



# Parkside

## 1.0 Specific Plan Overview

Parkside is proposed as a new 250.89 gross acre planned community located in the south/central portion of the New Model Colony (NMC). The Specific Plan includes the western portion of Subarea 23, between Cucamonga Creek and Archibald Ave., and the eastern portion of Subarea 22, between Cucamonga Creek and future Carpenter Ave. The entire Specific Plan area amounts to 237.89 acres in 26 planning areas (inclusive of Cucamonga Creek). Net project acreage amounts to 216.05 acres. Refer to **Table 1, Land Use Summary**.

The regional context and local setting of the Specific Plan are illustrated in the **Regional Location Map, Exhibit 1, and Vicinity Map, Exhibit 2**.

The project is consistent with and implements the gross residential density allocation, and broad “community design” policy requirements for the New Model Colony, including a general neo-traditional community design. These include:

- Integration with and connectivity to the “Great Park;”
- Creation of a “Sense of Place;”
- Diversity in housing product, architecture;
- Pedestrian connectivity;
- Smaller “neighborhoods;” and
- Elimination of the “subdivision” feel.

The New Model Colony General Plan Amendment adopted by the City of Ontario designates the subject portions of Planning Subareas 22 and 23 for development of low and high density residential and park land uses. Residential land uses are delineated with various areas assigned for development with a total of 1,947 residential units permitted. As part of the project, a General Plan Amendment will be adopted concurrently with the Parkside Specific Plan, modifying only the General Plan Land Use Policy Map to 1) reassign the locations of the high density residential uses, eliminate low density designations, and create new medium density designations, 2) add a Neighborhood Center commercial designation at the intersection of Archibald Ave. and Edison Ave., and 3) add a community facility designation (fire station), west of the Neighborhood Center.

A variety of residential neighborhoods are planned within Parkside, with varying product design and architectural character. Residential products envisioned for Parkside include, but are not limited to, green/motor court clusters, triplexes, townhomes, condominiums, and apartments. A maximum total of 1,947 dwelling units are proposed for Parkside.

It should be noted that use of the term “Parkside” throughout this document applies to the entire Specific Plan area, held under a single ownership, by SC Ontario Development Corporation (“SC Ontario”) (except for the Cucamonga Creek Channel).

The Parkside Specific Plan area occupies a strategic location in the overall New Model Colony General Plan Land Use Plan, providing a crucial link between major active recreation uses planned east of Archibald Ave., and the future Town Center planned to the west of Parkside.

Multi-family residences, including, but not limited to, row townhomes and condominiums, will frame the “Great Park” community recreation area, defining public space, and activities, and visually establishing a community “sense of place.”

Non-residential uses proposed in the Specific Plan include a 15.49-gross acre commercial parcel on the southwest corner of Edison Ave. and Archibald Ave. A 1.57-acre public fire station is included directly west of the commercial site, and fronts on the “Great Park.”

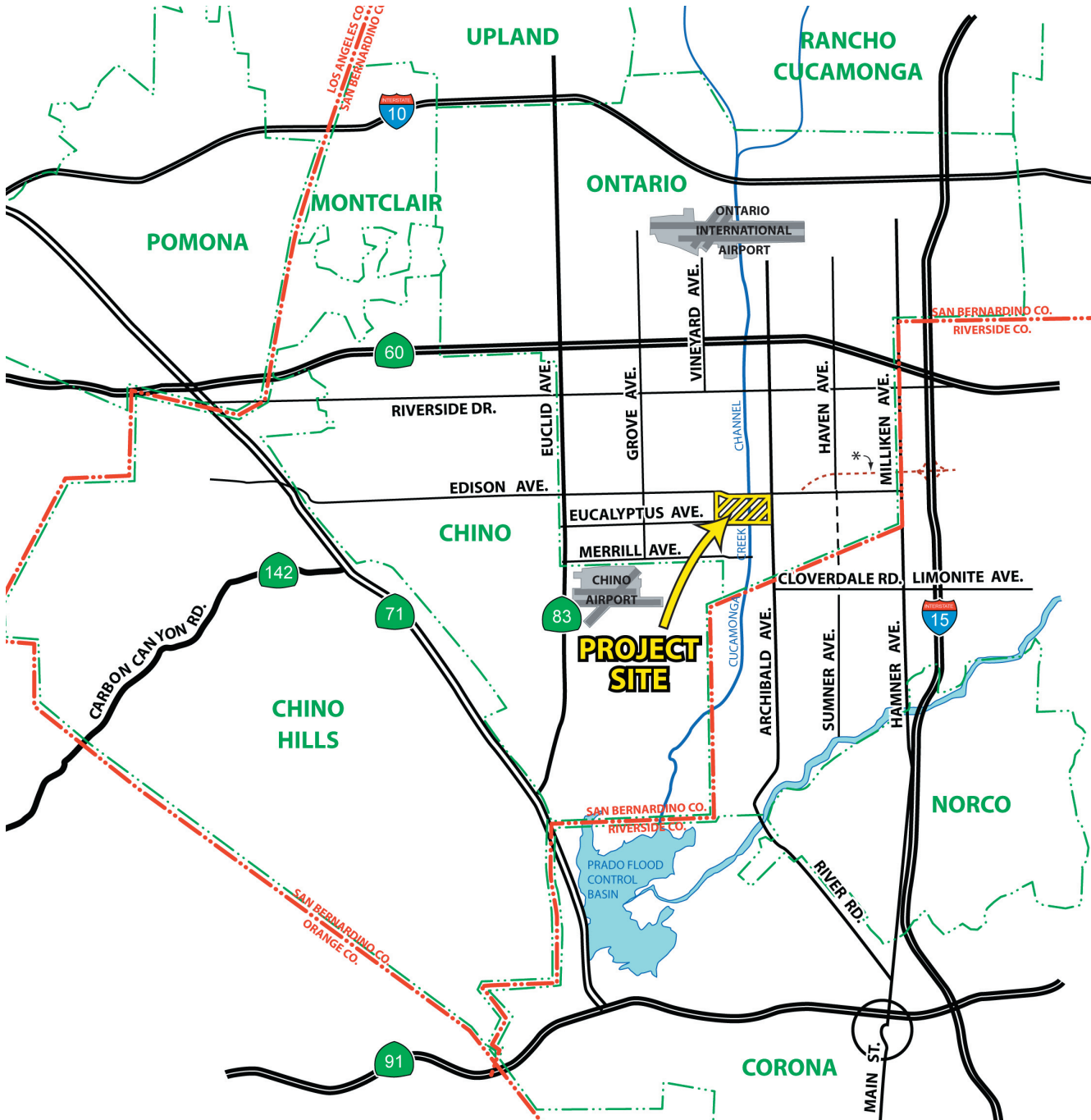
The “Great Park,” consisting of 58.47 gross acres, extends east to west through the center of the Specific Plan area, with segments extending north and south into the residential planning areas, and provides a unique community sense of place. All of the Parkside community is within a 1/4 mile walk of the “Great Park,” establishing Parkside as a walkable community.

A system of pedestrian trails link all residential neighborhoods with the planned park and internal private recreation amenities. Additionally, connections to the paseos along Cucamonga Creek Channel are planned.

The internal street system includes a modified grid and landscaped parkways in all local residential streets. **Refer to Exhibit 3, Land Use Plan.**



# Parkside



 Not to Scale

\* Cantu - Galleano Ranch Road Realignment

**Exhibit 1**—Regional Location Map



# Parkside



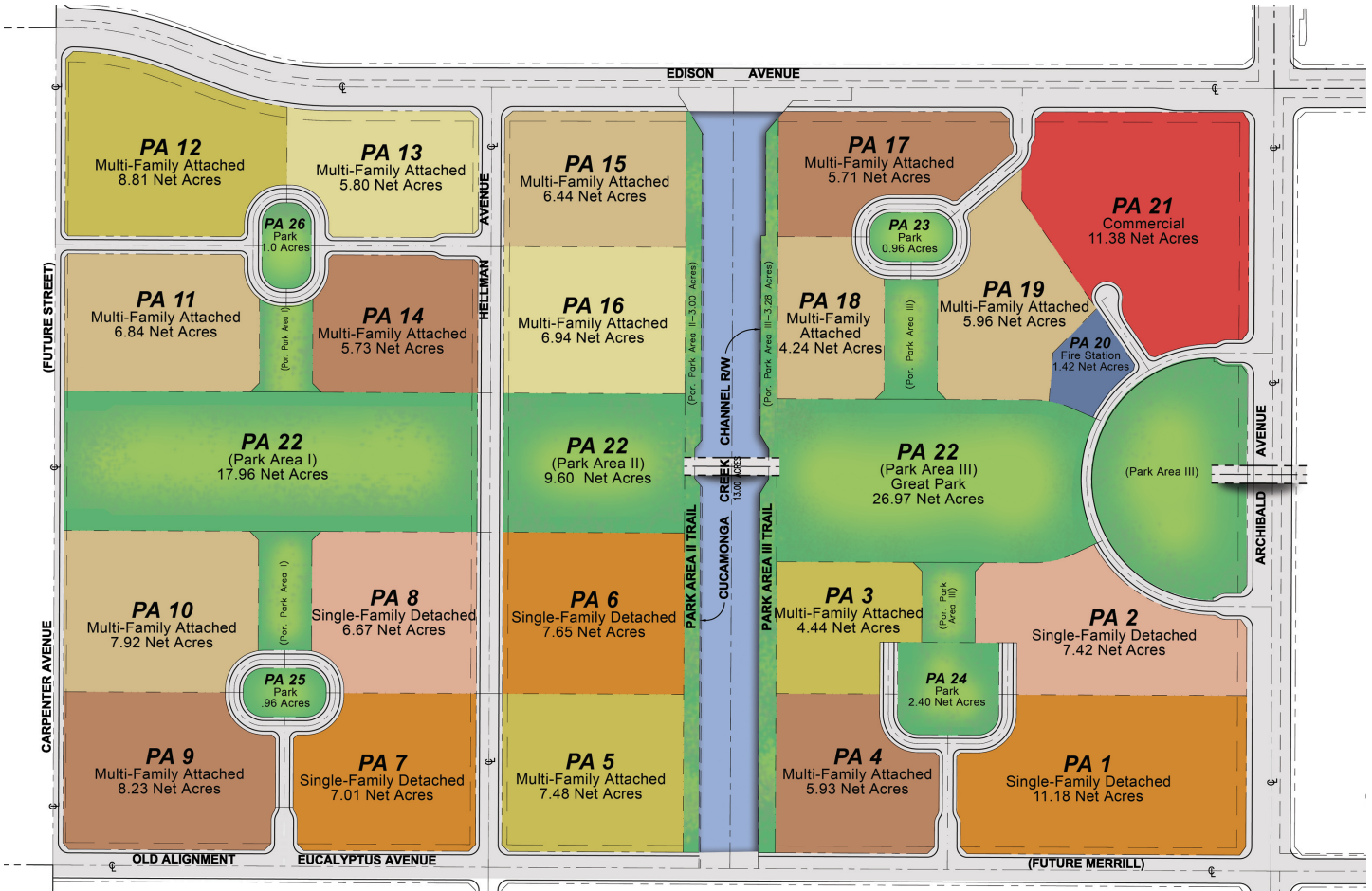
LEGEND	
<span style="color: red;">■</span>	Specific Plan Site
<span style="color: blue;">- - -</span>	County Boundaries
<span style="color: yellow;">- - -</span>	City Boundaries



**Exhibit 2—Vicinity Map**



# Parkside



**Notes:**

Net acres is Planning Area (PA) acreage, minus street R/W

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**Exhibit 3—Land Use Plan**



# Parkside

**Table 1—Parkside Land Use Summary**

Land Use	Lot Size / Use	Gross Acreage	Net Acreage	*Density Range / S.F.	Lots / D.U.
<b>Residential</b>					
PA-1 (Green Court/Large)	SFD	14.32	11.18	8-14	125
PA-2 (Green Court/Small)	SFD	8.69	7.42	10-16	102
PA-3 (Row Townhomes)	MF	4.68	4.44	12-18	80
PA-4 (Townhomes/Flats)	MF	7.45	5.93	16-22	114
PA-5 (2/3-Story Townhomes)	MF	8.91	7.48	16-22	139
PA-6 (Motorcourt)	SFD	8.20	7.65	8-14	75
PA-7 (Greencourt/Large)	SFD	9.06	7.01	8-14	68
PA-8 (Greencourt/Small)	SFD	7.55	6.67	10-16	68
PA-9 (Townhomes/Flats)	MF	10.25	8.23	16-22	165
PA-10 (3-Story Townhomes)	MF	8.67	7.92	18-25	143
PA-11 (2/3-Story Townhomes)	MF	7.98	6.84	18-25	123
PA-12 (Row Townhomes)	MF	11.55	8.81	12-18	127
PA-13 (Triplex)	MF	8.27	5.80	10-16	64
PA-14 (Townhomes, Carriage)	MF	6.96	5.73	12-18	99
PA-15 (3-Story Townhomes)	MF	8.09	6.44	18-25	111
PA-16 (Triplex)	MF	7.44	6.94	10-16	90
PA-17 (Townhomes/Carriage)	MF	7.81	5.71	12-18	84
PA-18 (3-Story Townhomes)	MF	4.57	4.24	18-25	85
PA-19 (2/3-Story Townhomes)	MF	6.59	5.96	16-22	85
<b>Residential Subtotal</b>	-	157.04	130.40	-	1,947
<b>Non-Residential</b>					
PA-20 (Fire Station)		1.57	1.42	-	-
PA-21 (Commercial)		15.49	11.38	115,000 SF	-
PA-22 (Park)		58.47	54.53	-	-
PA-23 (Park)		0.96	0.96	-	-
PA-24 (Park)		2.40	2.40	-	-
PA-25 (Park)		0.96	0.96	-	-
PA-26 (Park)		1.00	1.00	-	-
Arterial ROW	-	-	-	-	-
<b>Channel ROW</b>	-	13.00	13.00	-	-
<b>Non-Residential Subtotal</b>	-	93.85	85.65	115,000	
<b>TOTAL PROJECT (Gross and Net Acres)</b>	-	250.89	216.05	-	1,947

**NOTES:**

- 1) Gross acres taken to center line of streets.
- 2) Net acres taken to street rights-of-way.
- 3) All land uses proposed east of the Cucamonga Creek Channel are included in Subarea 23; all land uses west of the Cucamonga Creek Channel are included in Subarea 22.
- 4) A total of 39.6 acres of master planned roadway is included in the project.  
\*Density range shown is based on net acres. The General Plan is based on gross acres.



# Parkside

## A. GOVERNING DOCUMENTS

Development of Parkside will be regulated by the following documents:

- The City of Ontario Sphere of Influence General Plan Amendment (January 1998), as amended, which establishes policies governing land use, circulation, housing, conservation and open space, noise, safety, and public facilities within the Parkside Specific Plan area.
- The Parkside Specific Plan includes a Land Use Plan, Infrastructure Plan, Design Guidelines, and Development Regulations.
- The City of Ontario Development Code as applicable to the project where the Parkside Specific Plan is silent on development standards and regulations.
- The City of Ontario Subdivision Ordinance, regulating the subdivision of land within the Parkside project area.
- Covenants, Conditions, and Restrictions (CC&R's) to be established by the developers of Parkside as a means of ensuring and enforcing quality design and development of the master planned community.

## B. SPECIFIC PLAN COMPONENTS

The Parkside Specific Plan is organized into the following sections in addition to Section 1, Specific Plan Overview.

### Section 2 — Introduction

The Introduction provides:

- The project setting;
- A general description of the project proposal;
- The goals and policies of the Specific Plan;
- The entitlements to accompany the Specific Plan;
- The relationship of the Specific Plan to the City of Ontario New Model Colony General Plan Amendment, as amended, and the City of Ontario Development Code.

### Section 3 — Existing Conditions

This section describes the setting for the project, outlining the existing physical conditions on and around the site.

### Section 4 — Land Use

The Land Use section describes the various residential planning areas and residential types, commercial planning area, public use planning area, and the parks and trails within the planned community.

### Section 5 — Infrastructure And Public Improvements

This section provides information on proposed circulation improvements, the planned backbone water, sewer, and storm drain systems, the grading concept for the project, and a discussion of public utilities and services to serve the Specific Plan area.

### Section 6 — Development Regulations

The Development Regulations identify permitted uses and standards regulating the development of various residential product types, commercial use, fire station, and parks. The relationship of the Parkside Specific Plan development regulations to the City of Ontario Development Ordinance is also provided. The policies and procedures for the City's review and approval of future development proposals within the Specific Plan are included in this section. This section provides the methods and procedures for interpreting and amending the Parkside Specific Plan as necessary.

### Section 7 — Design Guidelines

The Specific Plan Design Guidelines are intended to direct the site planning, landscaping, and architectural quality of the development. Streetscapes, entries, edge treatments, walls and fencing, lighting, signage, and architectural design are addressed in the Design Guidelines.

### Section 8 — Commercial Design Guidelines

This section will direct site planning, architectural design, and landscaping for the commercial parcel.

### Section 9 — General Plan Consistency

This section includes the City of Ontario General Plan consistency matrix describing the relationship of the Specific Plan to each policy of the New Model Colony General Plan Amendment.