potential is considered high. Foundation and backfill suitability should be satisfactory with proper over-excavation, mixing with a finer-grained binder material and compaction.

Soils reports were prepared for several properties within the West Haven Specific Plan confirming soils types. These reports are in the Appendix as follows:

Appendix II, under separate cover, "**Engineering Geologic and Soils Foundations Investigation**"; **Appendix III**, under separate cover, "**Due-Diligence Geotechnical Study**"; **Appendix IV**, under separate cover, "**Phase I Environmental Site Assessment**"; and **Appendix V**, under separate cover, "**Due Diligence Review of Geotechnical Data**".

The project level EIR, to be prepared for the West Haven Specific Plan, will include additional geologic and soils information for the Project Site.

2.2.2(b) Seismicity

The Program EIR prepared for the City's GPA for the NMC identified numerous earthquake faults within a 50 mile radius of the Project Site. Major mapped faults include, but are not limited to, the Chino, Whittier-North Elsinore and Cucamonga Faults. For the "Maximum Probable Earthquake" (MPE), defined as the 100-year event normally considered in the design of non-critical structures, the values range from about 0.13 to 0.20 g (*i.e., the unit force of gravity*). In the design of certain critical or important facilities such as hospitals and dams, the "Maximum Credible Earthquake" (MCE) event is considered. For the three faults, the MCE should yield an estimated peak horizontal acceleration in the range of 0.33 to 0.52 g.

A zone of concentrated, relatively low-magnitude seismicity extends to the southwest from the San Jacinto fault zone (Rialto-Colton branch) along what is referred to as an "inferred fault near Fontana". Where the "inferred fault" (Fontana trend) stops, this zone of micro-seismicity continues in a southwesterly to westerly direction, terminating in the NMC General Plan area. It is expected that the MPE for this fault structure could produce horizontal accelerations in the range of 0.3 to 0.5 g. More distant faults are capable of larger earthquakes with a higher probability of occurrence. The San Andreas Fault is expected to generate a MCE event every 150 to 200 years, yielding a peak horizontal ground acceleration of approximately 0.21 to 0.26 g.

In accordance with the "Uniform Building Code" (UBC), the West Have Specific Plan area is located within Seismic Zone No. 4. UBC procedures have been designed to ensure that all subsequent development occurs in a safe manner relative to those known hazards.

Leighton and Associates, Inc. prepared a "**Due-Diligence Geotechnical Study**" for Centex Homes on November 15, 2002 (See **Appendix III**, under separate cover). The study states; "*The principle seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in Southern California.*"

Associated Soils Engineering, Inc. prepared a "**Due Diligence Review of Geotechnical Data**" for Centex Homes on April 21, 2004 (See **Appendix V**, under separate cover). The study states; "*the subject project is not located within an Alquist-Priolo Earthquake Fault Zone.*"

Additional seismicity information for the Project Site will be identified as part of the project level EIR.

2.2.2(c) Hydrology

Since most of the West Haven Specific Plan area has been in agricultural use, only a limited portion of the Project Site is now covered with impervious surfaces. Normal rainfall to the area is able to percolate through on-site soils and does not result in high volumes of surface runoff, as typically associated with urban areas. During periods of heavy rainfall, when ground surfaces are saturated, surface runoff sheet flows in a south to southwesterly direction.

With the exception of major flood control channels such as the Cucamonga Channel, intended primarily to carry urban runoff, the existing storm drain system throughout the NMC area is generally unimproved and consists primarily of open earthen swales along area roadways or curbed roadway surfaces.

Ground waters within the NMC, as a whole, contain high concentrations of salt attributable to historic agricultural activities such as dairy farming. The high organic content of on-site soils has contributed incrementally to the degradation of surface and ground water quality. Removal of the organic materials that constitute by-products of those dairy operations, and compliance with National Pollution Discharge Elimination System (NPDES) and other storm water permit requirements; will beneficially impact regional water quality.

Leighton and Associates, Inc. prepared a *“Due-Diligence Geotechnical Study”* (See **Appendix III**, under separate cover). The study states, regarding groundwater; *“Groundwater was not encountered during our field investigation to a maximum depth of 10 feet below the ground surface”*.

LOR Geotechnical Group, Inc. prepared the *“Engineering Geologic and Soils Foundations Investigation”* (See **Appendix II**, under separate cover). The study states; *“Groundwater was not encountered in any of our exploratory trenches or borings which ranged in depth from 15 feet to 50”*.

LOR Geotechnical Group, Inc. prepared the *“Phase I Environmental Site Assessment”* for JMS Properties (See **Appendix IV**, under separate cover) and states that *“The site lies within the Chino Groundwater Basin. Significant portions of the basin have been affected by elevated concentrations of nitrate and total dissolved solids as a result of the long-term agricultural and dairy activities in the area. Pesticides are not a contaminant in the groundwater”*.

The project level EIR, to be prepared for the West Haven Specific Plan, will provide additional hydrology information.

2.2.2(d) Historic and Archeological

The Program EIR prepared for the City's GPA for the NMC identifies the approximately 8,200 acre NMC area as associated with the northern extent of the Prado Basin and includes portions of the historic Rancho Santa Ana del Chino. The majority of known resources identified within the NMC area can be associated with the post-rancho period and the development of the area as a late 19th century and early 20th century rural community.

Only a small portion of the overall study area has been systematically investigated for cultural resources. Therefore, virtually nothing is known with respect to the extent of prehistoric remains within the area. No cultural resources have been specifically identified with the study area. Therefore, there are no cumulative impacts identified at this time.

The Program EIR further states that the majority of the study area (90%) has not been formally investigated for the presence / absence of cultural resources. It is known that at least two pending historic archeological sites and another twenty historic structural locations may be located within the study area. Until proven otherwise, it must be presumed that the overall area is moderately sensitive for cultural resources.

Michael Brandman Associates prepared an *"Archeological Resource Evaluation and Paleontological Records Search for the West Haven Specific Plan Project, Subarea 6 (West of Haven) and Subarea 12 (West of Haven), City of Ontario, San Bernardino County, California"* for the Stratham Group, dated March 29, 2004 (refer to **Appendix VI**, under separate cover). The study states; *Because of the degradation of the topsoil after the dairies had been built, the potential for impacts to cultural resources is considered 'low'. Cultural mitigation-monitoring is not recommended'*.

Further information regarding historic and archeological significance will be presented in the West Haven Specific Plan's Project EIR.

2.2.2(e) Biological

The Program EIR prepared for the City's NMC General Plan Amendment states that the Sphere of Influence is currently dominated by agricultural fields, dairy operations, pastures and croplands. Remnants of native vegetation are virtually absent. According to Kuchler's (1977) map of the potential natural vegetation of California, the Sphere of Influence area was historically dominated by coastal sage scrub vegetation. Windrows are prevalent along the internal roadways. Areas of intensive agricultural industry such as feedlots and permanent cattle holding pens are generally devoid of vegetation.

The Program EIR further states that the Ontario Sphere of Influence area has been greatly altered from natural conditions, under the influence of intensive agriculture and dairy industry. Despite these continuing land use practices, the Sphere of Influence area supports a diversity of wildlife, especially that of birds. This is due, in part, to the relatively level topography that contributes to the accumulation of standing water that attracts numerous migratory birds.

Larry Munsey International was retained by JMS Homes, LLC to conduct a presence/absence survey for the Delhi Sands Flower-Loving Fly (DSF) on Assessor's Parcel 218-151-11, 19, 20, 21, 23 and 38 (Survey Site), Ontario, California (see **Appendix VII**, under separate cover, *"Report of Year 2003 Focused Survey for Delhi Sands Flower-Loving Fly at West Haven Specific Plan Component 6 Site San Bernardino County, California"*; see **Appendix VIII**, under separate cover, *Report of Year 2003 Focused Survey for Delhi Sands Flower-Loving*

Table 3-1
 Residential Summary

Planning Area	Residential Allocation Acreage	Percent of Total Residential Acreage	Residential Density	Maximum Units	Percent of Total Units
1	28.52 AC ±	19.4 %	6.2 DU/AC	177	23.5 %
3	20.11 AC ±	13.7 %	4.6 DU/AC	92	12.2 %
4	20.10 AC ±	13.7 %	4.8 DU/AC	96	12.7 %
5	27.22 AC ±	18.5 %	5.3 DU/AC	145	19.3 %
8	20.41 AC ±	13.9 %	4.9 DU/AC	100	13.3 %
9	20.49 AC ±	13.9 %	4.7 DU/AC	113	15.0 %
RESIDENTIAL TOTALS	146.85 AC ±	100 %	5.1 DU/AC	753	100 %
PROJECT AREA TOTALS	202 AC/GR		3.7 DU/AC	753	

* Residential Allocation Acres (City of Ontario definition): To boundary street centerlines. Excludes any non-residential uses (NMC GPA Master Planned greenbelt areas, parks, schools and commercial uses).

NOTE: Total Allowable Dwelling Units: 753 DU
 Total Allowable DU/Residential Acres: 5.1 DU/Residential Acres

Table 3-1 - Residential Summary

3.1.2 Neighborhood Center

The West Haven community will contain a "Neighborhood Center" on approximately 11.7 gross acres.

The Neighborhood Center is proposed to include an approximate 87,000 square feet of gross leaseable area which will support a supermarket, restaurants, retail shops, personal, professional and financial services and community and cultural facilities.

3.1.3 Greenbelt/Paseos and Landscaped Neighborhood Edges

The proposed Project Site will include a system of greenbelt/paseos, neighborhood edges and internal paseos containing pedestrian links. The paseos and edges link the West Haven community's neighborhoods to each other while providing alternative modes of travel (*pedestrian, bicycle, etc.*) to major destination points (*schools, recreation facilities and the Neighborhood Center*) within the community. The paseos generally follow existing easement corridors. Major roadways, shown on the West Haven Specific Plan, will also have neighborhood edges (*expanded parkways*), as described in **Section 4, "Circulation Plan"**. The greenbelt/paseo and neighborhood edge system will provide a major aesthetic and unifying amenity for the entire project. Class 1 bike trails will be provided along Haven Avenue and within the paseo system.

3.1.4 School Facility

Ten (10) acres will be set aside for an elementary school site. The elementary school site is designated as Planning Area 7. A local street, as well as the proposed paseo system, will provide access. Mountain View School District selected this site as their primary location for the elementary school site.

3.1.5 Neighborhood Park

A five (5) acre Neighborhood Park is designated as Planning Area 6, which is centrally located to serve residents of the West Haven community and surrounding areas. This park will include recreational facilities and related uses, such as a children's play area, a sports field and walkways/jogging trails.

The park shall contain amenities which may include play equipment, public restrooms, drinking fountains, benches and trash receptacles.

3.1.6 Streets

Major streets will be constructed or improved in conjunction with the development of the proposed Project Site. The City of Ontario's NMC "Circulation Plan and Roadway Classifications Exhibit" (Figure 4-14), as proposed, will adequately serve future traffic volumes for both the site and region. Onsite traffic will be directed to a hierarchical backbone roadway system consisting of Divided Arterial Parkway 2-2 (Haven Avenue), Standard Arterial (Riverside Drive) and Collector streets (Turner and Chino Avenues).

3.2 Specific Plan Design Objectives

Throughout the planning of the West Haven Specific Plan, the underlying design philosophy has been to create a community character and quality that reflects the characteristics of the region, the goals of the New Model Colony General Plan Amendment and its surrounding community. The integration of site planning, architecture and landscape principles into neighborhood design is a fundamental goal for the West Haven community. **Section 9, "Design Guidelines" and Section 10, "Development Standards"** of this document includes a detailed discussion of the Design Criteria for the West Haven Specific Plan. Neighborhood Design Objectives include the following:

1. To ensure that the development of the project addresses pertinent City of Ontario New Model Colony General Plan policies and objectives.
2. To establish a unique character for the West Haven Specific Plan area through the implementation of Design Guidelines and Development Standards specifically prepared for the development.
3. Create a high standard in neighborhood design and implement the standards consistently over the entire neighborhood.
4. To provide an integrated, quality Single-Family Planned Residential community of appropriate density and lot size within the Project Site, supported by open space, landscaped paseos and recreational uses.
5. To provide six (6) distinct yet blended residential neighborhoods with a variety of single-family housing types, architectural styles and quality materials.
6. Provide small-scale intimate neighborhoods.
7. To create sub-neighborhoods within each community through varying distinguished housing themes.
8. Create attractive and comfortable streetscenes and streetscape.
9. To provide for a circulation network which promotes pedestrian walkways and bicycle activity as alternative modes of travel while also providing for safe and efficient movement of automobile travel through the Project Site. This includes:

- A major community paseo linking all areas of the site and connecting recreation spaces within the community.
 - Creation of a primary entry at the intersection of Haven Avenue and Riverside Drive.
 - Formal secondary entries will be constructed at the intersection of Haven and Chino Avenues.
10. To include enhanced landscaped streetscape and sidewalk connections, via neighborhood edges. This will provide alternative pedestrian connections parallel with Riverside Drive, Haven, Turner and Chino Avenues.
 11. Provide "local" open space where neighbors can meet and children can play.
 12. To incorporate active recreation sites for residential and communities linked by the community paseo system.
 13. Reduce the appearance of "mass production" and "urban sprawl" in housing.
 14. Create neighborhood designs that integrate architecture, site planning and landscape.
 15. To provide for adequate planning, financing and implementation mechanisms for infrastructure and community facilities to serve the master planned community.
 16. To establish appropriate relationships with future, adjacent commercial and residential land uses as illustrated on the SOI GPA Figure 3-5, "Land Use Concept Plan".
 17. To integrate proposed retail commercial areas into the community fabric via pedestrian paseos and shared walkways.
 18. To provide well-integrated retail and commercial areas, adjacent to the intersection of Riverside Drive and Haven Avenue within the Project Site, allowing community residents' convenient pedestrian access to employment opportunities and day-to-day shopping and service establishments.
 19. To locate the surface parking areas within the proposed Neighborhood Center and to screen them from adjacent residential uses by a landscaped pedestrian paseo or suitable landscaped setback buffer.

3.3 General Development Standards for Specific Plan Land Uses

The West Haven Specific Plan project is a combination of residential, commercial, open space and community uses and an extension of existing and planned development occurring in the New Model Colony area of Ontario. The specific land uses described will require infrastructure, public services and facilities and special techniques in each Planning Area to accommodate the uses proposed and to provide adequate circulation to neighboring uses.

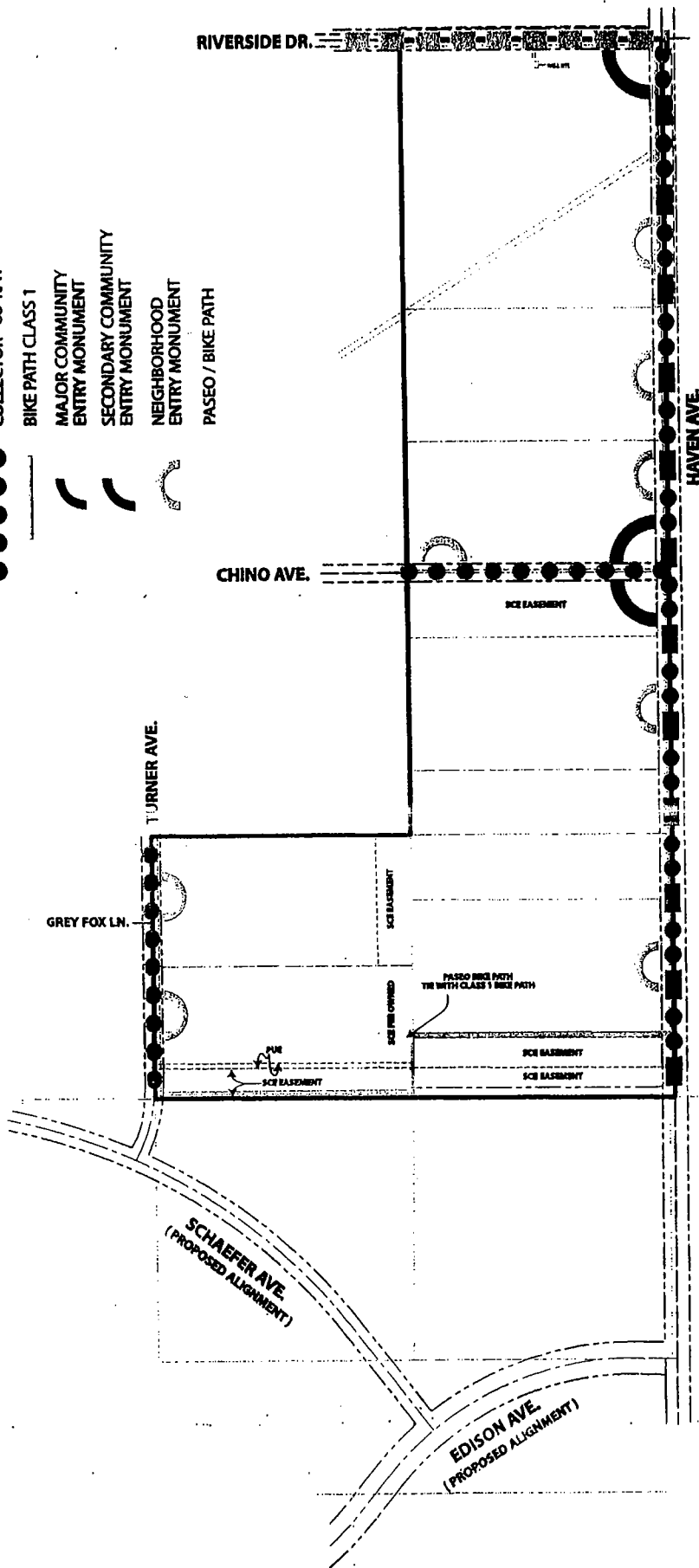
WEST HAVEN

Draft Specific Plan

CENTEX HOMES
 RICHLAND COMMUNITIES, INC.
 STRATHAM PROPERTIES, INC.

Legend

- DIVIDED ARTERIAL PARKWAY 2-2 124' R/W
- STANDARD ARTERIAL - 108' R/W
- COLLECTOR - 88' R/W
- BIKE PATH CLASS 1
- MAJOR COMMUNITY ENTRY MONUMENT
- SECONDARY COMMUNITY ENTRY MONUMENT
- NEIGHBORHOOD ENTRY MONUMENT
- PASEO / BIKE PATH



December 13, 2009
 Exhibit 4-1

Circulation Plan & Entry Monumentation



Prepared by LD KING, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Conventon Ct., West Way, Suite 100, Ontario, California 91764-4464 (909) 937-0200, Fax: (909) 937-0202, E-mail: ldking@ldking.com
 In association with HRP, ANDESIGN / MEEKS + PARTNERS / lba.

4.2.1 *Divided Arterial Parkway 2-2 – Haven Avenue*

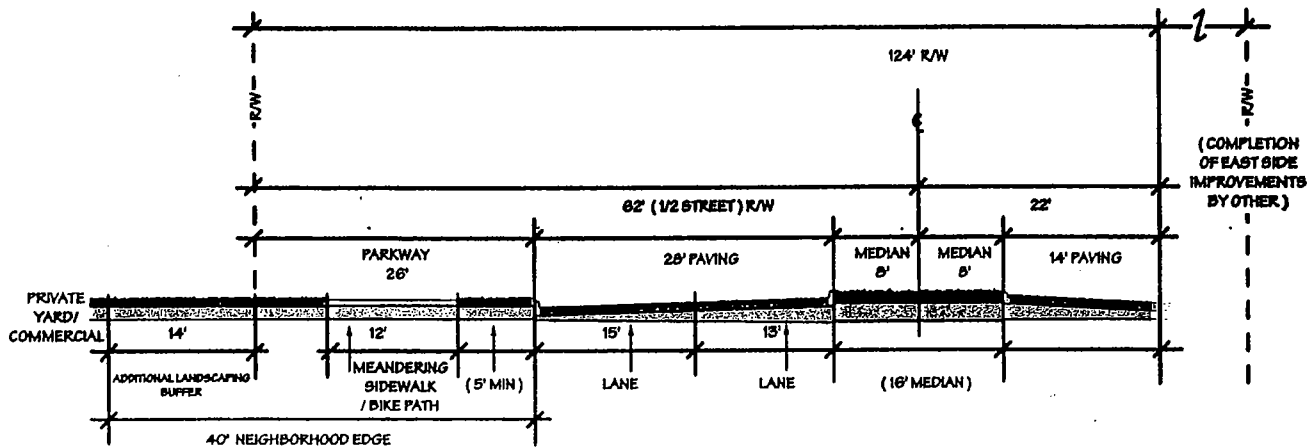
The Divided Arterial Parkway 2-2, Haven Avenue, is designed to carry regionally oriented traffic safely and efficiently between the various points of ingress/egress of the West Haven Specific Plan area. Haven Avenue will be improved as a half street along the Project Site's eastern boundary. The improvements include 14-feet of pavement (*interim*) for northbound traffic, a 16-foot landscaped median, 28 feet of pavement for southbound traffic, a 26-foot landscaped parkway, which includes a 12-foot meandering sidewalk/Class 1 Bike Path, with 14-feet of additional neighborhood edge (*40-feet total*) landscaping. Primary entry monumentations will be placed at the intersection with Riverside Drive (*southwesterly corner*). Secondary entry monumentations will be placed at the intersection with Chino Avenue (*northwesterly and, if allowed by SCE, at the southwesterly corner*). Access to this street via driveways from residential units will be prohibited.

Exhibit 4-2, "West Haven Divided Arterial 2-2 (Haven Avenue West)", illustrates the proposed improved Haven Avenue (*West Side*).

Interim street sections are proposed along segments of Haven Avenue that are not developer controlled. The location of these segments are illustrated on *Exhibit 4-3, "Haven Avenue Proposed Interim Street Cross Section Locations"*. Interim Street Section A-A, located north of Chino Avenue and fronting Planning Area 3, proposes 14-feet of pavement for northbound traffic, a 16-foot painted median, and 14-feet of pavement for southbound traffic. Interim Street Section B-B, located south of Chino Avenue and fronting Planning Areas 5 and 7, proposes 14-feet of pavement for northbound traffic and 14-feet of pavement for southbound traffic. *Exhibit 4-4, "West Haven Proposed Interim Street Cross Section"*, illustrates the proposed interim improvements.

4.2.2 *Standard Arterial – Riverside Drive*

The Standard Arterial street, Riverside Drive, is designed to carry traffic safely and efficiently between destinations within the New Model Colony. Improvements to the north side of Riverside Drive exist. Riverside Drive will be improved as a half street along the Project Site's northern boundary. The improvements include 42-feet of pavement for eastbound traffic, a 12-foot landscaped parkway which includes a 5-foot sidewalk set back 7-feet from the curb, with 23-feet of additional neighborhood edge (*35-feet total*) landscaping. A primary entry monumentation will be placed at the intersection with Haven Avenue (*southwesterly corner*). Access to this street via driveways from residential units will be prohibited.



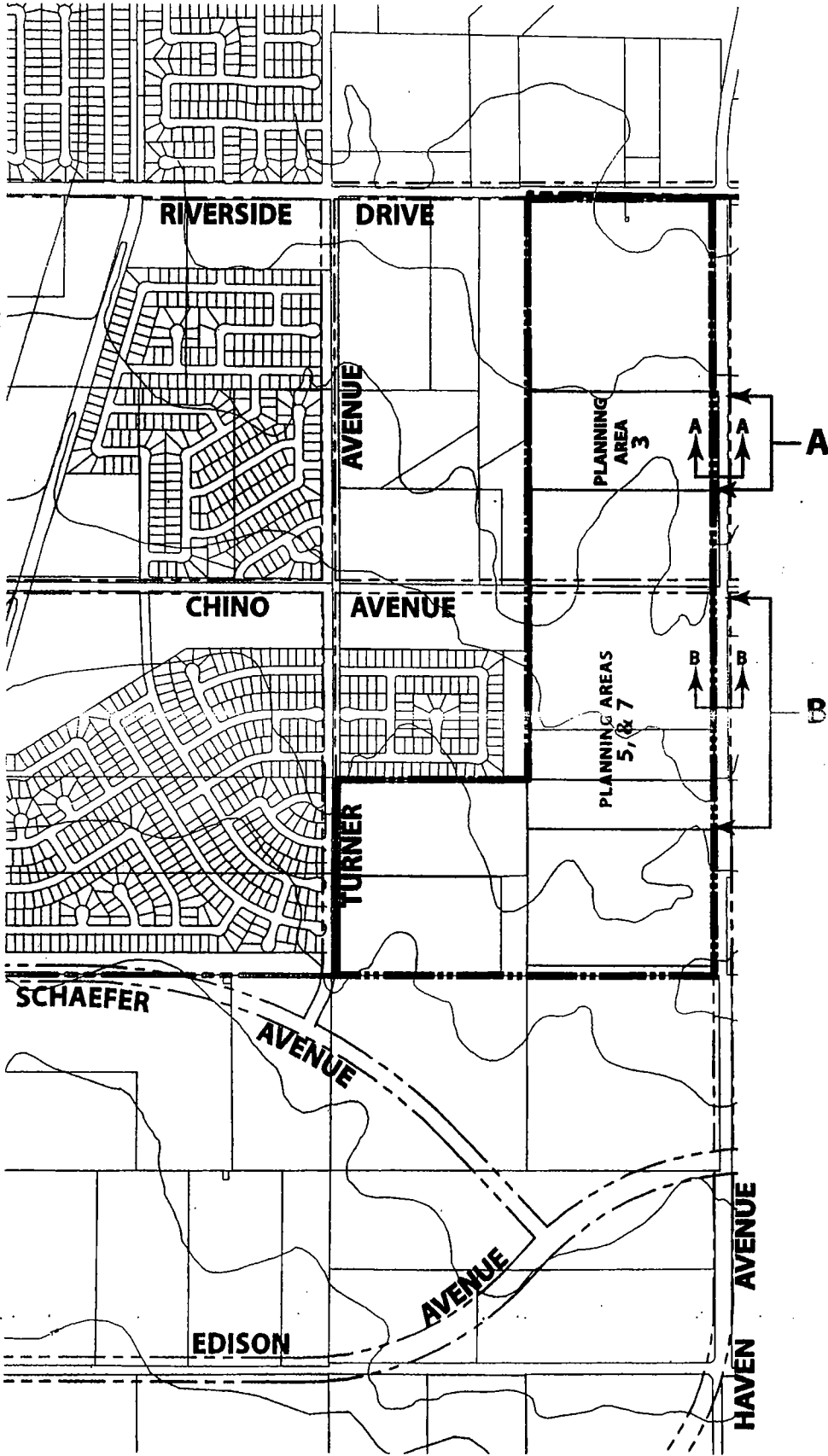
DIVIDED ARTERIAL PARKWAY 2-2
62'/124' ROW
HAVEN AVENUE (WEST SIDE)

<p>LDKING Not to Scale</p>	<p>West Haven - Divided Arterial 2-2 (Haven Avenue West)</p>	<p>(December 15, 2004) Exhibit 4-2</p>
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WEST HAVEN

Draft Specific Plan

CENTEX HOMES
 RICHLAND COMMUNITIES, INC.
 STRATHAM PROPERTIES, INC.



*NOTE: FULL 1/2 STREET IMPROVEMENTS WILL APPLY WHERE INTERIM IMPROVEMENTS ARE NOT INDICATED.



LD KING
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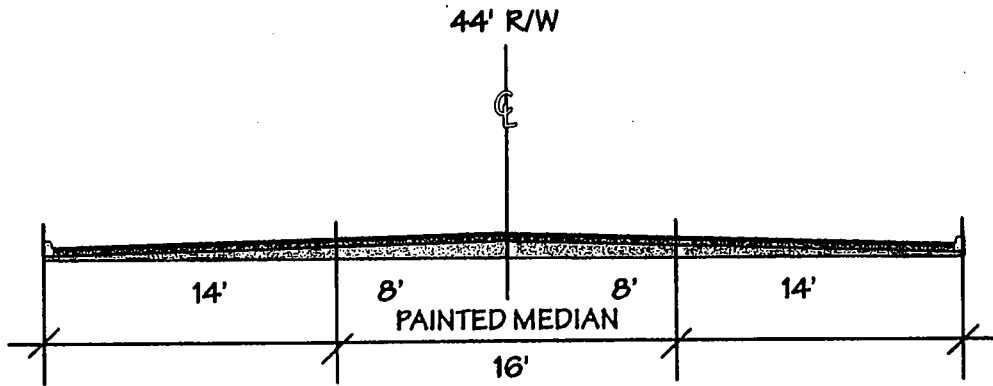
December 15, 2009

Exhibit 4-3

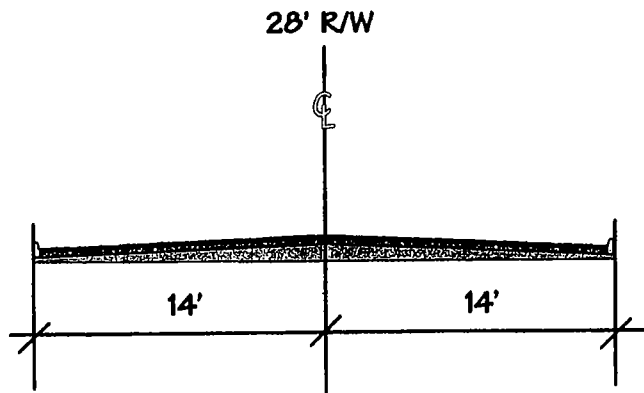
Haven Avenue Proposed Interim Street Cross Section Locations

Prepared by LD KING, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Convention Center Way, Suite 100, Ontario, California 91764-4464 (909) 937-0200, Fax (909) 937-0202, E-mail: ldking@ldking.com
 In association with: HRP LANDESIGN / MEEKS + PARTNERS / lba+

SECTION A-A
PROPOSED INTERIM STREET SECTION
NORTH OF CHINO AVENUE
NOT ADJACENT TO PROJECT DEVELOPMENT



SECTION B-B
PROPOSED INTERIM STREET SECTION
SOUTH OF CHINO AVENUE
NOT ADJACENT TO PROJECT DEVELOPMENT



LDKING
Not to Scale

West Haven Proposed Interim
Street Cross Section

(December 15, 2004)

Exhibit
4-4

Exhibit 4-5, "West Haven Standard Arterial – (Riverside Drive South)" illustrates the Riverside Avenue (*South Side*) proposed improvements.

4.2.3 Standard Arterial Street – Collector Street – Turner Avenue

Turner Avenue, a Collector street, will be improved as a half street along the Project Site's most westerly boundary. The west side street improvements for Turner Avenue currently exist. The east side improvements include 32-feet of pavement for northbound traffic, a 12-foot landscaped parkway, which includes a 5-foot sidewalk set back 7-feet from the curb, with 18-feet of additional neighborhood edge (*30-feet total*) landscaping. Access to this street, via driveways from residential units, will be prohibited.

Exhibit 4-6, "West Haven Collector Street (Turner Avenue and Chino Avenue)" illustrates the Turner Avenue (*1/2 Street*) proposed improvements.

4.2.4 Standard Arterial Street – Collector (Chino Avenue)

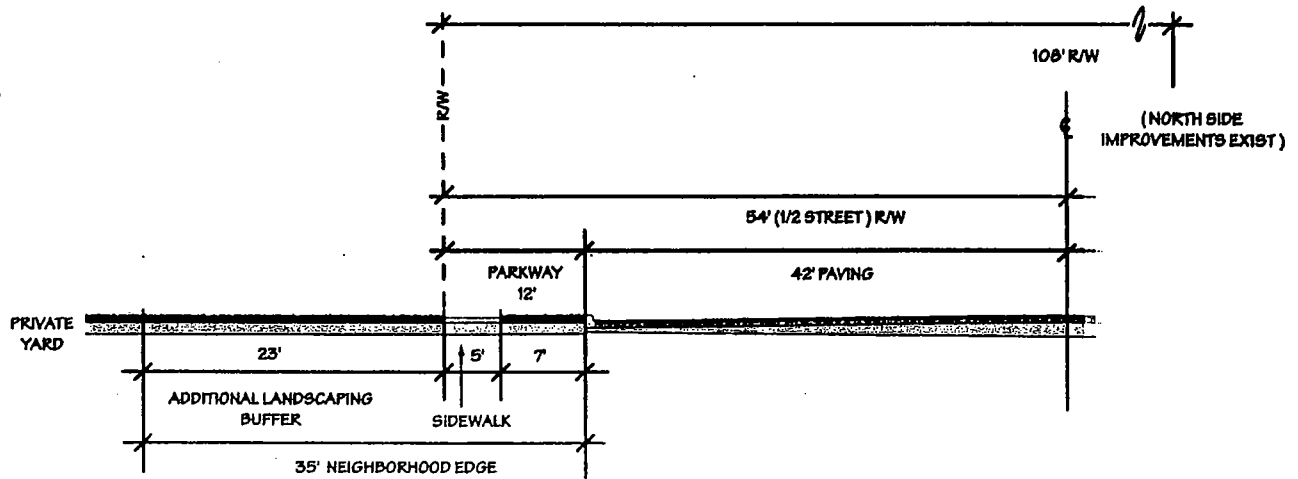
Chino Avenue, a Collector street, which bisects the Project Site at approximately the north/south midpoint, will be fully improved. The improvements include 64-feet of pavement for east and west bound traffic, a 12-foot landscaped parkway (*both north and south sides*), which includes a 5-foot sidewalk set back 7-feet from the street, with 18-feet of additional neighborhood edge (*30-feet total*) landscaping. Secondary entry monumentations will be placed at the intersection with Haven Avenue (*both northwesterly and southwesterly corners*). Access to this street via driveways from residential units will be prohibited.

Exhibit 4-6, "West Haven Collector Street (Turner Avenue and Chino Avenue)" illustrates the Chino Avenue (*Full Street*) proposed improvements.

4.2.5 Primary Residential Entry Streets

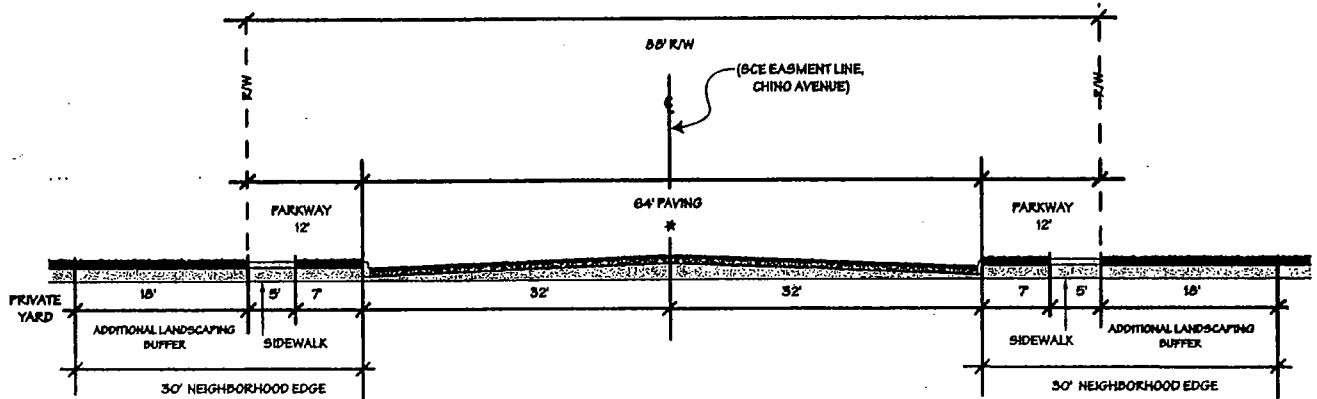
Each Primary Residential Entry Street will include 40-feet of paving (*64-foot Right-of-Way*). A 12-foot landscaped parkway (*both sides*), which includes a 5-foot sidewalk set back 7-feet from the curb; with 12-feet of additional neighborhood edge (*24-feet total*) landscaping will be provided.

The Primary Residential Entry Street section is shown on *Exhibit 4-7, "West Haven Primary Residential Entry Streets"*.



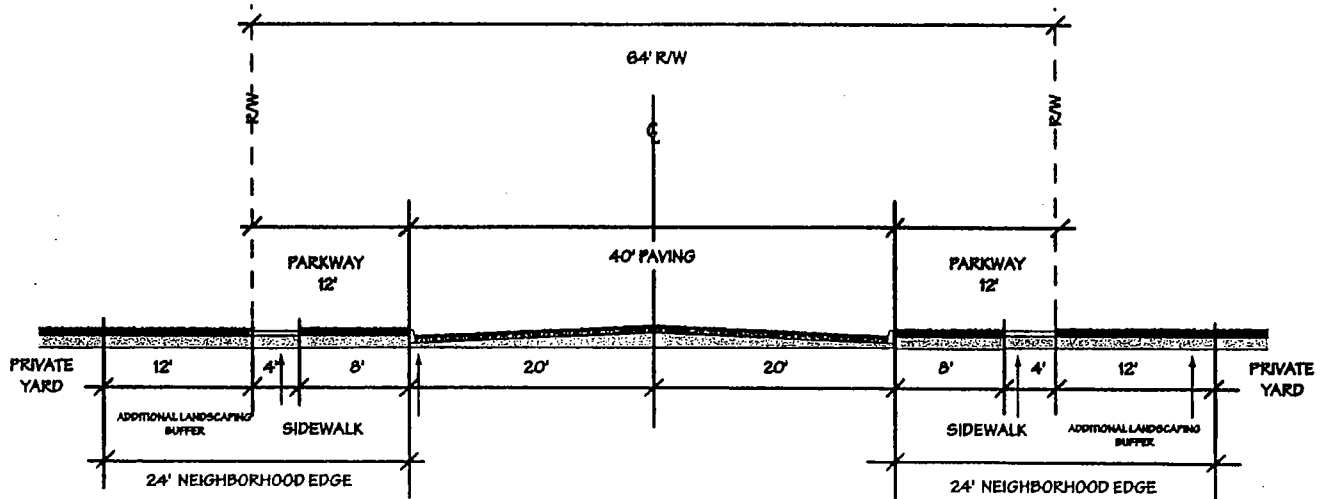
STANDARD ARTERIAL
84'/108' ROW
RIVERSIDE DRIVE (SOUTH SIDE)

<p>LDKING Not to Scale</p>	<p>West Haven - Standard Arterial (Riverside Drive South)</p>	<p>(December 15, 2004) Exhibit 4-5</p>
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COLLECTOR
64'/88' ROW
TURNER AVENUE (1/2 STREET)
CHINO AVENUE (FULL STREET)

<p>LDKING Not to Scale</p>	<p>West Haven Collector Street (Turner Avenue & Chino Avenue)</p>	<p>(December 15, 2004) Exhibit 4-6</p>
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<p>LDKING Not to Scale</p>	<p>West Haven Primary Residential Entry Streets</p>	<p>(December 15, 2004) Exhibit 4-7</p>
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4.2.6 Interior Streets, Alleys and Cul-De-Sac Streets

Interior Streets will be constructed with a 60-foot wide right-of-way. The interior street is designed to achieve a small neighborhood scale street within the West Haven Specific Plan area, which will carry neighborhood related traffic only. The interior streets will have a paving width of 36-feet and 12-foot parkways, including 5-foot sidewalks set back 7-feet from the curb and one travel lane in each direction. The interior streets and cul-de-sac streets section is shown on **Exhibit 4-8, "West Haven Interior Streets"**.

Where alleys are to be utilized within the residential development, a 20-foot paved section with five-foot (5') landscaping on each side will be utilized. **Exhibit 4-9, "Alleys"**, depicts a typical alley section.

The West Haven Specific Plan provides for traffic calming within residential neighborhoods to slow traffic and reduce traffic noise on local interior streets contributing to safe and livable neighborhoods in which to walk, bike and drive.

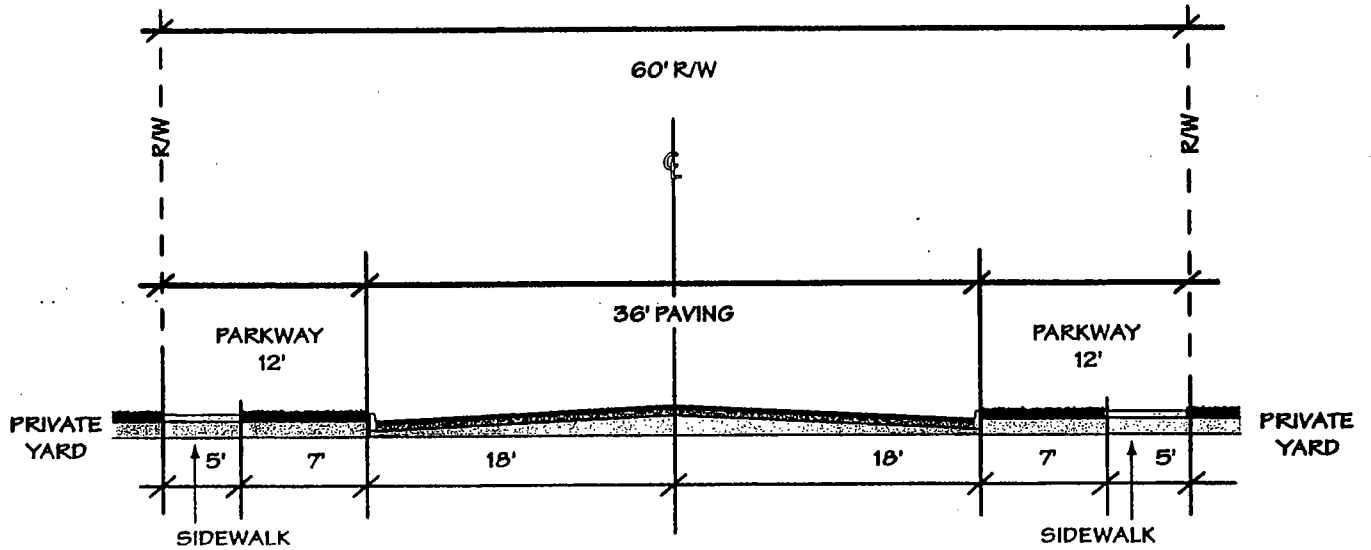
Traffic calming within West Haven is designed to address the following:

- Reduction in traffic speeds.
- Reduction in traffic related noise.
- A safe and pedestrian friendly circulation system to encourage walking.
- Permit non-restricted access for emergency services vehicles such as police, fire and ambulances.

Factors affecting traffic speeds are those that influence the driver's perception of the roadway such as:

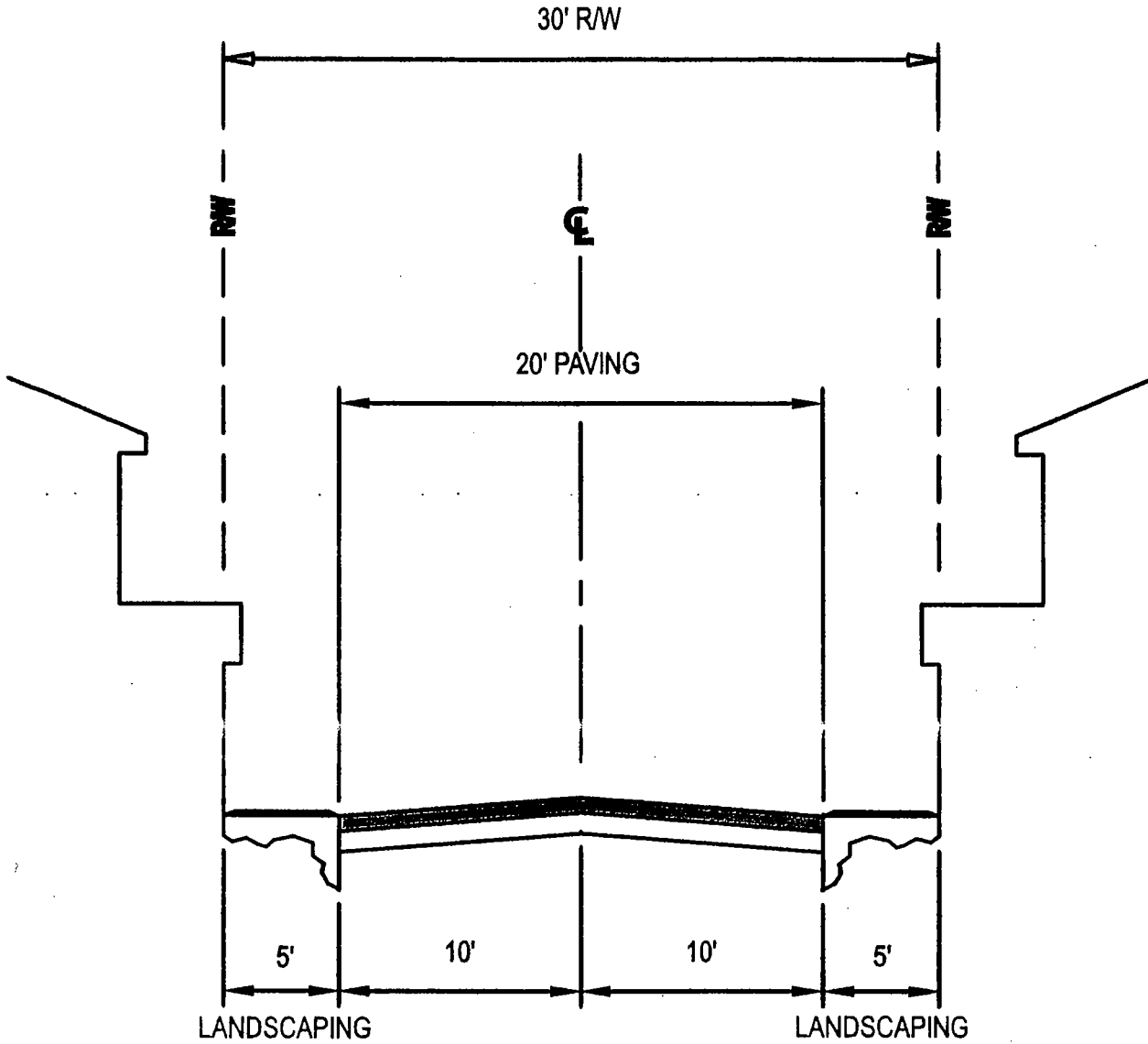
- Type of adequate development and distance of development from the roadway.
- Frequency of access points onto the roadway.
- Roadway alignment and curvature.
- Type and massing of landscaping adjacent to the roadway.
- Frequency of traffic control devices along the roadway.
- Narrowness of travel lanes.

The following traffic calming techniques will be implemented in the design of the roadways within West Haven.



INTERIOR STREETS
CUL-DE-SAC STREETS
36'/60' ROW

<p>LDKING Not to Scale</p>	<p>West Haven - Interior Streets</p>	<p>(December 15, 2004) Exhibit 4-8</p>
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LDKING	Alleys	(December 15, 2004) Exhibit 4-9
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Local interior streets within West Haven are designed in a grid with landscaping on either side within parkways to add interest in the street encouraging drivers to slow their travel speed and observe their surroundings. Traffic speeds on local and neighborhood residential streets will be reduced by incorporating tapered intersections for local streets as illustrated in *Exhibit 4-10, "Local, Interior Street Tapers"*. Cut through traffic and traffic speeds in alleys will be reduced by incorporating tapers at the entries to residential alleys as illustrated in *Exhibit 4-11, "Alley Tapers"*.

4.3 Bicycle Plan

Exhibit 4-1, "Circulation Plan and Entry Monumentation" of the West Haven Specific Plan illustrates the Project Site's two (2) bike paths, as proposed by NMC General Plan Amendment on Figure 5-5, "Bike Paths". Class 1 bike paths are proposed along the west side of Haven Avenue and through the West Haven Specific Plan's proposed paseo system, located within SCE Easements/Parcels. The path located within the paseo system traverses east/west and is located along the Project Site's southern boundary, connecting with the proposed bike path on Haven Avenue.

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5.3 Communication Systems

A fiber optic system will provide phone, cable, internet access to all homes within the NMC. Verizon may or may not choose to be part of the fiber optic system.

Verizon provides telephone service within the Project Site area. Currently, there are existing telephone facilities adjacent to the Project Site that can be extended. See *Appendix XIII, "Verizon Will Serve' Letter"*, under separate cover.

5.4 Water

Water service will ultimately be provided by the City of Ontario as discussed in the Water Master Plan prepared for the New Model Colony. The Specific Plan area is located in two pressure zones. The project area north of Chino Avenue lies within the Phillips Street Zone, the project area south of Chino Avenue lies within the Francis Street Zone. Proposed improvements for the Phillips Street Zone properties include 18-inch distribution mains in Riverside Drive, Mill Creek and Chino Avenue. These distribution mains will be interconnected to water mains in Milliken Avenue and Turner Avenue. Proposed improvements for the Francis Street Zone properties include 24-inch distribution mains in Riverside Drive and Mill Creek Avenue, an 18-inch distribution main in Chino Avenue and a 12-inch distribution main in Schaefer Avenue. The distribution mains will be interconnected to water mains in Milliken Avenue and Archibald Avenue. The West Haven Specific Plan project developer will be responsible for new distribution mains in the roadways (*Haven Avenue, Chino Avenue and Riverside Drive*) adjacent to the property. All water mains, internal to the West Haven Specific Plan project, will be provided by the Project Site developer. Within the Project Site, 8-inch water mains are proposed to serve the residential and commercial developments.

The proposed water system improvements are illustrated in *Exhibit 5-1, "Water System Improvements"*.

5.5 Sewer

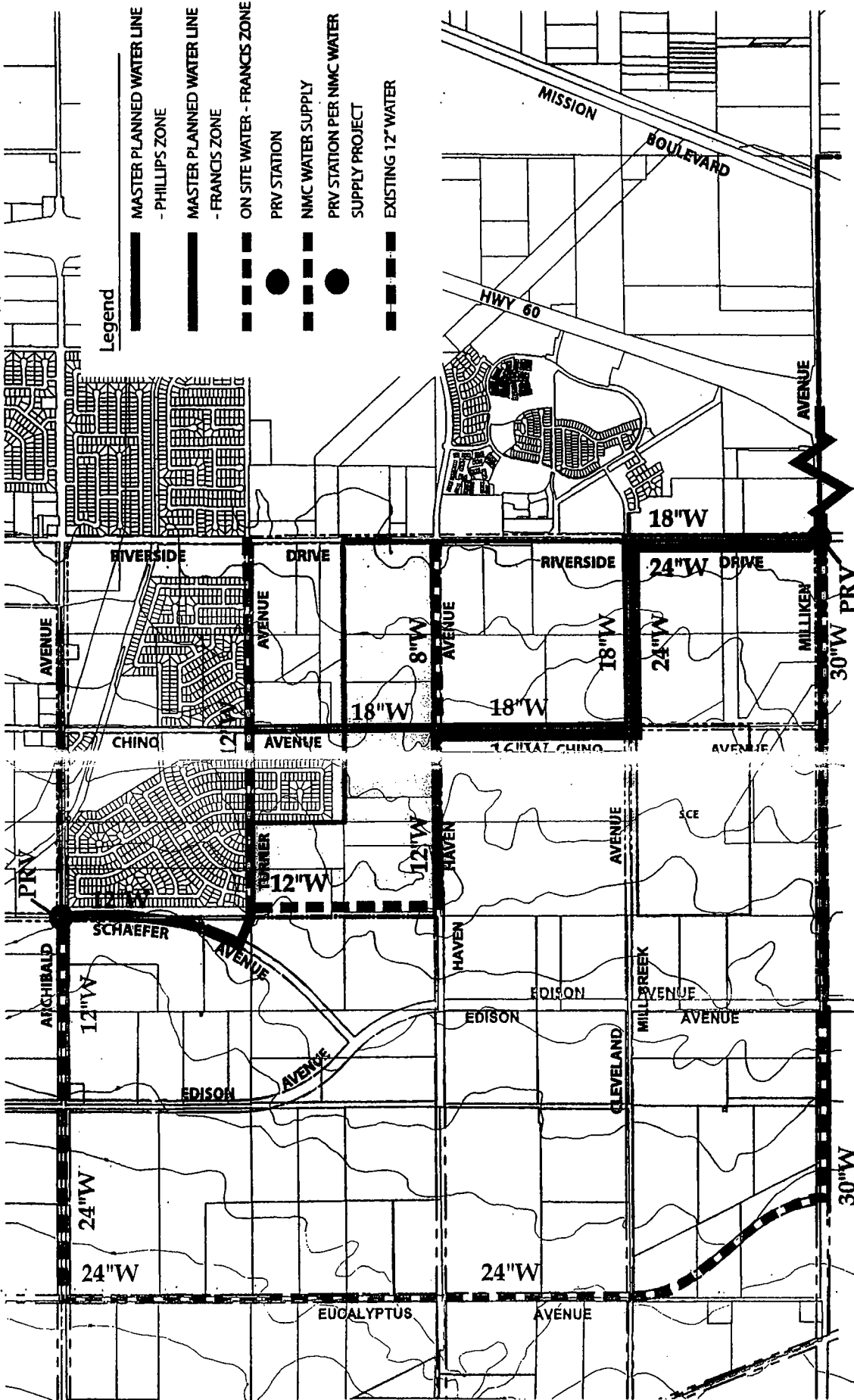
The New Model Colony Sewer Master Plan shows sewer service to the Project Site by the Eastern Trunk Sewer (*Archibald Avenue*). The construction of the Eastern Trunk Sewer is a joint sewer project between the City of Ontario and Inland Empire Utilities Agency (IEUA). The Eastern Trunk Sewer is estimated to be completed by January 2007. The wastewater generated by the Project Site will be collected by an 8-inch main and routed southerly to Edison Avenue, then westerly to Archibald Avenue where it will be discharged into the Eastern Trunk Sewer and, ultimately, treated at Regional Plant No. 5. All sewer mains required to serve the project will be provided by the Project Site developer. Within the West Haven Specific Plan project, 8-inch sewer mains are proposed to serve the residential and commercial developments.

Sewer system improvements are illustrated in *Exhibit 5-2, "Sewer System Improvements"*.

WEST HAVEN

Draft Specific Plan

CENTEX HOMES
 RICHLAND COMMUNITIES, INC.
 STRATHAM PROPERTIES, INC.



Legend

- MASTER PLANNED WATER LINE - PHILLIPS ZONE
- MASTER PLANNED WATER LINE - FRANCIS ZONE
- ON SITE WATER - FRANCIS ZONE
- PRV STATION
- NMC WATER SUPPLY
- PRV STATION PER NMC WATER SUPPLY PROJECT
- EXISTING 12" WATER

December 15, 2004

Exhibit 5-1

Water System Improvements

Prepared By **LD KING**, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Convent...

in association with **RP LANDEIGN / MEEKS + PARTNERS / Iba4**

0' 1,000' 2,000'

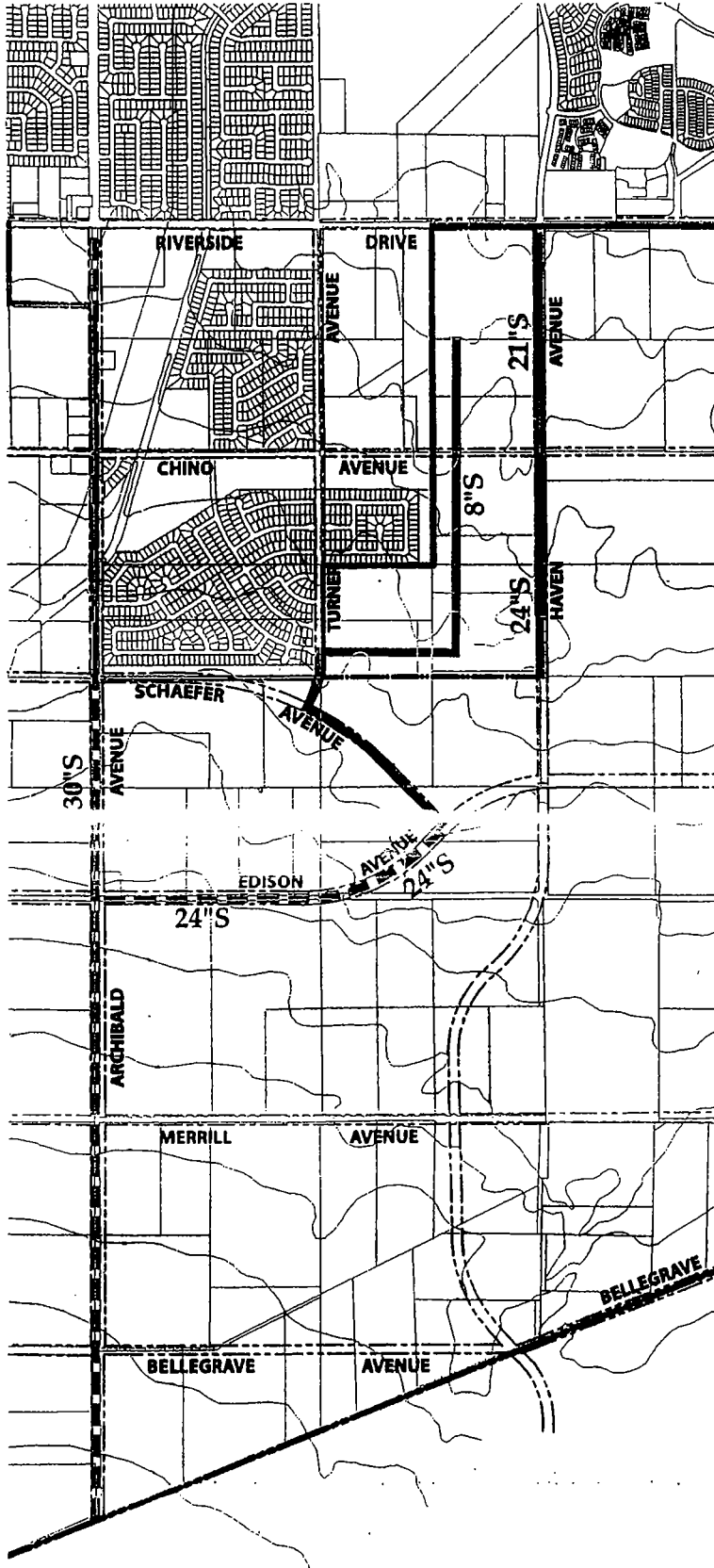
December 15, 2004

Exhibit 5-1

WEST HAVEN

Draft Specific Plan

CENTEX HOMES
 RICHLAND COMMUNITIES, INC.
 STRATHAM PROPERTIES, INC.



- Legend**
- PROPOSED WEST HAVEN MAIN SEWER LINE
 - - - NMC MASTER PLAN SEWER
 - NMC MASTER PLAN SEWER NOT USED BY PROJECT
 - - - ARCHIBALD TRUCK SEWER BY OTHERS

Sewer System Improvements

December 15, 2004
Exhibit 5-2

Prepared by LD KING, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Convention Center Way, Suite 100, Ontario, California 91764-4464 (909) 937-0200, Fax: (909) 937-0202, E-mail: ldking@ldking.com
 In association with HRP L.A., DESIGN / MEEKS + PARTNERS / Iba.

5.6 Storm Drain

The Project Site developer will be responsible for all required in-tract storm drain system improvements to serve the proposed Project Site. In-tract facilities will be designed and compatible with the requirements of the Storm Drain Master Plan. The Project Site storm drains will be connected to the proposed Turner Avenue Master Plan Storm Drain in Turner Avenue. The Turner Avenue storm drain will discharge into the County Line Channel.

Interim facilities like onsite detention basins of adequate size(s) will be required to be constructed if no outlet storm drain system is built or existing at the time of development of this project.

Storm Drain facilities will be required to include water quality Best Management Practices (BMP's) as required by the National Pollution Discharge Elimination System (NPDES). Drainage outlets and other drainage facilities will be designed to control urban runoff pollutants caused by the development of the project. Individual projects, within the Specific Plan, will construct onsite BMP's to control pollutants prior to outletting into the Master Planned Storm Drain System. BMP's, which may be incorporated into the storm drain systems, include water quality basins, catch basin filtration devices, grass lined drainage ditches or a combination thereof. The proposed BMP's will be maintained by the City of Ontario.

The storm drain improvements are illustrated in *Exhibit 5-3, "Storm Drain System Improvements"*.

5.7 Reclaimed Water

Reclaimed water will ultimately be provided by Inland Empire Utility Agency (IEUA) as presented in the Water Master Plan prepared for the New Model Colony. As currently proposed, there will be a 6-inch reclaimed water line in Riverside Drive, Chino Avenue and Haven Avenue, north of Chino Avenue. There will be an 8-inch reclaimed waterline in Haven Avenue, south of Chino Avenue. The Project Site developers will be responsible for these new distribution lines. All reclaimed water lines, required to serve the project, will be provided by the West Haven Specific Plan developer.

The reclaimed water system improvements are illustrated in *Exhibit 5-4, "Reclaimed Water System Improvements"*.

If Inland Empire Utilities Agency (IEUA) does not have the reclaimed system ready to go and we are unable to serve the site reclaimed water, a temporary connection to the potable water system will be provided.

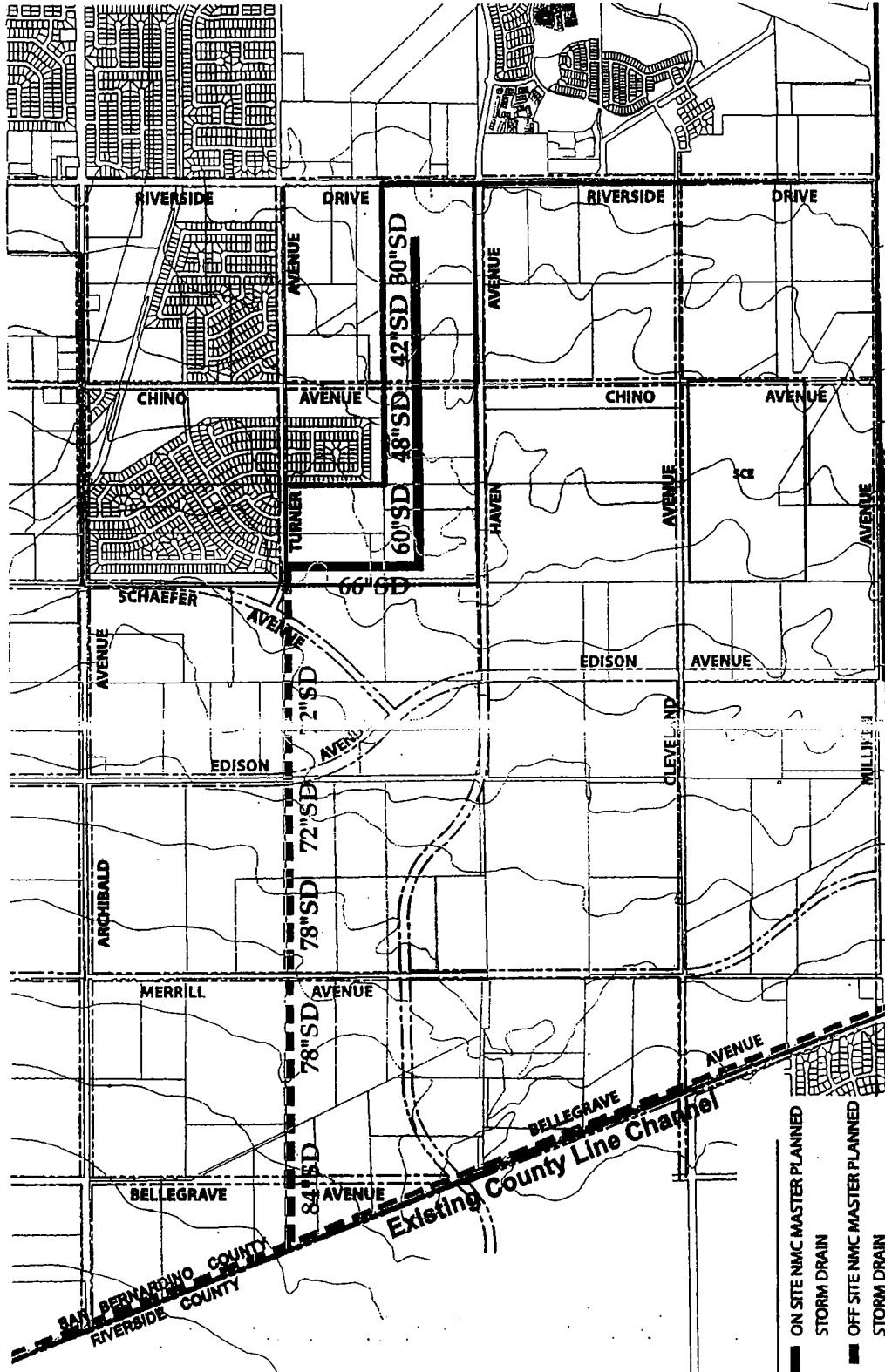
5.8 Solid Waste

Solid waste collection and disposal will be accomplished by City crews through the City of Ontario Public Works Agency. The West Haven project anticipates utilizing a 3-bin system to accommodate recyclables and green waste and supports any City-sponsored recycle program and diversion of special wastes such as tires, construction material, etc.

WEST HAVEN

Draft Specific Plan

CENTEX HOMES
 RICHLAND COMMUNITIES, INC.
 STRATHAM PROPERTIES, INC.



- Legend
- ON SITE NMC MASTER PLANNED STORM DRAIN
 - - - OFF SITE NMC MASTER PLANNED STORM DRAIN



December 15, 2009
 Exhibit 5-3

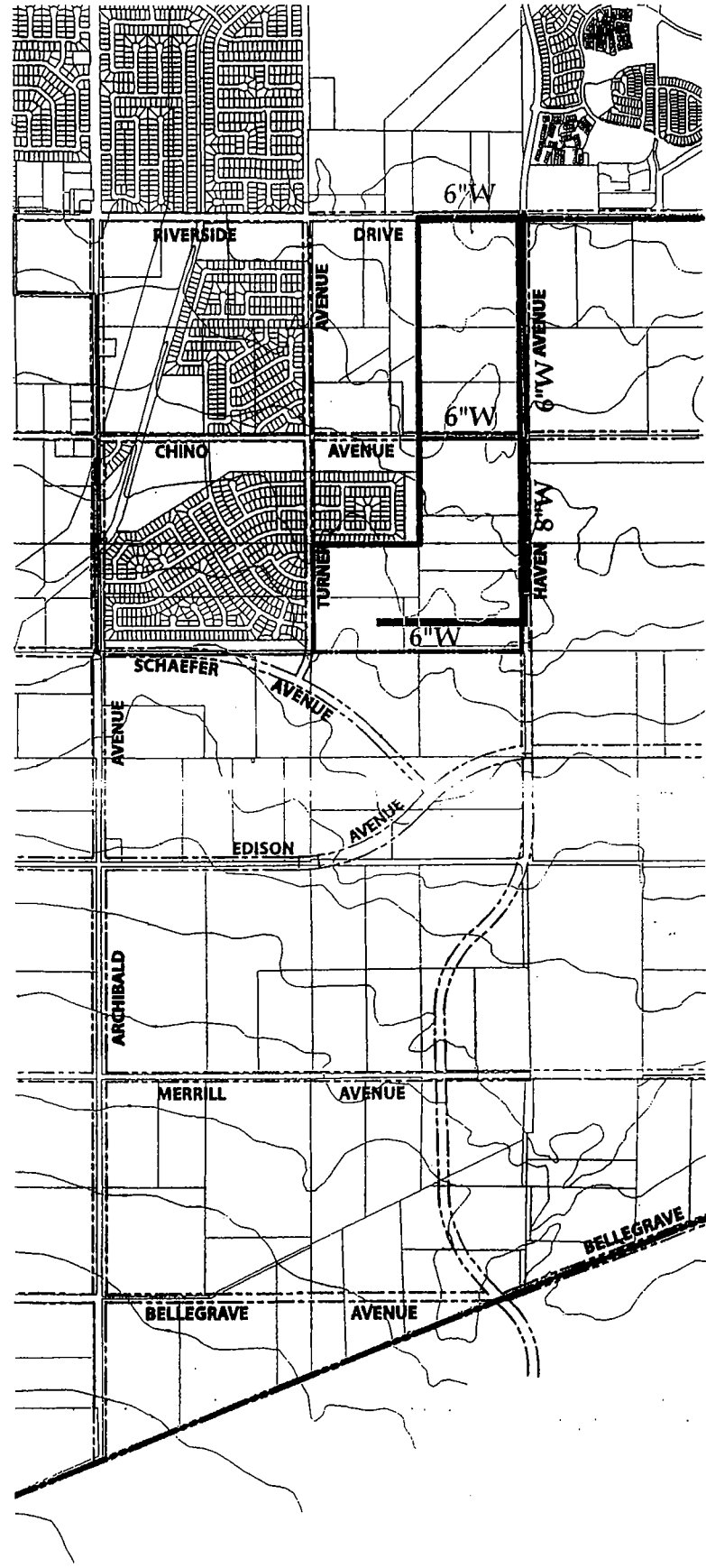
Storm Drain System Improvements

Prepared By: LD KING, INC., ENGINEERS/PLANNERS/SURVEYORS 2151 Convention Center Way, Suite 100, Ontario, California 91764-4464 (909) 937-0200, Fax (909) 937-0202, E-mail: ldking@ldking.com
 in association with: HRP LAND, INC. / MEEKS + PARTNERS / Iba+

WEST HAVEN

Draft Specific Plan

CENTEX HOMES
 RICHLAND COMMUNITIES, INC.
 STRATHAM PROPERTIES, INC.



Legend
 — ON SITE NMC MASTER PLANNED
 - - - RECLAIMED WATER

December 15, 2004
 Exhibit
 5-4

Reclaimed Water System Improvements



Prepared By LD KING, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Convention Center Way, Suite 100, Ontario, California 91764-4464 (909) 837-0200, Fax: (909) 837-0200, E-mail: ldking@ldking.com
 In association with: HRP L.A. DESIGN / MEERS + PARTNERS / lba.

5.9 Fire Department Services

The City of Ontario provides fire protection for the Project Site. The nearest fire station (2931 East Philadelphia Street) is approximately 1.1 miles northwesterly of the Project Site. Response time varies due to availability of units, according to Fire Department statements. NMC GPA calls for the construction of 4-5 fire stations to serve the NMC. The location of a temporary or permanent fire station, within the vicinity of the Project Site, will be predicated by a five-minute fire emergency response time.

5.10 Police Department Services

The City of Ontario provides police protection for the West Haven community. The police station (2500 South Archibald Avenue) is located approximately 1.7 miles northwesterly of the Project Site. Response time varies based on location of police units and type of calls according to Police Department statements.

5.11 School Facilities

The Project Site is located within the Mountain View School District, which serves the needs for K-8, and the Chaffey Joint Union High School District, which serves the needs for grades 9-12. A 10-acre elementary school is proposed in Planning Area 7 and will serve the Project Site for the elementary grades. A middle school has been Master Planned on the east side of Haven Avenue and will ultimately serve the Project Site. Colony High School (3850 East Riverside Drive) will serve the Project Site for grades 9-12. Development of the West Haven Specific Plan area will generate an estimated student population as follows (based on student generation numbers supplied by the City of Ontario, "School Generation for NMC Subareas", July 2, 2004):

Grades K-5
Generation Factor 0.38/D.U.
 $0.38 \times 753 = 287$

Grades 6-8
Generation Factor 0.22/D.U.
 $0.22 \times 753 = 166$

Grades 9-12
Generation Factor 0.20/D.U.
 $0.20 \times 753 = 151$

5.12 Libraries

The City of Ontario provides library service. There are two library locations within the City of Ontario. The main library is located within the vicinity of the Civic Center (215 East "D" Street) and is currently under renovation. The Colony Branch Library is located east of the Project Site, approximately one-quarter of a mile from the intersection of Riverside Drive and Haven Avenue, within Colony High School (3850 East Riverside Drive). Both libraries will serve the Project Site. There will be a need for

additional facilities over time. Currently, the City of Ontario has not planned for a library within the West Haven Specific Plan.

5.13 Public Transportation

Omnitrans currently provides fixed-route bus and "Access" services to the Project Site. Omnitrans' Fixed Bus Route 70 currently operates along Riverside Drive, between Vineyard and Milliken Avenues. The Project Site is also served by the "Access" demand-response service for qualified persons with disabilities.

Omnitrans Route 70 uses three (3), forty-four (44) passenger buses operating from 6:30 a.m. to 6:50 p.m., Monday through Friday, and from 6:50 a.m. to 6:40 p.m. on Saturday and Sunday. "Access" uses 16 and 20 passenger mini-buses, which operate during the same hours as Route 70 and accepts telephone reservations from 8:00 a.m. to 5:00 p.m., Sunday through Saturday. Operating figures were received through statements by Omnitrans.

The proposed project is anticipated to result in an increased demand for extended service to cover the Project Site. Bus turnouts and shelters, to serve future Specific Plan residents, shall be provided by the West Haven Specific Plan as required by Omnitrans and approved by the City of Ontario.

Section 6. Open Space and Recreation Plan

6.1 Open Space and Recreation Plan Description

A major feature of the West Haven Specific Plan is the system of expanded landscaped parkways (*neighborhood edges*) and paseos, which link various facilities within the community. The proposed facilities provide an array of recreational opportunities in which all members of the community can participate. Further, these facilities incorporate a cohesive plan that interrelates with and links the various neighborhoods of the West Haven community with each other and to destination points, such as the proposed Neighborhood Park, the proposed Neighborhood Center and the regional trail system master planned within the New Model Colony area. Recreational opportunities vary from active, with potentially structured recreational programs; to passive.

The various recreational facilities are linked to each other and to other elements of the community with an extensive neighborhood edge and paseo/greenbelt system, which will be landscaped as discussed in **Section 9.1, "Landscaping Design Guidelines"**. The neighborhood edge/paseos will, at a minimum, contain one or more pedestrian paths that are oversized. Bicycle paths (*Class I*) will be provided as shown on **Exhibit 4-1, "Circulation Plan and Entry Monumentation"** and discussed in **Section 4.3, "Bicycle Plan"** of this document.

The project proposes a total of 13.8 acres of parks/open space/recreation. This is based on:

- 6.2 acres of proposed pocket parks and the 30-foot wide paseo to be developed within the Project Site Boundary.
- 5.0 acre Neighborhood Park.
- 2.6 acres of 30-foot wide paseo to be developed by West Haven within the SCE Easement, adjacent to the project boundary.

6.1.1 **Park and Recreational Opportunities**

Recreational opportunities are those opportunities which are available for the use and enjoyment of residents of the West Haven community and the general public. They are discussed as follows:

1. Neighborhood Park: A five (5) acre Neighborhood Park is proposed in Planning Area 6. The park facility amenities may include the following:
 - Children's Play Areas

- Sports Field
- Family Picnic
- Public Restrooms
- Parking Lot
- Walkways/Jogging Trail
- Open Turf Areas
- Drinking Fountain
- Benches
- Trash Receptacles
- Bicycle Parking Area
- Shade Trees

A detailed discussion of the Five Acre Neighborhood Park is provided in **Section 9.2.3, "Community Connections and Recreation"**.

2. **Elementary School:** An elementary school will be located on 10 acres in Planning Area 7. Associated with and on the school grounds will be recreational equipment and fields for school children. Typical elementary school level recreational equipment and sports fields will include playground equipment, basketball courts and multi-purpose fields. It has been confirmed with the Mountain View School District that residents of the West Haven community and the City of Ontario New Model Colony will have access to these facilities during off school hours.
3. **Parkway / Paseo System:** An expanded parkway system (*neighborhood edge [N.E.]*) will be located adjacent to backbone and higher volume roadways. The neighborhood edge system will be landscaped with turf, trees and various additional plant materials. Community "theme" signage will be located adjacent to the edges. Sidewalks will be provided within the neighborhood edge as well as a Class 1 Bike Path along Haven Avenue.

The landscaped paseos will be 30-feet in width and will incorporate existing Southern California Edison Company (SCE) property and easements (*both onsite and offsite*) and the Southern California Gas Company easement to provide a comprehensive paseo network. This network runs from the Project Site's southern boundary, within the SCE parcel, north to Riverside Drive, within the adjacent offsite SCE easements/property. Branching from this north-south paseo are three (3) east-west paseos.

This parkway/paseo system will provide approximately 12.7 acres of additional open space / park amenities. **Exhibit 3-1, "West Haven Land Use Plan"**, depicts the conceptual locations of the paseos.

6.2 Open Space And Recreation Plan General Development Standards

1. General Development Standards to the Neighborhood Park will include the following:

- The Neighborhood Park boundaries and configurations are approximate and subject to adjustment with more detailed site planning and design. The boundaries may be modified or relocated entirely within the same general area, subject to the approval of the City of Ontario, without requiring an amendment to the West Haven Specific Plan. However, at no time will the park total less than five acres net, exclusive of streets.
 - All Neighborhood Park improvements shall provide for pedestrian circulation and handicap accessibility.
 - The City shall approve all lighting design, fixture location(s) and lighting types within the park. The pathway and parking area lights shall be controlled by a timing system, programmed from dusk to dawn.
 - All lighting within the Neighborhood Park shall be provided with glare screens as may be needed to direct light away from the adjacent residential areas and to reduce the impact of the lighting on these residential areas. Where appropriate, every effort shall be made to reduce the amount of light that is not directly needed for the safe use of the facilities. This is to be accomplished by the height of the fixtures, the placement of the fixtures away from residential areas, and the type and design of fixtures.
 - The Neighborhood Park project will be granted credit toward the park component of the City's Park Fee Reimbursement.
2. All recreational and open space areas shall be landscaped and contain permanent, recycled water irrigation systems.
 3. All recreational facilities shall provide parking in accordance with the City of Ontario's Parking Ordinance.
 4. Landscaping within recreation and open space areas shall be further governed by the "**Landscape Plan General Development Standards**", **Section 8.2** and **Landscaping Design Guidelines, Section 9-1** sections of the West Haven Specific Plan.
 5. The design of the Neighborhood Park will require approval of the City of Ontario.
 6. Pocket park acreage calculations for residential development shall be based upon a minimum of two (2) acres per 250 dwelling units and shall include the paseo acreage within the SCE/SCG Easement/Properties. Based on 753 total units, the pocket park requirement would total 6.0 acres.

Section 7. Grading Plan

7.1 Grading Plan Description

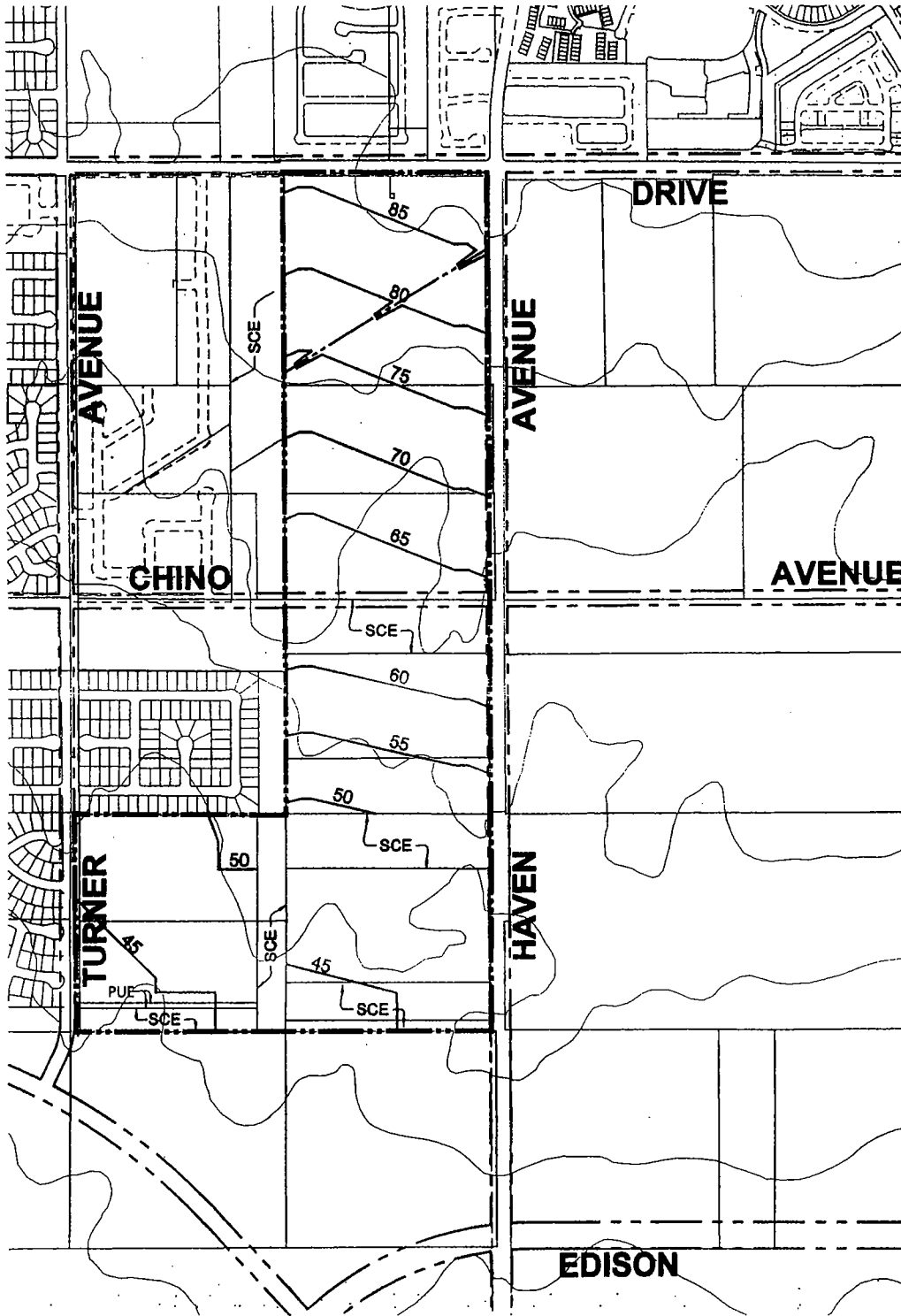
The existing ground has a uniform slope of approximately 2% trending towards the southwest. The grading operation will generally consist of the removal of any manure left over from the dairy operations, clearing and grubbing, demolition of existing structures and moving surface soils to construct residential and commercial building pads and streets.

The amount of removals and depth of overall excavation will vary within the properties in the West Haven Specific Plan depending on prior use of the land.

The Conceptual Grading Plan is included as *Exhibit 7-1, "Conceptual Grading Plan"*.

7.2 Grading Plan General Development Standards

Grading plans for each tract in the West Haven Specific Plan area will be prepared by a Registered Civil Engineer and reviewed and approved by the City of Ontario Building, Planning and Engineering Departments prior to the issuance of grading permits. All grading plans and activities will conform to the City Grading Ordinance dust control and erosion control requirements.



 NORTH
LD KING
0' 500' 1,000'

Conceptual Grading Plan

(December 15, 2004)

Exhibit
7-1

Section 8. Landscaping Plan

8.1 Landscape Description

This Section is general in scope. More detailed landscape concepts will be illustrated in the Landscape Design Guidelines section of this document **Section 9.1, "Landscaping Design Guidelines"**.

Entry monument features at major intersections will provide the initial impression of the West Haven development when approached via Haven Avenue and Riverside Drive. The project's entry monumentation will be developed in a hierarchy format to include Major Community Entries, Secondary Community Entries and Neighborhood Entries which will identify each residential planning area.

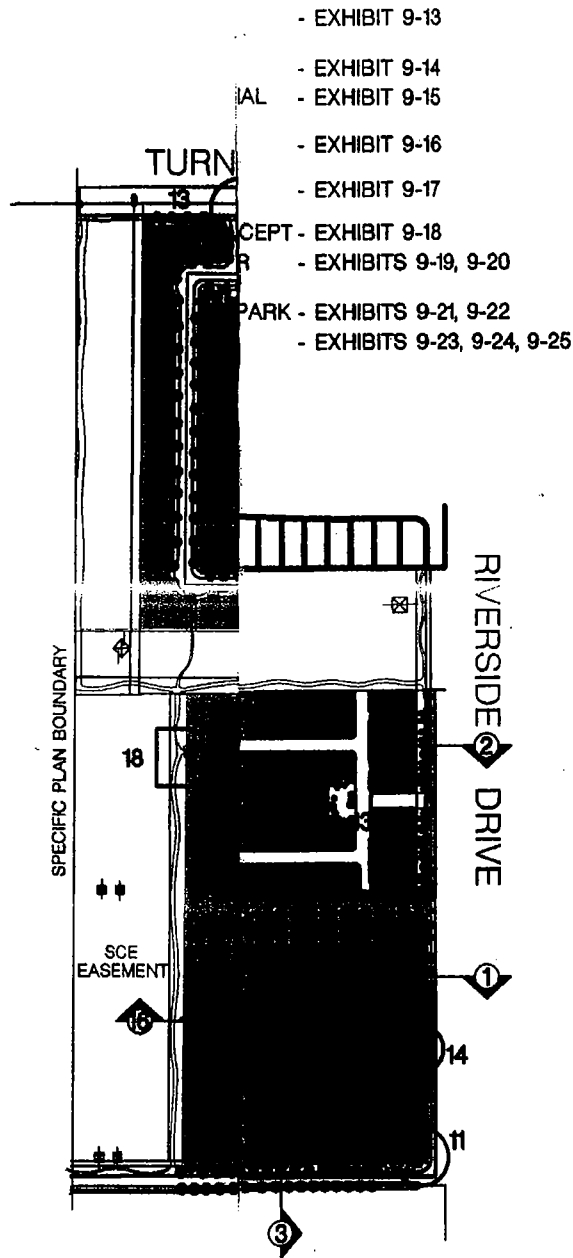
Landscaping will be used to identify the hierarchy of street system, distinguishing perimeter backbone roads and residential streets. Landscaping will be successfully implemented through the use of varying landscape materials, texture, and color to enhance the image of the West Haven community.

8.2 Landscape General Development Standards

1. All detailed landscaping programs for Planning Areas and roadways will be prepared by a licensed Landscape Architect for review and approval by appropriate City of Ontario Departments.
2. Project entry statements will be designed with landscaping and architectural treatments that project a high quality image for the entire development. Please refer to **Section 9.2, "Community Elements"**.
3. Walls and fences along a public street shall be properly screened with plantings consistent with the streetscene sections contained in **Section 9.1.2, "Community and Neighborhood Streetscenes"**.
4. Final Improvement Plans for all Landscape Maintenance District or Homeowner Association landscaped areas shall be submitted to the City of Ontario Planning Department for approval. The improvement plans shall include, but not be limited to:
 - a. Final Grading Plan – prepared by a registered Civil Engineer.
 - b. Site Construction Plans – showing all hardscape, walls and fences.
 - c. Site Irrigation Plans.

- d. Site Planting Plans.
- e. Site Details and Specifications.
5. At the time of recordation of any final subdivision map, which may contain common greenbelts or open space areas, the subdivision shall have those common areas conveyed to the property Owner's Association or appropriate public maintenance agency (*either in fee title or as an easement*).
6. See **Section 9.2.5, "Maintenance Responsibility"** for maintenance of all common and private landscaped areas.
7. All landscaping shall meet the City of Ontario Development Standards, Codes and Regulations, unless otherwise specified within the West Haven Specific Plan document.
8. All loading/service and/or parking areas shall be screened with appropriate landscaping as approved by the City of Ontario.
9. The applicant and/or builder shall be responsible for the bonding of all landscape improvements to the satisfaction of the City of Ontario Planning and Public Facilities Departments.
10. The minimum sizes for trees, shrubs and groundcover shall meet City Code requirements.
11. All parking lot landscaping shall be consistent with the City of Ontario Development Code requirements, unless otherwise specified within the West Haven Specific Plan document.
12. All utilities shall be screened with appropriate green walls and/or shrubs at the discretion of the City of Ontario.
13. Graded/disturbed areas not to be developed within six months shall be temporarily planted and irrigated to provide dust and erosion control.
14. Builders of each property shall ensure that mature plantings will not interfere with utility lines and traffic lines of sight.
15. Street trees shall be maintained by the City.
16. New Model Colony Streetscape Master Plan and the New Model Colony General Plan Amendment, dated January 7, 1998, shall be a part of these Landscape Design Guidelines.

Section 8 - Landscaping Plan



9.1.1(d) Design Elements

Landscape design elements, are included in both landscape and structural features and occur at both community and neighborhood levels. They serve to establish and reinforce the design theme for West Haven. These elements include community monuments at entry points, community walls and fences, creation of streetscenes through street design, median and neighborhood edge parkway landscapes and the relationship of the paseo and paseo system to recreational elements and homes. The community Neighborhood Park, pocket parks, paseos will be accessible to the public and will be maintained by either a Homeowners Association or a Landscape Maintenance District. The Landscape Guidelines compliment the Architectural Guidelines and together they define the ambiance of the West Haven Community.

9.1.2 Community and Neighborhood Streetscenes

The community streetscenes implement the planting and hardscape theme for each backbone street as described in the Ontario New Model Colony Streetscene Master Plan document.

The landscape treatment for backbone roadways are designed to create an open, expansive feel with the use of generous streetscene panels on all backbone streets surrounding the West Haven Specific Plan.

The landscaped neighborhood edges vary in width from 30-feet to 45-feet, depending on the street, as described in the following streetscene sections.

9.1.2(a) Riverside Drive – Neighborhood Center Commercial Edge

Riverside Drive is adjacent to both residential and commercial (*Neighborhood Center*) land uses. The landscape development associated with the Commercial (*Neighborhood Center*) is illustrated in **Exhibit 9-2, "Riverside Drive Streetscene at Neighborhood Center Commercial"**, which is consistent with the New Model Colony Streetscape Master Plan. This streetscene consists of:

- 7-foot wide curbside landscaping planted with shrubs and groundcover
- 5-foot wide sidewalk parallel with the street within the 12-foot wide street parkway
- 23-foot wide shrub zone between the sidewalk and the commercial development
- 35-foot wide overall streetscene neighborhood edge
- Standard form street trees, 36-inch box minimum size, planted at 30-feet on center spacing (*formal spacing*), centered in the 7-foot wide curb side planting area. (*Quercus engelmannii – Engelmann Oak*)

PRIMARY UNDERSTORY SHRUB

- * PEROVSKIA ARTIPLICIFOLIA - 25% OF TOTAL SHRUBS
- * REMAINING SHRUBS SELECTED FROM COMMUNITY PLANT LIST

PARKING HEADLIGHT HEDGE ROW

- * LIGUSTRUM JAPONICA 'TEXANUM' - HEDGE TO 3' HIGH
- * LOCATE AT BACK OF STREETSCENE NEIGHBORHOOD EDGE

NOTES:

1. ALL TREES WITHIN 200' OF A CORNER (INTERSECTION) SHALL BE ALIGNED AND EQUALLY SPACED
2. ALL STREET TREES TO BE 36" BOX (MIN.)
3. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
4. ALL SHRUBS TO BE A MINIMUM OF 60% 5 GALLON AND 40% 1 GALLON.
- * 5. WHERE BUILDINGS ARE ADJACENT TO THE NEIGHBORHOOD EDGE, THE 23'-0" PLANTER BEHIND SIDEWALK MAY CHANGE
 - * 10' FOR RESIDENTIAL (22' OVERALL)
 - * 15' FOR COMMERCIAL (27' OVERALL)

UNDERSTORY TREE - 24" BOX (MIN.)

- * PYRUS CALLERYANA 'ARISTOCRAT' OR FLOWERING TREE (SELECTED FROM COMMUNITY PLANT LIST)
- * FORMAL SPACING (LOCATE BETWEEN STREET TREES @ 30' ON CENTER)

WASHINGTONIA ROBUSTA AT INTERSECTION (18' BROWN TRUNK HT.) (SEE EXHIBIT 9-12)

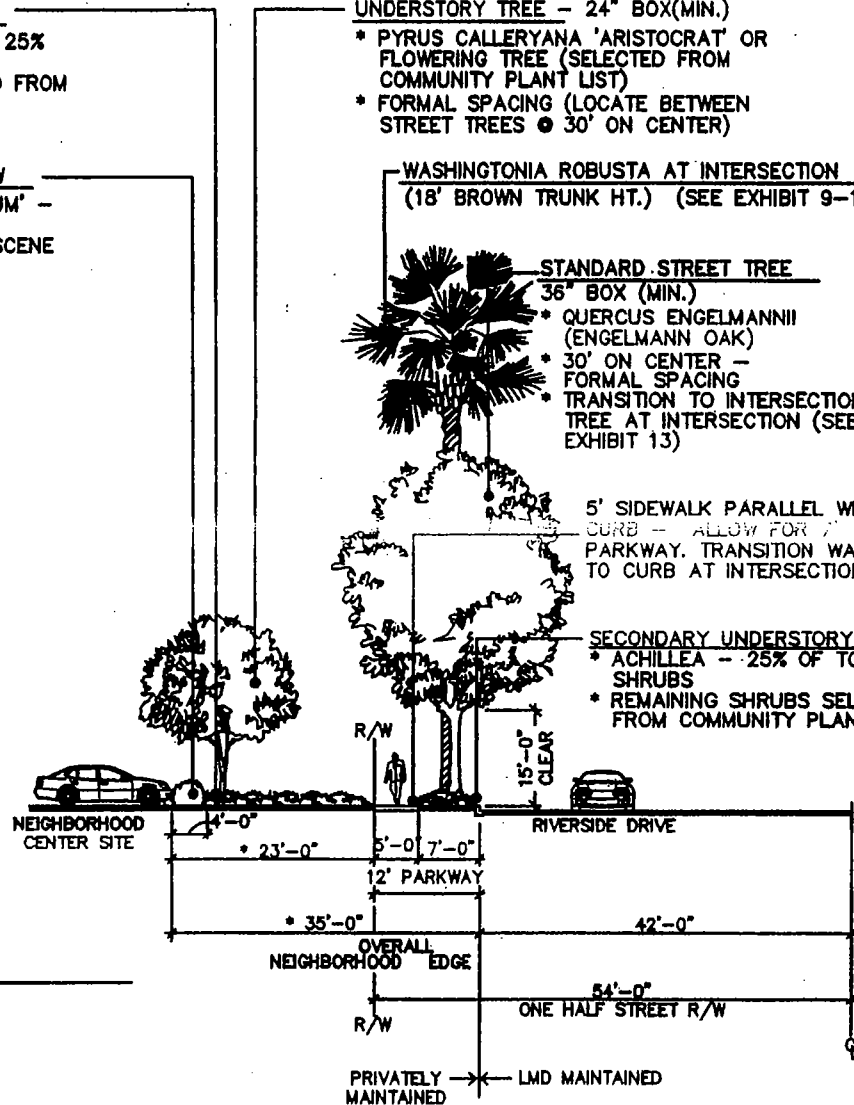
STANDARD STREET TREE 36" BOX (MIN.)

- * QUERCUS ENGELMANNII (ENGELMANN OAK)
- * 30' ON CENTER - FORMAL SPACING
- * TRANSITION TO INTERSECTION TREE AT INTERSECTION (SEE EXHIBIT 13)

5' SIDEWALK PARALLEL WITH CURB - ALLOW FOR 7' WIDE PARKWAY. TRANSITION WALK TO CURB AT INTERSECTION

SECONDARY UNDERSTORY SHRUBS

- * ACHILLEA - 25% OF TOTAL SHRUBS
- * REMAINING SHRUBS SELECTED FROM COMMUNITY PLANT LIST



SECTION

SCALE: N.T.S.



**Riverside Drive Streetscene
 At Neighborhood Center Commercial**

(December 13, 2004)
**Exhibit
 9-2**

- Understory or flowering trees 24-inch box minimum size, planted in the 23-foot wide additional landscaped tree/shrub zone behind sidewalk (*Pyrus calleryana* 'Aristocrat' – Ornamental Pear) or a flowering accent tree, selected from the **Table 9-1, "Community Plant List"**.
- A 3-foot high parking headlight hedge row (*Ligustrum japonica Texanum*) planted along the back edge of the neighborhood edge.
- *Washingtonia robusta* (*Mexican fan palms*) are located at the intersection of Riverside Drive and Haven Avenue and shall be spaced at 20-feet on center.
- As described in the New Model Colony Streetscape Master Plan, the primary understory shrub for Riverside Drive is *Perovskia artriplicifolia* (*Russian sage*); the secondary understory shrub is *Achillea* species (*Yarrow*) and shall comprise of no less than 25% of the total shrubs used on Riverside Drive.
- All remaining shrubs to be selected from **Table 9-1, "Community Plant List"**.
- The walkway shall transition to curb at the intersection.
- Scored concrete at the intersection shall extend into the crosswalk.
- Permanent automatic recycled water irrigation system.
- Streetscene neighborhood edge to be planted and privately maintained by the Commercial Neighborhood Center (*not a part of the neighborhood edge*).
- When buildings are located adjacent to the neighborhood edge, the 23-foot wide additional landscaped tree/shrub zone may be reduced to 10-feet for residential and 15-feet for commercial, with a total neighborhood edge of 22-feet or 27-feet, respectively.

9.1.2(b) Riverside Drive – Residential Edge

The landscape development associated with the Riverside Drive Residential edge is illustrated in **Exhibit 9-3, "Riverside Drive Streetscene at Residential"** and is consistent with the New Model Colony Streetscape Master Plan. This streetscene consists of:

- 7-foot wide street curbside landscaping planted with shrubs and groundcovers.
- 5-foot wide sidewalk parallel with the street within the street parkway.
- 23-foot wide additional landscaped tree/shrub zone between the sidewalk and the property line wall.
- 35-foot wide overall streetscene neighborhood edge.
- Standard form street trees, 36-inch box minimum, centered in the 7-foot wide street parkway landscaping at 30-feet on center spacing. (*Quercus engelmannii* – Engleman Oak).
- Randomly spaced street tree back up tree, 24-inch box minimum.

Table 9-1 Community Plant List

Perimeter Streets

Riverside Drive:

Street Tree

Quercus engelmannii

Engelmann Oak

Understory Tree

Pyrus calleryana 'Aristocrat'

Flowering Pear

Primary Understory Shrub

Perovskia artiplicifolia

Russian Sage

Secondary Understory Shrub

Achillea (Species)

Yarrow

Haven Avenue:

Street Tree

Pinus pinea

Italian Stone Pine

Understory Tree

Chionanthus retusus

Chinese Fringe Tree

Primary Understory Shrub

Pittosporum tobira 'Variegated'

Variegated Tobira

Secondary Understory Shrub

Alyogyne huegellii

Blue Hibiscus

Turner Avenue:

Street Tree

Liriodendron tulipifera

Tulip Tree

Understory Tree

Sophora japonica

Japanese Pagoda Tree

Primary Understory Shrub

Acacia redolens 'Desert Carpet'

NCN

Secondary Understory Shrub

Plumbago auriculata

Cape Plumbago

Table 9-1 (continued)
Community Plant List

Chino Avenue:

Street Tree

Quercus kelloggii California Black Oak

Understory Tree

Chitalpa tashkentensis Chitalpa Tree

Primary Understory Shrub

Rhamnus crocea Redberry

Secondary Understory Shrub

Elymus condensatus Wild Rye

Specimen Trees at Community Intersections and at Neighborhood Entries:

Ficus rubiginosa Rusty Leaf Fig
Quercus agrifolia Coast Live Oak
Schinus molle California Pepper

Palm Accent at Community Intersections:

Washingtonia robusta Mexican Fan Palm

Community Intersection Accent Tree:

Arbutus marina NCN
Bauhinia blakeana Hong Kong Orchid Tree
Cassia excelsa Crown of Gold
Prunus cerasifera Purple Leaf Plum

Vertical Evergreen Screen Trees:

Brachychiton populenus Bottle Tree
Heteromeles arbutifolia Toyon
Pinus canariensis Canary Island Pine
Pinus edarica Afgan Pine
Pittosporum rhombifolium Queensland Pittosprom
Pittosporum undulatum Victorian Box
Prunus caroliniana Carolina Laurel Cherry

Table 9-1 (continued)
Community Plant List

Vertical Evergreen Screen Trees (continued):

Tristania conferta
Tristania laurina

Brisbane Box
Tristania Laurina

Neighborhood Entry Trees:

Arbutus unedo
Brachychiton acerifolius
Cassia excelsa
Chitalpa tashkentensis
Eriobotria deflexa
Magnolia grandiflora 'Majestic Beauty'
Metrosideros excelsus
Platanus acerifolia
Podocarpus gracilior
Rhus lancea
Tabebuia chrystricha

Strawberry Tree
Flame Tree
Crown of Gold
Chitalpa Tree
Bronze Loquat
Southern Magnolia
New Zealand Christmas Tree
London Plane Tree
Fern Pine
African Sumac
Golden Trumpet Tree

Evergreen and Deciduous Grove Trees:

Brachychiton populenus
Eucalyptus nicholii
Eucalyptus sideroxylon
Liquidambar styraciflua
Liriodendron tulipifera
Maytenus boaria
Melaleuca quinquenervia
Pinus canariensis
Platanus acerifolia
Platanus racemosa
Tipuana tipu
Tristania conferta

Bottle Tree
Nichol's Willow Gum
Red Ironbark
American Sweet Gum
Tulip Tree
Mayten Tree
Cajeput Tree
Canary Island Pine
London Plane Tree
California Sycamore
Tipu Tree
Brisbane Box

Park Accent Tree:

Cinnamomum camphora
Olea eropaea
Platanus racemosa
Quercus agrifolia
Schinus molle

Camphor Tree
Fruitless Olive
California Sycamore
Coast Live Oak
California Pepper

Table 9-1 (continued)

Community Plant List

Neighborhood Street Tree:

Arbutus marina	NCN
Bauhinia blakeana	Hong Kong Orchid Tree
Bauhinia variegata	Purple Orchid Tree
Cassia leptophylla	Golden Medallion Tree
Cupaniopsis anacardioides	Carrot Wood
Elaeocarpus decipiens	Japanese Blueberry Tree
Fraxinus oxycarpa 'Raywood'	Raywood Ash
Koelreuteria bipinnata	Chinese Flame Tree
Lagerstroemia indica 'Indian Tribes'	Crape Myrtle
Liriodendron tulipifera	Tulip Tree
Magnolia grandiflora 'Majestic Beauty'	Southern Magnolia
Nyssa sylvatica	Sour Gum
Platanus acerifolia	London Plane Tree
Podocarpus gracilior	Fern Pine
Pyrus calleryana 'Aristocrat'	Aristocrat Pear
Pyrus calleryana 'Chanticlear'	Chanticlear Pear
Pyrus calleryana 'Redspine'	Redspire Pear
Quercus ilex	Holly Oak
Rhus lancea	African Sumac
Sapium sebiferum	Chinese Tallow Tree
Sophora japonica	Japanese Pagoda Tree
Ulmus parvifolia 'Drake'	Evergreen Drake Elm
Zelkova serrata	Saw Leaf Zelkova

Southern California Edison Easement Shrubs:

Acacia redolens 'Desert Carpet'	Creeping Acacia
Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita
Arctostaphylos edmundsii	Little Sur Manzanita
Artemisia 'Powis Castle'	Wormwood
Artemisia arborescens	Sagebrush
Baccharis 'Centennial'	Hybrid Coyote Bush
Carpenteria californica	Bush Anemone
Encelia californica	Coast Sunflower
Fremontodendron 'California Glory'	Flannelbush
Hesperaloe parviflora	Red Yucca
Kniphofia uvaria	Red Hot Poker

Table 9-1 (continued)
Community Plant List

Southern California Edison Easement Shrubs (continued):

Muhlenbergia species	Deer Grass
Opuntia ficus indica	Thornless Beavertail Cactus
Penstemon azureus	Azare Penstemon
Penstemon spectabilis	Showy Penstemon
Rhamnus californica	Coffeeberry
Rhamnus crocea	Redberry
Rhus integrifolia	Lemonade Berry
Ribes species	Currant
Romneya coulteri	Matilija Poppy
Salvia species	Sage
Sisyrinchium bellum	Blue Eye Grass
Trichostema lanatum	Woolly Blue Curls

Commercial Parking Lot Trees:

Cupaniopsis anacardioides	Carrot Wood Tree
Phoenix dactylifera	Date Palm
Platanus acerifolia	London Plane Tree
Rhus lancea	African Sumac
Tristania conferta	Brisbane Box
Ulmus parvifolia 'Drake'	Chinese Evergreen Elm

Commercial Entry Tree:

Ficus rubiginosa	Rusty Leaf Fig
Olea europaea	Fruitless Olive
Quercus agrifolia	Coast Live Oak
Schinus molle	California Pepper

Community Shrubs and Groundcovers (All areas except SCE Easement):

Acacia redolen 'Desert Carpet'	Creeping Acacia
Achillea species	Yarrow
Agapanthus africanus species	Lily-of-the-Nile
Agave attenuata	Foxtail Agave
Aloe species	Aloe
Alyogyne cuneiformis	NCN
Alyogyne huegelii	Blue Hibiscus

Table 9-1 (continued)

Community Plant List

Community Shrubs and Groundcovers (All areas except SCE Easement) (continued):

Anigozanthos species	Kangaroo Paw
Arbutus unedo 'Compacta'	Strawberry Tree
Asteriscus maritimus	Gold Chip
Baccharis pilularis	Coyote Bush
Bougainvillea	Bougainvillea
Buxus japonica 'Green Beauty'	Boxwood
Callistemon citrinus 'Little John'	Lemon Bottlebrush
Camellia sasaqua	Sun Camellia
Carissa species	Natal Plum
Cassia sturtii	Senna
Cercis occidentalis	Western Redbud
Chamaerops humilis	Mediterranean Fan Palm
Chamelaucium uncinatum	Geraldton Wax Flower
Cistus 'Doris Hibberson'	Rockrose
Cistus hybridus	White Rockrose
Cistus purpureus	Orchid Rockrose
Cistus salvifolius	Sagelead Rockrose
Clivia miniata	Clivia Lily
Cotoneaster species	Cotoneaster
Cuphea hyssopifolia	False Heather
Cupressus sempervirens	Italian Cypress
Dietes bicolor	African Iris
Dietes vegeta	Fortnight Lily
Dodonaea viscosa	Hopseed Bush
Echium fastuosum	Pride of Madeira
Elaeagnus pungens	Silverberry
Euonymus japonica species	Everygreen Euonymus
Euryops pectinatus	Gray Leaved Euryops
Feijoa sellowiana	Pineapple Guava
Fremontodendron 'California Glory'	California Flannel Bush
Garrya elliptica	Coast Silktassel
Gaura lindheimeri	Gaura
Gazania rigens leucolaena	NCN
Hakea sauveolens	Sweet Scented Hakea
Helictotrichon sempervirens	Blue Oat Grass
Hesperaloe parviflora	Red Yucca
Heteromeles arbutifolia	Tyon California Holly
Hibiscus syriacus	Rose of Sharon
Ilex species	Holly

Table 9-1 (continued)
Community Plant List

Community Shrubs and Groundcovers (All areas except SCE Easement) (continued):

Jasminum mesnyi	Promrose Jasmine
Jasminum officinale	Common White Jasmine
Kniphofia uvaria	Red Hot Poker
Lantana montevidensis	Trailing Lantana
Lavandula species	Lavender
Lavatera bicolor	NCN
Leonotis leonurus	Lion's Tail
Leptospermum scoparium 'Snow White'	New Zealand Tea Tree
Ligustrum japonica 'Texanum'	Texas Privet
Limonium perezii	Sea Lavender
Liriope gigantea	Giant Lily Turf
Liriope muscari	Lily Turf
Lonicera japonica 'Halliana'	Hall's Japanese Honeysuckle
Murraya paniculata	Orange Jasmine
Myoporum 'Pacificum'	Myoporum
Myoporum parvifolium	NCN
Myrtus communis 'Compacta'	Dwarf Myrtle
Myrtus communis	Greek Myrtle
Nandina 'Gulf Stream'	Heavenly Bamboo
Perovskia artiplicifolia	Russian Sage
Phlomis fruticosa	Jerusalem Sage
Phoenix roebelenii	Pigmy Date Palm
Phormium tenax	New Zealand Flax
Photinia fraseri	NCN
Pittosporum tobira 'Turner Dwarf'	Tobria Turners Varigated
Plumbago auriculata	Cape Plumbago
Podocarpus henkelii	Long Leaved Yellowwood
Podocarpus macrophyllus	Yew Pine
Podocarpus maki	Shrubby Yew Pine
Pyracantha species	Firethorn
Rhaphiolepis 'Majestic Beauty'	NCN
Rhaphiolepis species	India Hawthorn
Rosa 'Iceberg'	Rose
Rosa banksiae	Lady Bank's Rose
Rosmarinus species	Rosemary
Salvia leucantha	Mexican Bush Sage
Santolina chamaecyparissus	Lavender Cotton
Sarcococca ruscifolia	Sweet Box
Sedum species	Stonecrop

Table 9-1 (continued)

Community Plant List

Community Shrubs and Groundcovers (All areas except SCE Easement) (continued):

Senecio mandraliscae	NCN
Stachys byzantina	Lamb's Ear
Strelitzia nicolai	Giant Bird of Paradise
Strelitzia reginae	Bird of Paradise
Tecomaria capensis	Cape Honeysuckle
Ternstroemia japonica	NCN
Teucrium chamaedrys 'Prostratum'	Bush Germander
Tibouchina urvilleana	Princess Flower
Trachelospermum jasminoides	Star Jasmine
Tulbaghia violacea	Society Garlic
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus 'Spring Bouquet'	Laurustinus
Westringia fruticosa	Westringia
Xylosma congestum 'Compacta'	Shiny Xylosma

Vines:

Bougainvillea	Bougainvillea
Distictis buccinatoria	Red Trumpet Vine
Ficus pamila	Creeping Fig
Hardenbergia violacea 'Happy Wanderer'	Lilac Vine
Pandorea jasminoides	Bower Vine
Parthenocissus tricuspidata	Boston Ivy
Polygonum aubertii	Silver Lace Vine
Wisteria sinensis	Chinese Wisteria

Turf:

100% Tall Fescue – Sod or Seed

PRIMARY UNDERSTORY SHRUB

- * PEROVSKIA ARTIPICIFOLIA - 25% OF TOTAL SHRUBS
- * REMAINING SHRUBS SELECTED FROM COMMUNITY PLANT LIST

UNDERSTORY TREE - 24" BOX (MIN.)

- * PYRUS CALLERYANA 'ARISTOCRAT'
- * RANDOMLY SPACE IN GROUPINGS
- * ALLOW 250' MIN. BETWEEN GROUPINGS OF UNDERSTORY TREES.

STANDARD STREET TREE - 36" BOX (MIN.)

- * QUERCUS ENGELMANNII (ENGELMANN OAK)
- * 30' ON CENTER - FORMAL SPACING
- * TRANSITION TO INTERSECTION TREE AT INTERSECTION

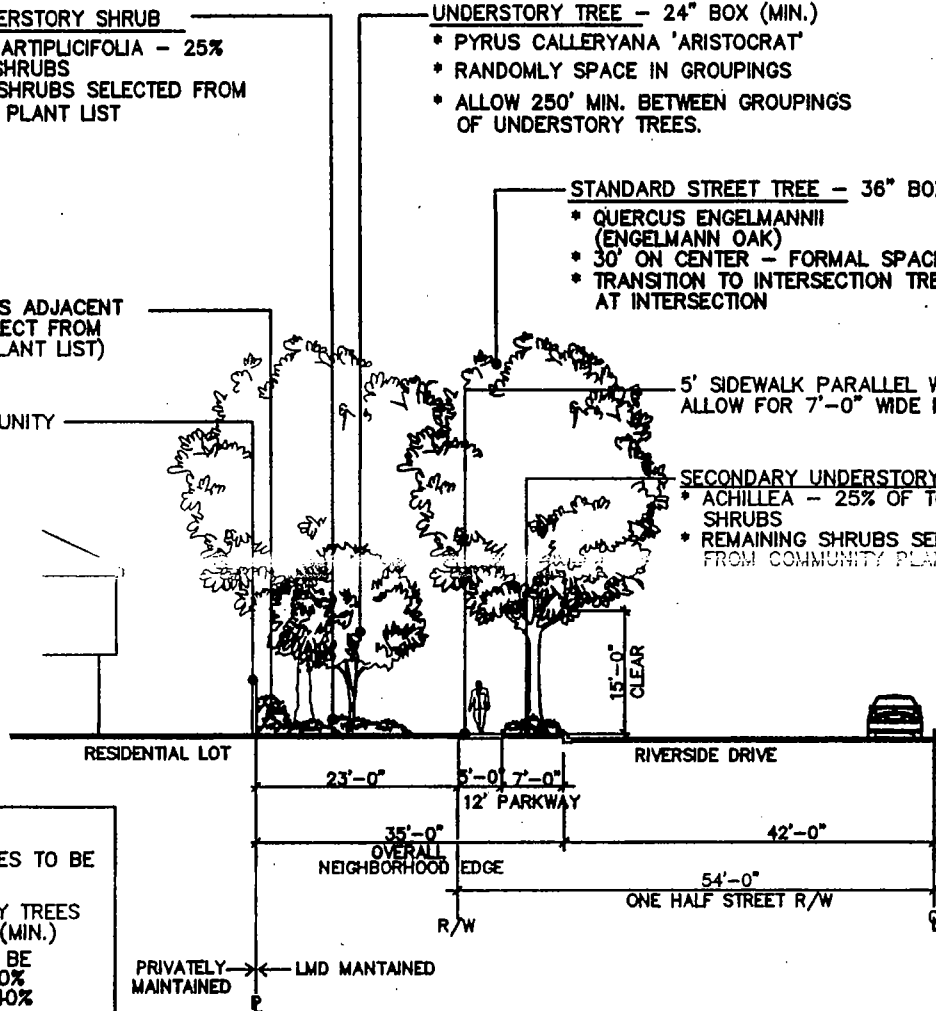
LARGE SHRUBS ADJACENT TO WALL (SELECT FROM COMMUNITY PLANT LIST)

6' HIGH COMMUNITY WALL

5' SIDEWALK PARALLEL WITH CURB. ALLOW FOR 7'-0" WIDE PARKWAY.

SECONDARY UNDERSTORY SHRUBS

- * ACHILLEA - 25% OF TOTAL SHRUBS
- * REMAINING SHRUBS SELECTED FROM COMMUNITY PLANT LIST



- NOTES:**
1. ALL STREET TREES TO BE 36" BOX (MIN.)
 2. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
 3. ALL SHRUBS TO BE A MINIMUM OF 60% 5 GALLON AND 40% 1 GALLON.



Riverside Drive Streetscene
 At Residential

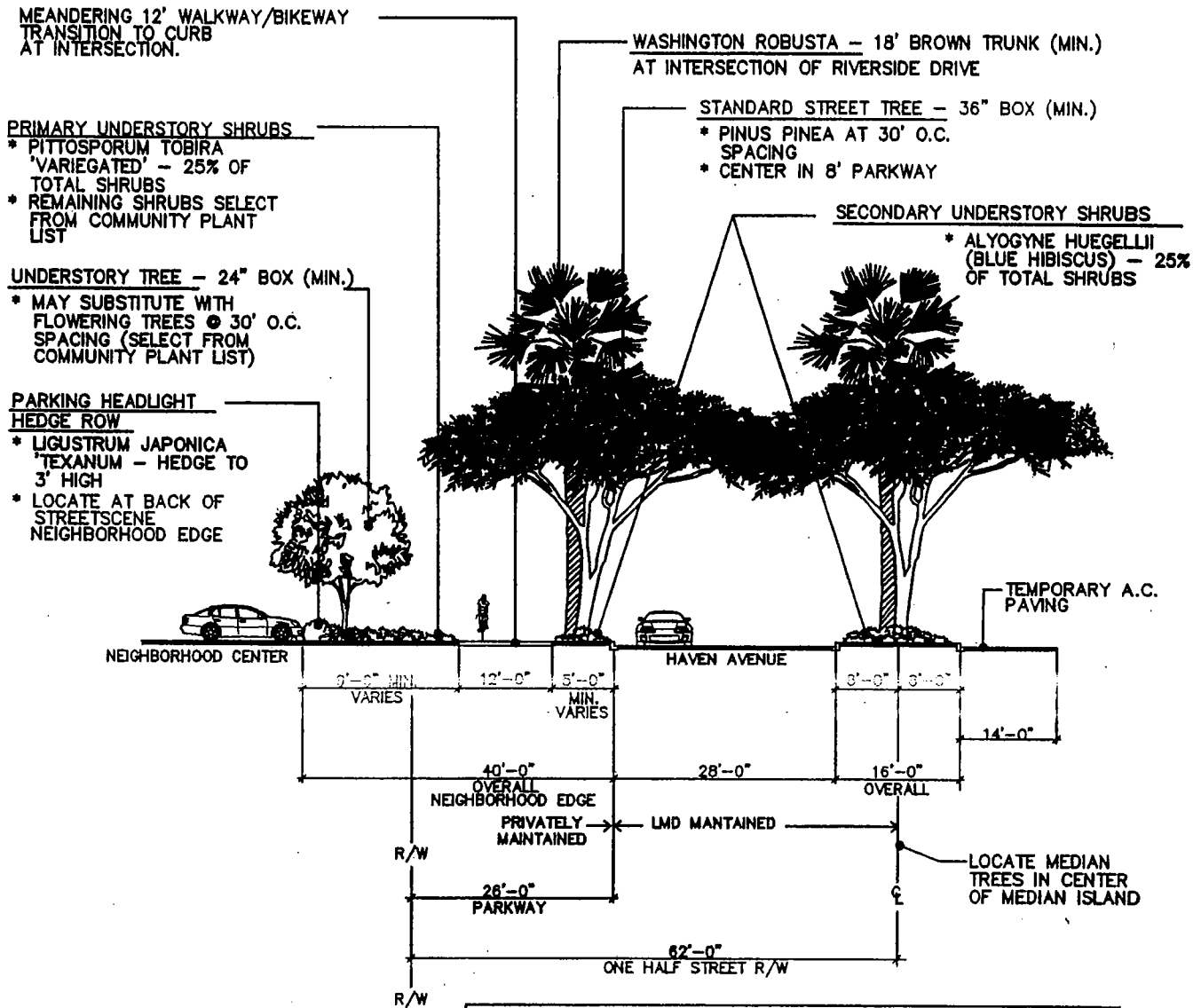
(December 15, 2004)
 Exhibit
 9-3

- Randomly spaced understory trees, 24-inch box minimum, (*Pyrus calleryana* 'Aristocrat' – ornamental pear) in groupings, with 250-foot minimum between groupings.
- The primary and secondary understory shrubs consistent with the commercial section above.
- All remaining shrubs to be selected from **Table 9-1, "Community Plant List"**.
- Community solid wall at back of the neighborhood edge, on the Residential Property Line.
- Permanent recycled water automatic irrigation.
- Streetscene neighborhood edge to be planted by the builder and maintained by a Landscape Maintenance District or other similar districts.

9.1.2(c) Haven Avenue – Neighborhood Center Commercial Edge

The Haven Avenue streetscene within the West Haven Specific Plan is adjacent to both residential and Neighborhood Center commercial land uses. The landscape development associated with the Neighborhood Center is illustrated in **Exhibit 9-4, "Haven Avenue Streetscene at Neighborhood Center Commercial"** and is consistent with the New Model Colony Streetscape Master Plan. This streetscene consists of:

- Varying width curbside landscaping – 5-foot wide minimum from curb planted with shrubs and groundcover.
- Meandering 12-foot wide walkway/bikeway, may meander to 5-feet of the streetscene curb.
- Variable width of additional landscaped tree/shrub zone between the bikeway and the commercial development.
- 40-foot wide overall streetscene neighborhood edge.
- Standard form street trees, 36-inch box minimum, planted at 30-foot \pm spacing (*Pinus pinea* - Italian stone pine).
- Understory trees, 24-inch box minimum (*Chionanthus retusus* – Chinese fringe tree) or flowering trees planted in the shrub zone behind bikeway: Flowering trees may be selected from **Table 9-1, "Community Plant List"**.
- A 3-foot high parking headlight hedge row (*Ligustrum japonica Texanum*) planted along the back edge of the neighborhood edge.
- *Washingtonia robusta* (Mexican fan palm) at intersection of Haven and Riverside and shall be spaced at 20-feet on center.
- Delete street trees when parkway measures less than 7-feet to curb.
- As described in the New Model Colony Streetscape Master Plan, the primary understory shrub for Haven Avenue is *Pittosporum tobira* 'Variegated' (*Variegated Tobira*); the secondary understory shrubs are *Alyogyne huegellii* (*Blue Hibiscus*). These shrubs shall comprise of no less than 25% of the total shrubs used on Haven Avenue.



- NOTES:**
1. AT INTERIM CONDITION STRIPED MEDIAN ISLAND ONLY-- NO MEDIAN LANDSCAPING
 2. ALL STREET TREES TO BE 36" BOX (MIN.)
 3. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
 4. ALL SHRUBS TO BE A MINIMUM OF 60% 5 GALLON AND 40% 1 GALLON
 5. DELETE STREET TREES WHEN TOTAL PARKWAY WIDTH MEASURES LESS THAN 7' TO CURB.



**Haven Avenue Streetscene
 At Neighborhood Center Commercial**

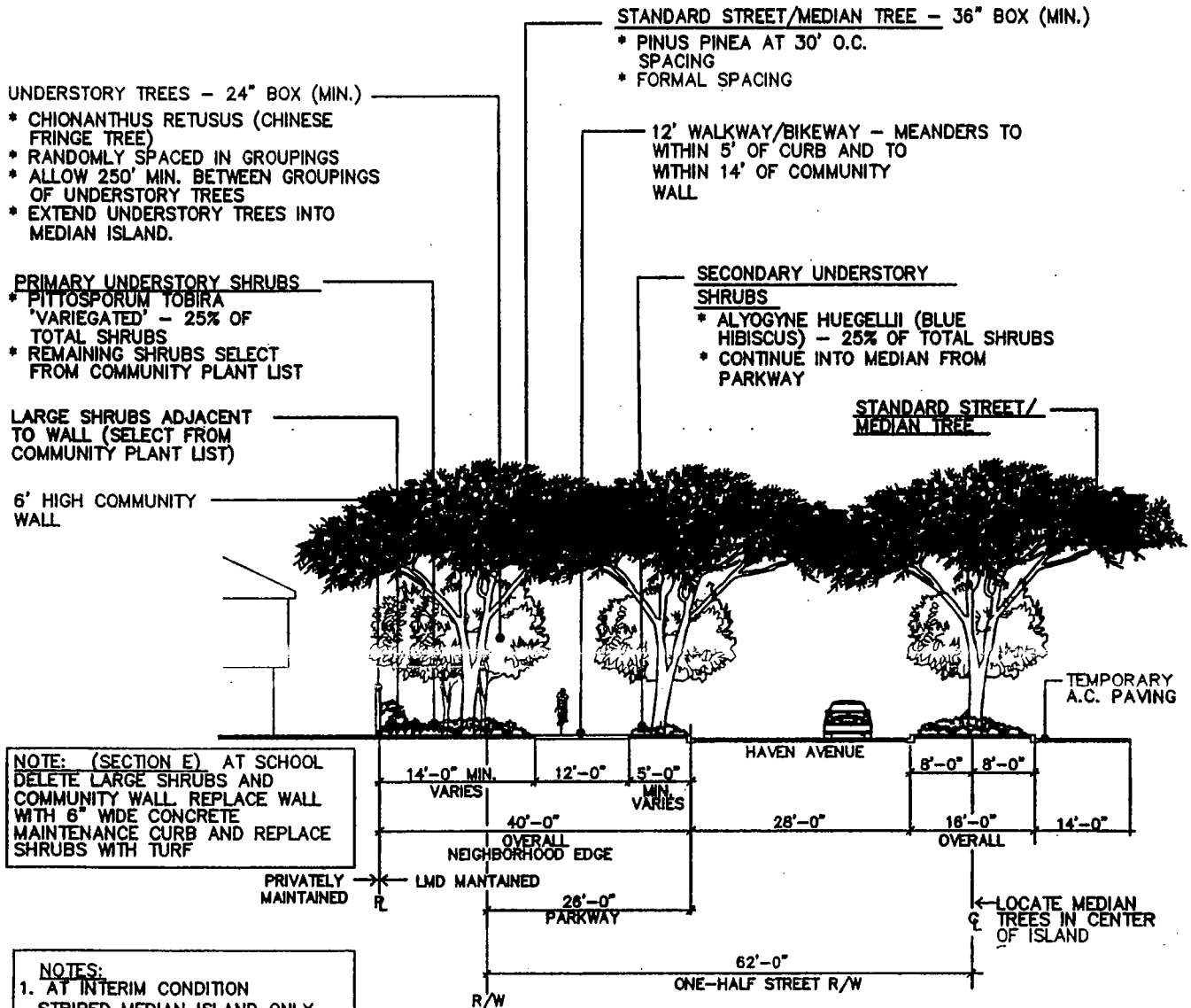
(December 15, 2004)
**Exhibit
 9-4**

- All remaining shrubs to be selected from *Table 9-1, "Community Plant List"*.
- Bikeway to transition to the curb at the intersection.
- Scored concrete at the intersection and extends into the crosswalk.
- All trees within 200-feet of the intersection shall be formally spaced.
- A 16-foot wide median island planted with shrubs and groundcover.
- Parkway tree patterns shall extend into the median island.
- Permanent automatic recycled water irrigation system.
- Commercial Neighborhood Edge to be planted and privately maintained by the Neighborhood Center Commercial Owner (*not a part of then neighborhood edge*).

9.1.2(d) Haven Avenue – Residential Edge

The landscape development for the residential edge on Haven Avenue is illustrated in *Exhibit 9-5, "Haven Avenue Streetscene at Residential"* and is consistent with the New Model Colony Streetscape Master Plan. This streetscene panel consists of:

- Varying width curbside landscaping – 5-foot wide minimum, planted with shrubs and groundcovers.
- Meandering 12-foot wide walkway/bikeway. Meanders to 5-feet of streetscene curb and to within 14-feet of perimeter wall.
- Varying width shrub zone between the sidewalk and the property line wall – 14-foot wide minimum.
- 40-foot wide overall streetscene neighborhood edge.
- Standard form street trees, 36-inch box minimum, planted 4-foot minimum from back of curb at 30-feet on center spacing (*Pinus pinea – Italian stone pine*).
- Randomly spaced street tree back up tree, 24-inch box minimum (*Pinus pinea – Italian stone pine*).
- Randomly spaced understory trees, 24-inch box minimum (*Chionanthus retusus – Chinese fringe tree*), in groupings, allow 250-foot minimum between groupings.
- The primary and secondary understory shrubs consistent with commercial section above.
- All remaining shrubs to be selected from the *Table 9-1, "Community Plant List"*.
- Community solid wall at back of the neighborhood edge on the residential property line.
- Permanent automatic recycled water irrigation.
- Streetscene neighborhood edge to be planted by the Builder and maintained by a Landscape Maintenance District.
- Delete street trees when parkway measures less than 7-feet to curb.



NOTE: (SECTION E) AT SCHOOL DELETE LARGE SHRUBS AND COMMUNITY WALL. REPLACE WALL WITH 6" WIDE CONCRETE MAINTENANCE CURB AND REPLACE SHRUBS WITH TURF

- NOTES:**
1. AT INTERIM CONDITION STRIPED MEDIAN ISLAND ONLY- NO MEDIAN LANDSCAPING
 2. ALL STREET TREES TO BE 36" BOX (MIN.)
 3. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
 4. ALL SHRUBS TO BE A MINIMUM OF 60% 5 GALLON AND 40% 1 GALLON
 5. DELETE STREET TREES WHEN TOTAL PARKWAY WIDTH MEASURES LESS THAN 7' TO CURB.



**Haven Avenue Streetscene
 At Residential**

(December 15, 2004)
**Exhibit
 9-5**

9.1.2(e) Turner Avenue – Residential Edge

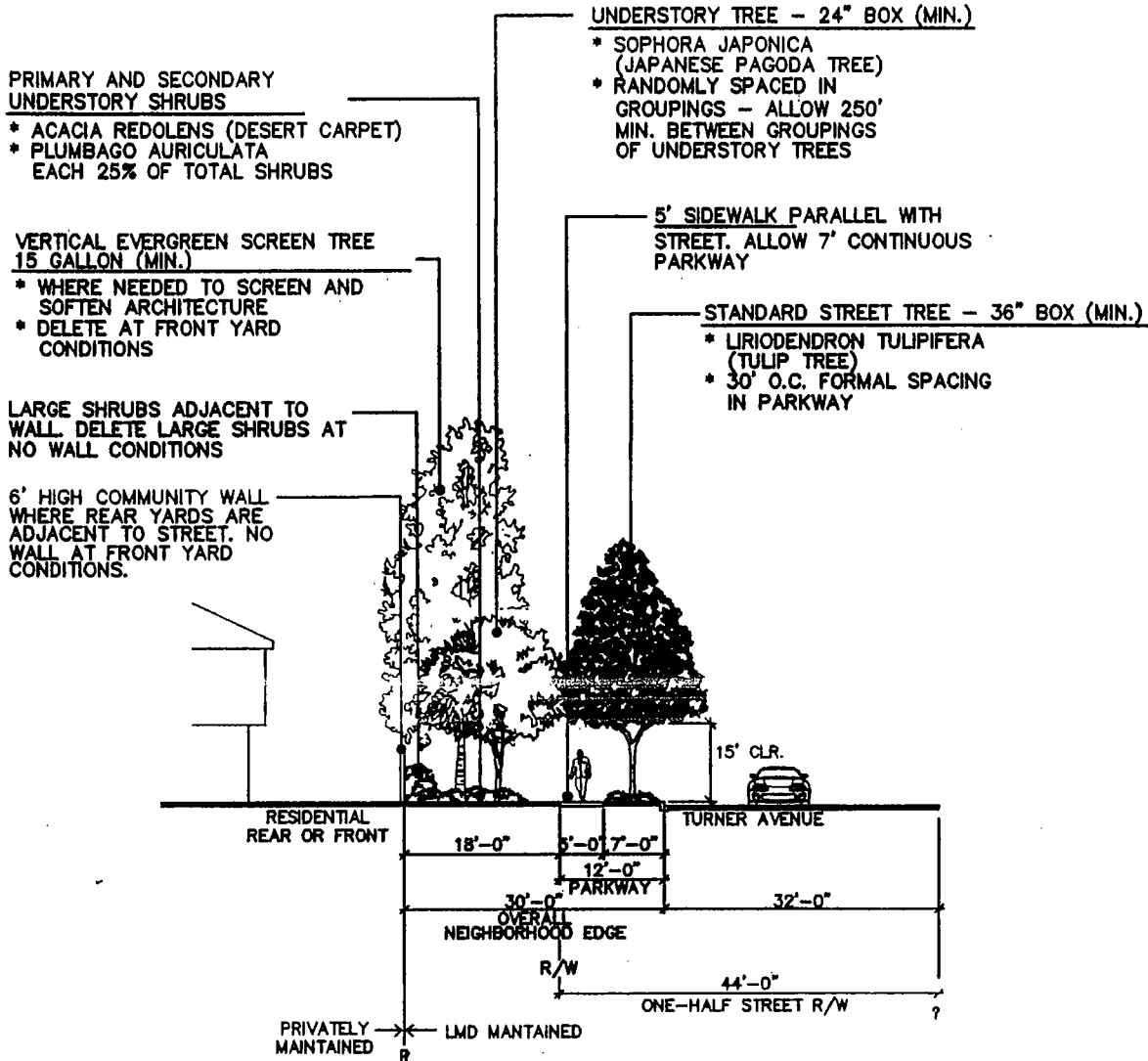
Turner Avenue landscape development along the residential edge is illustrated in **Exhibit 9-6, "Turner Avenue Streetscene at Residential"** and is consistent with the New Model Colony Streetscene Master Plan. This streetscene consists of:

- 7-foot wide curb side landscaping planted with shrubs and groundcover, within the 12-foot wide street parkway.
- 5-foot sidewalk parallel with street, within the parkway.
- 18-foot wide additional landscaped tree/shrub zone between sidewalk and the property line wall or residential front yard.
- 30-foot wide overall streetscene neighborhood edge.
- Standard form street trees, 36-inch box minimum, centered in the 7-foot wide curb side landscaping area at 30-feet on center spacing (*Liriodendron tulipifera* – Tulip tree).
- Vertical evergreen screen tree, 15 gallon minimum, randomly spaced behind sidewalk to screen and soften rear architectural elevations. Delete evergreen screen trees when front yards face the street. Select from **Table 9-1, "Community Plant List"**.
- Randomly spaced understory trees, 24-inch box minimum, (*Sophora japonica* – Japanese Pagoda tree) in groupings behind sidewalk, with 250-foot minimum between groupings.
- Primary understory shrub is *Acacia redolens*, and the secondary understory shrub is *Plumbago auriculata* (*Cape Plumbago*). These shrubs shall comprise of no less than 25% of the total shrubs used on Turner Avenue.
- All remaining shrubs to be selected from the **Table 9-1, "Community Plant List"**.
- Community solid wall at back of the neighborhood edge, where rear yards face the street. Delete the wall when front yards are facing the street.
- Permanent automatic recycled water irrigation.
- Streetscene neighborhood edge to be planted by the Builder and maintained by a Landscape Maintenance District.

9.1.2(f) Chino Avenue – Residential Edge

Chino Avenue landscape development along the residential edge is illustrated in **Exhibit 9-7, "Chino Avenue Streetscene at Residential and SCE Easement"** and is consistent with the New Model Streetscene Master Plan. This streetscene consists of:

- 7-foot wide curb side landscaping within the 12-foot parkway planted with shrubs and groundcovers.
- 5-feet wide sidewalk parallel with the street.



- NOTES:**
1. ALL STREET TREES TO BE 36" BOX (MIN.)
 2. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
 3. ALL VERTICAL EVERGREEN SCREEN TREES TO BE 15 GALLON (MIN.) 40% 1 GALLON
 4. ALL SHRUBS TO BE A MINIMUM OF 60% 5 GALLON AND 40% 1 GALLON.



**Turner Avenue Streetscene
 At Residential**

(December 15, 2004)

**Exhibit
 9-6**

SECONDARY UNDERSTORY SHRUBS

- * ELYMUS CONDENSATUS (WILD RYE)
 25% OF TOTAL SHRUBS - REMAINING
 SHRUBS SELECTED FROM COMMUNITY
 PLANT LIST

5' SIDEWALK PARALLEL
 WITH CURB. ALLOW FOR
 7' WIDE PARKWAY.

UNDERSTORY TREE-24" BOX (MIN.)

- * CHITALPA TASHKENTENSIS
 (CHITALPA TREE)
- * RANDOMLY SPACED IN
 GROUPINGS - ALLOW 250'
 MIN. BETWEEN GROUPINGS
 OF UNDERSTORY TREES

6' HIGH COMMUNITY
 WALL

SCE EASEMENT
 HOA MAINTAINED

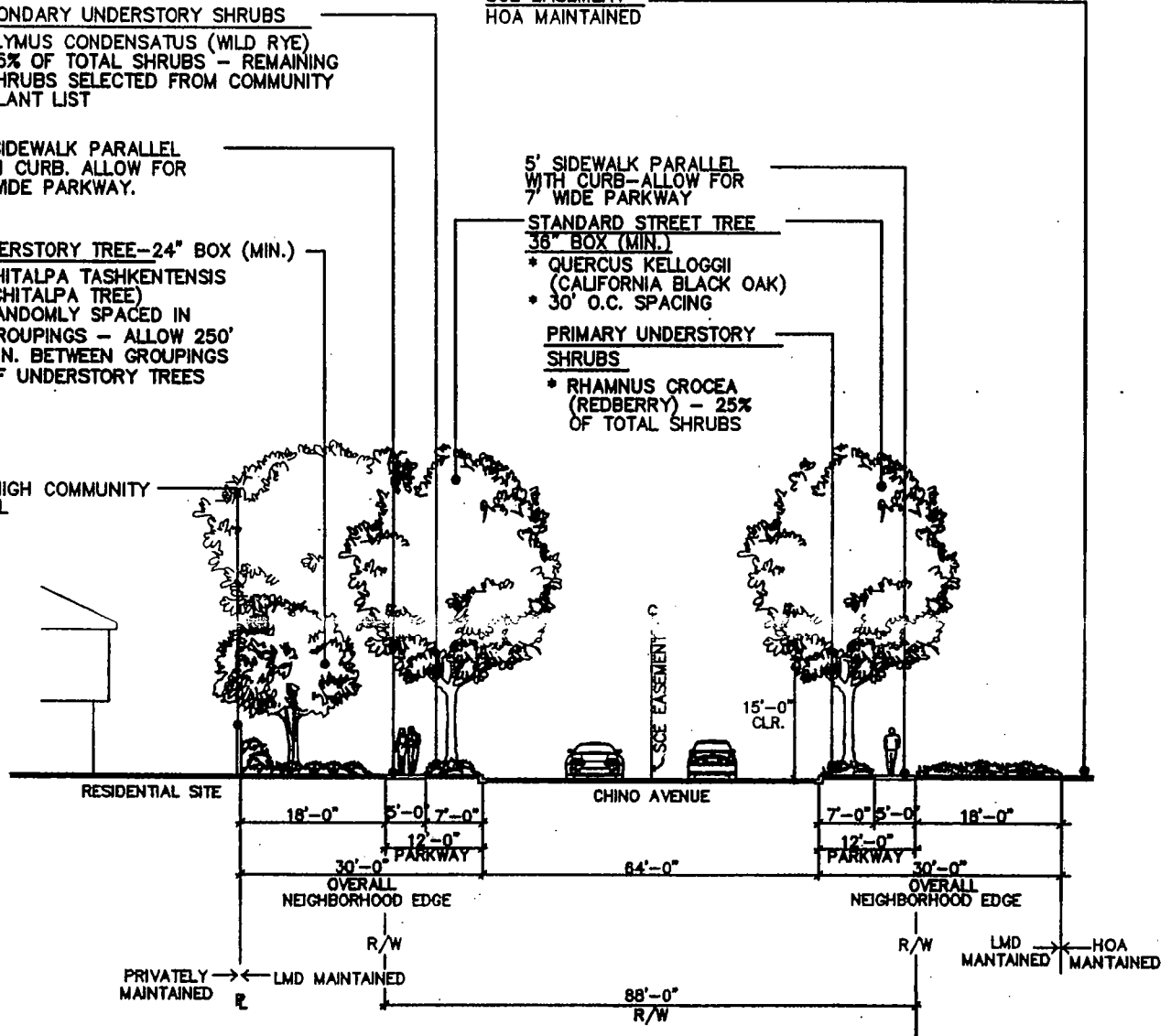
5' SIDEWALK PARALLEL
 WITH CURB-ALLOW FOR
 7' WIDE PARKWAY

STANDARD STREET TREE
 36" BOX (MIN.)

- * QUERCUS KELLOGGII
 (CALIFORNIA BLACK OAK)
- * 30' O.C. SPACING

**PRIMARY UNDERSTORY
 SHRUBS**

- * RHAMNUS CROCEA
 (REDBERRY) - 25%
 OF TOTAL SHRUBS



- NOTES:**
1. ALL STREET TREES TO BE
 36" BOX (MIN.)
 2. ALL UNDERSTORY TREES TO BE
 24" BOX (MIN.)
 3. ALL SHRUBS TO BE A MINIMUM OF
 60% 5 GALLON AND 40% 1 GALLON.

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**Chino Avenue Streetscene
 At Residential And SCE Easement**

(December 15, 2004)
**Exhibit
 9-7**

- 18-foot wide additional landscaped tree/shrub zone between the sidewalk and the property line wall.
- 30-foot wide overall streetscene neighborhood edge.
- Standard form street tree centered in the 7-foot wide parkway (*Quercus kelloggii* – California Black Oak) spaced at 30-feet on center spacing.
- Randomly spaced understory trees (*Chitalpa tashkentensis* – Chitalpa tree) planted in groupings with 250-foot minimum between groupings.
- Primary understory shrub for Chino Avenue is *Rhamnus crocea* (Redberry) and the secondary understory shrub is *Elymus condensatus* (Wild Rye). Both understory shrubs shall comprise of no less than 25% of the total shrubs used on the residential side of Chino Avenue.
- Community solid wall at back of the neighborhood edge on the residential property line.
- Neighborhood edge to be planted by the Builder and maintained by a Landscape Maintenance District.

9.1.2(g) Chino Avenue – SCE Easement Edge

Chino Avenue along the SCE Easement edge is illustrated in **Exhibit 9-7, "Chino Avenue Streetscene at Residential and SCE Easement"** and consists of:

- 7-foot wide curb side landscaping within the 12-foot parkway planted with shrubs and groundcovers.
- 5-foot wide sidewalk parallel with street.
- 18-foot wide shrub zone behind sidewalk.
- 30-foot wide overall streetscene neighborhood edge.
- Standard form street tree, 36-inch box minimum centered in the 7-foot wide parkway, spaced at 30-feet on center spacing. (*Quercus kelloggii* – California Black Oak)
- All trees within the SCE Easement require Southern California Edison approval.
- Primary and secondary understory shrubs are the same as the residential side of the street.
- The neighborhood edge is planted by the Builder and maintained by a Landscape Maintenance District.
- All SCE Easement area beyond the 30-foot wide neighborhood edge is to be maintained by a Homeowner Association.

9.1.2(h) Residential Streets

Neighborhood streetscenes are characterized as a traditional streetscene, with generous parkways, large enough to accommodate a variety of tree sizes, per *Exhibit 9-8, "Typical Residential Streetscene"*.

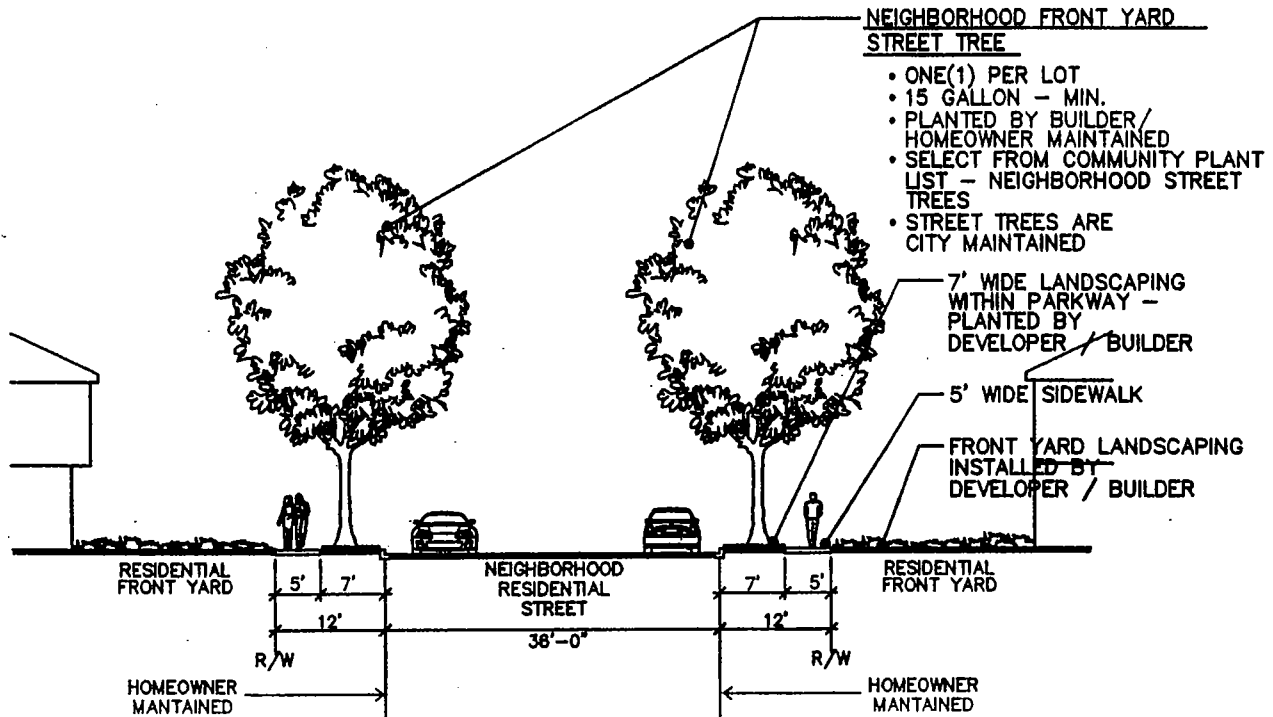
A distinct character for each neighborhood street will be created using different trees on each street. Neighborhood streetscenes consist of:

- 7-foot wide curbside landscaping planted with turf within a 12-foot wide parkway.
- 5-foot wide sidewalk.
- Where residential side yards are adjacent to a neighborhood street, an additional 5-foot wide shrub zone is required between the sidewalk and the side yard fence.
- Street trees are planted by the Builder and maintained by the Landscape Maintenance District or Homeowner's Association.
- Turf parkway and side yards additional landscape areas are planted and maintained by the Homeowner.
- Resident's may not remove street trees.
- Front yard landscaping installed by developer.

9.1.2(i) Residential Entry Street

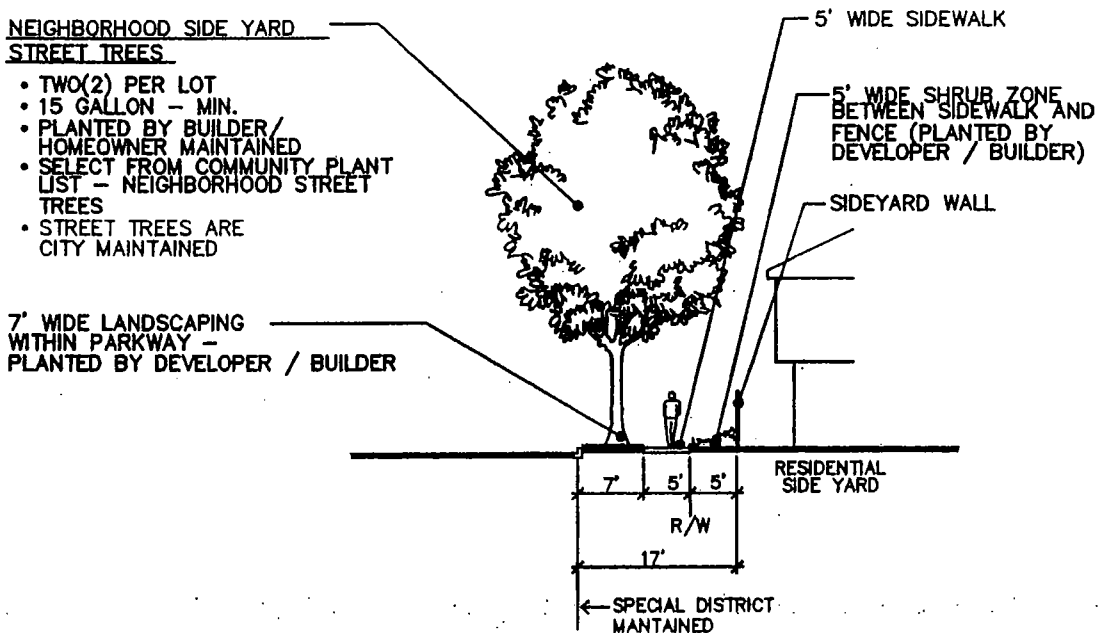
Residential entries occur when a neighborhood street (refer to *Exhibit 9-9, "Residential Entry Streetscene"*) joins to a backbone street, and is also described in *Section 9.2.1(c), "Typical Neighborhood Entry"*. Neighborhood Entry streets consist of:

- 7-foot wide curbside landscaping planted on each side.
- 5-foot wide sidewalk – each side.
- 12-foot wide shrub zone between sidewalk and Residential property line wall.
- Neighborhood Entry tree – 36-inch box minimum selected from *Table 9-1, "Community Plant List"*.
- Solid community wall at Homeowner property line.
- Street trees are planted by the builder and are maintained by the Landscape Maintenance District or Homeowner's Association.



SECTION

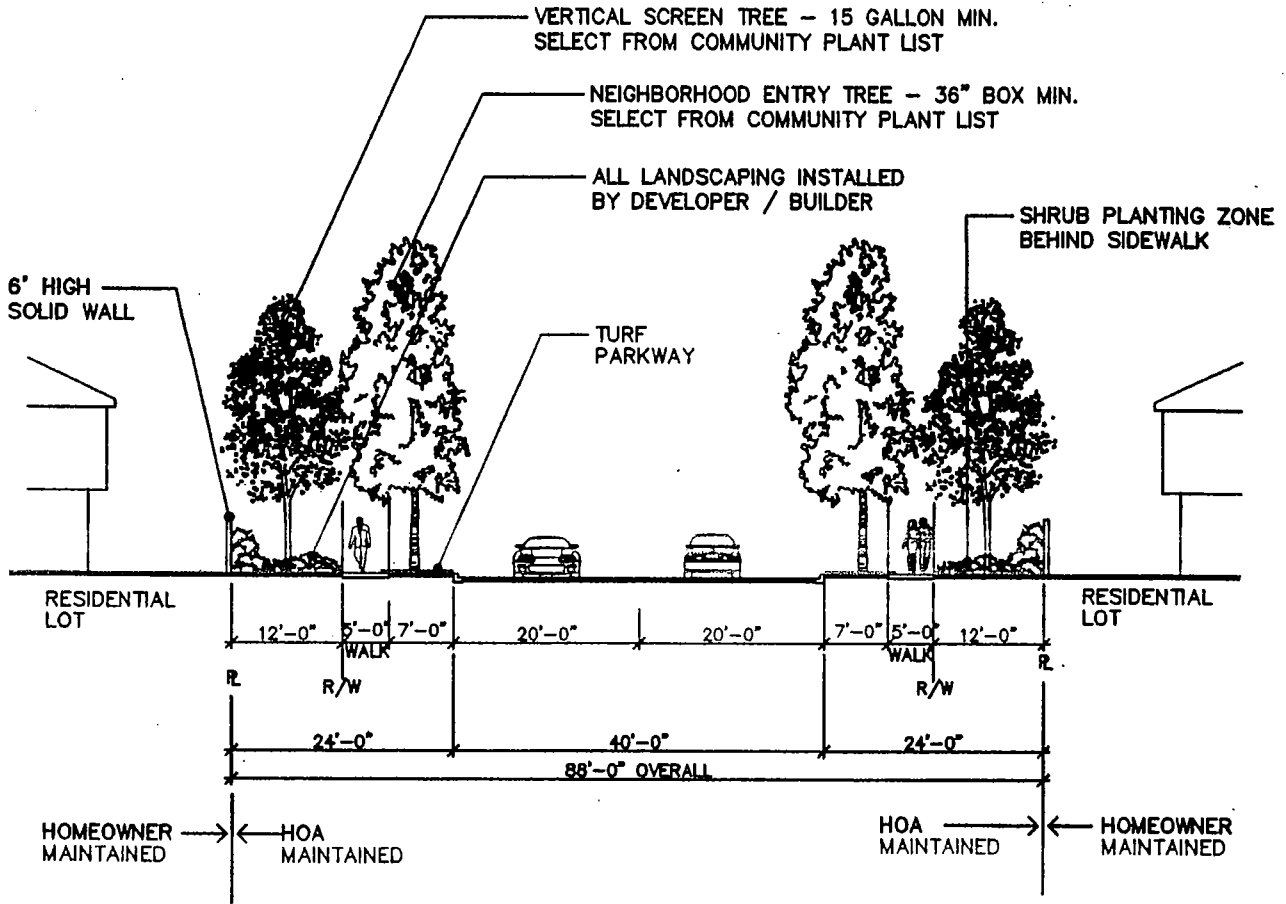
TYPICAL NEIGHBORHOOD RESIDENTIAL STREETSCENE-FRONT YARD
 SCALE: N.T.S.



Typical Residential Streetscene

(December 15, 2004)

Exhibit 9-8



NOTE:
 ALSO SEE EXHIBIT 9-14

	<h3>Residential Entry Streetscene</h3>	(December 15, 2004) Exhibit 9-9
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9.1.3 Community Edge Conditions and Boundaries

9.1.3(a) Neighborhood Center to Residential Edge

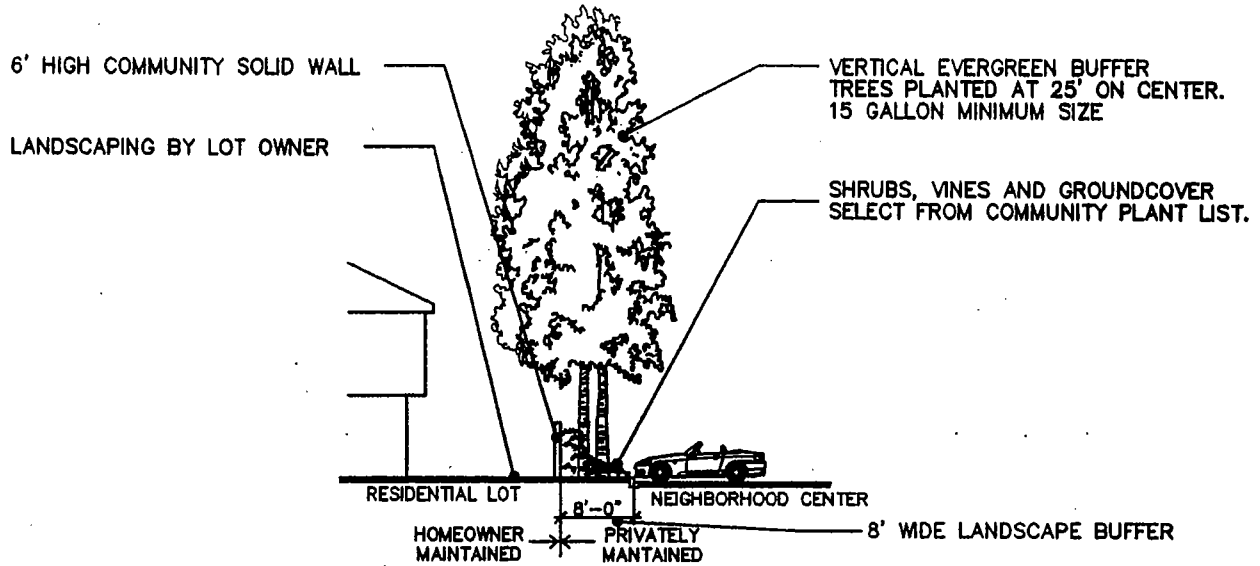
Neighborhood Center development adjacent to a Residential Edge consists of two (2) conditions, a residential yard or a neighborhood street adjacent to the commercial property. (See **Exhibit 9-10, "Neighborhood Center at Residential Edge"**).

Where residential yards are adjacent to a commercial land use, the following applies:

- 6-foot high community solid wall on property line.
- 8-foot wide landscape buffer on commercial property (*planted and maintained by Commercial Builder*).
- Landscape buffer to be planted with trees, shrubs, groundcover and vines.
- Landscape buffer to be permanently irrigated with recycled water.
- Vertical evergreen buffer trees, 15 gallon minimum, planted at twenty-five (25') on center spacing, centered in landscape buffer.
- Shrubs, groundcovers, vines and trees selected from **Table 9-1, "Community Plant List"**.
- Landscape buffer planted and maintained by the Commercial Owner/Builder.

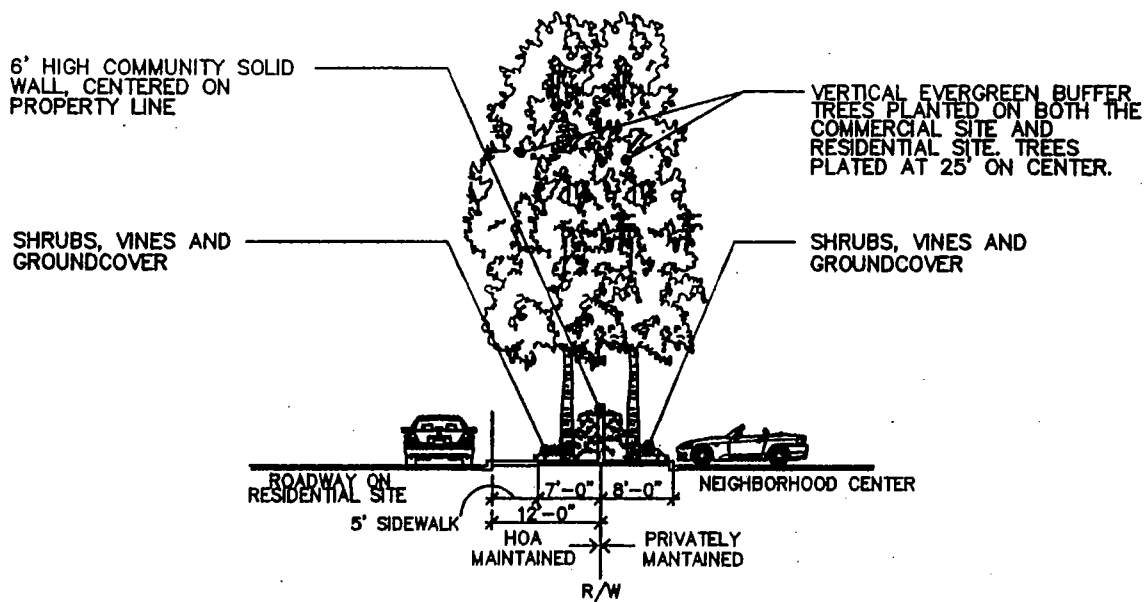
Where residential streets are adjacent on one side to a commercial land use, the following applies:

- 6-foot high community solid wall on property line.
- 8-foot wide landscape buffer on the commercial side and a 7-foot wide landscape buffer on the residential side of the property line, a fifteen foot (15') total distance.
- Landscape buffers planted with trees, shrubs, groundcover and vines.
- Landscape buffers permanently irrigated with recycled water.
- Vertical evergreen buffer trees, 15 gallon minimum, planted at twenty-five feet (25') on center spacing centered in each landscape buffer.
- Landscape buffer on residential side planted by residential builder and HOA maintained.
- Landscape buffer on commercial side planted and maintained by Commercial Builder.
- Select shrubs, groundcovers, vines and trees from **Table 9-1, "Community Plant List"**.



LANDSCAPE BUFFER-NEIGHBORHOOD CENTER/RESIDENTIAL REAR YARD EDGE

SCALE: N.T.S.



9.1.3(b) School to Residential Edge

Where schools are adjacent to a residential yard, the following applies: (See *Exhibit 9-11, "School at Residential Edge"*).

- 6-foot high community solid wall on property line (*built by Residential Builder*).

9.2 Community Elements

9.2.1 *Community Entry Monumentation - Introduction*

The Major Community Monumentation is established at the intersection of Haven Avenue and Riverside Drive. This entry provides a sense of arrival and establishes the unique identity of the West Haven community. Monumentation materials, colors and theming are repeated at secondary, neighborhood and commercial entries, serving to reinforce the identity of West Haven as a distinct community within the New Model Colony Master Planned Community.

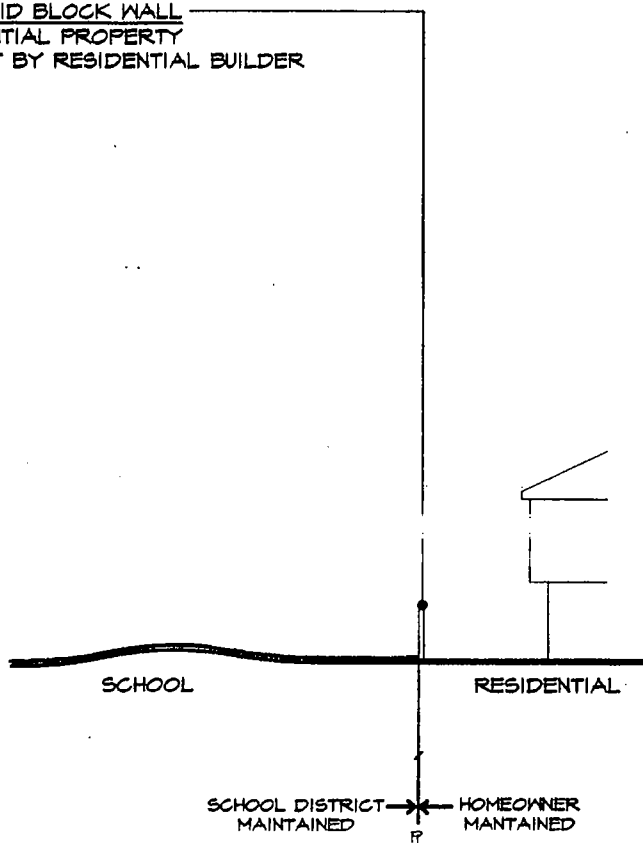
9.2.1(a) Major Community Monumentation at Haven Avenue and Riverside Drive (Neighborhood Center Commercial Corner)

The Major Community Monumentation at the intersection of Haven Avenue and Riverside Drive incorporates enriched scored concrete paving at the corner, a low stone planter wall with community graphics and benches, which frame a specimen tree. Thematic stone pilasters flank the intersection and repeat the use of stone. The planter wall at this corner is 3'-0" high to allow visibility into the commercial center. (See *Exhibit 9-12, "Major Community Monumentation at Haven Avenue and Riverside Drive"*).

Washingtonia Palms are used on both streets near the intersection to create a framework around the entry. This Major Community Monumentation features the following:

- A fifty-five (55') minimum corner cut – off (*expanded landscape zone at corner*) as measured from face of curb to the back of the neighborhood edge.
- Enriched scored concrete paving at corner.
- 4'-0" high stone planter wall.
- Gateway stone pilasters flanking the intersection (*one (1) on each street*)
- Benches – One (1) on each street.
- Trash receptacle.

6' HIGH SOLID BLOCK WALL
AT RESIDENTIAL PROPERTY
LINE - BUILT BY RESIDENTIAL BUILDER



SECTION

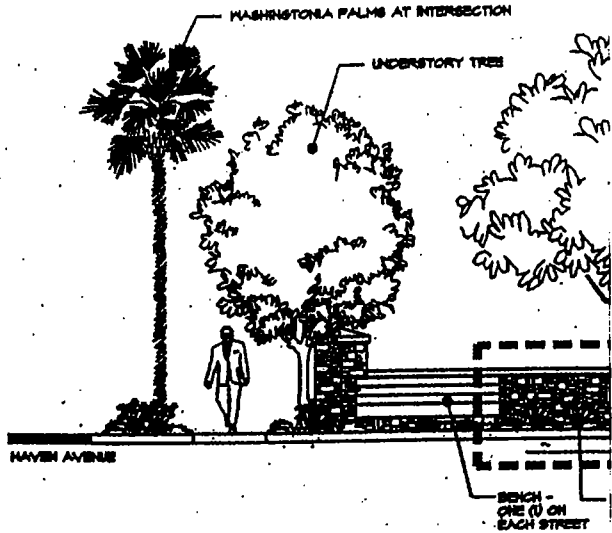
SCALE: N.T.S.



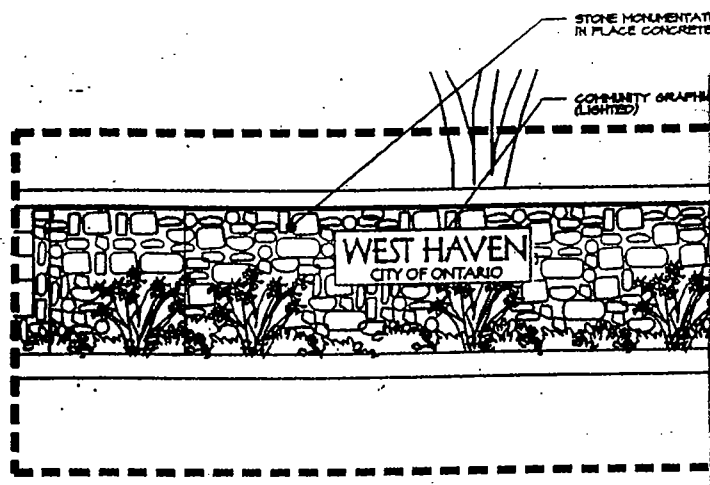
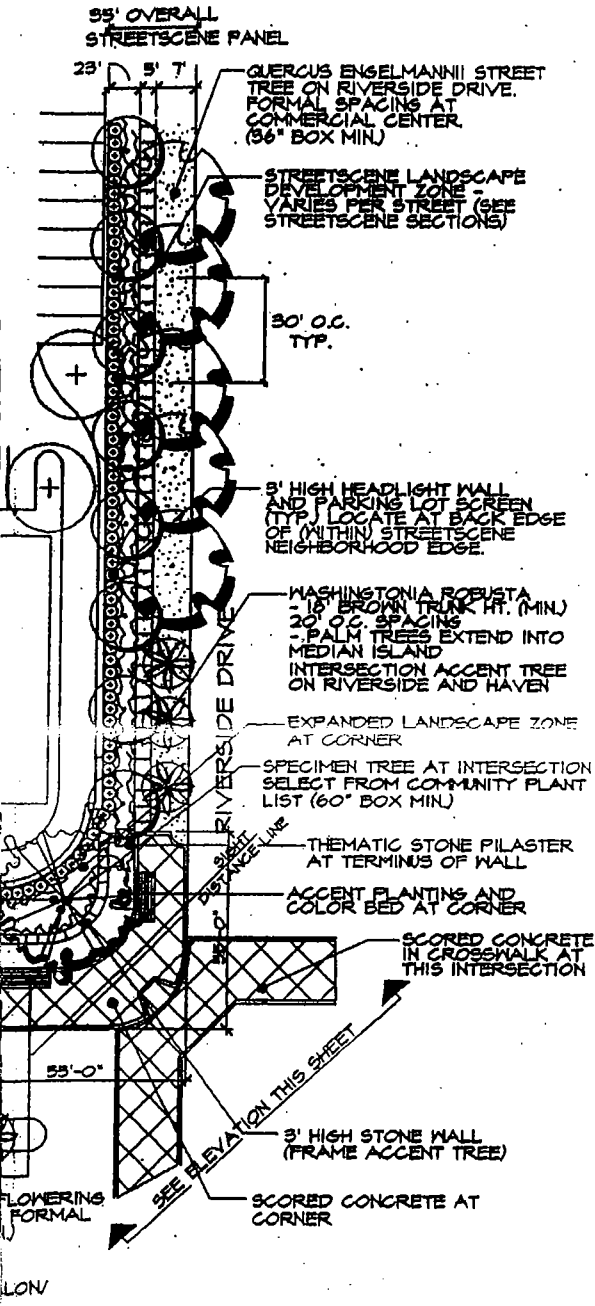
School At Residential Edge

(December 15, 2004)

Exhibit
9-11



PRIMARY MONUMENTATION ELEVATION
 SCALE: N.T.S.



	Community Monumentation Avenue And Riverside Drive	(December 15, 2004) Exhibit 9-12
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- Specimen tree – 60-inch box minimum
- *Washingtonia robusta (Mexican Fan Palm)* with a minimum of 18' brown trunk, planted at twenty feet (20') on center spacing, on both Riverside Drive and Haven Avenue near the intersection.
- Formally spaced street trees, 36-inch box minimum (*beyond intersection*) at 30-feet on center spacing.
- Formally spaced understory trees or flowering trees, 24-inch box minimum at 30-feet on center spacing, behind sidewalk.
- 3-foot high hedge row (*head light wall*) at back of streetscene neighborhood edge.
- The streetscene neighborhood edge adjacent to a commercial land use is built and maintained by the Commercial Builder. (*Commercial area of responsibility extends to streetscene curb*).

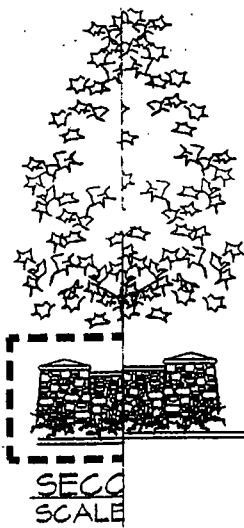
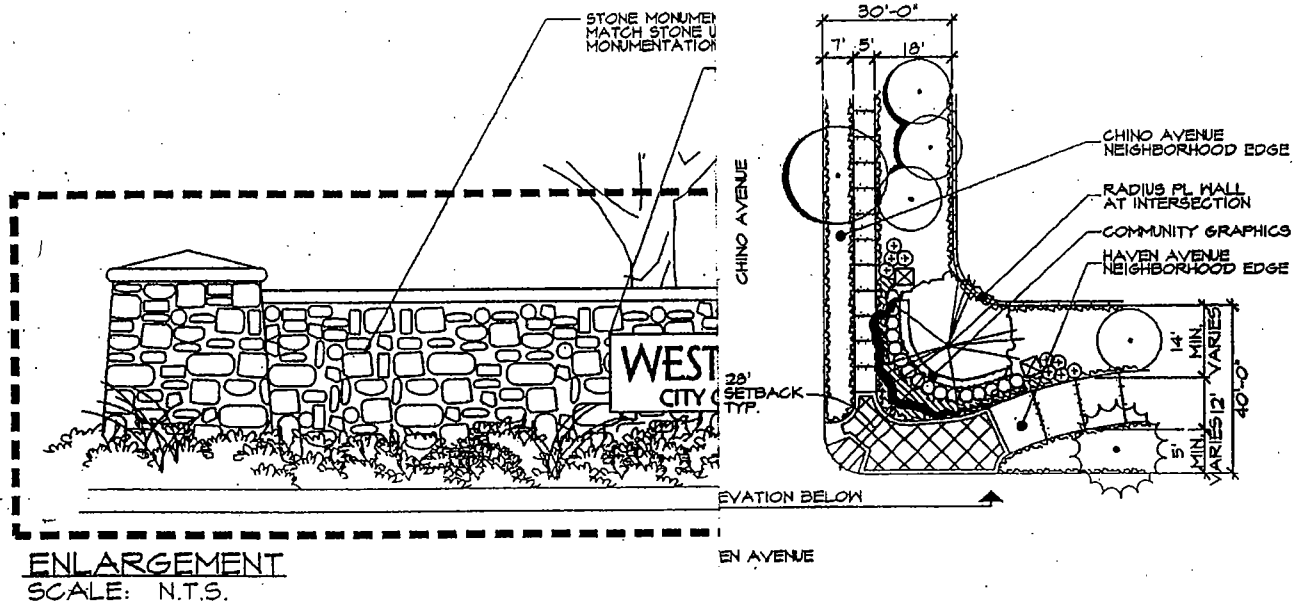
9.2.1(b) Typical Secondary Community Monumentation

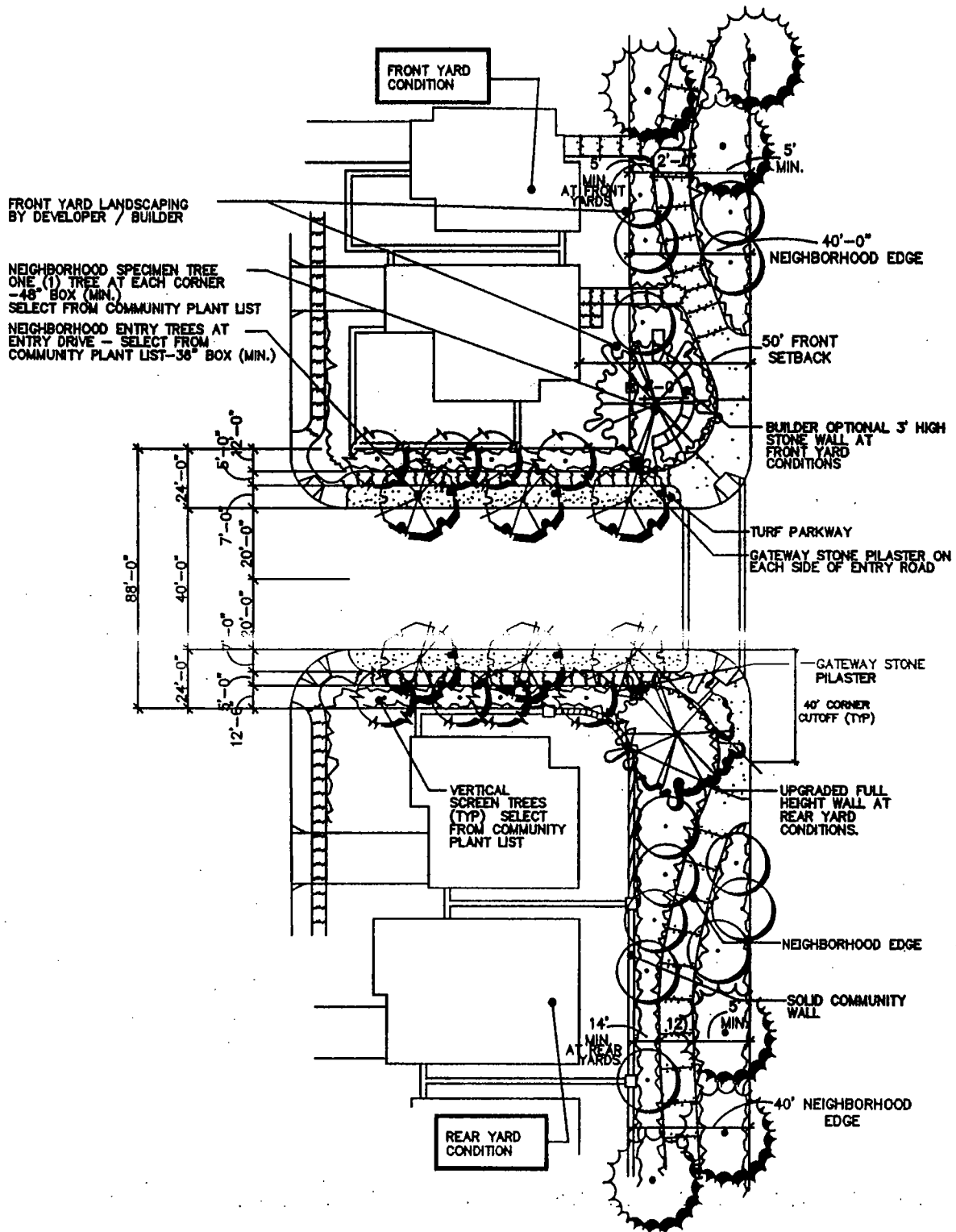
Secondary community monumentation occur at the intersection of Haven and Chino Avenues (*both northwesterly and southwesterly corners* (See **Exhibit 9-13, "Typical Secondary Community Monumentation"**). The secondary community monumentation incorporates some of the major community design elements and features, including a specimen tree, three foot (3') high stone wall and stone pilasters. The secondary community monumentation features the following:

- Three foot (3') high stone thematic wall – 28-foot minimum setback from intersection (See **Exhibit 9-13, "Typical Secondary Community Monumentation"**).
- Gateway stone pilasters.
- Accent scored concrete at intersection.
- Lighted community graphics.
- Specimen trees at each corner – 48-inch box minimum.
- The streetscene neighborhood edge and monumentation are installed by the Builder and are maintained by a Landscape Maintenance District.

9.2.1(c) Typical Neighborhood Entry

Neighborhood Entry Monuments are the final residential iteration of the community monument theme. (See **Exhibit 9-14, "Typical Neighborhood Entry"**). The Neighborhood Entry Monuments are similar in design to the larger community monuments, these are located at the entry to each neighborhood, where the neighborhood streets join to backbone streets. A shortened version of the community theme wall, stone pilasters on either side of the entry road and accent trees impart the sense that each neighborhood is connected to the larger community. The typical neighborhood entry monumentation features the following:





- Gateway stone pilasters each side of the entry road. (See *Exhibit 9-14, "Typical Neighborhood Entry"*).
- Specimen tree at each corner – 48-inch box minimum.
- Special neighborhood entry trees along both sides of entry road, 36-inch box minimum.
- The neighborhood entry panel is installed by the Builder and HOA maintained.

9.2.1(d) Neighborhood Center Entry Feature

Entries into commercial sites are designed and built by the Commercial builder. All commercial entry monumentation and signage are to be placed outside the public right-of-way. All commercial entries shall conform to the City of Ontario standards for commercial/retail. (See *Exhibit 9-15, "Neighborhood Center Commercial Entry"*).

The incorporation of community theming elements, such as the use of stone accents and stone pilasters on entry sign features, is encouraged.

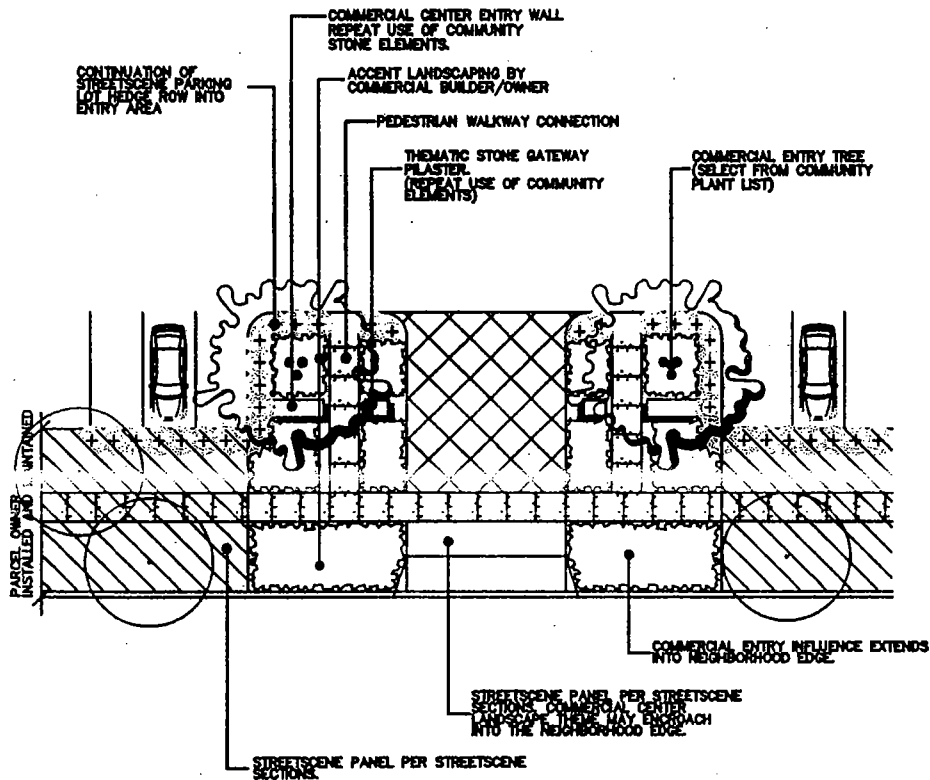
9.2.2 *Walls and Fences - Introduction*

Walls and fences that are used throughout the West Haven Specific Plan provide streetscene theming and delineate property boundaries. (See *Exhibit 9-16, "Community Walls and Fencing - Locations"* and *Exhibit 9-17, "Community Walls and Fencing - Details"*).

9.2.2(a) Residential Fencing

General guidelines for use of residential walls and fences are provided below:

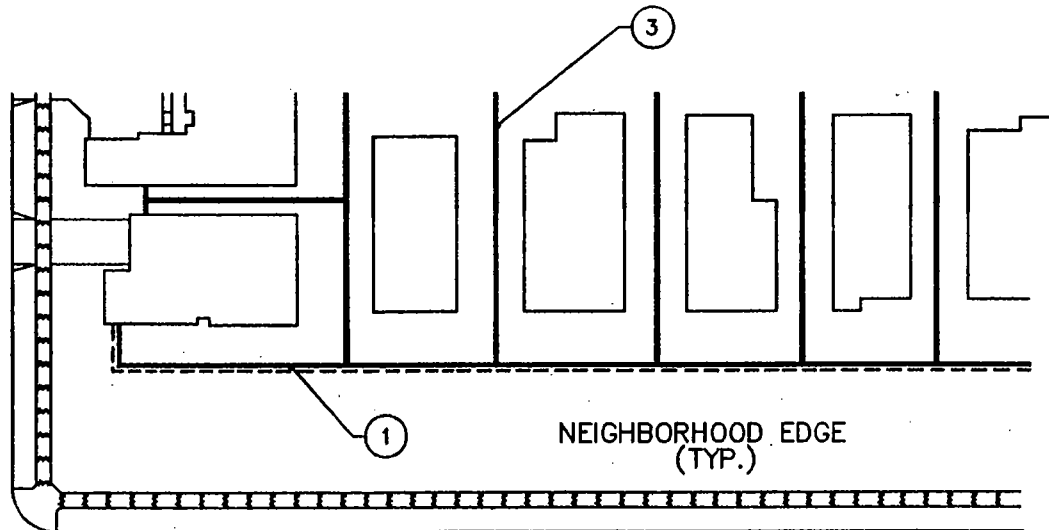
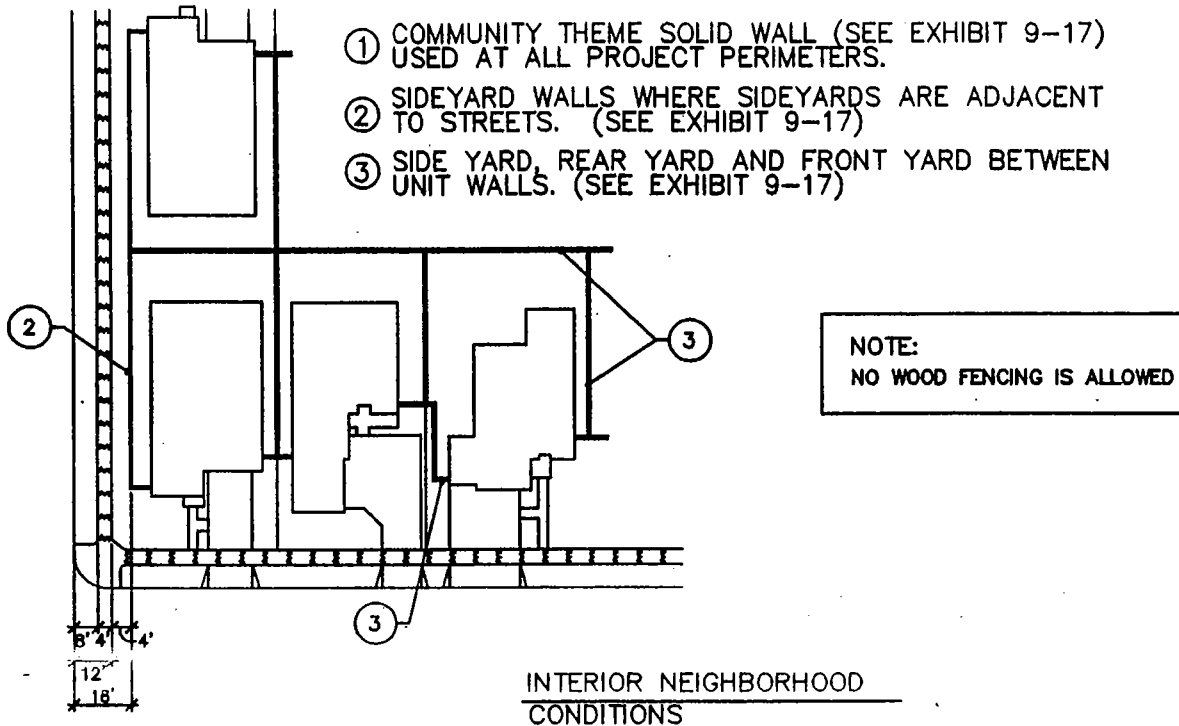
- 6-foot high walls or fences are used to provide privacy for all homes.
- Since West Haven is a flat site, there is not opportunity for the use of any view fencing.
- The block wall along all perimeter edges shall be constructed of 'mission' slump block (or other decorative block) with solid masonry cap. Wall grout shall match block color. (See *Exhibit 9-17, "Community Walls and Fences - Details"*).
- Slump block shall be required on side yards adjacent to streets.



NOTE:
 THIS PLAN IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL SITE PLAN CONFIGURATION WILL CHANGE DURING THE FINAL SITE PLAN PREPARATION.

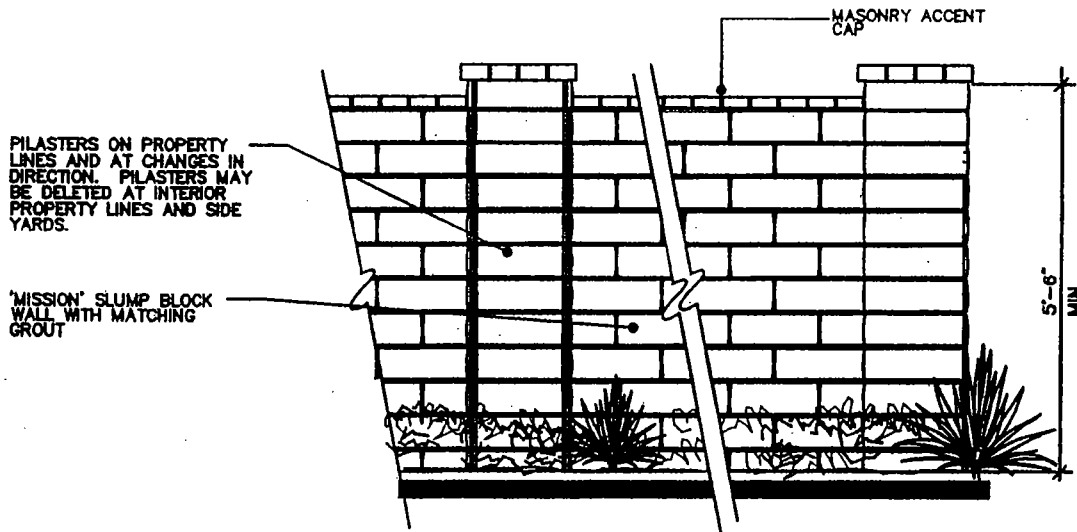
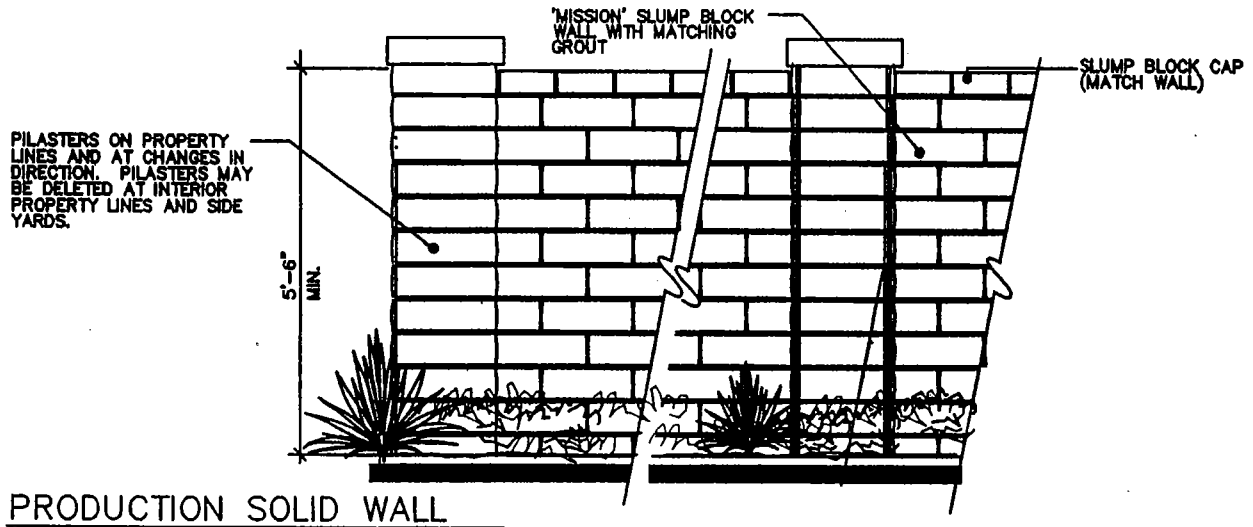
PLAN
 SCALE: N.T.S.

		<p>Neighborhood Center Commercial Entry</p>	<p>December 15, 2009</p>	<p>Exhibit 9-15</p>
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		<p>Community Walls And Fences - Locations</p>	<p>(December 15, 2004)</p>
<p>Prepared by LD KING, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Convention Center Way, Suite 100, Ontario, California 91764-4464 (909) 937-0200, Fax: (909) 937-0202, E-mail: ldking@ldking.com In association with HRP LANDESIGN / MEEKS + PARTNERS / iba.</p>			<p>9-36</p>

Exhibit
 9-16



- A 6-foot high block wall or wrought iron fence shall be used at all residential side yards, rear yards and front yards between house fencing.
- All walls connecting two (2) separate residential houses shall be constructed of the same material and color and shall be compatible with the architecture.
- Front yard fencing higher than thirty inches (30") high shall not extend into the front yard beyond the front elevations of the house. No walls or fences may be erected within the street right-of-way.
- All walls and fencing shall conform to applicable State of California and City of Ontario pool codes, whichever is more stringent.

9.2.2(b) Neighborhood Center Commercial Fencing

General guidelines for walls and screening of service areas are provided below:

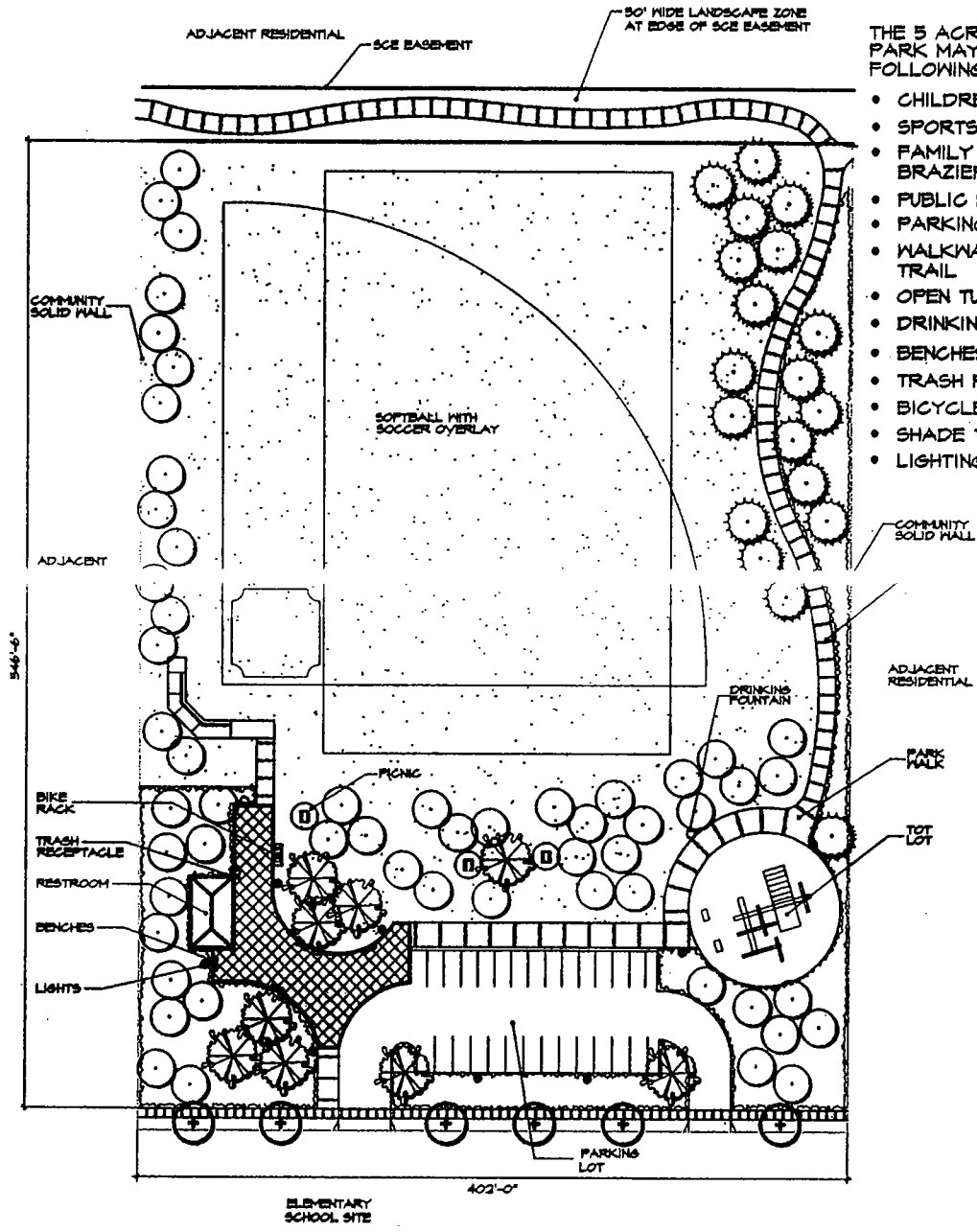
- Trash deposit areas shall be enclosed by a 6-foot minimum height solid wall with service gate. All trash enclosures are to be located out of public view.
- Perimeter walls are allowed on the side and rear of the commercial site and shall match the community solid wall. The wall shall be constructed of 'mission' slump block with solid masonry cap.
- No walls are permitted beyond the front elevation of the commercial building.
- No wood fence, chain link fence, wire fences, plain concrete block walls or grapestake fence is allowed.

9.2.3 *Community Connections and Recreation*

Exhibit 9-1, "West Haven Conceptual Landscape Plan" illustrates the location of the five (5) acre Neighborhood Park, paseos and trails.

9.2.3(a) Five (5) Acre Neighborhood Park

Typically five (5) acre Neighborhood Parks are located adjacent to elementary schools, however, many school districts today, for security purposes, do not favor this arrangement. Most School Districts prefer that the park not be located directly adjacent to the school, and if they are, typically there would be a fence or wall between the two. For these reasons, the five (5) acre Neighborhood Park is located across an interior street, but within close proximity to the school. The park and the elementary school do not share play fields or other facilities. The five (5) acre Neighborhood Park will include some of the following: See ***Exhibit 9-18, "Five Acre Neighborhood Park Concept Plan"***.



THE 5 ACRE NEIGHBORHOOD PARK MAY INCLUDE THE FOLLOWING:

- CHILDREN'S PLAY AREA
- SPORTS FIELD
- FAMILY PICNIC WITH BRAZIER
- PUBLIC RESTROOMS
- PARKING LOT
- WALKWAYS / JOGGING TRAIL
- OPEN TURF AREAS
- DRINKING FOUNTAIN
- BENCHES
- TRASH RECEPTACLES
- BICYCLE PARKING AREA
- SHADE TREES
- LIGHTING

		<p>Five Acre Neighborhood Park Concept Plan</p>	<p>(December 15, 2004)</p> <p>Exhibit 9-18</p>
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- Children's Play Area
- Sports Field
- Family Picnic with Braziers
- Public Restrooms
- Parking Lot
- Walkways/Jogging Trail
- Open Turf Areas
- Drinking Fountain
- Benches
- Trash Receptacles
- Bicycle Parking Area
- Shade Trees
- Lighting

9.2.3(b) Community Connections

One primary design element demonstrated within the West Haven Specific Plan is the principle that communities should support pedestrian movement. This goal is achieved in several ways. First, all streets include a sidewalk or paseo system that is separated from the street by a parkway. Second, greenbelts and pedestrian paseos through the Southern California Edison (SCE) easement and the gas company easement serve to connect neighborhoods to each other and to other community elements.

Sidewalks along the community's backbone streets are separated from vehicular travel by a landscaped parkway. The sidewalk along local neighborhood streets are 5-foot wide with 7-foot wide curbside landscaping. These landscaping widths have been planned to accommodate appropriate street tree planting with concern for or taking into account the health of trees or destruction of the sidewalks by tree roots. Tree root barriers shall be installed adjacent to the edge of sidewalks and curbs when a tree is planted closer than five feet (5') to curbs or sidewalks.

To further encourage walking in the community, a series of greenbelt paseos and trails are planned and continue throughout the community.

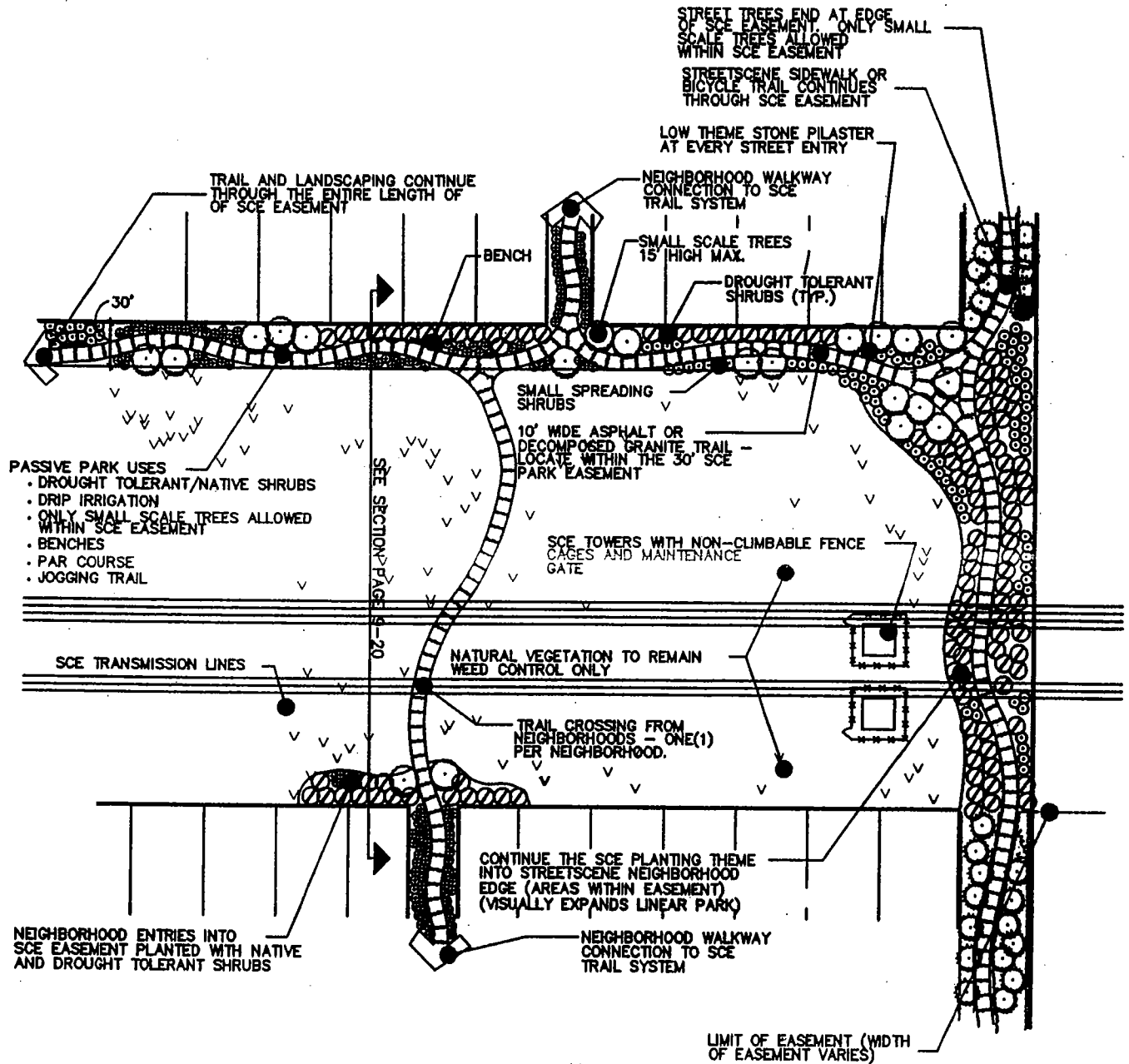
9.2.3(c) SCE Easement Paseo and Linear Parks

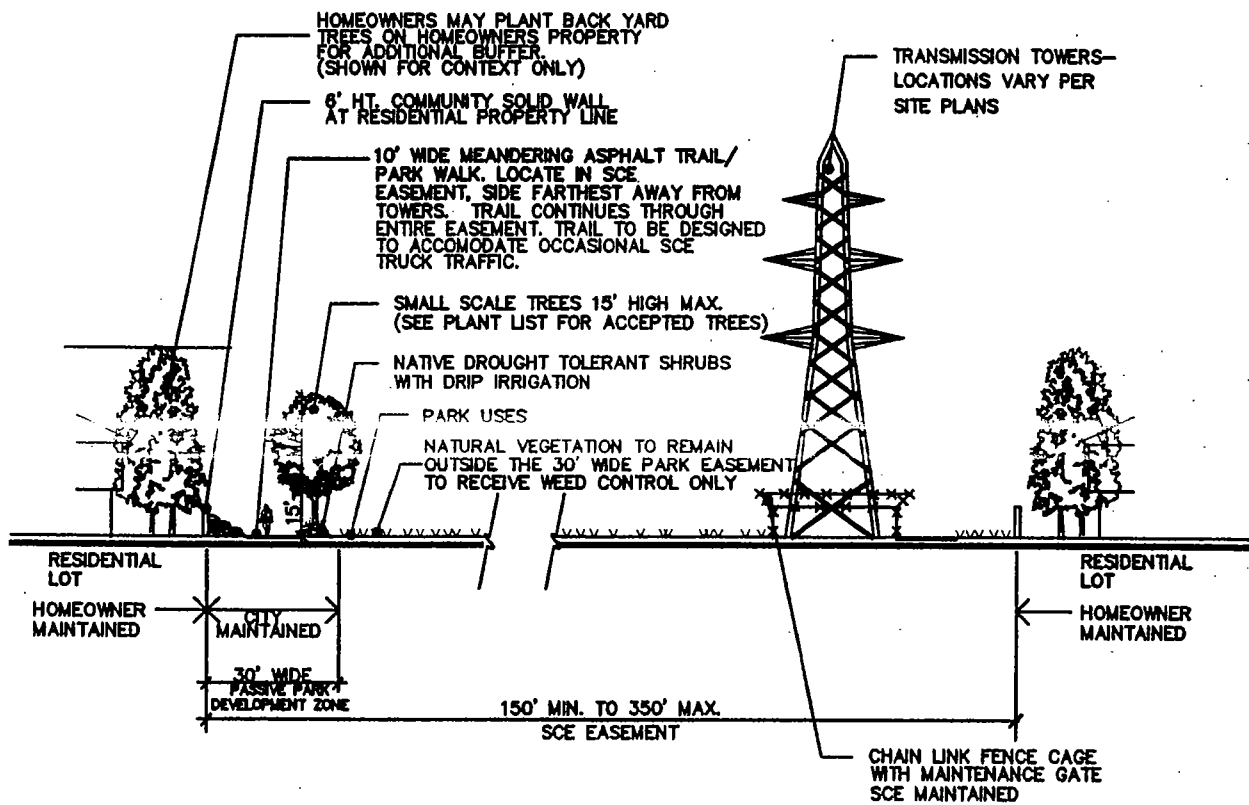
Paseos within the SCE easement serve as the primary pedestrian circulation system throughout the West Haven community. The developer shall be responsible for the construction of paseo and linear park usage on their property for the area on which they have underlying ownership. Paseo connections to neighborhoods are planned to allow residents easy access to the paseo system. Additionally, park uses are planned within the easement to allow those utilizing the SCE paseo system opportunities to better utilize the space. Trees, with a maximum height of fifteen feet (15'), are allowed within the SCE easement, as well as drought tolerant and native shrubs. The SCE Easement paseo and linear parks within the easement feature the following: (Refer to **Exhibit 9-19, "SCE Easement Paseo and Linear Park – Plan View"** and **9-20, "SCE Easement - Paseo and Linear Park Section"**).

- A total of a 30-foot wide paseo and linear park development zone within the SCE Easement.
- 10-foot wide meandering jogging trail (*meanders within the 30-foot wide development zone*).
- Benches.
- Drought tolerant and native shrubs, select from **Table 9-1, "Community Plant List"**.
- Drip or bubbler irrigations.
- Par stations along the Jogging Trail.
- Neighborhood connections to the SCE Easement paseo system.
- All remaining areas within the SCE Easement not within the 30-foot wide park development zone shall receive 'weed control' as part of on-going maintenance.
- All improvements within the SCE easement are to be implemented by the Builder and are LMD maintained.
- Final development plans within the easement require Southern California Edison approval.
- Trees, 15-feet in height, are allowed within the SCE Easement.
- Note: No lighting is allowed within the SCE Easement.

9.2.3(d) Gas Company Easement/Pocket Parks

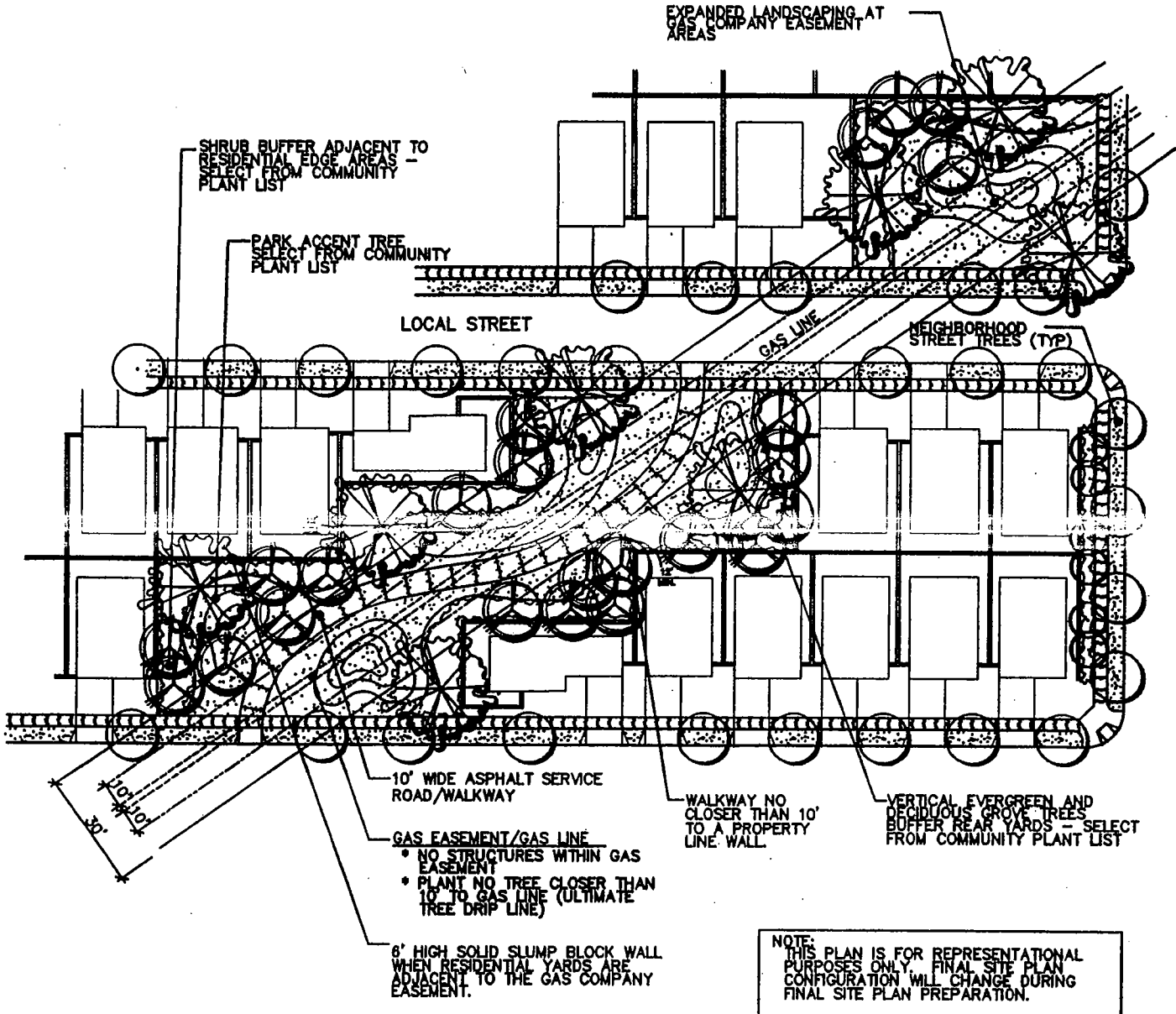
A 30-foot wide existing gas company easement lies within Residential Planning Area 1. Pocket parks are a gas company approved use within their easement. Six foot (6') high community walls (*except at wall returns*) will be utilized at the edge of the easement at residential rear and side yards that are adjacent to the easement. Final lot plotting and wall locations will be further refined during the preparation of the Tentative Map. A ten foot (10') wide service road/pedestrian walkway meanders through the easement with pedestrian walkway connections at neighborhood streets. Pedestrian connections to the SCE easement paseo, as well as a pedestrian walkway connection to adjacent Neighborhood Center are also planned. The pocket parks within and adjacent to the gas company easement will feature the following: (Refer to **Exhibit 9-21, "Typical Pocket Park within Gas Company Easement"** and **Exhibit 9-22, "Gas Easement/Pocket Park Edge"**).





SECTION
 SCALE: N.T.S.

	<p>SCE Easement - Paseo And Linear Park Section</p>	<p>December 15, 2009 Exhibit 9-20</p>
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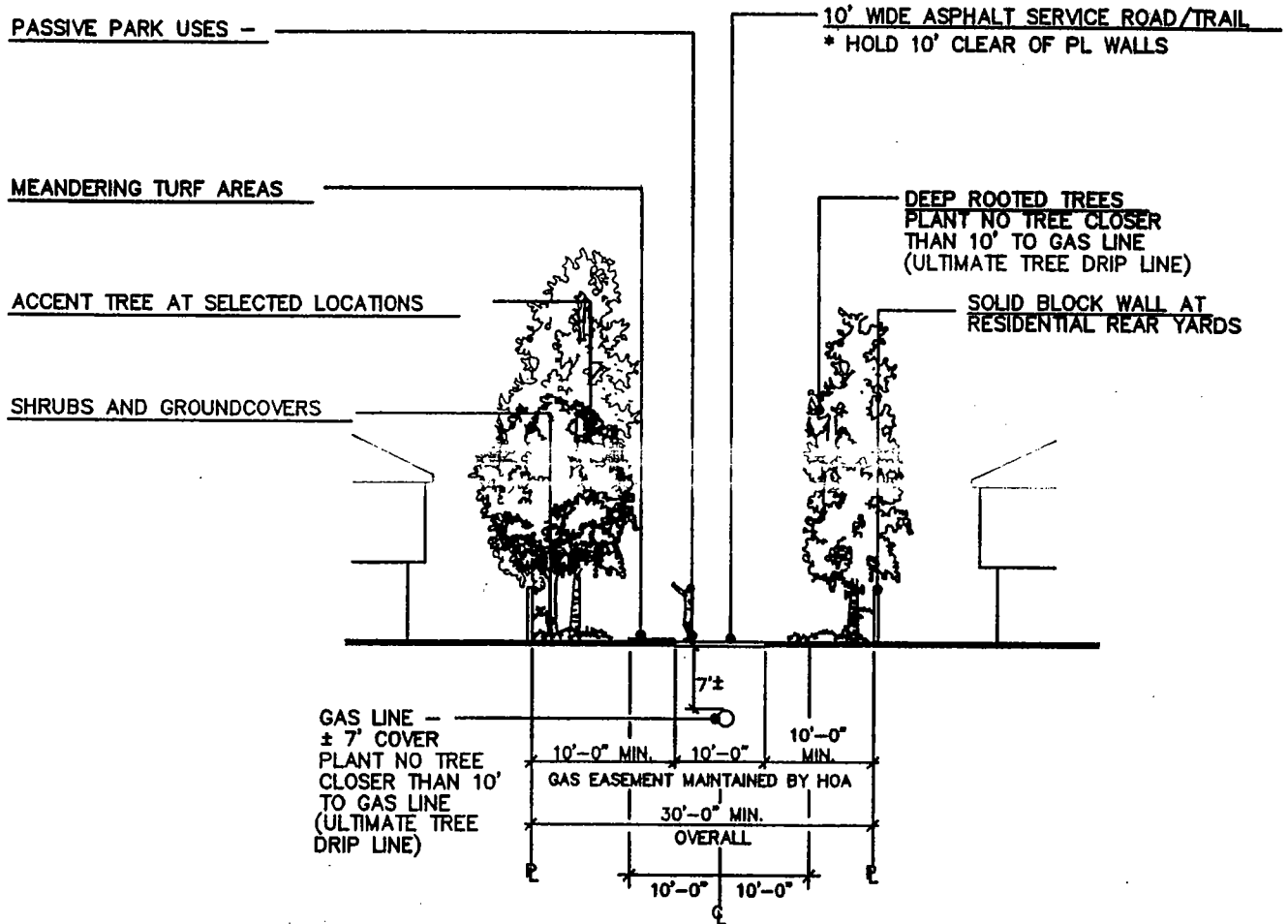


SCALE: N.T.S.



**Typical Pocket Park
 Within Gas Company Easement**

(December 15, 2004)
**Exhibit
 9-21**



SECTION
 SCALE: N.T.S.

 	<h2 style="margin: 0;">Gas Easement / Pocket Park Edge</h2>	<p style="font-size: small;">(December 15, 2004)</p> <h3 style="margin: 0;">Exhibit 9-22</h3>
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- 30-foot wide easement.
- 10-foot wide meandering service road/pedestrian walkway and jogging trail. Walkway no closer than 10-feet to a residential rear or side yard wall.
- Passive park uses.
- Benches
- Turf open play areas.
- 6-foot high community wall at residential property lines.
- Shrub buffer along residential property lines
- No deep rooted trees, select from **Table 9-1, "Community Plant List"**.
- Walkway connections to SCE easement paseo system.
- Walkway connection to the Neighborhood Center planned for Planning Area 2.
- No tree (*ultimate drip line*) shall be any closer than 10-feet to the gas line.
- All improvements within the gas company easement shall be made by the Planning Area builder in which they fall, and shall be professionally maintained by the City or Special District.
- Final Development Plans within the gas company easement require gas company approval.
- Gas Company Easement pocket parks shall count towards required pocket park acreage.

9.2.3(e) Pocket Parks

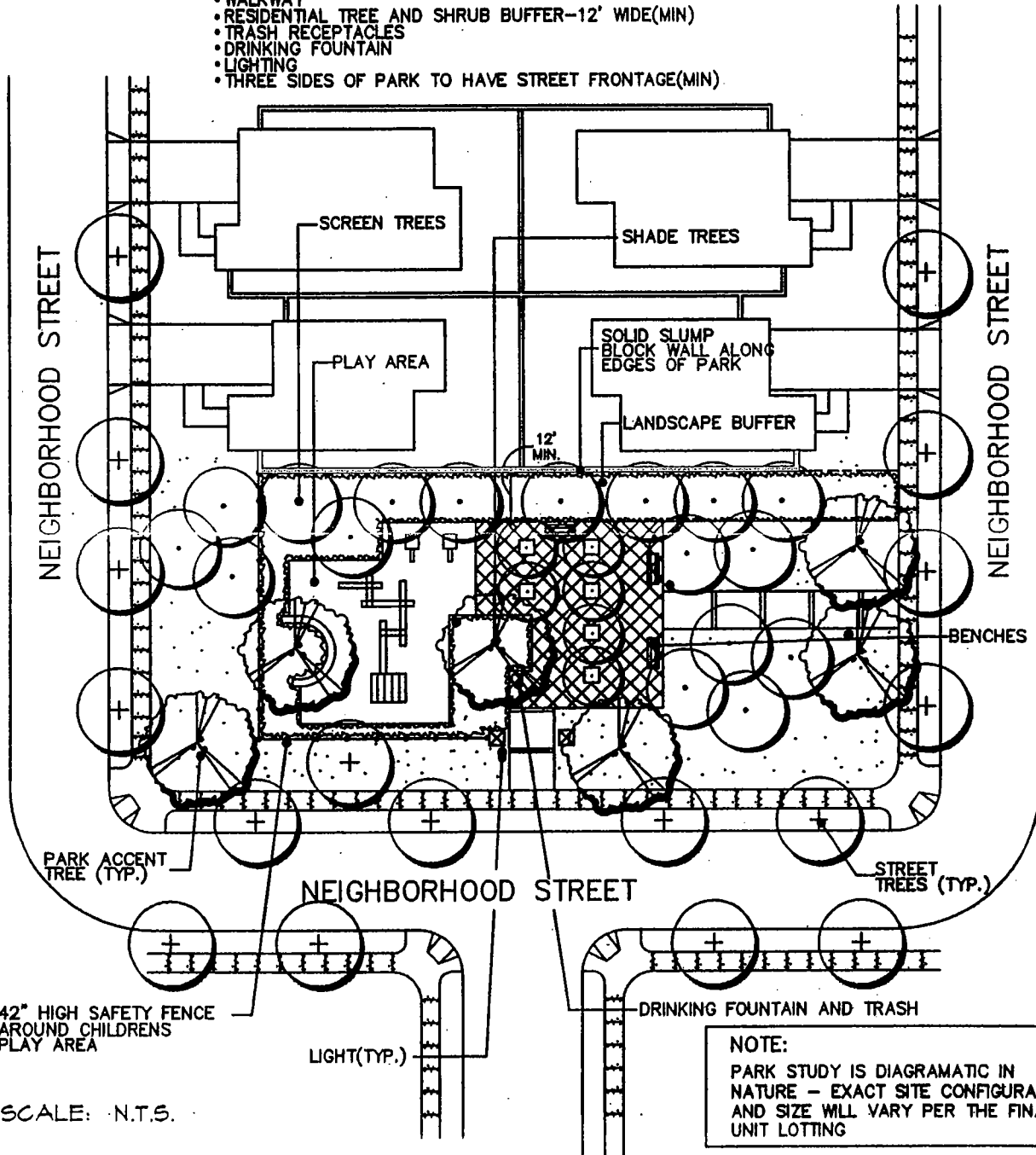
As indicated in the City of Ontario New Model Colony General Plan Amendment, the formula for determining acreage for Pocket Parks indicates for every 250 dwelling units, 2 acres of pocket parks are required. The size and location of the neighborhood pocket parks vary depending on the location and acreage required. As each residential neighborhood is designed, the final acreage, configuration and final locations of pocket parks will be determined.

These pocket parks create open spaces where neighbors can visit near their home. Depending on the intended use, the design of these parks will vary. Some may include tot lot and open play spaces for young children. Some may include facilities designed for more active adults, such as a multi-purpose sports park. Others may be more passive spaces with gardens, seating areas, walkways and open turf areas. Generally, parks planned within a residential parcel should be designed to front on three (3) neighborhood streets. Three possible examples are illustrated in **Exhibit 9-23, "Typical Child Active Pocket Park"**, **Exhibit 9-24, "Typical Passive Pocket Park"** and **Exhibit 9-25, "Typical Adult Active Pocket Park"**. These are very general in nature and should not be interpreted as design plans.

Some pocket parks, at City discretion, may be located within the Gas Company easement. These parks, count towards and more than satisfies the pocket park acreage required for the Planning Areas. The total acreage for the Gas Company easement and pocket park totals approximately 8.8 acres, which more than satisfies the 6.03 acre pocket park requirement, which was calculated as follows:

TYPICAL CHILD ACTIVE PARK MAY INCLUDE:

- TOT-LOT/PLAY AREA
- SAFETY FENCE
- SHADE TREES
- SEATING
- PARK ACCENT TREES
- FAMILY PICNIC AREA
- WALKWAY
- RESIDENTIAL TREE AND SHRUB BUFFER-12' WIDE(MIN)
- TRASH RECEPTACLES
- DRINKING FOUNTAIN
- LIGHTING
- THREE SIDES OF PARK TO HAVE STREET FRONTAGE(MIN)



42" HIGH SAFETY FENCE
 AROUND CHILDRENS
 PLAY AREA

SCALE: N.T.S.

NOTE:
 PARK STUDY IS DIAGRAMATIC IN
 NATURE - EXACT SITE CONFIGURATION
 AND SIZE WILL VARY PER THE FINAL
 UNIT LOTTING



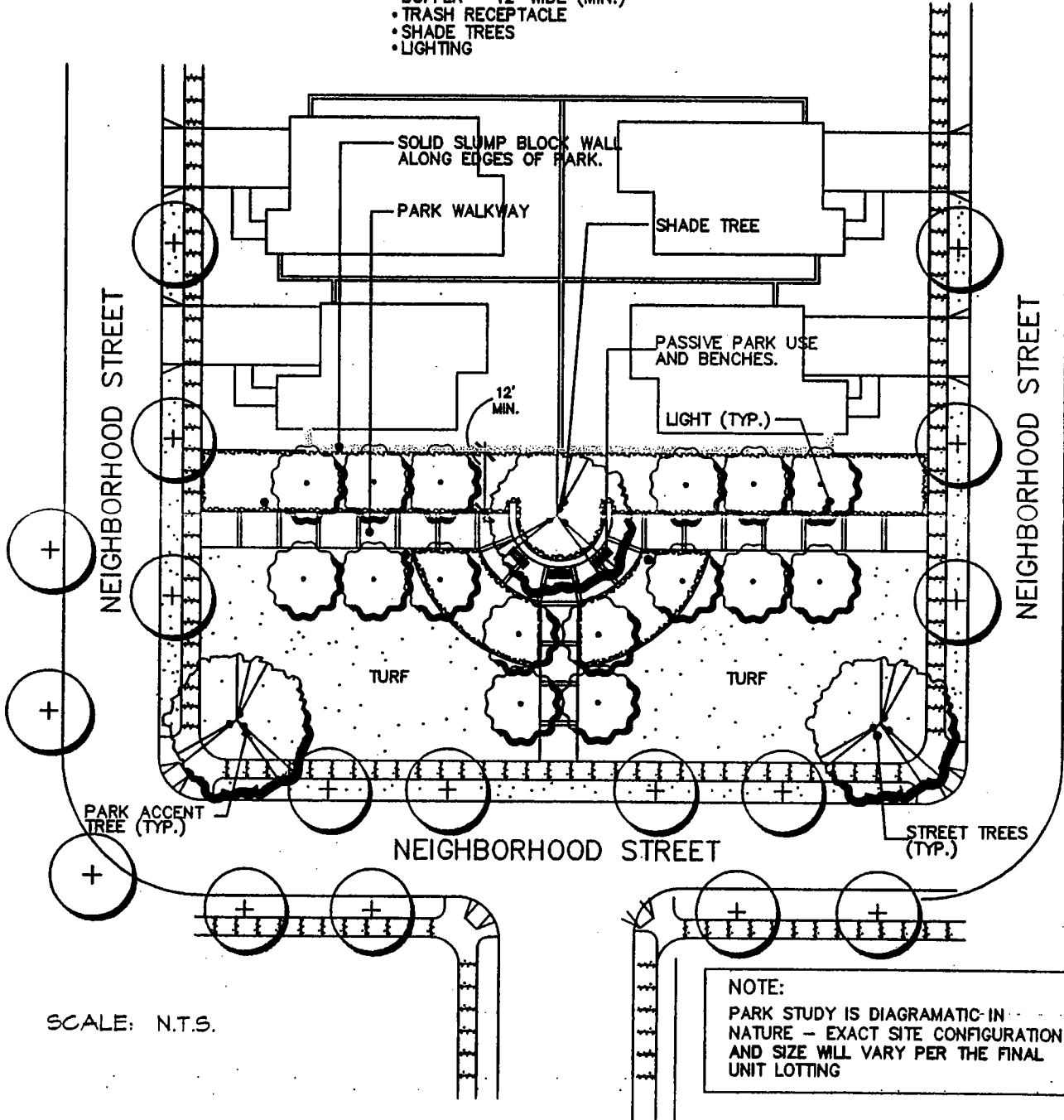
Typical Child Active Pocket Park

(December 15, 2004)

**Exhibit
 9-23**

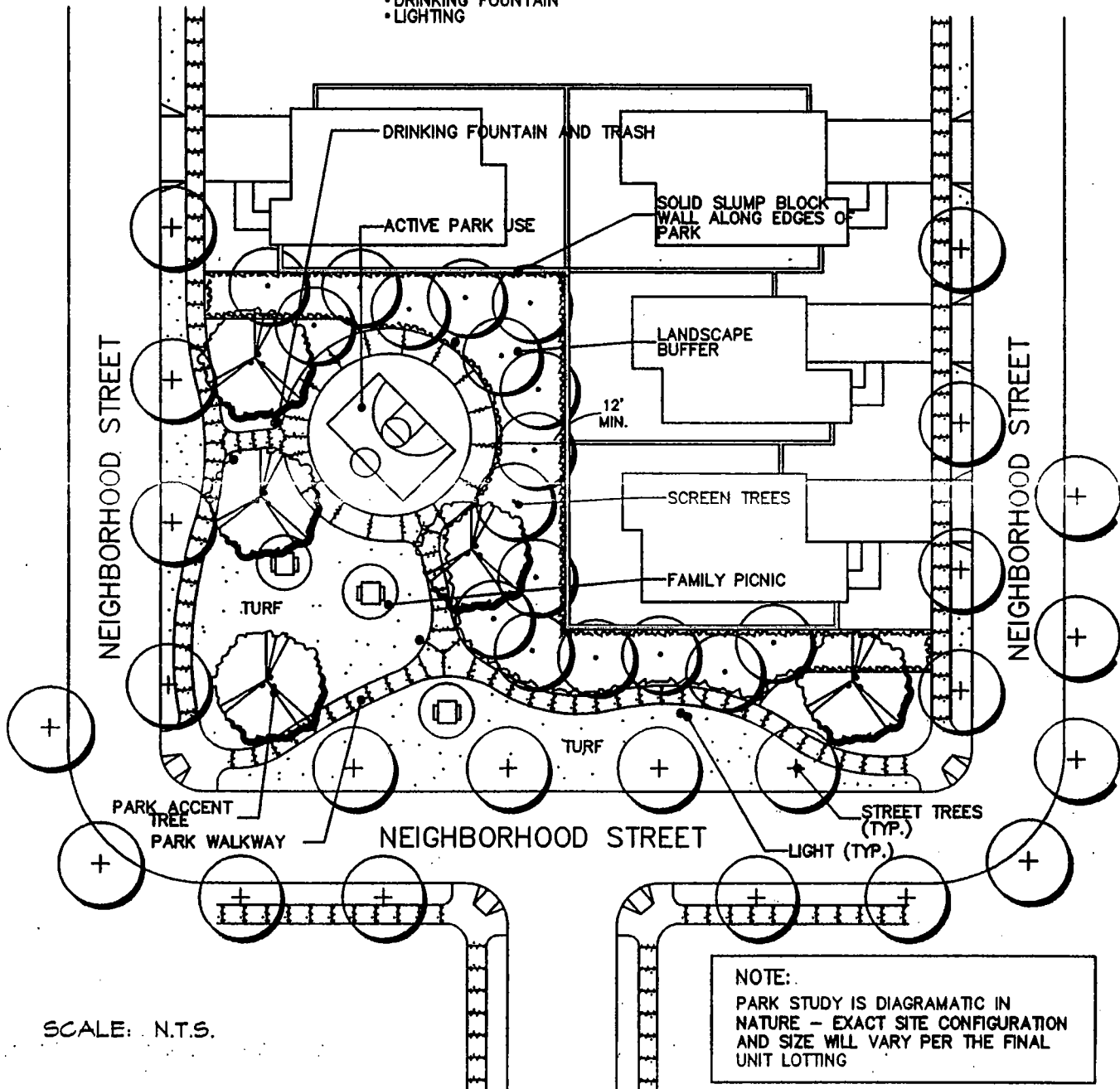
TYPICAL PASSIVE PARK MAY INCLUDE:

- SEATING
- GARDEN
- WALKWAY
- OPEN TURF AREA
- PARK ACCENT TREES
- TREE AND SHRUB RESIDENTIAL BUFFER - 12' WIDE (MIN.)
- TRASH RECEPTACLE
- SHADE TREES
- LIGHTING



TYPICAL PASSIVE PARK MAY INCLUDE:

- SEATING
- GARDEN
- WALKWAY
- OPEN TURF AREA
- PARK ACCENT TREES
- TREE AND SHRUB RESIDENTIAL BUFFER-12' WIDE(MIN.)
- TRASH RECEPTACLE
- SHADE TREES
- DRINKING FOUNTAIN
- LIGHTING



SCALE: N.T.S.

NOTE:
 PARK STUDY IS DIAGRAMATIC IN NATURE - EXACT SITE CONFIGURATION AND SIZE WILL VARY PER THE FINAL UNIT LOTTING

		<h3>Typical Adult Active Pocket Park</h3>	(December 15, 2004) Exhibit 9-25
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What follows is the calculated pocket park acreage required for each Planning Area:

Planning Area 1:

- 177 Dwelling Units ($177 / 250 \text{ du} \times 2.0 \text{ ac} = 1.42 \text{ acres of pocket parks}$)

Planning Area 2:

- Neighborhood Center Commercial (*no park requirements*)

Planning Area 3:

- 92 Dwelling Units ($92 / 250 \text{ du} \times 2 \text{ ac} = .74 \text{ acres of pocket parks}$)

Planning Area 4:

- 96 Dwelling Units ($96 / 250 \text{ du} \times 2 \text{ ac} = .77 \text{ acres of pocket parks}$)

Planning Area 5:

- 145 Dwelling Units ($145 / 250 \text{ du} \times 2 \text{ ac} = 1.16 \text{ acres of pocket parks}$)

Planning Area 6:

- 5 Acre Neighborhood Park

Planning Area 7:

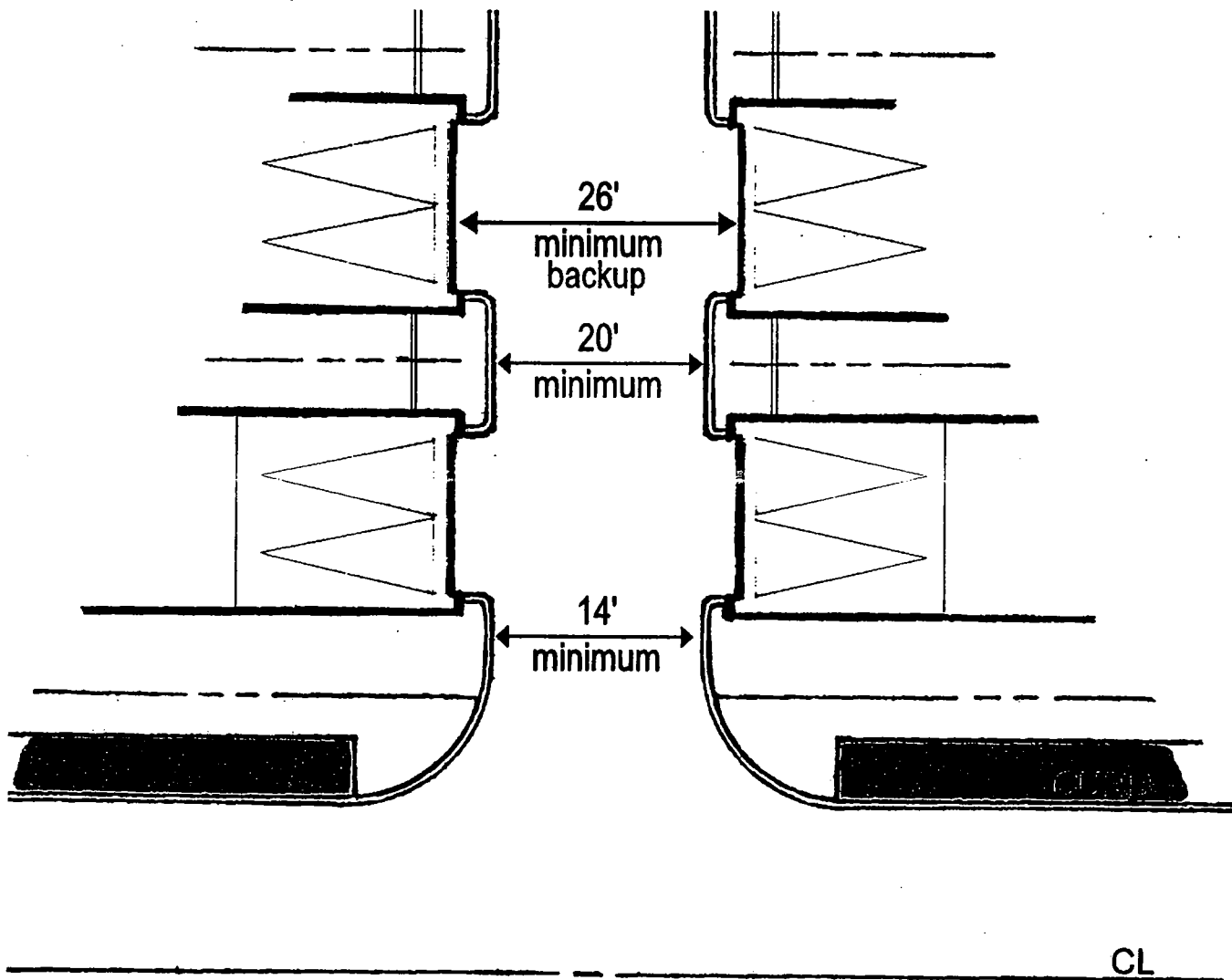
- 10 Acre School Site (*no park requirements*).


Planning Area 8:

- 100 Dwelling Units ($100 / 250 \text{ du} \times 2 \text{ ac} = .80 \text{ acres of pocket parks}$)

Planning Area 9:

- 143 Dwelling Units ($143 / 250 \text{ du} \times 2 \text{ ac} = 1.14 \text{ acres of pocket parks}$)
- Total acreage of Pocket Park Requirement – 6.03 Acres



 <p>NORTH</p>	<p>LDKING Not to Scale</p>	<p>Alley Concept</p>	<p>December 15, 2009 Exhibit 10-5</p>
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10.6 Neighborhood Center Commercial Development Standards

10.6.1 Neighborhood Center Commercial Designation Intent and Purpose

The Neighborhood Center Commercial Land Use Designation is intended to provide necessary retail, office and service uses in close proximity to residents within the West Haven Specific Plan area as well as surrounding neighborhoods and developments. It accommodates proposed small-scale commercial centers that introduce minimal impacts on residential neighborhoods, and as far as feasible are integrated with adjacent uses. More specifically, the purpose of this designation is as follows:

1. Development within the Neighborhood Center Commercial Land Use Designation should conveniently meet day-to-day service and shopping needs of local residents.
2. Development within the Neighborhood Center Commercial Land Use Designation should complement and not degrade the nearby residential neighborhoods.
3. Development within the Neighborhood Center Commercial Land Use Designation should promote pedestrian linkages with adjacent residential uses, including an enhanced street environment.
4. Development within the Neighborhood Center Commercial Land Use Designation should incorporate modestly scaled outdoor spaces that support informal gatherings.

10.6.2 Neighborhood Center Commercial: Permitted and Conditional Uses

Table 10-2, "Neighborhood Center Commercial: Permitted and Conditional Uses" shows permitted (P) and conditional (C) or temporary (T) uses within the Neighborhood Center Commercial Area. The term "permitted" means that the use is allowed, provided all other requirements are met. The terms "conditional" and "temporary" mean that the Zoning Administrator (within existing buildings) or the Planning Commission (for new construction) must first grant a Conditional or Temporary Use Permit.

**Table 10-2 Neighborhood Center Commercial:
 Permitted and Conditional Uses**

Commercial Uses	Permit Type
Bars and cocktail lounges	C
Eating establishments and restaurants: With outdoor seating, With alcohol sales, With drive-thru.	P C C
Finance services including banks, savings and loans, credit services With drive-thru.	P C
Finance, insurance and real estate services, including security and commodity brokers and dealers, insurance and real estate agents and brokers, not including banks, savings and loans and credit services.	P
Food stores, including supermarkets, meat and fish, fruit and vegetable stores, candy stores, health food stores, catering establishments and similar establishments, specialty food such as coffee houses, delicatessens and similar establishments.	P
Food stores, convenience: With alcoholic beverage sales.	P C
Furniture and home furnishing retail sales, including household appliances, electronic equipment and office furniture.	P
General merchandise retail including variety stores, dry goods stores, but excluding discount stores, vending machine operators and direct selling organizations.	P
Health clubs and gymnasiums (use in excess of 5,000 square feet requires CUP.)	P/C
Indoor recreation including ice and roller skating rinks and bowling alleys.	C
Personal services including clothes laundering, photographic services, barber and beauty services, dry cleaning and shoe repairs, but excluding industrial laundering and funeral parlors.	P
Professional services including medical and health offices and clinics, engineering and design services, legal and counseling services, but excluding laboratories, hospitals, sanitariums and rest homes.	P
Retail Sales (miscellaneous trade, including newspapers and magazines, books, gifts, stationery, florists, camera and photo supplies, optical goods and similar establishments.)	P

Public and Quasi-Public Uses	Permit Type
Churches and other religious institutions	C
Community-serving centers and facilities, including daycare and senior, recreation and teen centers.	C
Cultural facilities including libraries and art galleries.	P
Semipublic facilities and institutions not providing sleeping accommodations including the following: Non-profit social service organizations, Philanthropic and charitable institutions, Private clubs and lodges.	P P C
University, college, community college and professional schools (except truck driving schools).	C
Temporary Uses (subject to the "Temporary Use Provisions" of the City of Ontario Development Code.)	Permit Type
Outdoor display and sales of merchandise, subject to temporary use provisions of City of Ontario Development Code.	T
Other Uses	Permit Type
Other uses which, in the judgment of the Zoning Administrator as evidenced by resolution in writing, are similar to and no more objectionable than any of the uses set forth in this section.	

10.6.3 Development Standards

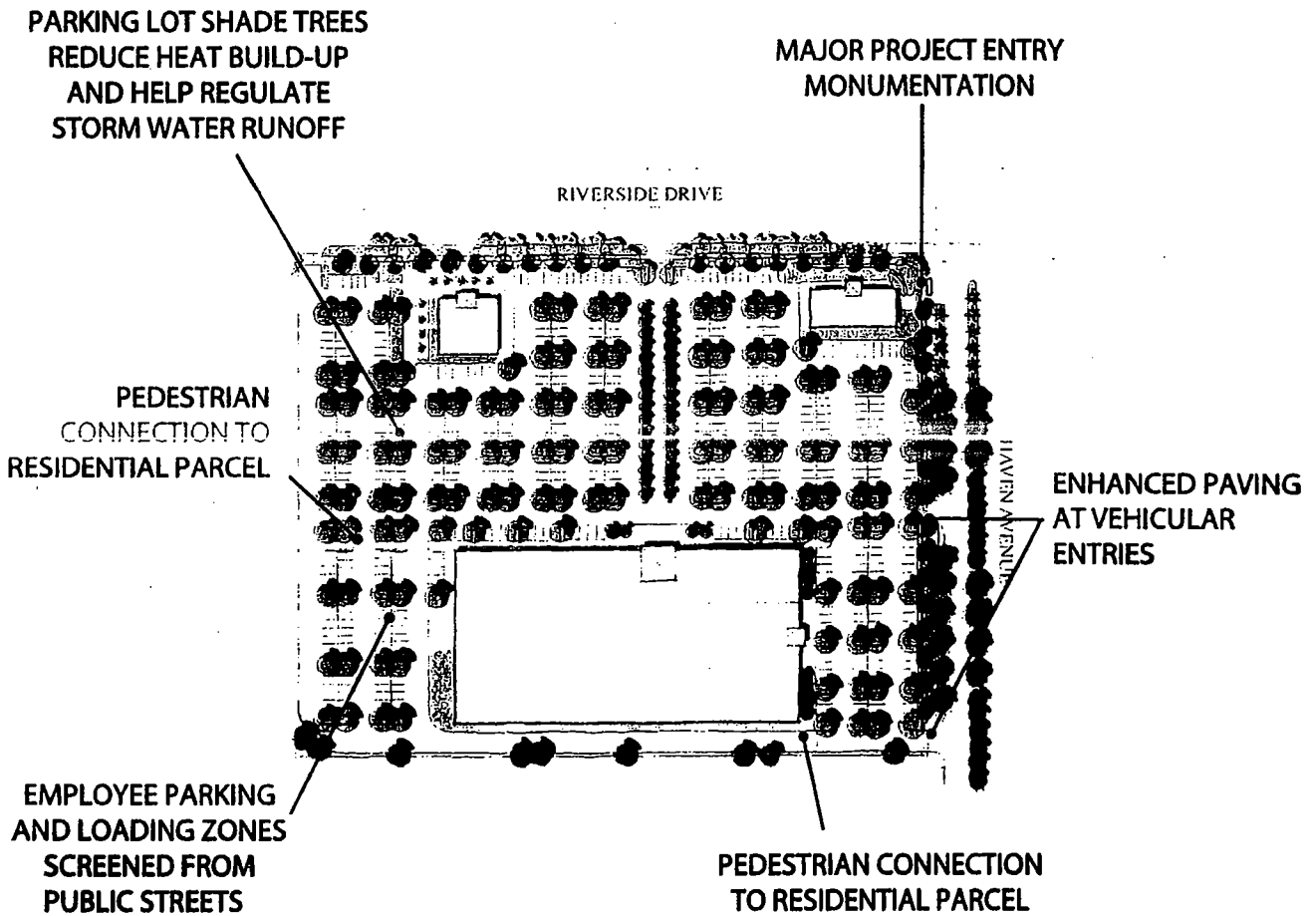
The following standards are applicable to all development projects within the Neighborhood Center Commercial Land Use Designation of the West Haven Specific Plan. Unless otherwise specified below; development projects shall meet the standards and requirements of the City of Ontario Development Code for Neighborhood Commercial projects.

Exhibit 10-6, "Neighborhood Center Commercial Site Planning Concept" presents a concept site plan for Neighborhood Center Commercial development. Please note that final site plans must meet the development standards and design guidelines contained herein.

10.6.3(a) Lot Dimensions

All lots shall be large enough to accommodate the intended use; the minimum lot requirements for a development are as follows:

1. Minimum Lot Area: 1 acre.



LDKING

**Neighborhood Center Commercial
Site Planning Concept**

(December 15, 2004)

**Exhibit
10-6**

2. Minimum Lot Width: 100 feet.
3. Minimum Lot Depth: 100 feet.
4. Each lot shall meet the standards and guidelines contained herein, except that lots may share vehicular access and drive aisles, and the Planning Commission may further approve arrangements involving shared parking and open space, provided that the proposed development for an individual lot conforms with an approved master plan for the Neighborhood Center commercial development area.

10.6.3(b) Building Envelope

1. Floor Area Ratio (FAR): The floor area ratio shall not exceed 0.50.
2. Setback from the Public Street: A minimum setback of 25 feet is required from a property line adjacent to a street, except that any portion of a building exceeding 30 feet in height shall be setback 35 feet from a property line adjacent to a street.
3. Setback from an Interior Lot Line: A minimum setback of 0 feet is required from an interior lot line adjacent to commercial use. A minimum setback of 40 feet is required from an interior lot line adjacent to residential use.
4. Permitted Encroachments: Canopies, awnings and similar features may encroach a maximum of 4 feet upon a required setback. Cornices, eaves, and similar architectural features may encroach a maximum of 30 inches upon a required setback and/or required plaza space, but not upon a public right-of-way.
5. Building Height: The maximum allowable height shall be 40 feet, except that minor architectural features such as clock towers and cupolas may exceed the allowable height by a maximum of 10 additional feet, provided that these features do not exceed 15% of the total building footprint and are not located within 50 feet of a residential property.
 - a. Building Separation: The minimum distance between structures shall be 10 feet.

10.6.3(c) Access & Parking Facilities

1. Parking facilities shall be setback a minimum of 5 feet from an interior lot line shared with a residential use. Parking facilities shall maintain required neighborhood edges (reference *Exhibit 9-4, "Haven Avenue Streetscene At Neighborhood Center Commercial," Exhibit*

9-10, "Neighborhood Center at Residential Edge," and Exhibit 9-12, "Major Community Monumentation At Haven Avenue And Riverside Drive."

2. Parking facilities, including drive aisles, shall be setback a minimum of 10 feet from the building. The intervening space shall consist of attractive landscape treatment; this may include connecting paths and walkways, as well as decorative paving and hardscape associated with appropriately sited and useable outdoor spaces.
3. Parking areas shall be substantially screened to a height of 36 inches, so that their visibility from streets and residential areas is minimized. Screening may utilize plants, earth berming, low screen walls, or a combination of these screening techniques.
4. Access and parking facilities shall otherwise comply with the requirements of the City of Ontario Development Code, including requirements for parking stall and aisle dimensions.

10.6.3(d) Parking Ratios

The required number of parking spaces shall be in accordance with the City of Ontario Development Code. However, the Planning Commission may approve the following exceptions, based on the findings of a parking study:

1. A 20 percent reduction in the minimum number of required parking spaces so as to accommodate otherwise permitted uses, such as restaurants and eating establishments; this recognizes the opportunity for residents and employees within and adjacent to the West Haven Specific Plan area to conveniently walk to these establishments.
2. Shared parking between adjacent lots and uses may be permissible, subject to a shared parking study and approval of the Planning Commission.

10.6.3(e) Service Facilities

Service facilities shall be setback a minimum of 10 feet from a property line adjacent to a local street and an interior lot line shared with a residential use. Service facilities shall also maintain required neighborhood edges for collectors, arterials, etc.

1. Service and loading facilities, including refuse collection facilities, shall be setback a minimum of 10 feet from a property line adjacent a local street and an interior lot line shared with a residential use. The intervening space between a residential use and service or loading facilities shall be

Haven Specific Plan's residential signage. The following sign standards are applicable to all Neighborhood Center commercial development projects within the West Haven Specific Plan area. (Standards not addressed below are subject to the requirements of Article 31 of the City's Development Code, see Table 31-4, "Permitted Signs in the NC Commercial Zone.") It should be noted that the photographs illustrated on **Exhibit 10-7, "Neighborhood Center Commercial Architectural Signage"** are respective of Neighborhood Center commercial signage alternatives envisioned for the West Haven Specific Plan. Currently, the property is not under the control of a commercial developer. Once a commercial developer controls the property, a more comprehensive signage program will be established.

Project Identification Signs: The Neighborhood Center commercial development shall be permitted two (2) project identification signs (*one per street frontage*) subject to the following standards:

1. Sign Type: monument
2. Maximum Total Sign Face Area: 28 square feet of sign area
3. Maximum Height: 6 feet

Tenant Identification Signs: Each tenant shall be permitted one (1) tenant identification sign per elevation, not to exceed three (3) tenant identification signs, subject to the following standards:

1. Sign Type: wall sign; individual channel letters required. Internally illuminated cabinet signs, painted signs, as well as paper and cloth signs are not permitted.
2. Maximum Sign Face Area: each applicable tenant frontage shall be permitted one sign up to 65% of the store's linear frontage, not to exceed 25 square feet.
3. Maximum Letter Height: 24"

Pedestrian-oriented Signs: In addition to the tenant identification sign described above, each tenant shall be permitted one (1) pedestrian-oriented sign (*also identifying the tenant*) in the form of a hanging, projecting, awning or window sign along a sidewalk or pedestrian walkway; the pedestrian-oriented sign shall not exceed 5 square feet.

Design Guidelines: All commercial signage shall substantially comply with the applicable Design Guidelines provided with this Specific Plan.

10.6.3(j) **Lighting**

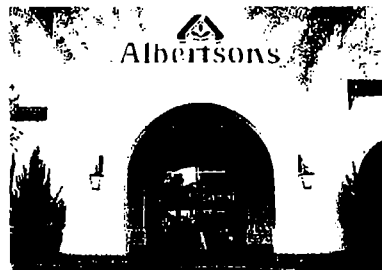
Exterior light standards placed in planters located within or adjacent to parking areas shall be spaced so that there is no conflict with parking lot trees.



Spanish Colonial Neighborhood Center Alternative



American Farmhouse Signage Alternative



Wall Signage Alternative



Monument Signage Alternative



Wall and Pedestrian Signage Alternatives



NORTH

LD KING

Not to Scale

Neighborhood Center Commercial Architectural Signage

December 15, 2009

Exhibit
10-7

1. Exterior light fixtures placed in planters located within or adjacent parking areas shall be set back from the face of the curb to allow for car overhang distances.
2. Lighting equipment (*i.e., transformers, ballast boxes*) shall be located in planter areas and screened from public view.

10.6.3(k) Streetscapes and Pedestrian Walkways

1. Decorative paving treatments shall be incorporated where vehicular drive aisles and concentrated pedestrian circulation meet. Vehicular points of ingress and egress shall clearly designate pedestrian crossings, and the design of medians shall not restrict or impede pedestrian circulation.
2. Reference ***Exhibit 9-1, "West Haven Conceptual Landscape Plan"*** for cross section locations applicable to streets and pedestrian walkways within the Neighborhood Center Commercial development area.

Section II. Implementation

11.1 Introduction

The provisions contained herein are intended to regulate development within the West Haven Specific Plan community. These regulations provide for the development of uses described in the West Haven Specific Plan.

11.2 Phasing Concept

Phasing of the West Haven Specific Plan will meet the following objectives:

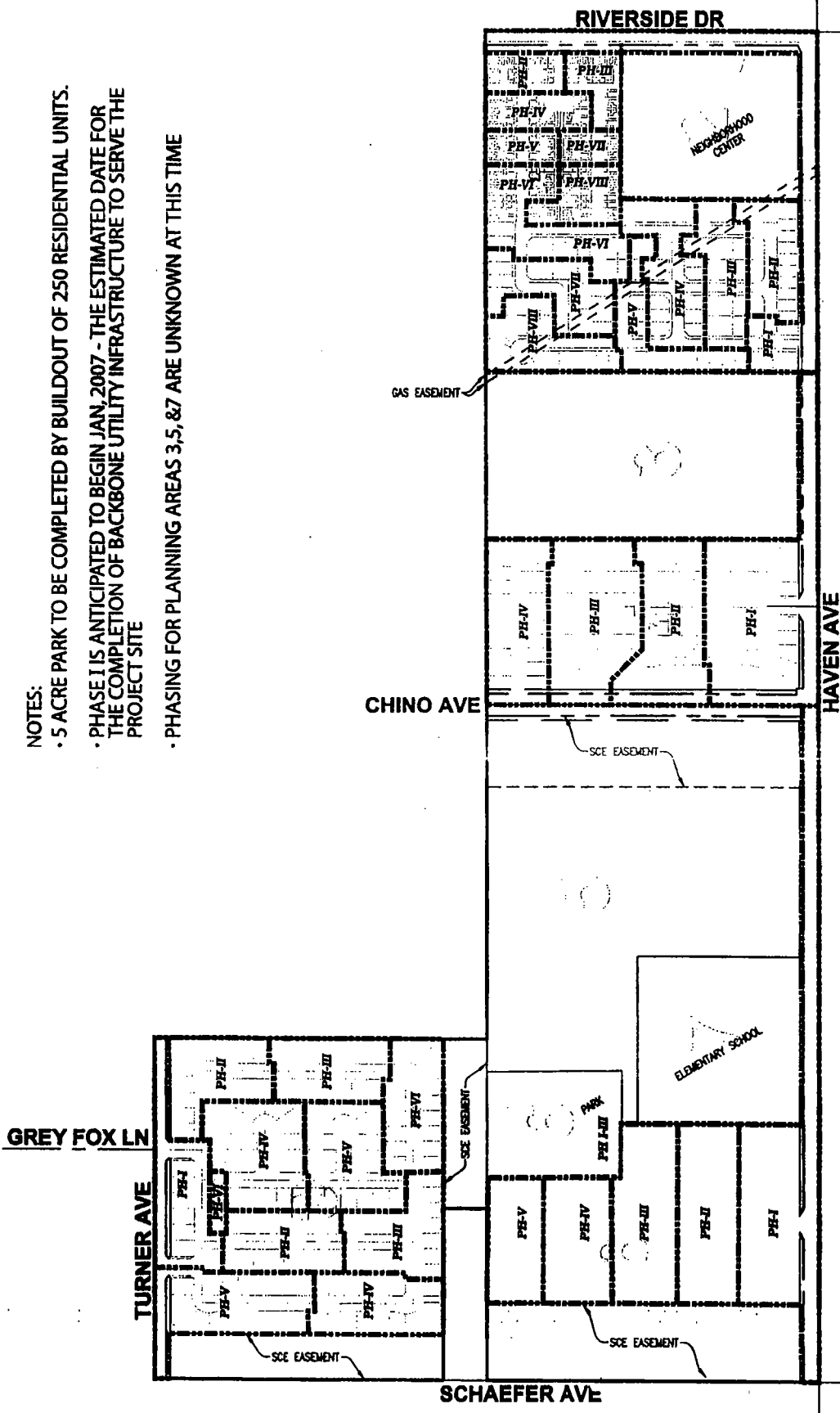
- The orderly build-out of the mixed-use community based upon market and economic conditions.
- The provision of adequate infrastructure and public facilities concurrent with development of each phase.
- The protection of public health, safety and welfare.

Development phasing within the West Haven Specific Plan will be determined by the various developers based upon real estate market conditions. Phasing will occur as appropriate levels of infrastructure, community facilities and open space dedications are provided. Phasing sequencing is subject to change over time to respond to these various factors and individual phases may overlap or develop concurrently. Development will be implemented through the approval, by the City, of Tentative Tract / parcel maps, conditional and permitted development plan permits.

The concept phasing is intended to provide flexibility to address the multiple ownerships, which to this date have not been organized into a single development entity. There is the possibility that all land use areas, within the Specific Plan Project site, will not be developed concurrently. The phasing concept addresses the lack of control over these properties by incorporating the uncontrolled properties into the last phase of development and creating an interim street and permanent utility improvements to serve the Planning Areas, which are developed first.

Contingent upon backbone utility availability, development of the current developer controlled Land Use Areas (1, 2, 4, 5, 8 and 9) shall not be dependent on the acquisition of, or concurrent development of the uncontrolled properties. If a Residential Planning Area cannot be developed, the development that is permitted will provide viable, future utility and circulation connections to the undeveloped properties, as necessary. This same consideration shall apply to the development of the Neighborhood Center commercial Planning Area and the school site. By designing areas to be initially developed to accommodate future development, compliance with the goals and objectives of the Specific Plan will be assured.

- NOTES:
- 5 ACRE PARK TO BE COMPLETED BY BUILDOUT OF 250 RESIDENTIAL UNITS.
 - PHASE I IS ANTICIPATED TO BEGIN JAN, 2007 - THE ESTIMATED DATE FOR THE COMPLETION OF BACKBONE UTILITY INFRASTRUCTURE TO SERVE THE PROJECT SITE
 - PHASING FOR PLANNING AREAS 3,5, &7 ARE UNKNOWN AT THIS TIME



Concept Phasing Plan

December 15, 2004
 Exhibit
 11-1

Prepared by LD KING, INC. ENGINEERS/PLANNERS/SURVEYORS 2151 Convention Center Way, Suite 100, Ontario, California 91764-4464 (909) 937-0200, Fax: (909) 937-0202, E-mail: ldking@ldking.com
 In association with HFP LAND DESIGN / MEEKS + PARTNERS / LLP.

Table II-I- Concept Phasing Schedule

	MONTHS **																				
	Year 2007						Year 2008														
	Jan.	Feb.	Mar.	Apr.	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Jan.	Feb.	Mar.	Apr.	May	June	July		
Planning Area 1	Phase I (6 D.U.) (+)		Phase II (25 D.U.)		Phase II (25 D.U.)	Phase III (27 D.U.)	Phase III (27 D.U.)	Phase IV (29 D.U.)	Phase IV (29 D.U.)	Phase V (27 D.U.)	Phase V (27 D.U.)	Phase VI (28 D.U.)	Phase VI (28 D.U.)	Phase VII (23 D.U.)	Phase VII (23 D.U.)	Phase VIII (15 D.U.)	Phase VIII (15 D.U.)				
Planning Area 2 (*)																					
Planning Area 3 (*)																					
Planning Area 4					Phase I (21 D.U.)	Phase II (21 D.U.)	Phase III (26 D.U.)	Phase III (26 D.U.)	Phase IV (22 D.U.)	Phase IV (22 D.U.)											
Planning Area 5 (*)																					
Planning Area 6																					
Planning Area 7 (*)																					
Planning Area 8					Phase I (20 D.U.) (+)	Phase II (18 D.U.)	Phase III (21 D.U.)	Phase III (21 D.U.)	Phase IV (21 D.U.)	Phase IV (21 D.U.)	Phase V (20 D.U.)	Phase V (20 D.U.)	Phase VI (17 D.U.)	Phase VI (17 D.U.)							
Planning Area 9					Phase I (6 D.U.) (+)	Phase II (29 D.U.)	Phase III (30 D.U.)	Phase III (30 D.U.)	Phase IV (30 D.U.)	Phase IV (30 D.U.)	Phase V (31 D.U.)	Phase V (31 D.U.)	Phase VI (17 D.U.)	Phase VI (17 D.U.)							

NOTES:

- (*) Buildout is undetermined at this time.
- (**) Assumes month 1 as January 2007; the date anticipated when all Master Planned backbone utilities to serve West Haven will be installed.
- (+) The following will be constructed during Phase I Development:
 1. Planning Area 1: Full 1/2 Street Improvements on Riverside Drive and on Haven Avenue to the north boundary of Planning Area 3.
 2. Planning Area 4: Full 1/2 Street Improvements on Riverside Drive and Chino Avenue, along Planning Area 4 boundary.
 - Interim Improvements on Haven Avenue, along Planning Area 3, if Planning Area 3 does not develop concurrently with Phase I.
 3. Planning Area 8: Full 1/2 Street Improvements on Haven Avenue along Planning Area 8 boundary.
 - Interim Improvements on Haven Avenue along Planning Areas 5, 6 and 7, if these do not develop concurrently with Phase I.
 4. Planning Area 9: Full 1/2 Street Improvements on Turner Avenue along Planning Area 9 boundary.
 5. Planning Areas 1, 4, 8 and 9: All interior circulation and in tract utility lines will be constructed during Phase I.

LEGEND:

- Phase I
- Phase II
- Phase III
- Phase IV
- Phase V
- Phase VI
- Phase VII
- Phase VIII

Table II-I- Concept Phasing Schedule

11.4 Applicability

The development regulations contained herein provide specific standards for land use development within the West Haven Specific Plan area. The adoption of the Specific Plan by ordinance, supersedes otherwise applicable City of Ontario Development Regulations unless stated herein to the contrary. Whenever the provisions and development standards contained herein conflict with those contained in the City of Ontario Development Code, the provisions of the West Haven Specific Plan shall take precedence. Where the Specific Plan is silent, City codes shall apply.

11.5 Administration

The West Haven Specific Plan is adopted by resolution and will serve as the implementation tool for the General Plan as well as the zoning for the Project Site. The Specific Plan addresses general provisions, permitted uses, development standards and design guidelines.

11.6 Methods of Interpretation

Development within the West Haven Specific Plan area shall be implemented through the approval of parcel maps and Tentative Tract maps by the City of Ontario. The administration process described below provides for the mechanisms for review and approval of development projects within the Specific Plan consistent with the Specific Plan objectives.

Unless otherwise provided, any ambiguity concerning the content or application of the West Haven Specific Plan shall be resolved by the Planning Director or his/her designee, hereinafter referred to as Director, in a manner consistent with the goals, policies, purpose and intent established in this Specific Plan.

11.7 Implementation

All development proposals within the West Haven Specific Plan shall be subject to the implementation procedures established herein. Whenever the provisions contained herein conflict with those contained in the City of Ontario Development Code, the provisions of the Specific Plan shall take precedence.

11.7.1 Specific Plan Revisions

Revisions to the Specific Plan may be requested by the applicant or by the City at any time pursuant to Section 65453(a) of the Government Code. Revisions shall be processed pursuant to the provisions of the Government Code for the Specific Plan and the City of Ontario Development Code. In the event the proposed revision requires supplemental environmental analysis pursuant to

the California Environmental Quality Act (CEQA), the applicant(s) are responsible for preparing the necessary CEQA documentation.

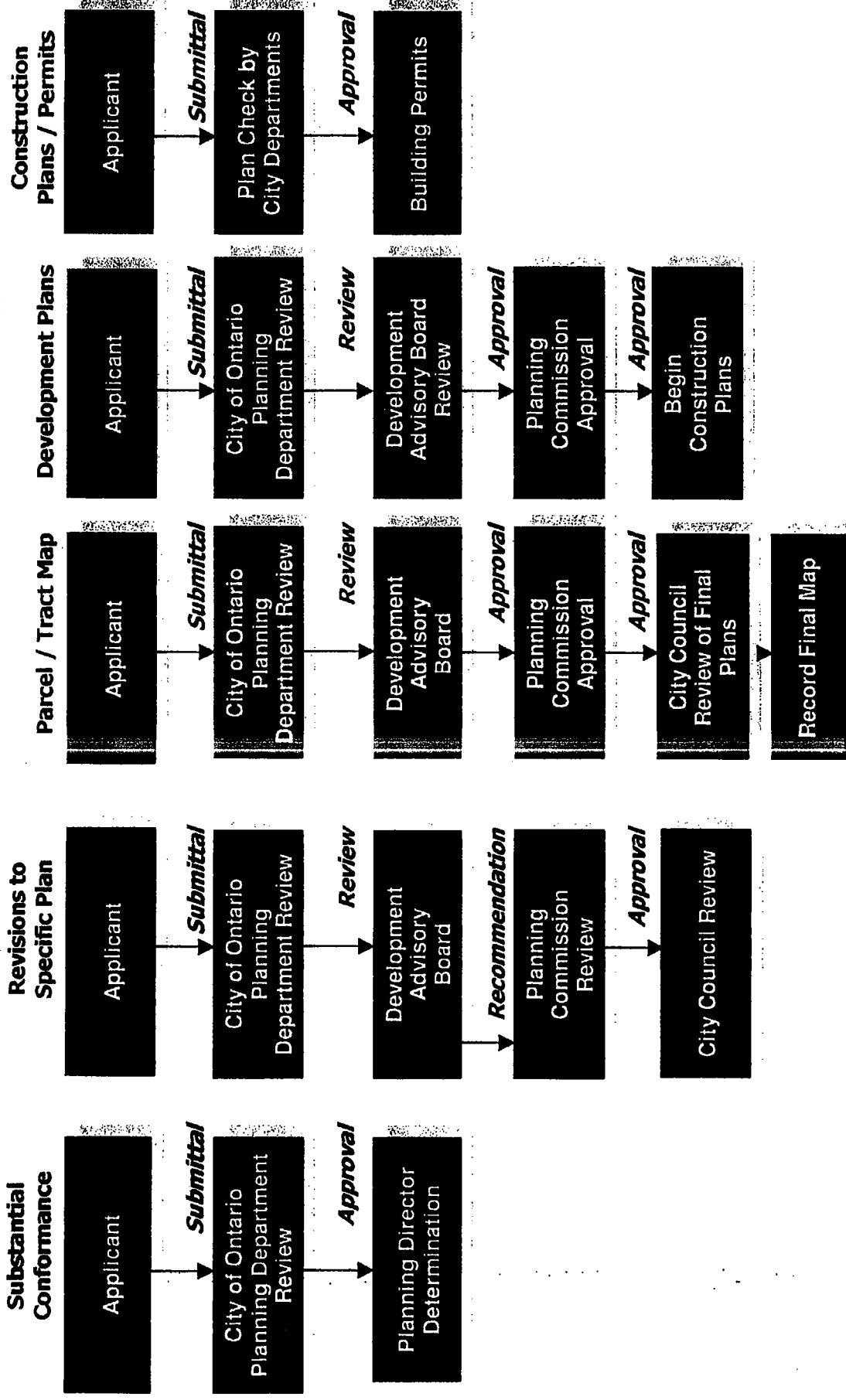
11.7.2 Minor Adjustments in Substantial Conformance with the Specific Plan

The purpose of the substantial conformance process is to provide a mechanism to allow flexibility in development of the Project Site by permitting minor modifications to the land use plan, project phasing, design guidelines and development regulations, with the exception of permitted uses. This procedure is intended to provide a simplified means of considering minor adjustments from certain development standards and guidelines set forth in the West Haven Specific Plan which are found to be in substantial conformance with the general intent of this Specific Plan and which are not detrimental to the public health, safety or welfare.

The following constitute minor adjustments to the Specific Plan, not requiring a Specific Plan Revision and are subject to review and approval by the Director. The Director shall have the discretion to refer any such request for modification to the Planning Commission or the City Council.

- a) Change in utility and/or public service provider.
- b) Roadway alignment when the changes results in a centerline shift of less than 40 feet.
- c) An increase of more than ten percent (10%) to the number of units within an individual phase provided the total number of units for the entire Specific Plan area does not exceed that established in the Specific Plan.
- d) Adjustment of a phase boundary provided the total acreage of the affected phase area does not increase or decrease by more than 20% of the total stated in the approved Specific Plan.
- e) Minor changes to landscape materials, wall materials, wall alignment, entry design and streetscape design which are consistent with the conceptual design set forth in the design guidelines contained with the Specific Plan.
- f) Other modifications of a similar nature to those listed above, which are deemed minor by the Director, which are in keeping with the purpose and intent of the approved Specific Plan and which are in conformance with the General Plan.

See ***Exhibit 11-2***, for the ***"Project Review and Approval Chart"***.



11.8.2 Special District

1. The Special District will maintain:
 - all pocket parks.
 - all community theme walls, permitted walls and common areas.
 - all entry monuments and community/neighborhood entries.

11.8.3 Homeowners Association

1. The Homeowners Association will maintain:
 - all alleys and alley landscaping.
 - all internal parks and open spaces.

11.8.4 Private Homeowners and Commercial Business Property Owners

1. The commercial business property owners will maintain all driveways and parking areas serving the Neighborhood Center.
2. The private homeowners will maintain front yard landscaping areas.
3. The private homeowners and commercial business property owners will maintain all parkways.

11.8.5 Utilities

1. Southern California Edison (SCE) will maintain all electrical service lines.
2. Southern California Gas Company will maintain all natural gas service lines.
3. Verizon will maintain all communication service lines.

11.9 General Plan Consistency

California Government Code (*Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457*) permits adoption and administration of Specific Plans as an implementation tool for elements contained in the local General Plan. Specific Plans must demonstrate consistency in regulations, guidelines and programs with the goals and policies set forth in the General Plan.

The West Haven Specific Plan has been prepared in conformance with the goals and policies of the City of Ontario General Plan designation of the Specific Plan.