



# Parkside

## 7.0 Residential Design Guidelines

### 7.1 INTRODUCTION

Parkside is a new master-planned community located in Ontario, California. The historical character of this area is partly traditional and agricultural, but being on the path of the advancing railroad, the later automobile Route 66 and eventually Ontario International Airport, Ontario has also typically been associated with transit and forward-moving progress.

The proposed community design integrates the traditional character of the past with a plan and variety in housing choices that serves the needs and lifestyles of today.

Parkside has been designed as a planned community “in the Park.” The “Great Park” is the key organizational element for the entire community. Connections to both neighborhood and regional trails will be provided from this central park area. With a focus on promoting a pedestrian friendly, healthy lifestyle, the “Great Park” area is within less than a ¼ mile walk from all neighborhoods in the community.

#### Community Overview

Community design elements include:

- The “Great Park”;
- Neighborhood Commercial;
- A wide variety of home sizes and plans to fulfill the needs of different life stages, in gated and non-gated neighborhoods;
- Tree-lined neighborhood streets with curb separated sidewalks and generous plantings in parks and open spaces;
- Private recreational facilities for each neighborhood;
- A network of sidewalks and trails that link all neighborhoods to schools, parks, open spaces, a regional trail system and nearby retail; and
- Nearby connections to local, regional and global transit.

The community character is inspired by:

- The charm and tradition of Ontario's historic downtown neighborhoods and an eclectic mix of architectural styles;
- The simple, yet stately landscape along Euclid Ave. and the region's agricultural heritage; and
- Environments that encourage wellness by providing opportunities for pedestrian and outdoor physical activity.

Neighborhood retail goods and services will be conveniently located in Planning Area 21 at the southwest corner of the intersection of Edison Ave. and Archibald Ave.

The Specific Plan community entries along Archibald Ave., Edison Ave., Merrill Ave., and Carpenter Ave. will be announced with community character monuments and entry statements. Signage, lighting and monuments within the project site will reflect an identifiable community character.

#### 7.1.1 Guiding Principles

The following guiding principles have been created to help develop architecture that reflects quality in design, simplicity in form and plan and contributes charm and appeal to proposed single-family and multi-family neighborhoods of Parkside.

- The home, not the garage, is the primary focus of the front elevation. A variety of garage placements is encouraged to emphasize the pedestrian environment as opposed to the automobile;
- A variety of compatible architectural styles are provided to ensure a degree of individuality throughout neighborhoods;
- Appropriate massing and roof forms play a major role in defining architecture styles, roof framing related to each plan vs. individual elevations;
- Architectural elements and details and appropriate color palettes are used to reinforce individual architectural styles;
- Rear elevations, articulated walls and windows and varied roof profiles all provide a quality level of detail and interest in neighborhood architecture; and
- Selected architectural styles are related to those historically represented in Ontario. These are: Farmhouse, Cottage, American Colonial, American Traditional, Craftsman, Andalusian, Spanish Colonial, Tuscan, and Provence.



# Parkside

## 7.2 ARCHITECTURAL STYLES

### 7.2.1 Introduction

The style information on the following pages provides the builder and design consultants with the tools to create functional and attractive architectural designs without using gimmicks or sacrificing the integrity of the style.

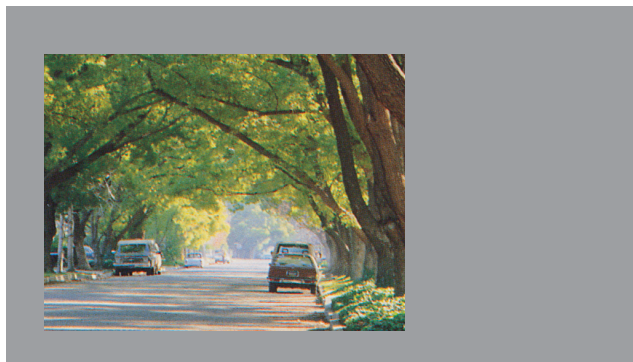
#### Authenticity

The design criteria in these guidelines is offered to encourage a high quality of architecture and reasonable level of authenticity of styles through the use of appropriate elements. Although detail elements may be used to further convey the character of a style, the overall massing and appropriate roof forms should be used to establish a recognizable style. Proper scale and proportion of architectural elements and appropriate choice of details are all factors in achieving authenticity.

### 7.2.2 Architectural Philosophy

Looking back to Ontario's older, established neighborhoods for inspiration, the intent for Parkside is to re-capture the charm and essence of these original home styles and express them in the simple, honest manner that they originated. These homes reflected function and tradition, simplicity in massing, plan and roof forms, and authentic, regional styles.

Parkside homes will provide the kind of function, quality, value, and appeal that were built into those original homes. Neighborhood parks, sidewalks, parkways, and street trees will add to the traditional feeling in these neighborhoods, linking them with the overall community.



#### Design Character

The design character of the neighborhoods will be one of hometown appeal characterized by simple, yet charming homes, curb separated sidewalks, and parkways lined with street trees. Homes and street scenes will reflect an overall feeling of quality and tradition. The architectural palette of styles has a regional historic background and context in keeping with the character of Ontario.

### 7.2.3 Architectural Styles (Single-family)

#### Architectural Style/Plan Mix

An important goal in this community is to develop small, varied, and interesting street scenes. Typically, the neighborhoods will consist of 80-100 dwelling units. In order to achieve dynamic street scenes the following architectural style and plan requirements must be met according to building type:

In all single-family detached neighborhoods provide:

- minimum of four (4) plans and three (3) elevations for neighborhoods of more than 100 homes;
- minimum of three (3) plans and three (3) elevations for neighborhoods of less than or equal to 100 homes; and
- minimum of four (4) different color schemes per number of architectural styles used.



# Parkside

## Architectural Styles



Farmhouse



Cottage



American Traditional



American Colonial



Craftsman



Spanish Colonial



Andalusian



Tuscan



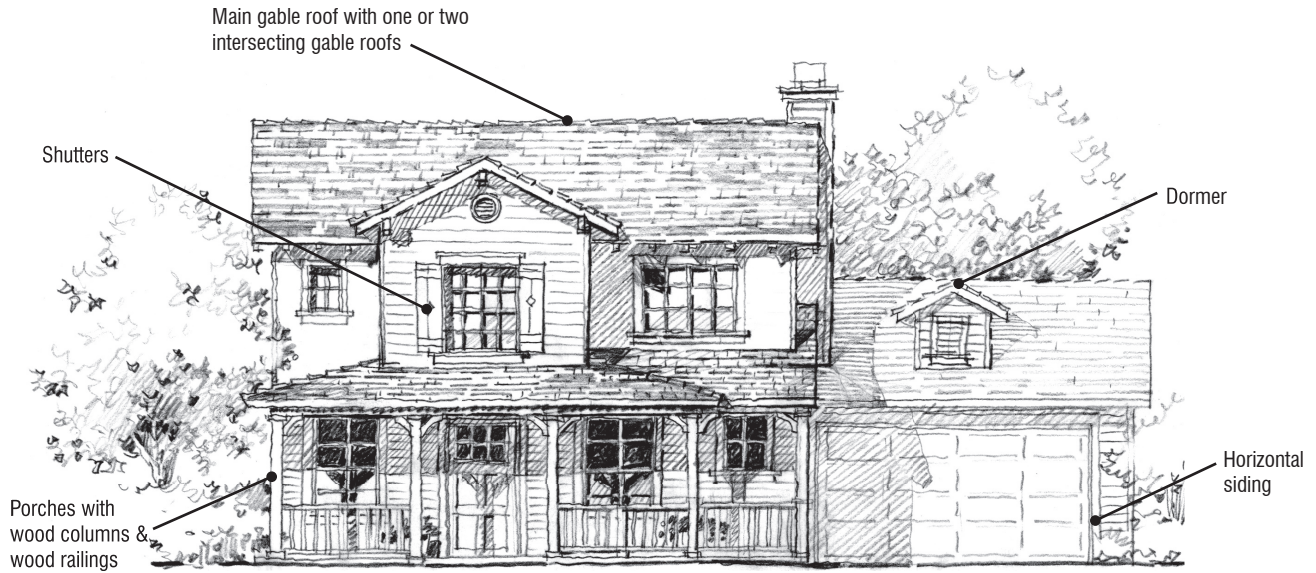
Provence

- Farmhouse
- Cottage
- American Traditional
- American Colonial
- Craftsman
- Spanish Colonial
- Andalusian
- Tuscan
- Provence

Each architectural style is defined by a series of “elements” and “common features,” which illustrate the distinguishing typical characteristics of that style.

# Parkside

## Farmhouse



The American Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and later the Mid-west. As the American Frontier moved westward, the American Farmhouse style evolved according to availability of materials and technological advancements, such as balloon framing.

Predominant features of the style are large front and/or wrapping porches with a variety of wood columns and railings. Two-story massing, dormers and symmetrical elevations occur most often on the New England Farmhouse variations. The asymmetrical, casual cottage look, with a more decorated appearance, is typical of the Midwest American Farmhouse. Roof ornamentation is a characteristic detail consisting of cupolas, weather vanes and dove-cotes.



# Parkside



Full to Partial Width Front Porch



Multi-Pane Bay Window  
Horizontal Lapped Siding



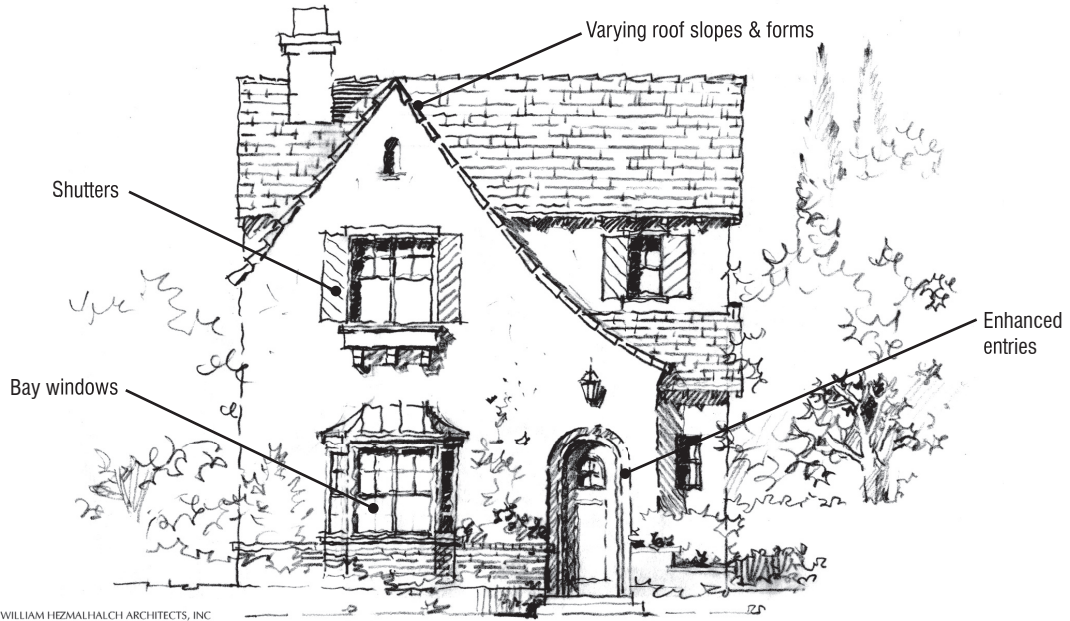
Simple Wood Columns & Wood Railings

Element	Common Features	
<b>Form</b>	<ul style="list-style-type: none"> <li>• Simple plan form massing and simple roof design</li> <li>• Main gable roof with one or two intersecting gable roofs</li> </ul>	<ul style="list-style-type: none"> <li>• 12" to 16" overhangs with open eaves</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>• 6:12 to 12:12 roof pitch</li> <li>• Front to back main gable roof</li> <li>• 12" overhangs with open eaves</li> </ul>	<ul style="list-style-type: none"> <li>• Wrapped horizontal siding elements on sides and/or rear elevations</li> <li>• Concrete tiles with smooth flat or shingled appearance</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>• Horizontal siding may be combined with stucco</li> <li>• All material changes must occur at an inside corner</li> </ul>	<ul style="list-style-type: none"> <li>• Wrapped horizontal siding elements on sides and/or rear elevations</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>• Vertical multi-paned windows at front elevation</li> <li>• Multi-paned windows or inserts on side and rear elevations in high visibility public view areas</li> <li>• Vinyl wrapped windows</li> </ul>	<ul style="list-style-type: none"> <li>• Bay windows</li> <li>• Built-up header trim at front windows</li> <li>• Single hung windows at front</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>• Porches with simple wood columns and wood railings</li> <li>• Shaped wood columns, wood windows and/or door trim</li> <li>• Min. 2x4 window and door trim - wood on siding, foam on stucco</li> <li>• Shutters &amp; layered header trims at front elevation</li> <li>• Cupolas or dormers</li> </ul>	<ul style="list-style-type: none"> <li>• Surface mounted fixtures on front elevations must complement architectural style</li> <li>• Garage door patterns to complement style</li> <li>• Stone/brick chimney wrap</li> <li>• Wood pot shelves, louvered attic vents</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>• Field: Whites or light shades of blue, yellow, green, beige or gray</li> <li>• Trim: Whites or light shades complementary to field color</li> <li>• Accents: Medium to dark shades in contrast with field color</li> </ul>	



# Parkside

## Cottage



Cottage is a picturesque style derived from medieval Norman and Tudor domestic architecture. The resulting English and French inspired “cottage” became extremely popular nationwide after the adoption of stone and brick veneer techniques in the 1920s.

Although the cottage is looked upon as small and not costly, it was recognized as one of the most popular styles in suburban America. The design of the home was reflected in the rural setting that they evolved in. Established neighborhoods in Riverside, Orange and Santa Ana contained many homes of charm and character that depicted the alluring, yet unpretentious lifestyle of the Cottage home.



# Parkside



Varying Roof Slopes & Forms



Feature Windows & Gable Accents



Stucco with Stone Accents

Element	Common Features	
<b>Form</b>	<ul style="list-style-type: none"> <li>Rectangular plan form massing with some recessed 2nd floor area</li> </ul>	<ul style="list-style-type: none"> <li>Irregular plan form massing with substantially recessed 2nd floor</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>Main roof hip or gable with intersecting gable roofs</li> <li>6:12 to 12:12 roof pitch</li> <li>0" to 12" overhangs - (limit tight overhangs to distinguishing character elements)</li> <li>Architectural quality asphalt shingles or smooth flat concrete tiles</li> </ul>	<ul style="list-style-type: none"> <li>Main roof hip or gable with intersecting gable roof or steep 2nd story roof breaking over 1st story elements</li> <li>Curved slope at roofline</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco</li> <li>Stucco with wood siding or stone accents</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Vertical multi-paned windows at front elevation</li> <li>Multi-paned windows or inserts on side and rear elevations in high visibility public view areas</li> <li>Bay windows</li> </ul>	<ul style="list-style-type: none"> <li>Vinyl wrapped windows</li> <li>Curved or round top accent windows</li> <li>Single hung windows at front</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>Entry accents with natural or manufactured stone</li> <li>Shutters</li> <li>Simple wood 2x window and door trim - wood on stone or siding, foam on stucco</li> <li>Surface mounted fixtures on front elevations must complement architectural style</li> <li>Garage door patterns to complement style</li> </ul>	<ul style="list-style-type: none"> <li>Enhanced shutters</li> <li>Stone veneer chimney</li> <li>Wrought iron or wood balconies and wood pot shelves</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>Field: Soft, muted mid-tones of beige, tan, blue, yellow, grey or green</li> <li>Trim: Light or similar mid-shades complementary to field color</li> <li>Accents: Light or dark shades in contrast with field color</li> </ul>	



## Parkside

# American Traditional



The American Traditional style evolved in the early twentieth century being influenced by American Colonial styles as formal as Georgian Revival and those as simple and functional as Cape Cod, New England Colonial and Farmhouse.

With respect to East Coast traditions and regional culture, the Colonial Revival vocabulary of white-painted columns, clapboards and shuttered windows were combined with the less symmetrical, unpretentious massing and functional forms of the Cape Cod and Farmhouse. Combined one and two-story massing with single story wings, gabled roofs with dormered windows, or occasional saltbox roof forms were favored solutions, later becoming classic variations of the traditional style. These inspirations yielded a truly American inspired architecture for a more relaxed, yet still dignified style that would become the new American dream.





# Parkside



**Closed Pediment and Shuttered Windows**



**Brick Siding and Vertical Multi-Paned Windows**

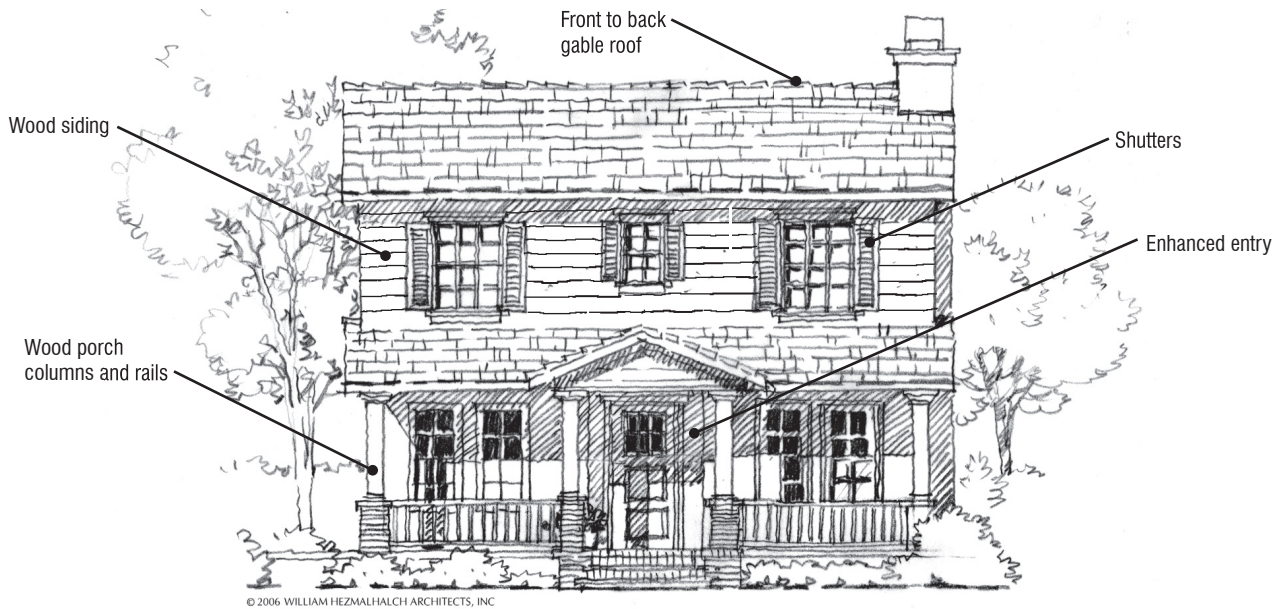


**Vented Gable and Horizontal Siding**

Element	Common Features
<b>Form</b>	<ul style="list-style-type: none"> <li>Asymmetrical massing with a vertical and a horizontal break</li> <li>Substantially recessed 2nd floor</li> <li>Multiple vertical and horizontal breaks in massing</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>5:12 to 12:12 roof pitch</li> <li>16" to 24" overhangs</li> <li>Concrete roof tile - flat or shake appearance</li> <li>Front to back gable or hip roof with intersecting hip or gable roofs</li> <li>Multiple intersecting hip or gable roofs at first and second floors</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>Horizontal siding - may be combined with stucco</li> <li>All material changes must occur at an inside corner</li> <li>Wrapped horizontal siding elements on sides and/or rear elevations</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>Vertical multi-paned windows at front elevations</li> <li>Multi-paned windows or inserts on side and rear elevations in high visibility public view areas</li> <li>Vinyl wrapped windows</li> <li>Round top accent or bay windows</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>Simplified cornice trim at gable ends</li> <li>Header window wood accent trim</li> <li>2x6 window and door trim - wood on siding, foam on stucco</li> <li>Surface mounted fixtures on front elevations must complement architectural style</li> <li>Full wood porches and/or wood balconies</li> <li>Garage door patterns to complement style</li> <li>Square wood columns with trim</li> <li>Wood window pot shelves</li> <li>Brick veneer chimney wrap</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>Field: Whites, off-white, dark or light colors</li> <li>Trim: White or contrasting with field color</li> <li>Accents: White, light or dark colors in contrast or harmony with field color</li> </ul>

# Parkside

## American Colonial



This classic American style descended directly from the first homes built in the New England colonies in the 17th century. Their beginnings were as small and unpretentious as the one story saltbox, favoring the cultures and traditions of the settlements.

As living functions became more defined and prosperity increased, so did the need for additional space. Second stories with overhangs, dormers and gabled roof forms became favored solutions, later evolving into classic elements of this traditional American style. Wood shutters and an enhanced entry element and/or trim are the finishing details for an otherwise simple and functional form.



# Parkside



**Vertical Multi-Paned Windows with Shutters**



**Accent Window and Enhanced Molding details**



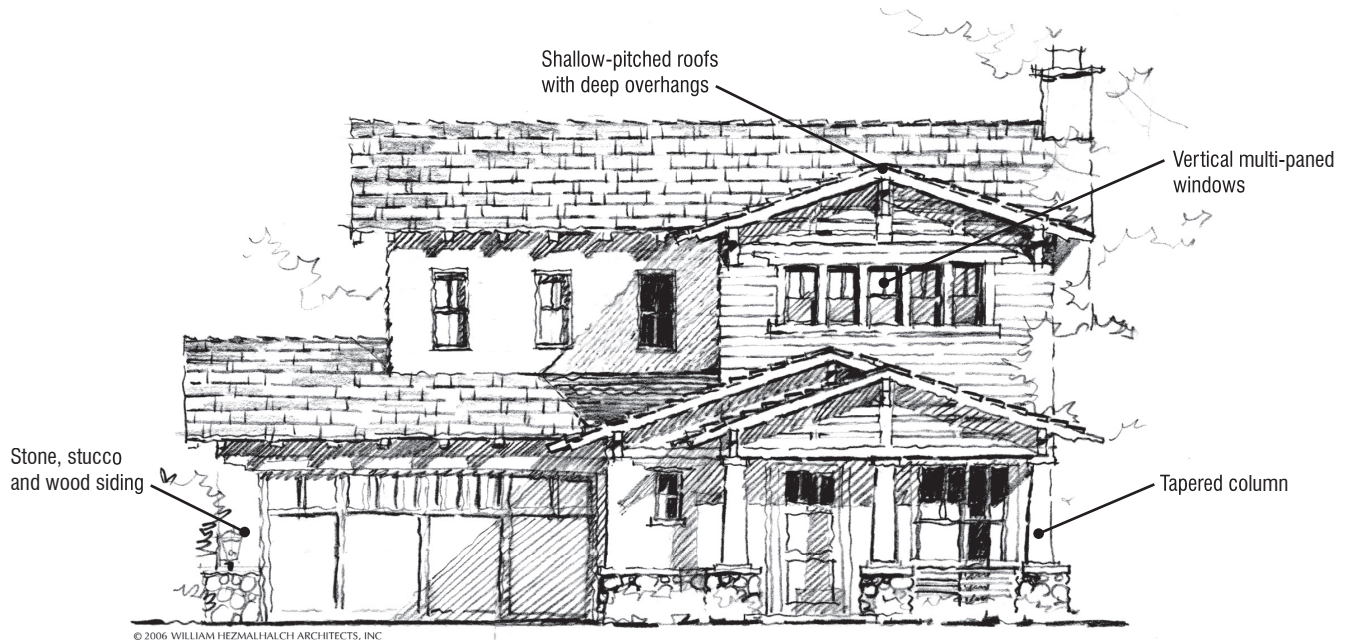
**Articulated Portico Entry**

Element	Common Features
<b>Form</b>	<ul style="list-style-type: none"> <li>• Simple plan form and massing</li> <li>• Added dormers</li> <li>• Enhanced plan forms</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>• 5:12 to 12:12 roof pitch</li> <li>• 12" to 18" overhang</li> <li>• Simple front to back gable roof</li> <li>• Architectural quality asphalt shingles or shingle texture flat concrete tiles</li> <li>• 12" to 24" overhang</li> <li>• Shed or pitched roof dormers</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>• Horizontal siding may be combined with stucco. All material changes must occur at an inside corner</li> <li>• Wrapped horizontal siding elements on sides and/or rear elevations</li> <li>• Brick as a face material or accent material</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>• Vertical multi-paned windows at front elevations</li> <li>• Multi-paned windows or inserts on side and rear elevations in high visibility public view areas</li> <li>• Vinyl wrapped windows</li> <li>• Bay windows</li> <li>• Dormer window in roof</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>• Simplified cornice trim at gable ends</li> <li>• Wood porch columns and rails</li> <li>• 2 x 6 window and door trim - wood on siding, foam on stucco</li> <li>• Enhanced entry element such as portico or covered porch</li> <li>• Surface mounted fixtures on front elevations must complement architectural style</li> <li>• Shutters, enhanced window trims, louvered attic vents</li> <li>• Garage door patterns to complement style</li> <li>• Neoclassic columns or posts at entry</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>• Field: Pastels, whites, light earth tones, off-whites, or dark earth tones</li> <li>• Trim: Light or dark in contrast to field</li> <li>• Accents: Whites, light tones, or medium to dark tones in contrast to field, grayed or dark greens, blues, reds or black</li> </ul>



## Parkside

# Craftsman



Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. Of the utmost importance was that all exterior and interior elements received both tasteful and “artful” attention. The movement influenced numerous California architects such as Green and Green, and Bernard Maybeck.

The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. Craftsman style was further characterized by the rustic texture of building materials, broad overhangs with exposed rafter tails at the eaves and trellises over the porches. The overall affect was the creation of a natural, warm and livable home. In Southern California, Craftsman style spun out of bungalows that were the production home of the time.



# Parkside



Front Porch with Battered Columns



Gabled Roof with Deep Overhang



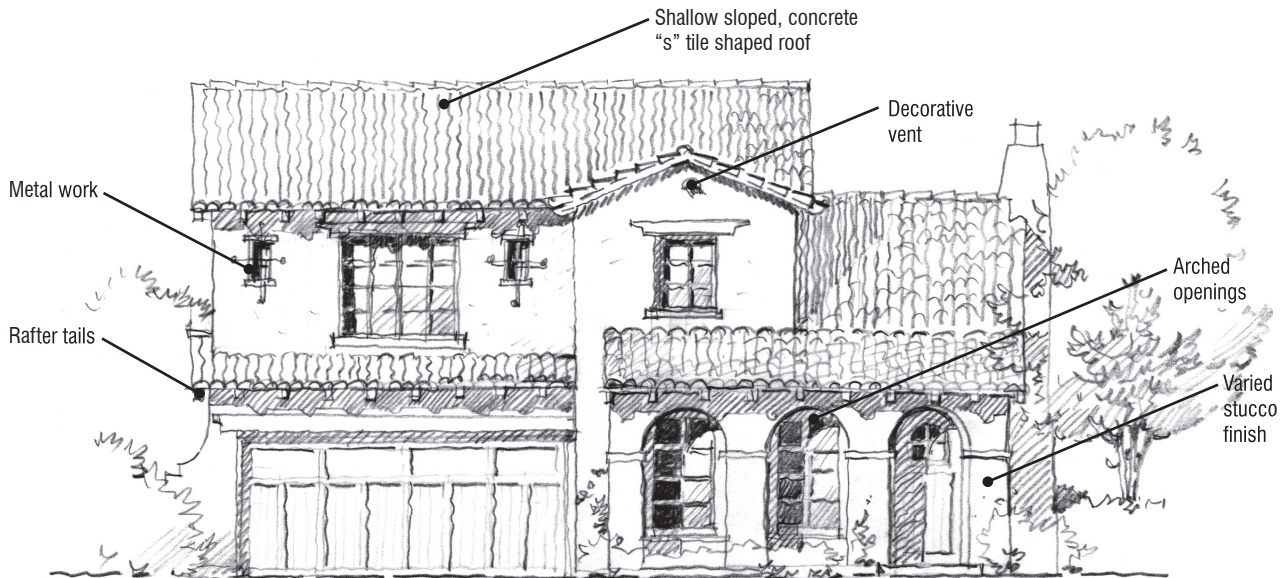
Vertical Multi-Paned Windows

Element	Common Features	
<b>Form</b>	<ul style="list-style-type: none"> <li>Simple 2 story boxed massing with vertical and horizontal breaks</li> </ul>	<ul style="list-style-type: none"> <li>Varied plan shapes</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>4:12 to 5:12 roof pitch</li> <li>16" to 24" overhangs</li> <li>Flat concrete tile - shingle appearance</li> <li>Basic gabled roof - side to side with cross gables</li> </ul>	<ul style="list-style-type: none"> <li>Varied porch roofs - shed or gabled</li> <li>18" to 36" overhangs</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>Horizontal siding - may be combined with stucco. All material changes must occur on inside corner</li> <li>Stone base accents on walls and/or porch</li> <li>Wrapped horizontal siding elements on sides and/or rear elevation</li> </ul>	<ul style="list-style-type: none"> <li>Shingle siding used as an accent treatment</li> <li>Battered wall accents</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>Vertical multi-paned windows at front elevation</li> <li>Multi-paned windows or inserts on side and rear elevations in high visibility public view areas</li> <li>Vinyl wrapped windows</li> <li>Use windows individually or in groups</li> </ul>	<ul style="list-style-type: none"> <li>Single hung windows at front elevation</li> <li>Feature ribbon windows 3 or more</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>Entry porches with heavy square columns or posts on stone or brick piers</li> <li>Shaped wood header trim at windows and doors - wood on siding, foam on stucco</li> <li>Simple knee brace</li> <li>Surface mounted fixtures on front elevations must complement architectural style</li> <li>Garage door patterns to complement style</li> <li>Stone and brick base accents</li> <li>Open eave overhangs with shaped roof rafter tails</li> </ul>	<ul style="list-style-type: none"> <li>Full porches with heavy square columns or posts on stone piers</li> <li>Classically styled columns or battered columns</li> <li>Blended stone and brick chimney</li> <li>Layered wood trims at doors and windows</li> <li>Decorative ridge beams and purlins</li> <li>Triangulated knee braces</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>Field: Light to dark earth tones</li> <li>Trim: Light to dark earth tones in harmony or contrasting with field</li> <li>Accents: Light to dark earth tones in contrast with field</li> </ul>	

\* Possibly lower pitch at main roof

# Parkside

## Spanish Colonial



Spanish Colonial, also known as Spanish Eclectic is an adaptation of Mission Revival enriched with additional Latin American details and elements. The style attained widespread popularity after its use in the Panama-California Exposition of 1915.

The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are hardly surpassed as foreground design elements. Further architectural distinction was established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

Key features of this style were adapted to the Southern California locale. The plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.



# Parkside



**Feature Window**



**Tile Roof, Gable Vent and Wrought Iron Accents**



**Stucco Walls with Arched Openings**

Element	Common Features	
<b>Form</b>	<ul style="list-style-type: none"> <li>• 2 story asymmetrical massing with strong one story element</li> </ul>	<ul style="list-style-type: none"> <li>• Simply articulated 2 story boxed plan massing with not more than 50% one story element across front elevation</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>• 4:12 to 5:12 roof pitch</li> <li>• 12" to 18" overhang</li> <li>• Simple hip or gable roof with one intersecting gable roof</li> <li>• Barrel or 'S' shape concrete tiles</li> </ul>	<ul style="list-style-type: none"> <li>• Shed roof over porch</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>• Stucco</li> </ul>	<ul style="list-style-type: none"> <li>• Stucco - sand finish</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>• Vertical multi-paned windows at front elevations</li> <li>• Multi-paned windows or inserts on side and rear elevations in high visibility public view areas</li> <li>• Vinyl wrapped windows</li> <li>• Simple 2x window and door trim - wood or stucco over foam</li> </ul>	<ul style="list-style-type: none"> <li>• Feature recessed arched window</li> <li>• Accent beveled glass recessed window</li> <li>• Single or grouped round top windows</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>• Stucco over foam window and door trim</li> <li>• Arched stucco column porches</li> <li>• Surface mounted fixtures on front elevations must complement architectural style</li> <li>• Garage door patterns to complement style</li> <li>• Shaped rafter tails at feature areas</li> </ul>	<ul style="list-style-type: none"> <li>• Wrought iron balconies and accent details</li> <li>• Entry door design to compliment style</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>• Field: Whites, beige, or warm tints</li> <li>• Trim: Dark shades to contrast field color</li> <li>• Accents: Deep tones of green, blue, red (on shutters, door, balcony trim)</li> </ul>	



# Parkside

## Andalusian



Andalusian style is an adaptation of the Farmhouses and cottages found in the rural areas throughout the region of Andalusia which is located in the South of Spain. Enriched with details and elements derived from Moroccan, Moorish and classical Roman architecture this style represents a simple, yet elegant blend of cultures.

The informality of rural life originally inspired a simple, rectangular form that evolved organically over time to meet the spatial needs of the owner. Subsequent massing was typically similar in form, but changed in dimension with new functions and arrangement of spaces. The resultant irregularity in massing and appearance adds to the charm and romance of this southern European style. Its informal rustic character is highlighted with sophisticated details, natural, indigenous materials, warm, sun-bleached colors and rich textures.

Architectural distinction of Andalusian style is established through the use of details such as softly sculpted or curved wall and chimney articulation, colorful mosaics and tilework, rustic stone accents, balconies, perforated wall patterns and vents, cantilevered windows, classical elements, arches and/or wrought iron grillwork accents.





# Parkside



Feature Windows and Simple Massing



Vertical Windows with Wrought Iron Detail



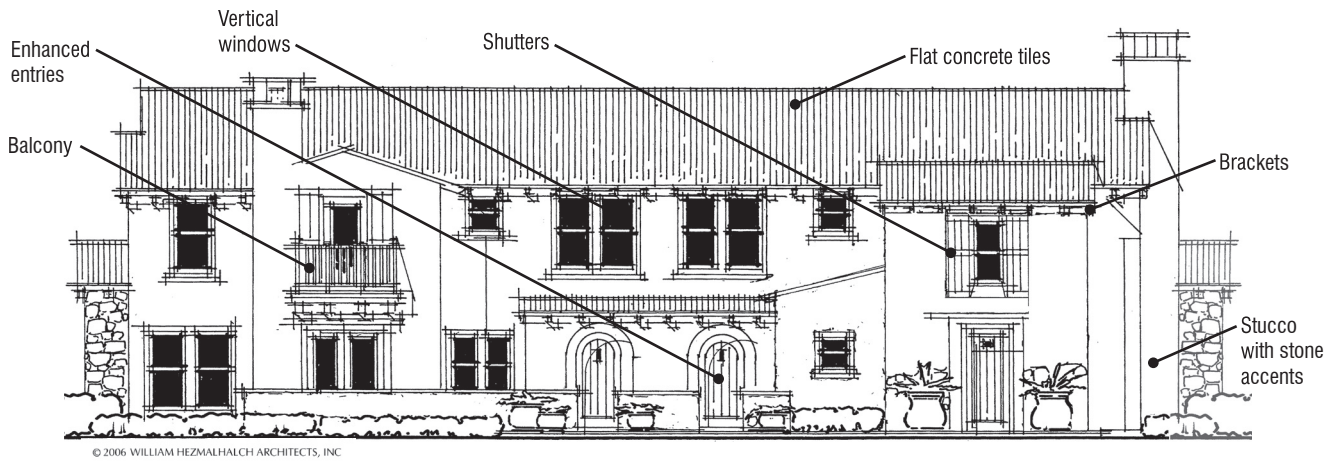
Well Articulated Entry

Element	Common Features
<b>Form</b>	<ul style="list-style-type: none"> <li>• 2 story massing with one story elements at courtyards/ entries</li> <li>• Courtyard plan form</li> <li>• Recessed upper story elements</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>• 4:12 to 5:12 roof pitch</li> <li>• 12" to 18" overhang</li> <li>• Simple hip or gable roof forms</li> <li>• Barrel or 'S' shape concrete or clay tiles</li> <li>• Intersecting gabled roofs</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>• Stucco finish</li> <li>• Stucco - sand finish with rustic brick accents</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>• Vertical multi-paned windows at front elevations</li> <li>• Multi-paned windows or inserts on side and rear elevations in high visibility public view areas</li> <li>• Vinyl wrapped windows</li> <li>• Simple 2x window and door trim - wood or stucco over foam</li> <li>• Feature recessed arched window</li> <li>• Accent beveled glass recessed window</li> <li>• Single or grouped round top windows</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>• Arcades supported by classic columns at courtyards, balconies and porches</li> <li>• Wrought iron or wood balconies and accent details</li> <li>• Enhanced articulation at entrances and feature windows</li> <li>• Decorative ceramic tile accents</li> <li>• Wood or wrought iron railings at balconies or porches</li> <li>• Garage door patterns to complement style</li> <li>• Shaped rafter tails at feature arches</li> <li>• Balustrades at balconies or porches</li> <li>• Sculpted forms at facades, chimneys, feature windows, etc.</li> <li>• Tile vents in gable end</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>• Field: Sunwashed white tones or light tints</li> <li>• Trim: Dark brown, burnt red or ochre</li> <li>• Accents: Dark or medium shades of green, red, beige, blue using sparingly</li> </ul>



# Parkside

## Tuscan



During the 15th and 16th century large numbers of houses were built along roads and hillsides in rural Tuscany, many of which, although altered, are still in use today. As this region was and is primarily agricultural, these homes reflect the character of the farmhouse estate or 'podere'. Built by their owners with the indigenous materials and colors of the surroundings, these buildings blend naturally with the land.

The building form and massing is an example of simplicity; a plan that began as a simple rectangular form that evolved organically over time. Smaller components similar to the original form were typically added as necessary to meet the spatial needs of the owner. The resulting building, with the flexibility and variety apparent in this style, is what makes it so appealing. The informality of these rural farmhouse and settlement building types, including their traditional squared towers, eventually became the inspiration for Tuscan villas.



# Parkside



**Recessed Second Floors  
Earth Tones**



**Stucco with Stone Accents  
Rectangular Form**



**Enhanced Entry Articulation  
Vertical Multi-divisioned Windows**

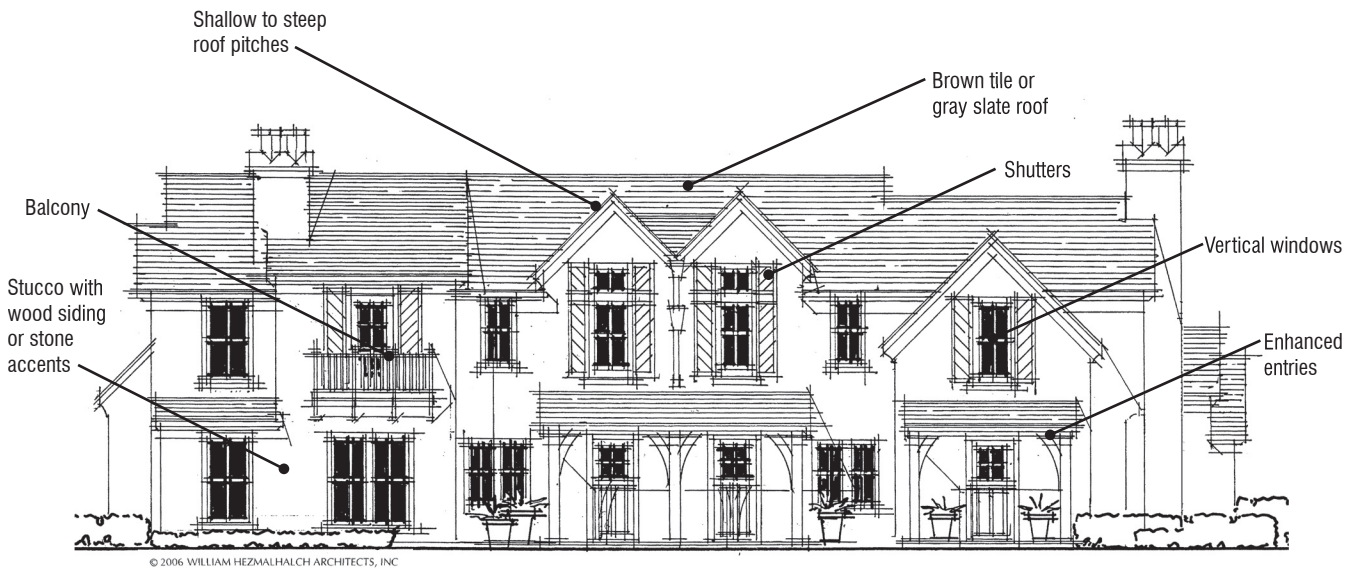
Element	Common Features	
<b>Form</b>	<ul style="list-style-type: none"> <li>Rectangular plan form massing with some recessed 2nd floor area</li> <li>Enhanced articulation and detail of entries, windows, doorways and balconies</li> </ul>	<ul style="list-style-type: none"> <li>Distinctive plan form massing with substantially recessed 2nd floor</li> <li>Squared tower elements at entry or upper story</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>Main roof hip or gable with intersecting gable roofs</li> <li>4:12 to 6:12 roof pitch</li> <li>12" overhangs at eaves</li> <li>Architectural quality asphalt shingles or smooth flat concrete tiles</li> </ul>	<ul style="list-style-type: none"> <li>Main roof hip or gable with intersecting gable roof or 2nd story roof breaking over 1st story elements</li> <li>Brackets under eaves</li> <li>Deeper overhangs to 24"</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco with stone accents</li> </ul>	<ul style="list-style-type: none"> <li>Enhanced stone siding</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>Vertical multi-divisioned windows at front elevation</li> <li>Multi-divisioned windows or inserts on side and rear elevations in high visibility public view areas</li> </ul>	<ul style="list-style-type: none"> <li>Curved or round top accent windows</li> <li>Single hung windows at front</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>Entry accents with real or faux stone</li> <li>Garage door patterns to complement style</li> <li>Shutters</li> <li>Balcony or veranda</li> <li>Simple 2x window and door trim - wood on stone or siding, stucco on stucco</li> </ul>	<ul style="list-style-type: none"> <li>Enhanced shutters</li> <li>Stone veneer chimney and accented feature elements</li> <li>Wrought iron or wood balconies and potshelves</li> <li>Rusticated hardware and details</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>Field: Medium, saturated earth tones</li> <li>Trim: Whites tones or light shades complementary to field color</li> <li>Accents: Light or dark shades in contrast with field color</li> </ul>	

\* Possibly lower pitch at main roof



# Parkside

# Provence



The character of the Provence home could be classified as part farmhouse and part chateau. Its origins are in the simple rectangular farmhouses and cottages that exist in the rural hillsides and villages within the Provence region of France.

Looked upon as an enchanting style, graceful details such as stone lintels and surrounds at doorways and windows, curved or detailed shutters and asymmetrical accent elements capture the aging essence of Provence style. The use of chiseled stones and enhanced entries are included in a palette of common features that are subtly placed on elevations.

Provence style roof pitches vary from shallow to steep. Rafter tail ends and wood or wrought iron balconies are silhouetted against building facades, with an unassuming brown tile or gray slate roof.



# Parkside



**6:12 to 12:12 Roof Pitch**



**Rectangular Plan Form Massing  
Enhanced Shutters**



**Pale Earth tones**

Element	Common Features	
<b>Form</b>	<ul style="list-style-type: none"> <li>Rectangular plan form massing with some recessed 2nd floor area</li> </ul>	<ul style="list-style-type: none"> <li>Distinctive plan form massing with substantially recessed 2nd floor</li> </ul>
<b>Roof</b>	<ul style="list-style-type: none"> <li>Main roof hip or gable with intersecting gable roofs</li> <li>4:12 to 6:12 roof pitch</li> <li>Shallow overhangs to 12"</li> <li>Architectural quality asphalt shingles or smooth flat concrete tiles</li> </ul>	<ul style="list-style-type: none"> <li>Main roof hip or gable with intersecting gable roof or steep 2nd story roof breaking over 1st story elements</li> <li>Curved slope at roofline</li> <li>6:12 to 12:12 roof pitch</li> </ul>
<b>Walls</b>	<ul style="list-style-type: none"> <li>Stucco with wood siding or stone accents</li> </ul>	
<b>Windows</b>	<ul style="list-style-type: none"> <li>Vertical multi-divisioned windows at front elevation</li> <li>Multi-divisioned windows or inserts on side and rear elevations in high visibility public view areas</li> </ul>	<ul style="list-style-type: none"> <li>Curved or round top accent windows</li> <li>Bay windows</li> <li>Single hung windows at front</li> </ul>
<b>Details</b>	<ul style="list-style-type: none"> <li>Entry accents with real or faux stone</li> <li>Garage door patterns to complement style</li> <li>Wrought iron or wood balconies and potshelves</li> <li>Shutters</li> <li>Simple 2x window and door trim - wood on stone or siding, stucco on stucco</li> </ul>	<ul style="list-style-type: none"> <li>Enhanced shutters</li> <li>Stone veneer chimney or accented feature elements</li> </ul>
<b>Colors</b>	<ul style="list-style-type: none"> <li>Field: Pale earth tones</li> <li>Trim: Whites or light shades complementary to field color</li> <li>Accents: Light or dark shades in contrast with field color</li> </ul>	



# Parkside

## 7.3 MASSING (SINGLE-FAMILY)

### 7.3.1 Introduction

Creating street scenes that function well and have visual interest is a primary community objective. The following basic elements and criteria are intended to develop variations in appearance and a sense of individuality for each home. Neighborhoods that have nearly identical homes and streets without variation in product placement and form will not be approved in design review. This section lists architectural massing and plotting techniques that will help to create a quality environment.

#### Objectives:

- Minimize visual impact of garages;
- Give attention to composition of building mass;
- Incorporate single-story elements in two-story buildings;
- Vary setbacks at porches, living and garage areas;
- Minimize two-story dominance on street (including lanes) scene, sidewalks and open spaces;
- Design with sensitivity to corner lot conditions;
- Use appropriate transition of scale; and
- Use four-sided elevation design.

### 7.3.2 General Elements

#### The general elements of building massing include:

- Front articulation;
- Roof form;
- Garage placement;
- Balconies and projections;



- Rear articulation;
- Variable setbacks; and
- Corner lots/critical edge conditions

#### Neighborhood Massing and Plotting Concepts

To provide more interesting neighborhood streetscenes, varied massing on all elevations is encouraged.

Where possible when plotting, refrain from strict compliance to minimum garage setbacks to avoid contributing to repetitious street scenes. Typically, plans are to be reversed and plotted so that garages and entries are adjacent to each other to create an undulating setback. Additionally, this pattern should be broken to avoid monotony.

#### Simple Home Design

In an attempt to design aesthetically pleasing architecture that is economically feasible and functions well the concept of "The Simple House" is to be implemented. This suggests that starting with simple structural forms and building masses and appropriate roof forms can lead to the development of an "authentic" style while maintaining acceptable building costs. In order to achieve this the following basic criteria have been established:

- Design "simple," attractive homes using simple plan forms and style-appropriate massing and roof pitches;
- Use style-appropriate elements and details to enhance good architecture;
- Provide a variety of single story heights and profiles while stepping back second story massing where appropriate;
- Acknowledge both street front facades on corner homes or buildings by 'wrapping' usable spaces, architectural elements, and materials around to face the side street frontage;
- Give added attention to side and rear articulation if facades are publicly exposed;
- Use covered and shaded spaces such as porches, landscaped courtyards or structural landscape elements to provide a sense of entry and respond to local climate conditions; and
- Respond to overall community character with appropriate choices of style, color, and materials.



# Parkside

Refer to Sections 7.2, 7.3 and 7.4 of this document for specific guidelines concerning the styles, massing, elements and details of simple residential architectural design.

### Single-Story Elements

Single-story elements are highly encouraged on all homes to help establish neighborhood pedestrian scale and add variety to the street scene. A minimum of thirty-three (33) percent of homes in each neighborhood shall have at least one (1) significant single-story element on an exposed front or side elevation.

Significant single-story elements include:

- Front or wraparound porch (minimum seven (7) feet deep and ten (10) feet wide);
- Roofed porte cochere;
- Single story living space in conjunction with a second story recess of at least five (5) feet; and
- Pop-out gable element (enclosed or open).

This requirement may be satisfied with the addition of a one-story porch or other elements listed above.

Where forward garages are used single-story massing is encouraged.

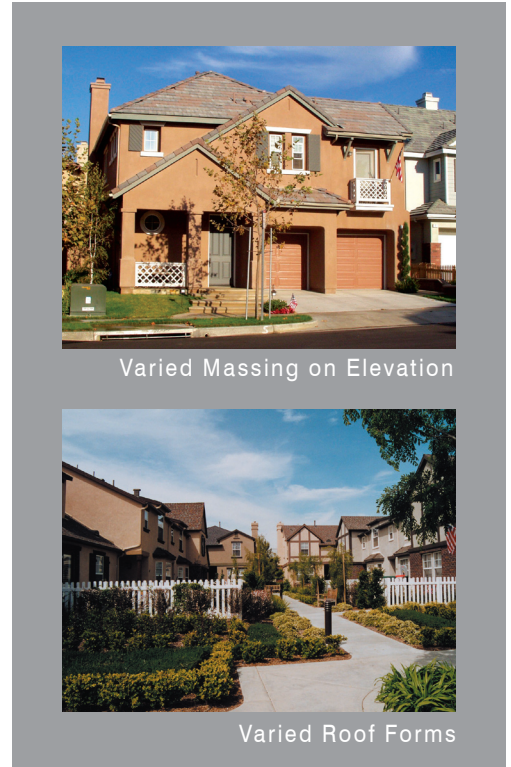
- Two (2) enhanced elements are required on all homes without porches (see individual style matrices, on pages 7-4 to 7-21, for appropriate “enhanced elements”).

### 7.3.3 Front Articulation

The appearance of the street scene and collection of homes within it is typically the first impression of any neighborhood. Most homes are seen primarily from the front and represent the transition from public to private space as well as the character of those who dwell within.

With this in mind, it is important that the front of the home, and any sides exposed to the street receive thoughtful design and articulation to impart a certain level of character and quality to the individual home and to the neighborhood as a whole. The following guidelines will help to achieve that level of articulation:

- Design neighborhood plan package with forms and front elevations in mind to work together in controlling the impact of buildings on the street scene;
- Provide variety in form and massing to reflect interior uses and achieve attractive and interesting elevations;



- Design placement of windows to work with interior uses and provide “eyes on the street”;
- Consider the entry as a focal point when designing the front elevation; and
- Provide an appropriate level of detail and trim at entries, doors, and windows to enhance good design.

### 7.3.4 Roof Forms

Rows of homes seen from a distance or along arterial roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roof line. Articulate the building mass and roof lines to express a variety of conditions and minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. This can be achieved by designing a discernibly different roof for each home plan. Individual roof plans may be simple but between different plans should exhibit variety by using front to rear, side-to-side, gables, and hipped roofs and/or by the introduction of one-story elements.



# Parkside

### 7.3.5 Garage Placement & Treatment

Create attractive and comfortable street scenes and pedestrian spaces by designing lane-accessed garages.

#### Lane (Private Alley) Facing Garages

Although lanes (private alleys) are thought of as merely a transitional vehicular space, they also provide garage and sometimes direct residence access for trash collection and other daily utility uses. They may typically be experienced by homeowners as often as the front entries to these homes.

Therefore, when designing lanes consider both functional and aesthetic issues. It is the intent to provide a pleasant experience for daily users by incorporating both in the elements of lane design.

Lanes (private alleys) lined with homes and garages that have similar or identical facades, setbacks, roof lines, color schemes, and landscape treatments are monotonous and lack individual identity. This condition is not permitted.

In order to avoid the aforementioned condition the following requirements must be met:

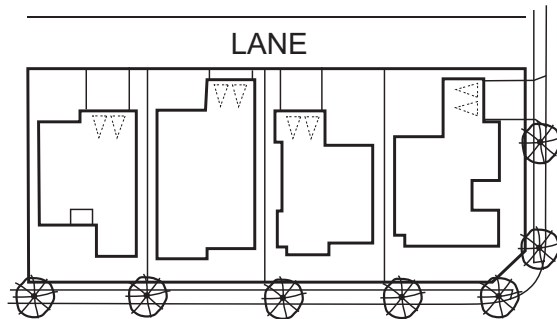
- Avoid a multi-storied, “canyon-like” effect within the lane by providing varied massing, vertical, and horizontal offsets of primary architectural elements and roof lines. Where possible, vary ground floor building setbacks to provide undulation in the line of garage doors. All drive apron and building separation setback requirements shall still be maintained (refer to **Section 7.6, Home Types**, of this document for specific setback requirements);
- Articulate building elevations with style-appropriate window trim, elements and details;

- Vary garage door appearance by using door patterns, colors, and windows as appropriate to individual architectural styles; and
- Design and locate rear privacy walls and pedestrian gate entries to provide ease of access to the rear yard, allow sufficient dimension for landscape requirements and screen trash can storage from lane.
- The number of homes with shallow recessed garages shall be limited to 25 percent of the total number of units in each builder’s plan package and shall be setback a minimum of 20 feet from the property line.

The impact of repetitive garages can be reduced by using the following techniques:

#### Vary garage door appearance

Vary garage door pattern, windows and/or color as appropriate to individual architectural styles. Additional treatments are encouraged to buffer direct or monotonous views of the garage doors.



**Varied Garage Placement—Lane (Private Alley) Facing**



**Varied Garage Door Appearance**





# Parkside

## **Vary garage placement from plan to plan**

Provide varied garage placements in each lane-loaded neighborhood by reversing placement, varying horizontal massing and offsetting or cantilevering upper-story massing.

This garage placement allows the option of entering from the side street, thereby eliminating the garage and driveway from the front or lane (private alley) side of the house.

## **Optional Garage Screening Treatments**

Garage screening treatments are highly encouraged to reduce or buffer the impact of garages and garage doors from the street or lane (private alley).

## **Garage Door Screening Elements**

Install elements such as an attached trellis beneath a single-story garage roof fascia and/or above garage door header trims.

## **7.3.6 Balconies and Projections**

The inclusion of balconies and projections are encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall planes, offsetting floors, providing shade, creating visual interest, and adding human scale to a building. Balconies also provide the practical advantage of extending living areas to the outdoors and providing elevated spaces and views.

- Balconies may be covered or open. They may be partially recessed into the mass of the building or serve as a projecting element; balconies and patios must adhere to the building to building setbacks; and
- Design balconies as integral elements of the building with details, eaves, supports, and railings in keeping with the architectural style and other elements of the building's design.

Other architectural projections may include elements such as cantilevered massing, secondary roof changes, niches in plan, and bay windows.

## **7.3.7 Articulation of All Elevations**

The second story portion of all elevations of homes that are adjacent to roads, parks, trails, paseos, public open space, must include a variety of window treatments, roof projections, etc. Where these conditions of visibility exist, a variety of hipped and gabled roof forms must be used in each neighborhood. One-story elements also help to provide this variety.



# Parkside

### 7.3.8 Varied Massing

Provide varied massing and articulated elevations in keeping with the selected style.

#### Floor Plan Form

Keep architectural styles in mind when designing the floor plan. For example, styles such as Cottage or Farmhouse that reflect asymmetrical massing and steeper roof pitches may be applied to a similar floor plan and elevation while both maintain an authentic appearance.

### 7.3.9 Corner Lots/ Critical Edge Conditions

Neighborhood quality will be enhanced by adding a home plan designed specifically for the corner, or by enhancing an interior lot plan for use on the corner with additional architectural elements and/or details as found on the front elevation.

All corner homes must include wrapping materials and continued articulation around to the side facade. All material changes must occur on an inside corner such as a porch, fireplace, niche or bay window, etc. or coincide with an architectural element that conceals the material change.

#### Corner Plans

At least two (2) plans per neighborhood should be designed for optional use on corner lots.

- One (1) of these plans shall include a significant architectural element that encompasses an interior room or living space that wraps around or occupies the corner side yard.

A second plan should include a single-story element that helps to articulate the side facade such as:

- A wraparound porch or pop-out side gable.

These elements will also provide logical stopping points/less conspicuous inside corners for wrapping materials.

Corner plans should also consider use of a corner-related front entry door placement.

#### Community Recreation and Common Facilities

Common recreation facilities may include a pool, spa, club house, barbecue areas, or other facilities as appropriate to the community. Common facilities act as key character elements in these neighborhoods, therefore the following should be considered when designing for such facilities.

- Clubhouse and other common buildings should exhibit a high level of quality and attention to detail on all visible sides of the building;
- All architectural and community elements, such as street furnishings, benches, and lighting standards should be consistent with the selected overall architectural character for the community; and
- Colors, massing, roof pitch, and materials of surrounding residential buildings should also be considered in conjunction with the design of the common facility.



Cottage



Farmhouse



# Parkside

## 7.4 MATERIALS AND DETAILS

### 7.4.1 Introduction

Although the character and style of homes should be established primarily through the use of massing, roof forms and key architectural elements, the addition of appropriate secondary character elements, detailing, and accent materials provides an effective means of further reinforcing and enhancing character and style interpretations.

Key elements are those primary architectural features of the home that clearly discern one style from another. Secondary elements and details are identified as those that help to reinforce or enhance an already identifiable style. A list of appropriate elements, colors and materials for each individual style is found in the requirements matrices in the “Styles” section of this document.

The Key or Primary elements are:

- Doors and Entries;
- Windows;
- Rakes and Eaves;
- Exterior Lighting Fixtures;
- Roof Materials;
- Colors;
- Accent Materials; and
- Wall Finishes.

### 7.4.2 Doors and Entries

Building entries represent an important point of interface between public and private spaces typically creating the initial impression for the user and a focal point for the viewer. Front doors and associated entry spaces should thereby be treated with a sense of importance and detailed so as to emphasize their location and purpose. In designing the door and entry space of homes the following guidelines shall be observed:

- Design of door and entry spaces shall be consistent with the architectural style of the home;
- Doors shall be protected by a deep recess, porch or other covered element; and
- Door and entry spaces shall reflect a level of detail appropriate to their function and architectural style.

### 7.4.3 Windows

- Proportions and alignment shall be appropriate to individual style;
- No highly reflective glazing shall be used;
- Inset windows shall be a minimum of two (2) inches in depth;
- Recessed windows are encouraged to be a minimum of twelve (12) inches in depth;
- Style-appropriate grates, shutters, and tile surrounds are encouraged; and
- Avoid direct alignment of windows between homes to ensure privacy.



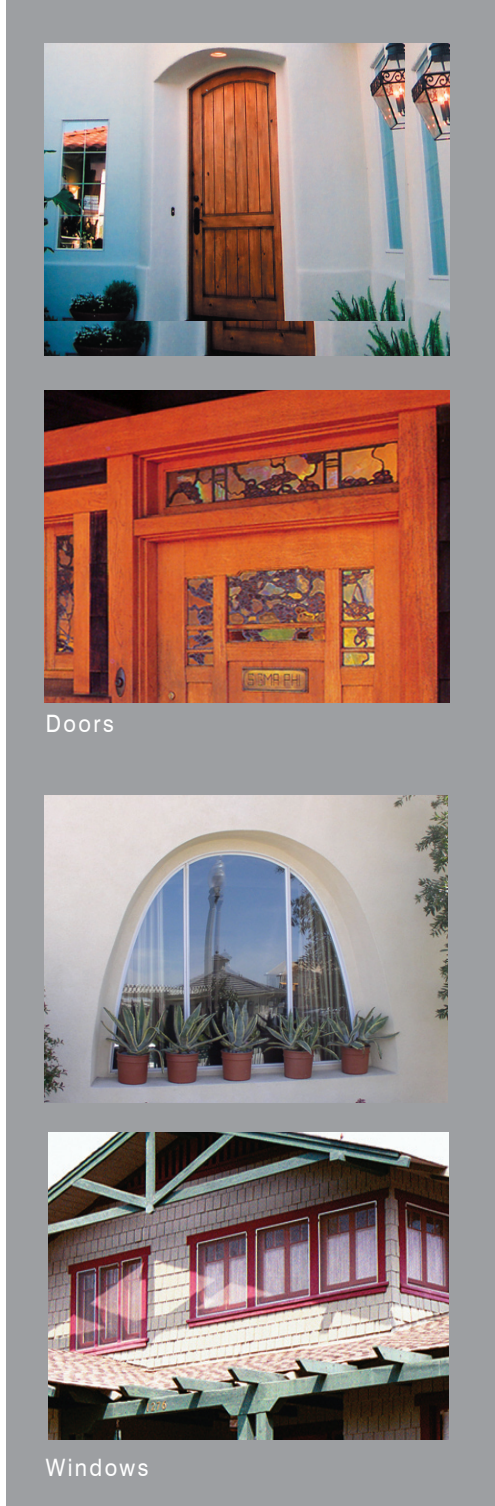
Wrapping Materials



Wraparound Porch on Corner Plan



# Parkside



Doors

Windows

### 7.4.4 Rakes and Eaves

As with other architectural elements, roof edge treatments vary with the character of each style. Rakes and eaves shall reflect that of each individual style and contribute to the overall look and feel of the community.

- Elements and proportions of rakes and eaves shall be appropriate to the individual style;
- Where appropriate to individual style, larger eave overhangs are encouraged to provide opportunities for shading and relief; and
- Rafter tails, when exposed, shall be a minimum of four (4) inches and painted or stained.

### 7.4.5 Exterior Lighting and Fixtures

In the neighborhoods of the Specific Plan emphasis shall be placed on lighting for safety, security, and aesthetics. Street poles and wall fixtures shall be used to provide sufficient light for traversal and visibility thereby providing the community with a comfortable level of safety and security at night. Every attempt should be made to reduce ambient light on adjacent homes and to increase the amount of light in less visible areas.

Opportunities to use lighting for directional and aesthetic reasons should also be considered. Where fixtures are not an important focal point, conceal light sources and concentrate on achieving the maximum effects of good lighting design. Where fixtures are part of architectural detailing they should reflect the selected style.

- Lighting used on walls and walkways shall focus light down and provide appropriate down-casting hardware to minimize glare;
- Ambient light shall be cast downward to reduce the impact on the neighborhood;
- Surface mounted lights shall not be permitted in garage door soffits; and
- Wall mounted lighting fixtures shall be selected according to the individual style of the home or building.

### 7.4.6 Roof Materials

Roof materials, colors, and treatments should correspond to the individual character or style of the home or building and be compatible with the overall look of the neighborhood. Style appropriate materials and colors are found in each appropriate matrix in the “Styles” section of this document.



# Parkside

- A variety of roof plans, forms, and ridge heights shall be provided using hips, gables, and intersecting elements to avoid a repetitious skyline;
- High quality composition, concrete, or clay tiles may be used in conjunction with the style of home; and
- Skylights are prohibited on sloped roofs facing public streets.

## **7.4.7 Colors**

A varied palette of regional and style-appropriate colors and materials have been selected for the homes in the Parkside Specific Plan area. This inherently rich and diverse palette will provide the variety required for visual interest while providing a sense of unity within the neighborhoods. Style-appropriate color selections will enhance the architectural character and impart individuality to each home.

- Color shall contribute to distinguishing the overall architectural character of the dwelling. See the “Architectural Styles” section of this document for individual color palettes;
- Hue variation in adjacent homes shall be provided to create diversity within the neighborhood;
- Diversity of color is encouraged; and
- Roof tile colors will be selected according to architectural styles.

To further this goal of diversity, the following criteria shall be met:

- Each elevation/color scheme shall have a minimum of three (3) colors, four (4) is preferred. For example, one (1) field color, one (1) trim color and one (1) or two (2) accent colors;
- Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors;
- No adjacent or facing home shall have the same color scheme; and
- No more than two (2) of the same plan shall be plotted adjacent to one another.





# Parkside

## 7.4.8 Accent Materials

Accent materials should be used to enhance and reinforce the architectural style and composition of individual homes and provide variety in the street scene. Selective use of appropriate materials, color, and placement can provide maximum impact while imparting a sense of unique character to each home.

- Culmination of accent materials shall terminate at inside corners or coincide with an edge or architectural element to conceal changes in material. Where views are limited or edges concealed by an architectural element, accent materials may terminate at privacy wall conditions;
- Natural stone, approved manufactured or cultured stone, painted or natural brick, precast concrete, ceramic tile, slump block, and horizontal or vertical wood siding or approved manufactured siding, (i.e. cementitious board) are encouraged;
- Accent materials shall be selected to complement the overall color and style of the home or building; and
- Architectural trim applied to all elevations is encouraged to be consistent with front elevation and architectural style.

## 7.4.9 Wall Finishes

Style-appropriate wall finishes should visually enhance individual homes. The use and placement of extreme contrasts in color and/or materials should be carefully considered in order to maintain a compatible overall look throughout the neighborhood. Footings shall be exposed no higher than six (6) inches above finished grade.

### Permitted Finishes:

- Stucco-light to medium sand finish ("Spanish Lace" finish is prohibited);
- Exposed masonry walls (brick, slump block, split face, etc.);
- Stone, brick, adobe, brick veneers (accent materials);
- Horizontal plank siding; and
- Board and batten siding.



Roof Materials



Accent Materials



# Parkside

## 7.5 ATTACHED AND MULTI-FAMILY GUIDELINES

It is the intent for all architecture in Parkside to achieve a high level of quality in building function and visual appearance, assure variety and compatibility in architectural character and to enhance the community's overall value. The goal is to promote these qualities in conjunction with the landscape and planning by using heritage styles combined with modern technology and architectural innovation to provide a pleasant, livable community.

By the very nature of the building types, attached and multi-family home neighborhoods are much like small villages, or communities. Each should be designed for compatibility within itself, using a blend of compatible architectural styles and a tastefully balanced palette of colors and materials.

The following general concepts should be considered when planning for and designing multi-family housing. See the following section for added criteria that is specific to each building type.

- Design and site buildings with a strong physical relationship to public areas of the community.
- Emphasize pedestrian access and connections to public sidewalks, paseos, and open space systems when preparing site plans.

### 7.5.1 Architectural Inspiration - Themes and Styles

One key to the success of this community is an appropriate overall theme and the choice of supporting architectural styles. Each multi-family planning area in Parkside is related to a private recreation



area or the "Great Park." Appropriate styles, in a simplified palette, include selected Mediterranean styles of Europe, including Tuscan, Provence, and Andalusia.

Each of these community areas will reflect an architectural and landscape environment that expresses the specific character of that region with the entire community being linked by landscape elements and plantings common to all of these regions.

An important goal in Parkside is also to develop a strong community character and varied and interesting street scenes. In order to achieve this, an architectural palette has been selected that represents those styles found in each regional area of Mediterranean Europe.

The selected architectural style regions for Parkside are:

- Tuscan - Tuscan Farmhouse, Tuscan Villas;
- Provence - French Farmhouse, French Country Cottage; and
- Andalusia - Andalusian Farmhouse, Spanish Colonial.

Each multi-family planning area is designated for a selected primary style that will be reflected in the recreation facilities and parks and most of the architecture for that area. A secondary, different style will also be selected for use in that area by proximity to other styles; using only the style which is in the adjacent or closest planning area.

Plan and Style Requirements for Attached Homes:

- Provide at least two (2) building plans per neighborhood (75-175 units), with the ability to reverse plot plans and vary placement or add elements to corner units;
- Provide a minimum of two (2) individual unit plans per building. Individual unit plans may be repeated between building plans;
- Provide one or more styles per community as designated on the "Neighborhood Character" exhibit in this document; and
- Provide at least three (3) different, yet compatible color schemes for each neighborhood.

#### Materials and Colors

Individual elevation or building colors should be selected from the community color palettes selected for that style. See individual style matrices for style-appropriate color palettes.



# Parkside

## 7.5.2 Architectural Plotting & Massing Concepts

### Form, Mass & Height

In the case of attached and multi-family buildings there is a tendency to “build out” to the maximum building envelope without articulated treatment on wall planes. This is to be avoided, as the intent is to prevent the final product from becoming a multi-story stucco box, without vertical or horizontal relief.

- Minimize building “ends” and blank, singular planes oriented toward public views. Provide some architectural elements on all sides of building;
- Consider intended styles in conjunction with the development of building plans, massing forms, elements, details, and color;
- Carefully consider the building massing, details, and color, in conjunction with the architectural character for the neighborhood or community;
- Design buildings to define outdoor spaces, with floor plans that have logical and functional relationships between indoor spaces and outdoor spaces; and
- Buildings shall not exceed height standards. (Refer to Section 7.6 of this document for height restrictions).

### Shade and Shadow - Building Relief

- Project a front door image and access to the street front. Articulation of end unit elevations is required to achieve four-sided articulation;
- Place and access garages at rear alleys to separate pedestrian from vehicular areas;
- Provide front porches where style-appropriate and possible for stepped massing and transition to public spaces;
- Vary setbacks on building elements/facades; and
- Vary roof pitches and directions.

### Spaces - Single Story Elements

Single story elements are encouraged on all buildings to establish pedestrian scale and add variety to the street scene. This is especially important on larger buildings where inadequate articulation of mass tends to produce monotonous, single planes.

On attached buildings, there are multiple opportunities for single-story elements such as interior living spaces, porches and entries. The addition of such elements helps to provide a transitional space between public and private space.

### Entries

Entries should create an initial impression, locate and frame the doorway, act as an interface between public and private spaces and further identify individual unit entries.

- Wherever possible, site plans should orient the front door image and principal access toward the public street or entry courtyard;
- Incorporate appropriate roof elements, columns, feature windows and/or architectural forms in the entry statement to emphasize the building character and the location of individual doorways; and
- If front entry location is not immediately obvious due to building configuration, direct and draw the observer to it with added elements such as signs, lighting and landscape.

### Windows

Typically the location of windows is determined by the practical considerations of room layout, furniture placement, views, and privacy. Design emphasis here should be of particular concern as windows play an important role in the exterior architectural character of multi-family buildings.

- Within the appropriate style requirements, group and coordinate windows with other design elements to create a sense of composition and order;
- Where appropriate to style and window form, the use of multiple window panes is encouraged; and
- Use appropriate scale and proportion in window design to enhance the elevation style, using shutters, trim, etc. to help convey character.

### Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall planes, offsetting floors, creating visual interest, and adding human scale to the building. They provide the practical advantage of creating outdoor living areas and elevated open space.





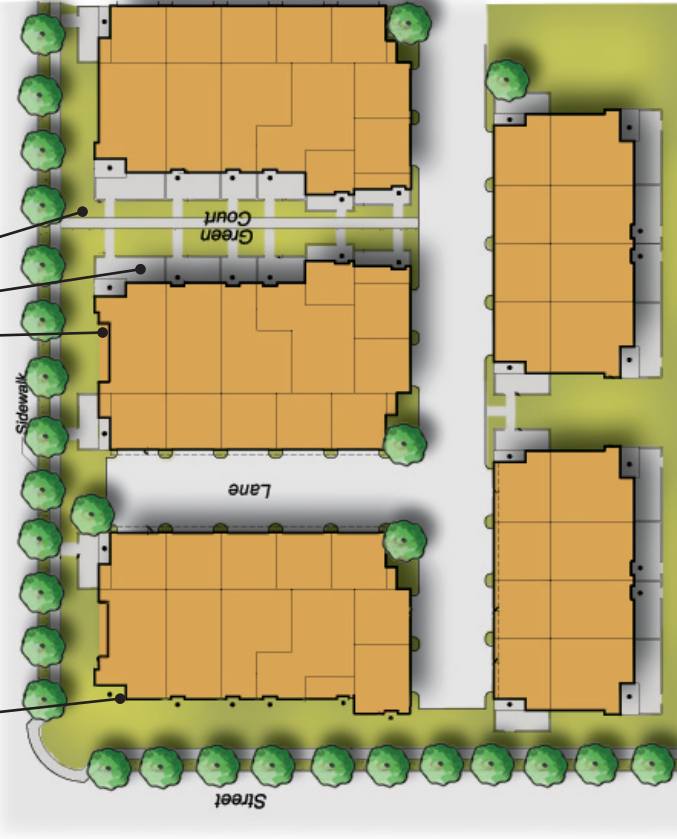
## Parkside

- Front door at street
- Street appearance as large single-family "mansionette," varied scale/massing
- Public view into green court



## Triplex

- "Row" Townhome street appearance
- Public view into green court
- Private open space with front access opening to green court
- Articulate "side" elevations with reduced massing



## Townhomes



# Parkside

- Balconies may be covered or open. They may be either recessed into the mass of the building or serve as a projecting element. Balconies and patios must adhere to the building to building setbacks;
- Design balconies as an integral elements of the building with details, eaves, supports, and railings in keeping with the architectural style and other elements of the building's design; and
- Avoid designing plans with repetitive balconies that occur side by side.

## Parking

In the case of attached buildings adjacent to primary streets, the focus of these buildings should be their street front image and pedestrian access. Each project will incorporate interior oriented parking solutions and use the following design techniques to enhance the architecture of the street scene:

- Distribute parking on-site to provide close proximity as possible to individual units;
- Group unassigned or guest parking in convenient locations;
- Refer to the City of Ontario's parking code for the required number of spaces; and
- A parking analysis must be submitted to the City as part of the Development Permit process.

## Community Recreation and Common Facilities

Each neighborhood planning area is focused around (or is within a short walk from) the "Great Park" or common recreation facility. These may contain pools, spas, recreation buildings, barbecues and/or open space. Each is planned as appropriate to the demographic profiles identified for the community by the master developer.

- Recreation facilities are key character elements for the community;
- All architectural and community elements, such as street furnishings, benches, lighting standards, and trash receptacles, shall be consistent with the selected overall architectural character for the community; and
- Colors, massing, roof pitch, and materials shall be compatible with residential buildings or project theme.

## Trash Enclosures

- Enclosures shall be provided to accommodate the numbers and types of trash containers as required by the disposal company. These enclosures shall be positioned in a centrally convenient area for residents. Try to minimize impact on adjacent residences and neighborhood developments by keeping enclosures from the edges of the community.
- Trash enclosures shall be substantially constructed in a style and decorative wall finish that is consistent with the overall architectural character of the development.
- All trash enclosures shall be equipped with style complementary gates of durable construction, hinged to self-supporting steel posts.
- Lighted pedestrian access is required at each enclosure.
- Trash enclosures shall be screened with landscaping and shall be placed in a location which does not interfere with on-site circulation.

## Garage Placement & Treatment/Lanes

Provide rear or side-accessed garages for lane-loaded, attached buildings. Tandem garages may be used to accommodate parking requirements. Vary plans where possible, placing garages at different locations relative to the lane. Roll-up garage doors with garage door openers are required on all homes.

## Lanes (Private Alleys)

All lanes (private alleys) shall be designed to include landscaping to soften architectural massing. Architectural treatments such as varied massing, color variations, decorative paving, trellises, and window treatments shall be designed to add interest to building facades. Additionally, drainage swales shall not be constructed within the center of the lanes. The swales shall be constructed along the perimeter of the lanes.



# Parkside

## 7.6 HOME TYPES

### 7.6.1 Introduction

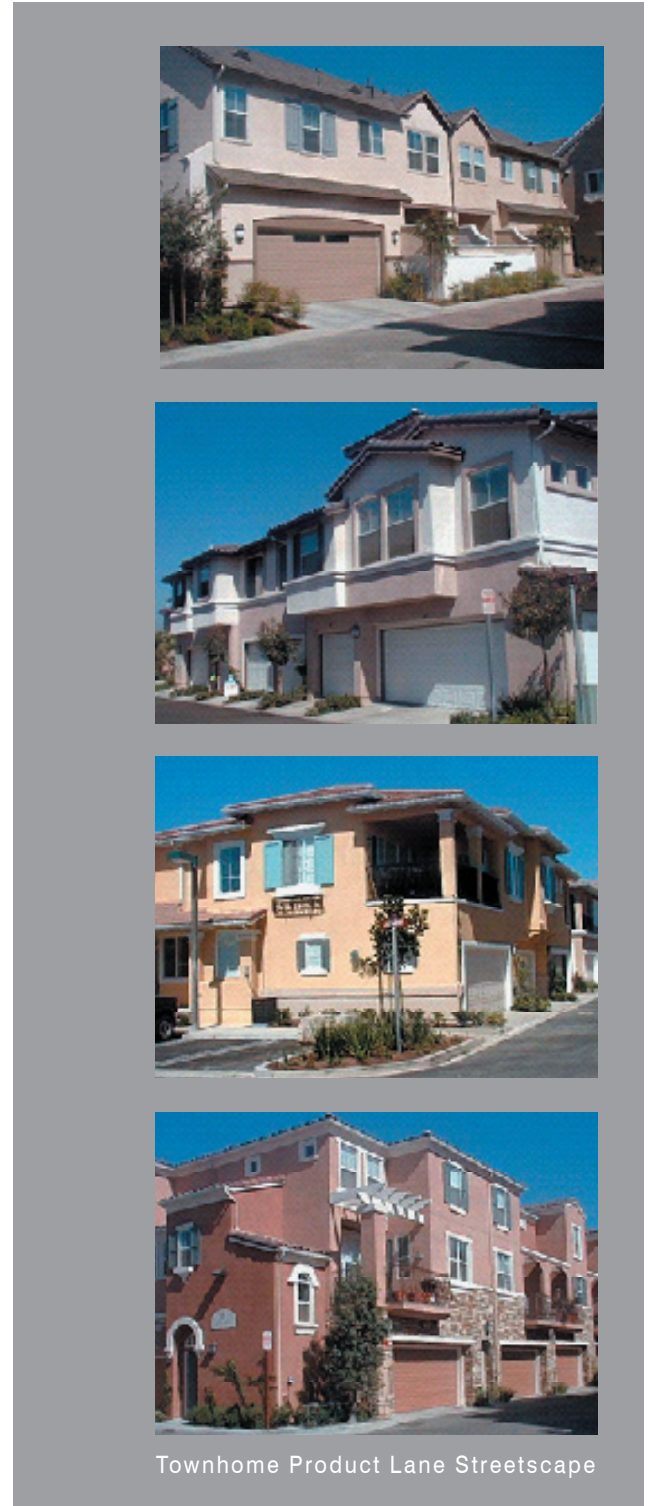
A primary design objective for the Specific Plan is to provide a variety of representative home sizes and plans to suit the needs of different life styles.

The following section provides conceptual plotting examples for a variety of residential building types, arrangements and lot size ranges. Plotting concepts are provided only to illustrate a typical layout of each building type. They are not intended to be mandated layouts.

### 7.6.2 Home Type Criteria

The following pages include design standards, minimum setbacks and densities by typical neighborhood building type.

Product Type	Density
Detached Green Court Cluster (6 plex)	10-16 DU/AC
Detached Green Court Paseo Cluster (6 or 8 plex)	8-14 DU/AC
Detached Motor Court Cluster (6 or 8 plex)	8-14 DU/AC
Attached Duplex	12-18 DU/AC
Attached Triplex	10-16 DU/AC
Attached Row Townhomes	12-18 DU/AC
Attached Green Court Townhomes	12-18 DU/AC
Attached Higher Density Townhomes	18-25 DU/AC
Attached Motor Court Cluster (10 plex)	8-14 DU/AC



Townhome Product Lane Streetscape



# Parkside

Detached Green Court Cluster (6-Plex)—10-16 DU/AC

(PA 2 & 8)\*



## CHARACTERISTICS

- Single-family detached dwellings surround green court or face street or paseo
- Automobile access via lanes (private alleys)
- Primary entries and walks face green court, street or paseo
- Private side yards/patios
- Reciprocal use easements extend private spaces on sides of buildings
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario

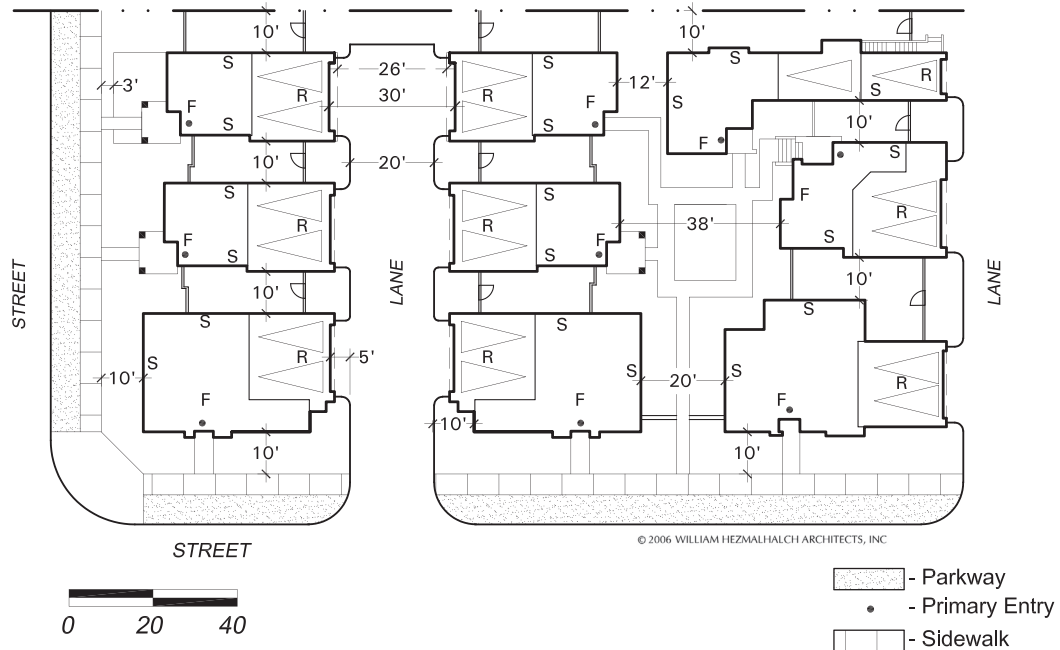
## Notes:

1. Actual acreages, lot sizes, unit counts and densities may vary based on final plans.
  2. Refer to other areas of Section 7 – Residential Design Guidelines, for more specific criteria regarding building design, plotting, styles, materials, details and implementation.
  3. Refer to other areas of Section 7 – Residential Design Guidelines, for specific criteria regarding all landscape design and implementation.
  4. Typical Product Plotting Concepts are provided for representative purposes only - not intended to be mandated layout.
- \* Proposed representative product types in each planning area are subject to final development submittal and are subject to change.



# Parkside

## Detached Green Court Cluster (6-Plex)—10-16 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to front living space - central court	38'
Front to front living space - at central court entry	20'
Front to side living space	12'
Side to side living space	10'

#### Side Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch, balcony	5'
Garden wall	3'

#### Side Setbacks - To parcel edge

Porch, garden wall, balcony	10'
Living space (2-story)	10'
Living space (3-story)	15'

#### Garage Setbacks

Garage face to garage face	30'
Garage face to lane (drive apron)	3'-5'*
Living space over garage - min. offset or max. cantilever from face of garage	2'

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
--	----

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	70 s.f.

#### Parking

Per City of Ontario Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.

\*Measurement is to be taken from the inside of the curb.

# Parkside

## Detached Green Court Paseo Cluster (6 or 8-Plex)—8-14 DU/AC (PA 1&7)\*



### CHARACTERISTICS

- Single-family detached dwellings clustered along paseo/ court
- Automobile access via lanes (private alleys)
- Primary entries and walks face paseo/court or street
- Private side yards/patios
- Reciprocal use easements extend private space
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario

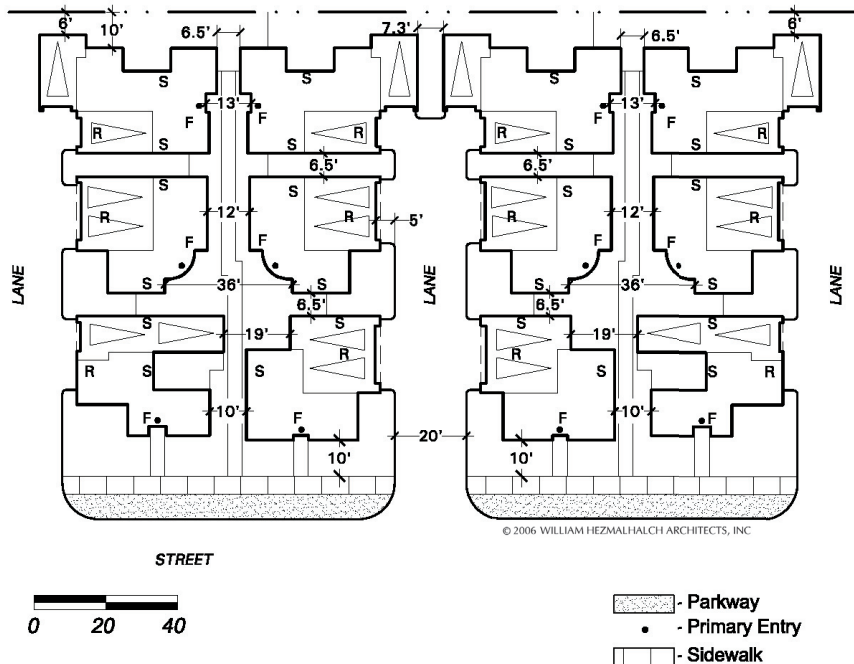
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# Parkside

## Detached Green Court Paseo Cluster (6 or 8-Plex)—8-14 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to front living space - paseo/court	
10' minimum (6.5' minimum in rear); 16' average	
Side to side living space	6.5'
Opposing entries - door to door	13'

#### Side Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Garden wall to back of sidewalk	3'

#### Side Setbacks - To Parcel Edge

Living space (2-story)	10'
Living space (3-story)	15'
Non-living space (garage - single story)	6'

Note: Space between the unit fronts and spaces between unit and street shall be common space.

#### Garage Setbacks

Garage face to garage face	30'
Garage face to lane (drive apron)	3'-5'*
Living space over garage - min. offset or max. cantilever from face of garage	2'
Living space (to lane edge)	10'

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	1.5'
--	------

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	70 s.f.

#### Parking

Per City of Ontario Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.

\*Measurement is to be taken from the inside of the curb.

# Parkside

Detached Motor Court Cluster (6 or 8 Plex)—8-14 DU/AC

(PA 6)\*



## CHARACTERISTICS

- Single-family detached dwellings clustered around motor court
- Automobile access via common motor court driveway
- Primary entries and walks face motor court or street
- Private side and rear yards
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario
- Reciprocal use easements extend private space

## Notes:

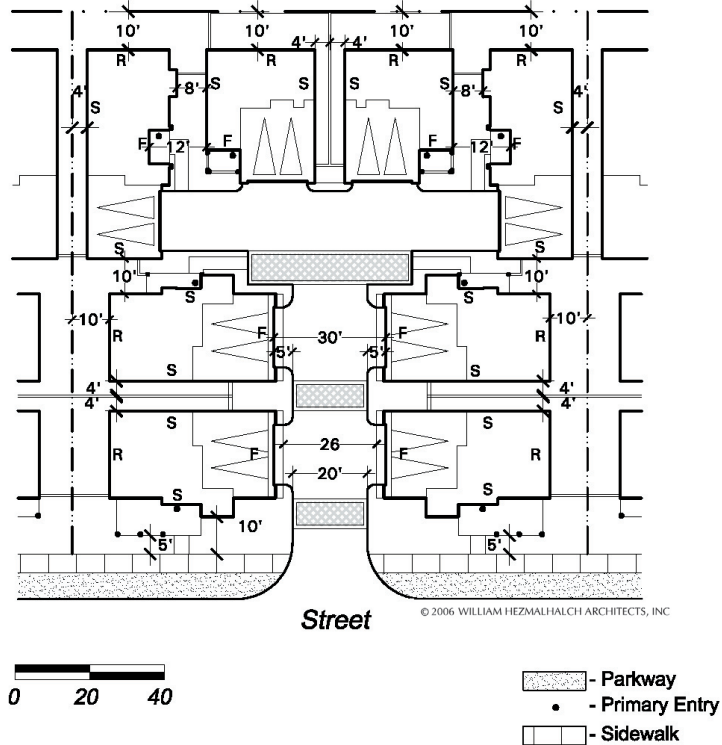
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# Parkside

## Detached Motor Court Cluster (6 or 8 Plex)—8-14 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to side living space	8'
Front entry to side living space	12'
Side to side living space with entrance	10'
Side to side living space	8' (4'+4')

#### Side Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch, balcony	5'
Garden wall	3'

#### Side Setbacks - To Parcel Edge

Living space to property line	10'
-------------------------------	-----

#### Rear Setbacks - To Parcel Edge

Living space (2-story)	10'
Living space (3-story)	15'

#### Garage Setbacks

Garage face to garage face	30'
Garage face to driveway (apron)	3'-5'*
Living space over garage - min. offset or max. cantilever from face of garage	2'

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
--	----

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	70 s.f.

#### Parking

Per City of Ontario Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.



# Parkside

Attached Duplex—12-18 DU/AC

(PA 3,12,14 & 17)\*



FRONT



PLAN 3 FRONT PLAN 1R



PLAN 3 FRONT PLAN 2



REAR



REAR



REAR

© 2006 WILLIAM HEZMALHALCH ARCHITECTS, INC

Not to Scale

## CHARACTERISTICS

- Single-family attached dwelling
- Oriented toward street
- Lane (private alley) loaded automobile access
- Paired homes enter from front
- Private rear yards
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario

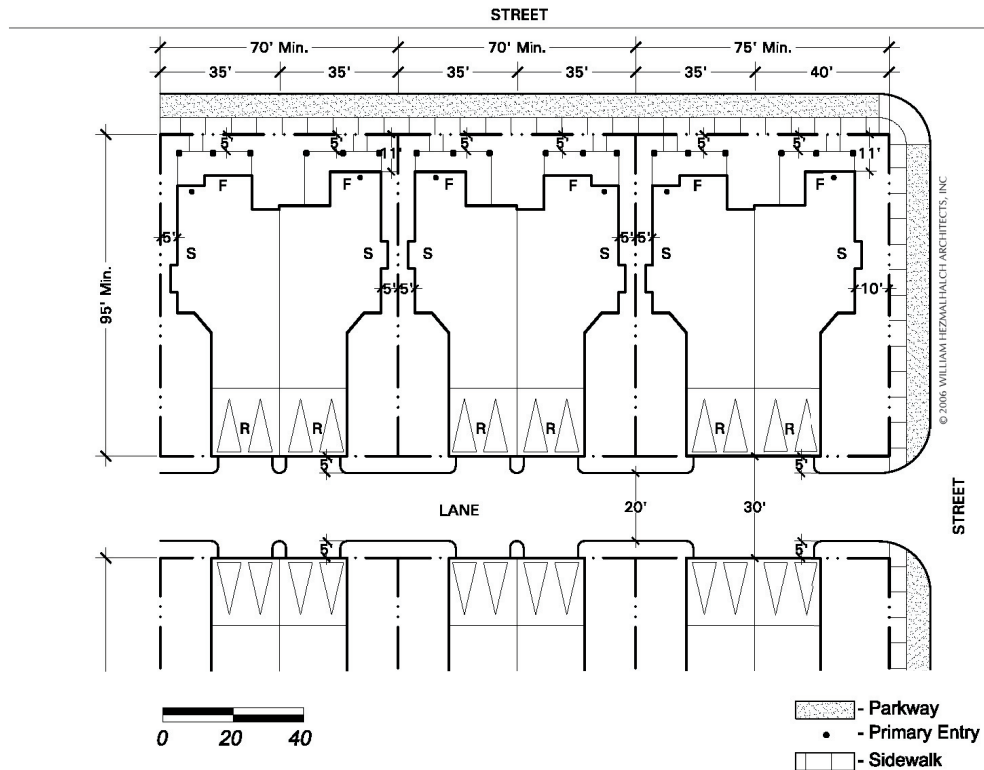
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# Parkside

## Attached Duplex—12-18 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Side Setbacks

Side to side living space 10' (5' + 5')

#### Side Setbacks at Corners - to Back of Sidewalk

Living space 11'  
 Living space (2-story) 10'  
 Living space (3-story) 15'  
 Porch or balcony 5'  
 Garden wall 3'

#### Rear Setbacks

Living space (ground floor) to property line 25'

Note: Maximum lot coverage is 60%.

#### Garage Setbacks

Garage 5'  
 (15' to center line of alley)  
 Garage face to garage face 30'  
 Garage face to lane 3'-5'\*

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), 2'  
 bay windows (cantilevered), potshelves,  
 brackets, etc.

#### Private Open Space Per Unit

Minimum dimension 7'  
 Total per unit 150 s.f.

#### Parking

Per City of Ontario  
 Development Code

#### Building Height

Architectural projections may exceed the maximum  
 building height of 35' by an additional 10'.

\*Measurement is to be taken from the inside of the curb.

# Parkside

Attached Triplex—10-16 DU/AC

(PA 13 & 16)\*



## CHARACTERISTICS

- Attached multi-family dwellings face street or green court
- Automobile access via lanes (private alleys)
- Primary entries and walks face green court or street
- Private courtyards/patios and common open space
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario

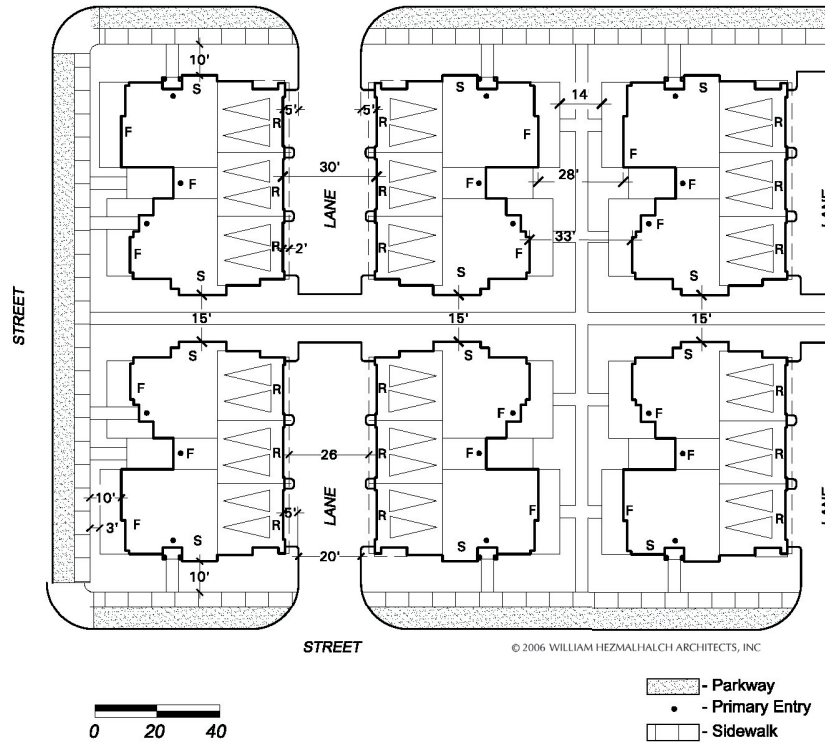
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# Parkside

## Attached Triplex—10-16 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to front living space	
28' minimum/35' average - up to 20% of building length	
30' - central court	
Front to side	25'
Porch/balcony to porch/balcony	14'
Porch/balcony to side	15'
Side to side	15'
Side to front	22'

#### Front Setbacks - To Back of Sidewalk- Street Facing

Living space	10'
Living space (2-story)	15'
Living space (3-story)	20'
Porch/balcony	5'
Garden wall	3'

#### Side Setbacks

Living space to back of sidewalk	10'
Porch/balcony to back of sidewalk	5'
Garden wall to back of sidewalk	3'

#### Garage Setbacks

Garage face to garage face	30'
Garage face to lane (drive apron)	3'-5'*
Living space over garage - min. offset or max. cantilever from face of garage	2'

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
--	----

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	150 s.f.

#### Parking

Per City of Ontario Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.

# Parkside

Attached Row Townhomes—12-18 DU/AC

(PA 3,12,14 & 17)\*



## CHARACTERISTICS

- Attached multi-family dwellings face street or green court
- Automobile access via lanes (private alleys)
- Primary entries face street or common open space
- Private patios/courtyards
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario

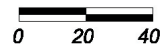
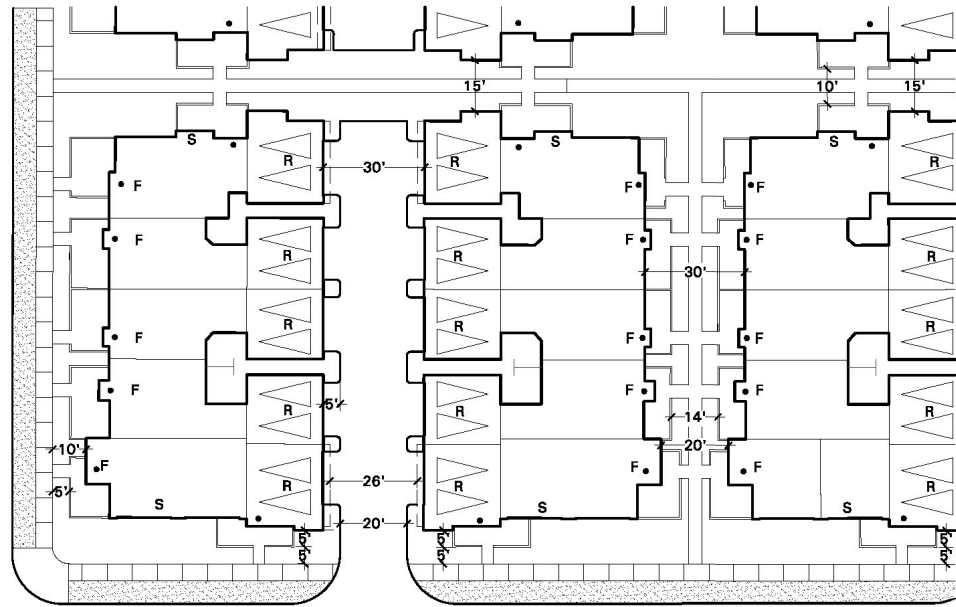
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# Parkside

## Attached Row Townhomes—12-18 DU/AC



Street

- Parkway
- Primary Entry
- Sidewalk

Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to front living space	
20' minimum/25' average - up to 20% of building length	
30' - central court	
Porch/balcony to porch/balcony	14'
Porch/balcony to side	15'
Side to side	15'
Side to front	25'

#### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Living space (2-story)	15'
Living space (3-story)	20'
Porch	5'
Garden wall	3'

#### Side Setbacks

Living space to parcel line	10'
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#### Garage Setbacks

Garage face to garage face	30'
Garage face to lane (drive apron)	3'-5'*
Living space over garage - min. offset or max. cantilever from face of garage	2'

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche ( 8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
---	----

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	150 s.f.

#### Parking

Per City of Ontario Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.

\*Measurement is to be taken from the inside of the curb.

# Parkside

Attached Green Court Townhomes—12-18 DU/AC

(PA 3,12,14 & 17)\*



## CHARACTERISTICS

- Attached dwellings face greencourt, or street
- Automobile access via lanes (private alleys)
- Primary entries and walks face green court or street
- Private patios/courtyards and common open space
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario

## Notes:

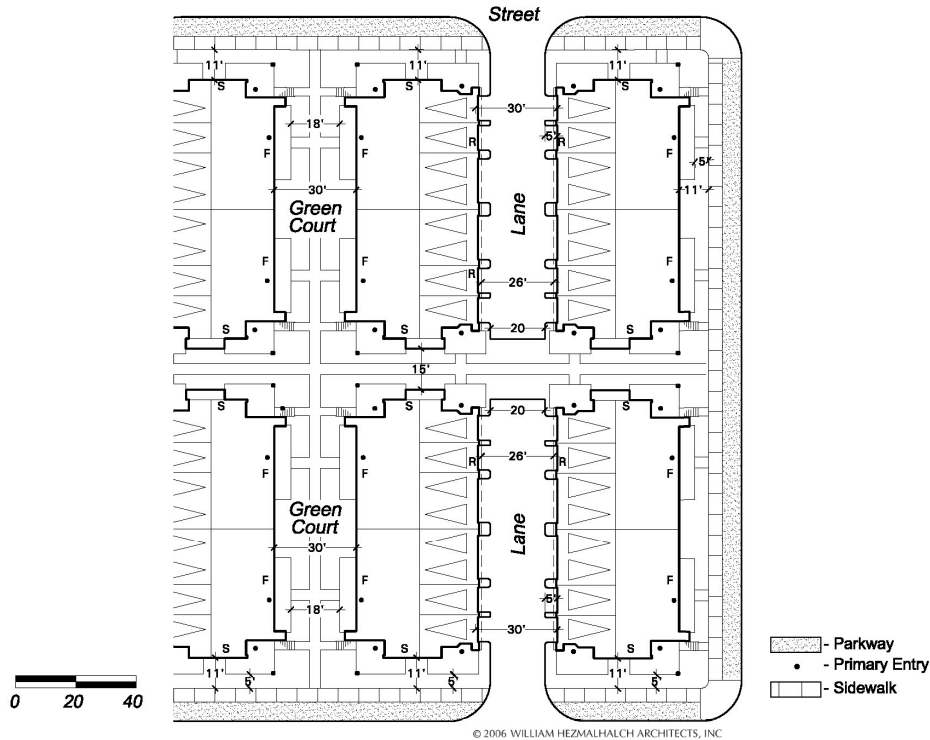
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# Parkside

## Attached Green Court Townhomes—12-18 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to front living space	20' minimum/24' average - up to 20% of building length
	30' - central court
Porch/balcony to porch/balcony	14'
Side to side	15'
Side to front	25'

#### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Living space (2-story)	15'
Living space (3-story)	20'
Porch	5'
Garden wall	3'

#### Side Setbacks

Living space to parcel edge	10'
-----------------------------	-----

#### Garage Setbacks

Garage face to garage face	30'
Garage face to lane (drive apron)	3'-5'*
Living space over garage - min. offset or max. cantilever from face of garage	2'

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
--	----

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	150 s.f.

#### Parking

Per City of Ontario Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.



# Parkside

Attached Higher Density Townhomes—18-25 DU/AC (PA 10, 11, 15 & 18)\*



## CHARACTERISTICS

- Attached multi-family dwellings face street or green court
- Automobile access via lanes (private alleys)
- Primary entries and walks face green court or street
- Private courtyards/patios
- Parking for residents provided in garages
- Guest parking provided on local streets, designated parking areas, or as approved by the City of Ontario

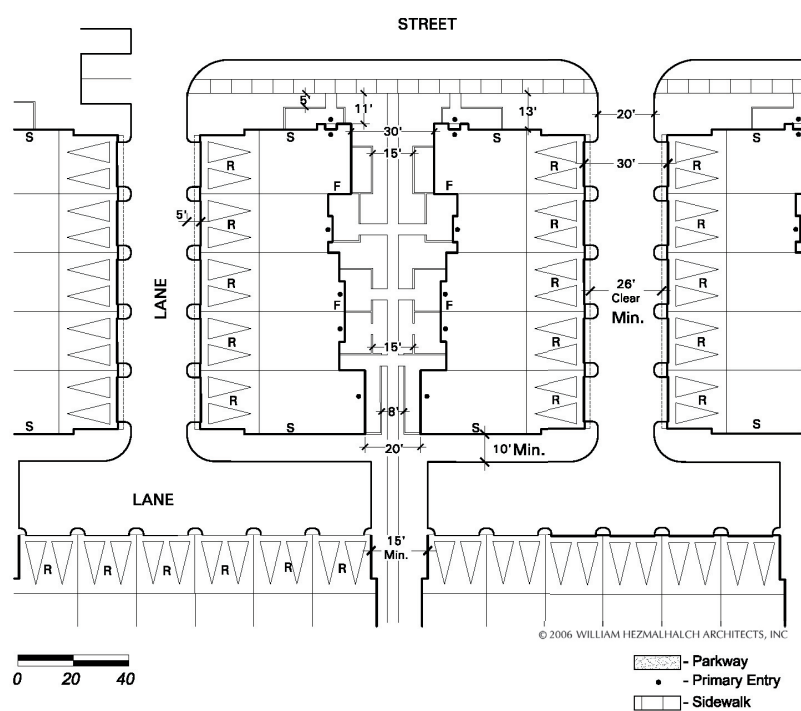
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- \* Proposed representative product types in each planning area are subject to final development submittal and are subject to change.



# Parkside

## Attached Higher Density Townhomes—18-25 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to front living space	20' minimum/25' average- up to 20% of building length
	30' - central court
Front to side living space	25'
Porch/balcony to Porch/balcony	14'
Porch/balcony to side	15'
Side to side living space	15'
Opposing entries - door to door	20'

#### Front Setbacks - To back of sidewalk - Street facing

Living space	10'
Living space (2-story)	15'
Living space (3-story)	20'
Porch, balcony	5'
Garden wall	3'

#### Side Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch, balcony	3'
Garden wall	3'
Living space to parcel edge	10'

#### Garage Setbacks

Garage face to garage face	30'
Garage face to lane (drive apron)	3'-5'*
Living space over garage - min. offset or max. cantilever from face of garage	2'

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
--	----

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	150 s.f.

#### Parking

Per City of Ontario Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.



# Parkside

Attached Motor Court Cluster (10 Plex)—8-14 DU/AC

(PA 1)\*



## CHARACTERISTICS

- Living spaces oriented toward streets or community pass-  
e-  
os
- Homes enter from front, side and lane
- Lane to motor court vehicle access
- Homes have courtyards, porches or balconies
- 1 and 2 car garage
- Parking for residents provided in garages
- Guest parking provided on local streets, designated  
parking areas, or as approved by the City of Ontario

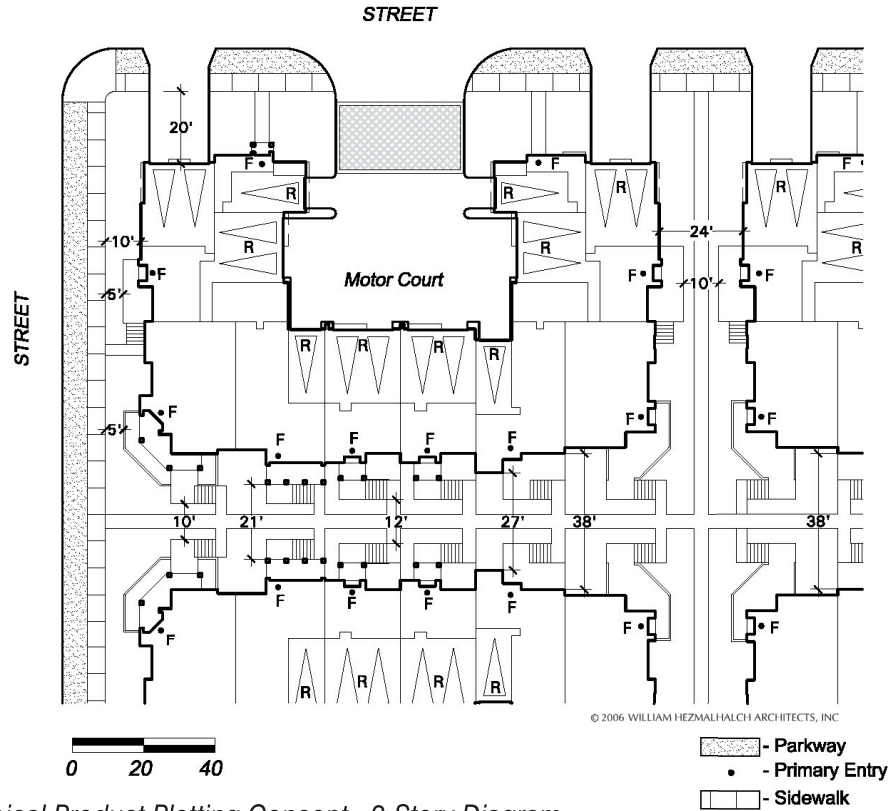
## Notes:

1. Actual acreages, lot sizes, unit counts and den-  
sities may vary based on final plans.
  2. Refer to other areas of Section 7 – Residential  
Design Guidelines, for more specific criteria re-  
garding building design, plotting, styles, materi-  
als, details and implementation.
  3. Refer to other areas of Section 7 – Residential  
Design Guidelines, for specific criteria regarding  
all landscape design and implementation.
  4. Typical Product Plotting Concepts are provided  
for representative purposes only - not intended  
to be mandated layout.
- \* Proposed representative product types in each  
planning area are subject to final development  
submittal and are subject to change.



# Parkside

## Attached Motor Court Cluster (10 Plex)—8-14 DU/AC



Typical Product Plotting Concept - 2-Story Diagram

### Minimum Standards

#### Building Separation

Front to front	32' minimum
Porch/balcony to porch/balcony	21'
Opposing entries - door to door	36'

#### Front Setbacks - to back of sidewalk

Living space	10'
Living space (2-story)	15'
Living space (3-story)	20'
Porch/balcony - street facing	5'
Garden wall	3'

Note: Decorative paving to be provided at the entrance of the motor court area.

#### Garage Setbacks

Living space over garage - min. offset	2'
or max. cantilever from face of garage	

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

#### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2.5'
--	------

#### Private Open Space Per Unit

Minimum dimension	7'
Total per unit	150 s.f.

#### Parking

Per City of Ontario  
Development Code

#### Building Height

Architectural projections may exceed the maximum building height of 35' by an additional 10'.



# Parkside





# Parkside

## 7.7 LANDSCAPE

### 7.7.1 Introduction

Careful consideration has been given to the design of the community landscape architectural character for the Specific Plan area. The following design guidelines are organized to help define the basic landscape design principles for the Specific Plan. Observing these guidelines will help to assure the “design vision” and integrity of this planned community.

### 7.7.2 Overall Streetscapes and Entries

All landscape plans, streetscape plans, and graphic designs with regard to community identity, neighborhood identity, or entry monumentation shall conform to the guidelines as set forth herein, and shall be subject to review and approval by the City of Ontario. Conceptual design for all public and private landscaping, streetscape and entries shall maintain a cohesive design character in massing, form and texture, and provide compatibility with future designs for the “Great Park.” Landscaped materials (trees, shrubs, vines, and groundcovers) shall be provided per the NMC Streetscape Master Plan.

**Table 5—On-Site Tree Size**

Trees	Percentage on-site
15 Gallon	60%
24" Box	25%
36" Box	10%
48" Box	5%

### 7.7.3 Perimeter Streetscape Design

Streetscape design guidelines establish a hierarchy for the landscape development along the surrounding roadways, as well as establishing a framework for consistency of design. All streetscape design shall be in substantial conformance with the City of Ontario’s streetscape master plan. Four (4) major New Model Colony Master Planned roadways surround the Specific Plan area: Archibald Ave. to the east, Edison Ave. to the north, Merrill Ave. to the south, and Carpenter Ave. to the west. Landscape easements associated with these roadways have been defined, as noted in the City of Ontario New Model Colony General Plan Amendment.

Landscape development surrounding this community will help to set the character, while maintaining consistency with the City of On-

tario’s pedestrian pathway system illustrated in the Trails and Bike-ways section of the New Model Colony General Plan Amendment.

#### Archibald Avenue

Archibald Ave. streetscape along the residential areas shall include the following:

- Landscaping within the parkway (7-foot wide minimum (west side) - 10-foot wide minimum (east side) with a row of street trees per the City of Ontario Street Tree Master Plan along both sides of the street;
- A shared, sidewalk/bikeway (13 feet wide) along the west side of the street;
- A lineal sidewalk (5 feet wide) along the other side of the street;
- A landscaped median (26 feet wide) with a single row of street trees per the City of Ontario Street Tree Master Plan;
- A landscaped neighborhood edge (NE) of 50 feet taken from face of curb to perimeter wall on the west side of the street; and
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant grouping while combining interesting foliage textures and color. Tree species per City of Ontario Street Tree Master Plan.
- Monumentation as shown in the **Conceptual Landscape Master Plan, Exhibit 20.**
- Refer to the **Streetscape Section (Archibald Ave.) Exhibit 21,** for illustration of Archibald Ave. streetscape.

#### Merrill Avenue

Merrill Ave. streetscape shall include the following:

- A landscaped parkway strip (7-foot wide minimum) with a single row of street trees per the City of Ontario Street Tree Master Plan along both sides of the street;
- A lineal sidewalk (5-foot wide) along one side of the street;
- A shared sidewalk/bikeway along one side of the street;
- A landscape easement of 35 feet taken from face of curb to perimeter wall on the north side of the street;
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures



# Parkside

and color. Tree species per City of Ontario Street Tree Master Plan;

- Monumentation as shown in the **Conceptual Landscape Master Plan, Exhibit 20**; and
- Refer to the **Streetscape Section (Merrill Ave.) Exhibit 22** for illustration.

## Edison Avenue

Edison Ave. streetscape along the residential areas shall include the following:

- A landscaped parkway (10-foot wide minimum) with a single row of street trees per the City of Ontario Street Tree Master Plan along both sides of the street;
- A lineal sidewalk (5 feet wide) along both sides of the street;
- A Neighborhood Edge of 50 feet taken from face of curb to perimeter wall on the south side of the street;
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color. Tree species per City of Ontario Street Tree Master Plan;
- Monumentation as shown in the **Conceptual Landscape Master Plan, Exhibit 20**; and
- Refer to the **Streetscape Section (Edison Ave.), Exhibit 24**, for illustration.

## Carpenter Avenue

Carpenter Ave. streetscape shall include the following:

- A landscaped parkway (8 feet wide) with a single row of street trees per the City of Ontario Street Tree Master Plan along both sides of the street;
- Five (5) feet sidewalk on both sides of Carpenter Ave.;
- A Neighborhood Edge of twenty-three (23) feet taken from face of curb to perimeter wall on the east sides of the street;
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color. Tree species per City of Ontario Street Tree Master Plan;

- Monumentation as shown in the **Conceptual Landscape Master Plan, Exhibit 20**; and
- Refer to the **Streetscape Section (Carpenter Ave.), Exhibit 23**, for illustration.

## 7.7.4 Interior Streetscape Design

Streetscape design within the interior of the Parkside Specific Plan community shall be consistent in character with the perimeter streetscapes and should help to promote pedestrian circulation into the “Great Park.”

Where interior streetscapes interface with the “Great Park” and open space, special consideration should be taken to integrate pedestrian circulation into these areas via a streetside pedestrian paseo system that links City sidewalk to active walking trails and open space uses. Refer to the **Conceptual Landscape Master Plan, Exhibit 20**, for illustration. Refer to the **Primary Interior Local Street Plan/Section, Exhibit 26**.

## Hellman Avenue

Hellman Avenue Streetscape shall include the following:

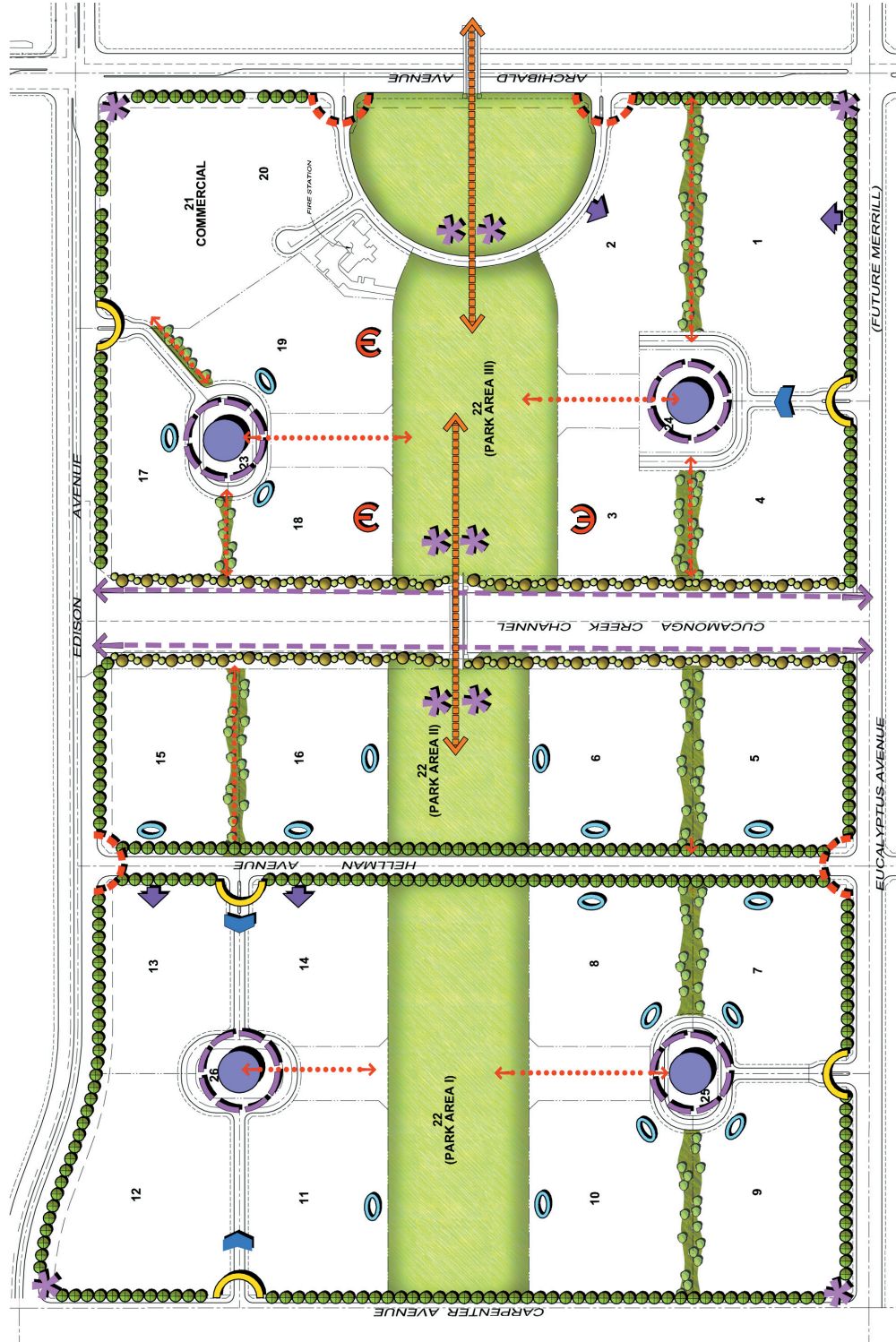
- A landscaped parkway (7-foot wide minimum) to accommodate shrubs and ground cover, along both sides of the street;
- A lineal sidewalk (5-foot wide) along both sides of the street that makes additional connections to park and paseo walkways;
- A Neighborhood Edge of thirty (30) feet taken from face of curb to perimeter wall on both sides of the street;
- Monumentation as shown in the **Conceptual Landscape Master Plan, Exhibit 20**;
- Refer to the **Streetscape Section (Hellman Ave.), Exhibit 25**, for illustration; and
- Bus shelter design, if located on perimeter or interior streetscapes, shall incorporate architectural character/design which is consistent with the neighborhood or streetscape theme.

## 7.7.5 Lanes (Private Alleys)

Lanes (private alleys) proposed in cluster, attached, and multi-family neighborhoods will be landscaped with smaller scale trees, shrubs, vines, and groundcover along pavement edges, to help add a pedestrian scale to the streetscene. Refer to **Exhibit 27, Conceptual Lane (Private Alley) Master Plan**.



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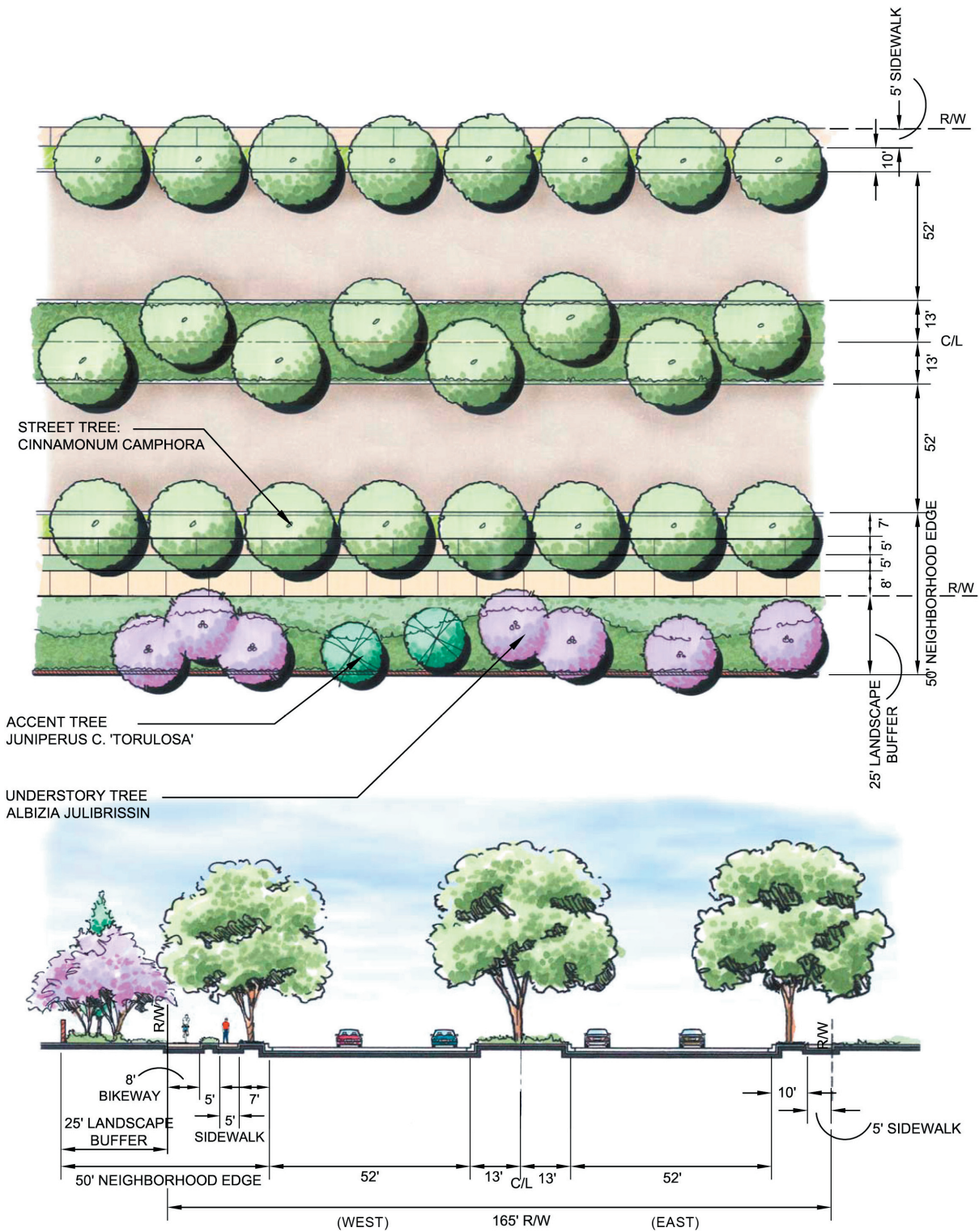


LEGEND	
	Primary Community Entry & Monumentation
	Community Gateway Monument
	Secondary Community Gateway Entry
	Secondary Community Gated Entry
	Neighborhood Entry
	Resident Exit Only Emergency Entry
	Neighborhood Gated Entry
	Enhanced Landscape Setback
	Major Pedestrian Connection
	Landscape Regional Trail
	Regional Trail
	Great Park
	Recreation Area
	Paseo Connections
	Interior Paseo





# Parkside



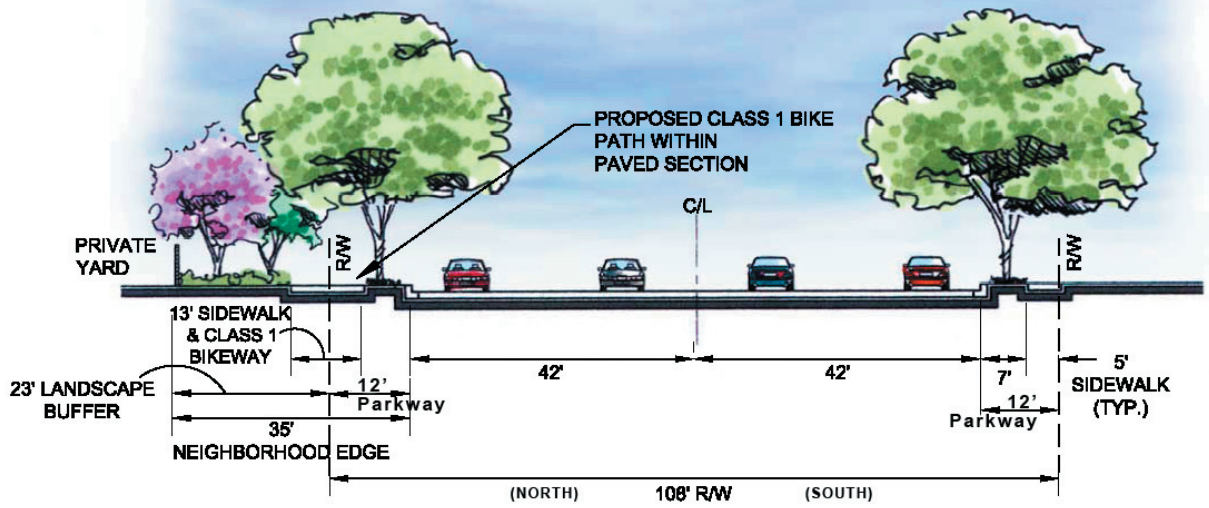
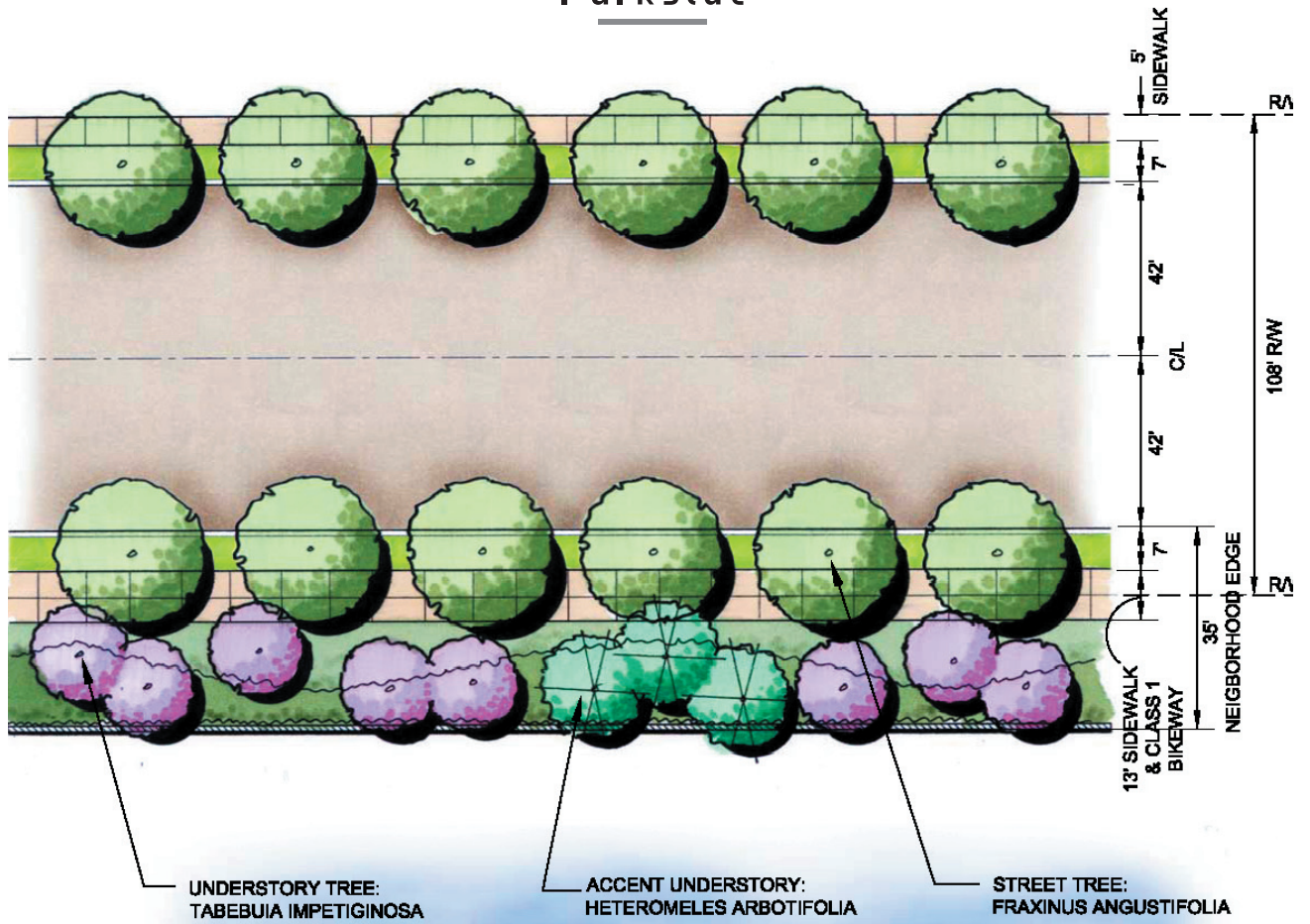
Design of 50' Neighborhood Edge is subject to change due to NPDES Standards. Final design to be approved by the City of Ontario.

**Exhibit 21—Archibald Avenue**

Master planned streets and median trees shall be as selected by the New Model Colony Streetscape Master Plan.



# Parkside



Master planned streets and median trees shall be as selected by the New Model Colony Streetscape Master Plan.

Exhibit 22—Merrill Avenue



# Parkside

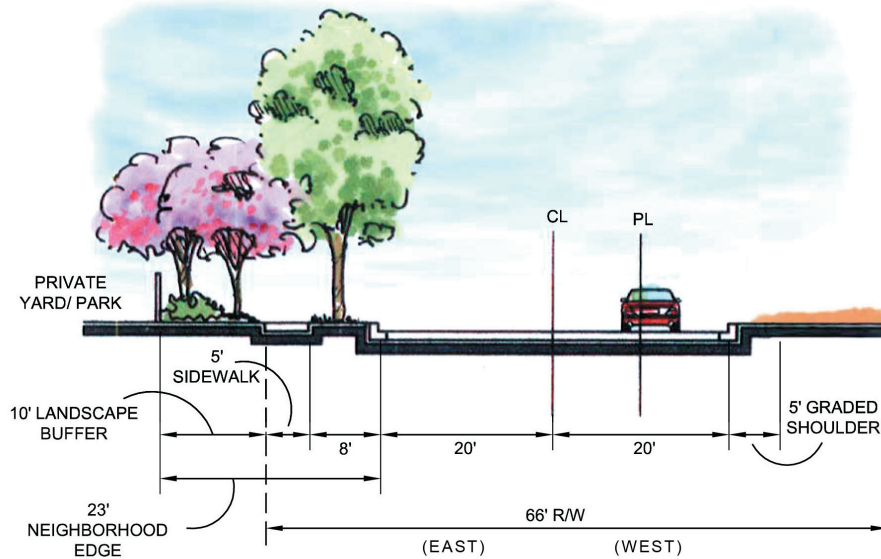
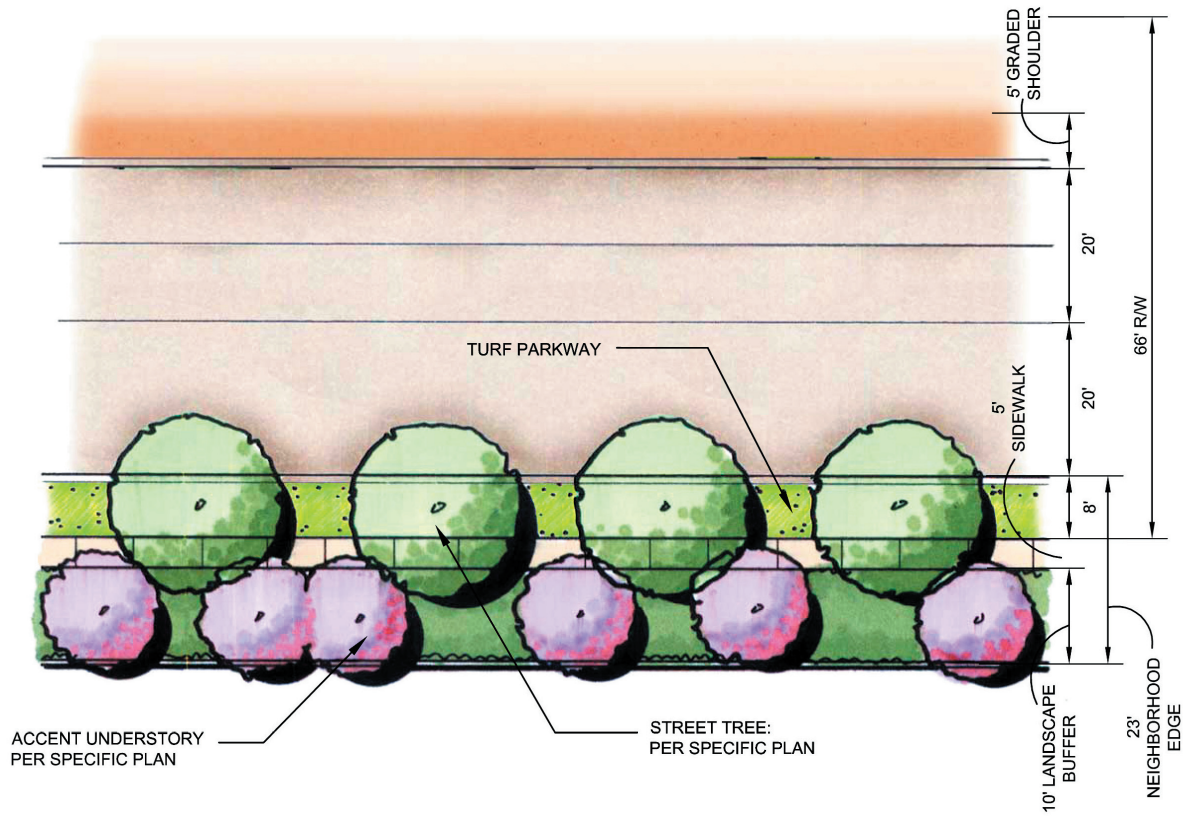


Exhibit 23—Carpenter Avenue



# Parkside

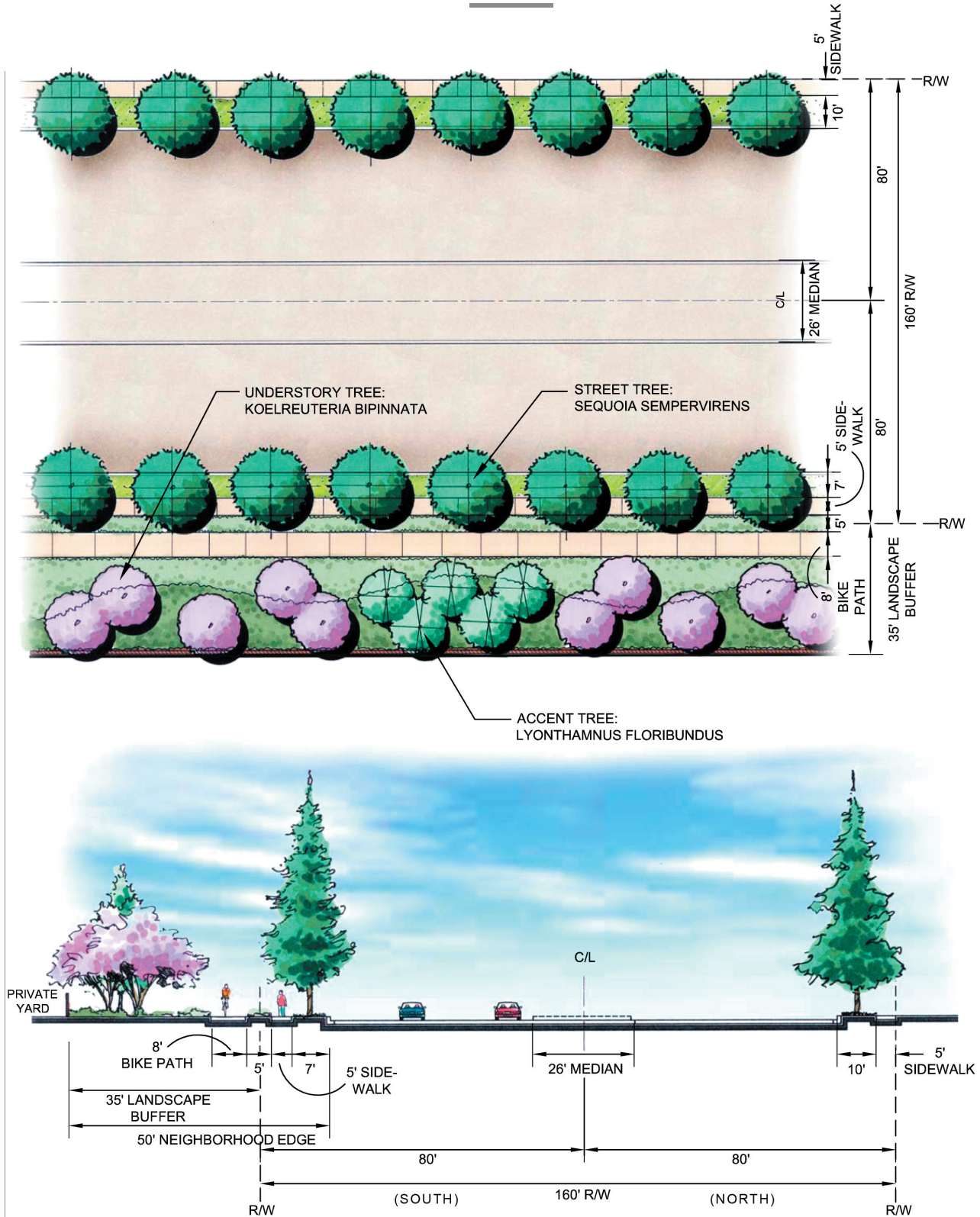


Exhibit 24—Edison Avenue

Master planned streets and median trees shall be as selected by the New Model Colony Streetscape Master Plan.



# Parkside

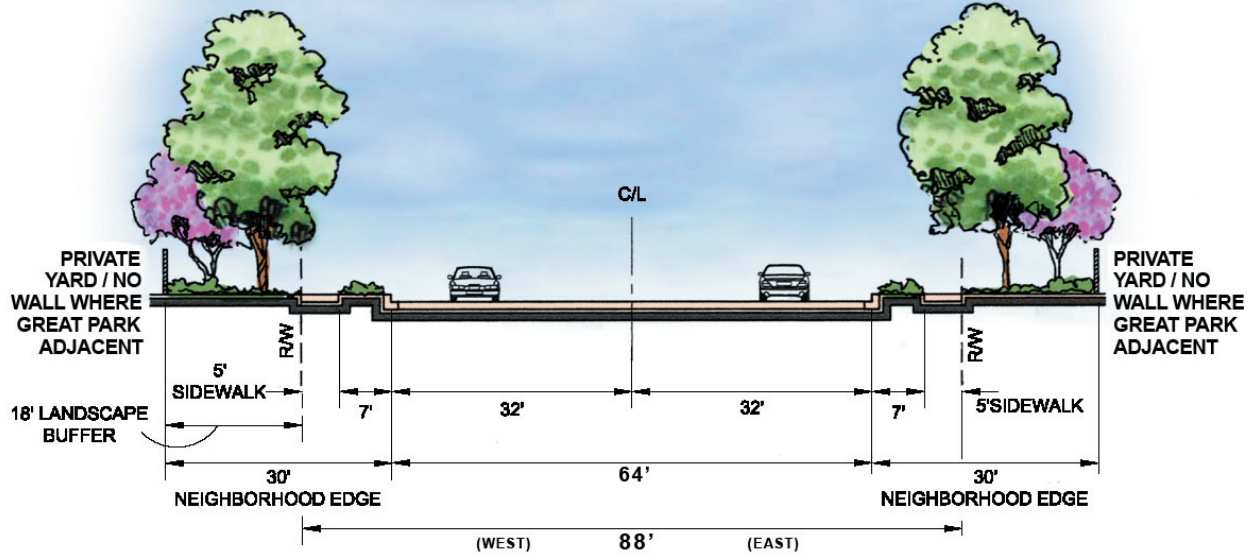
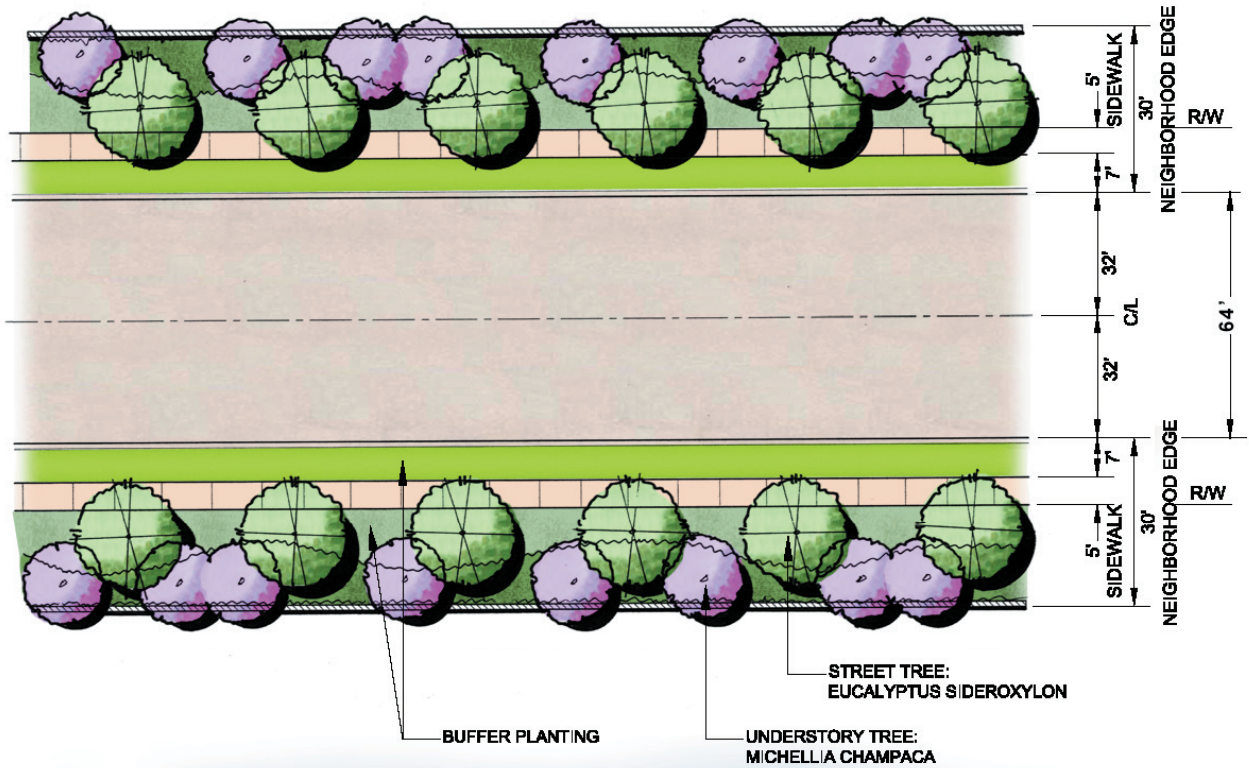


Exhibit 25—Hellman Avenue



# Parkside

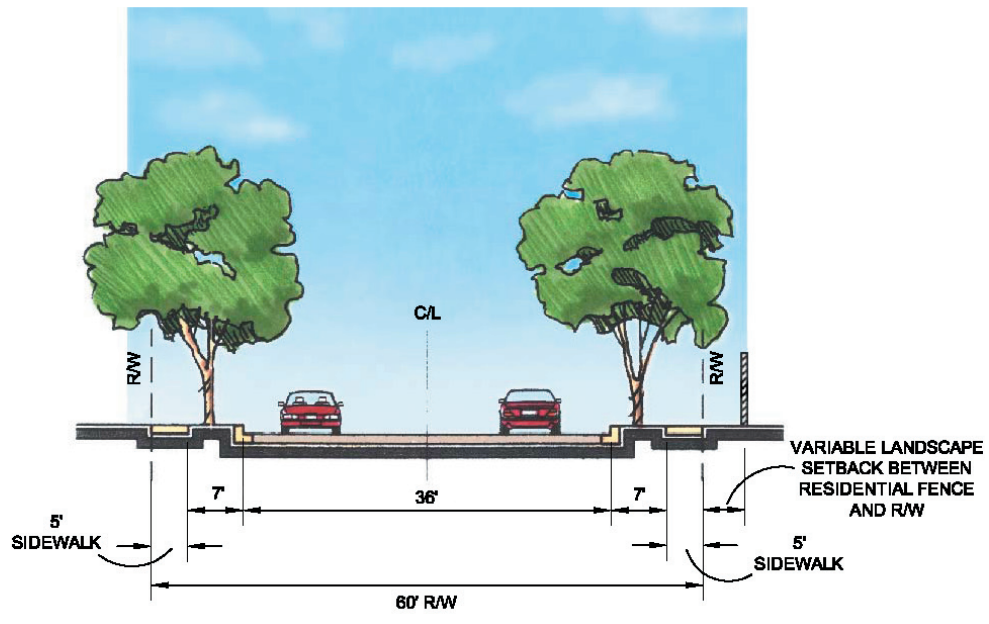
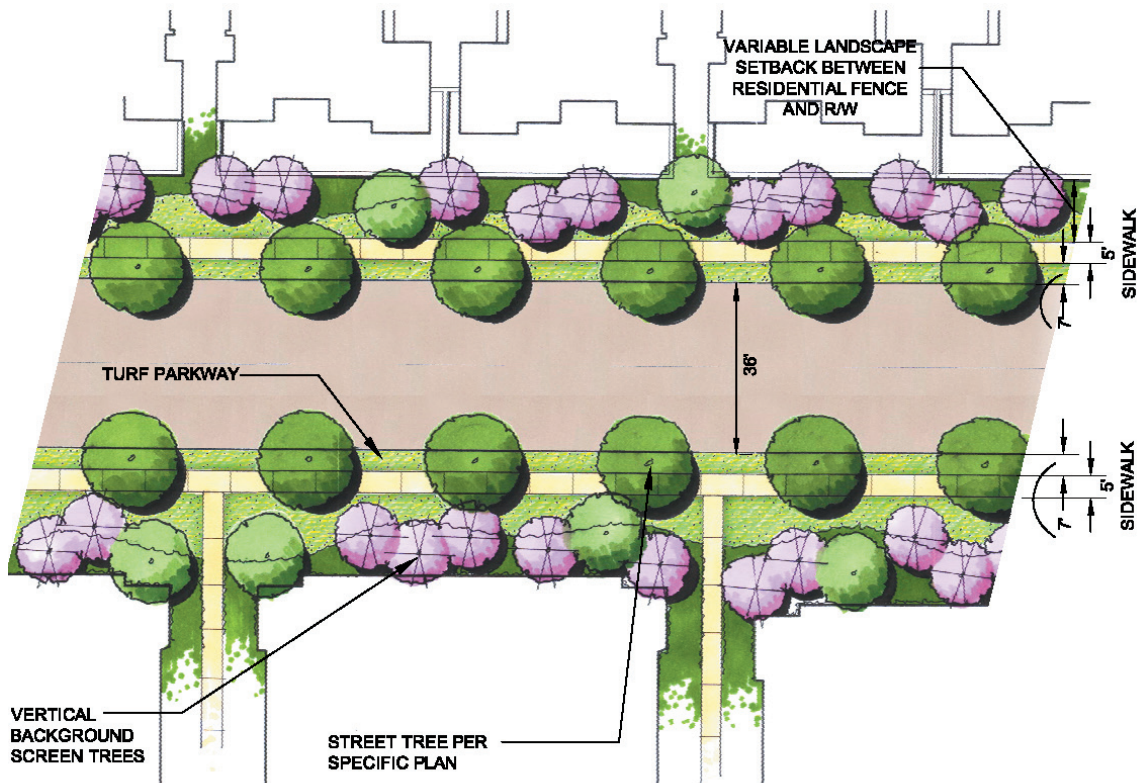
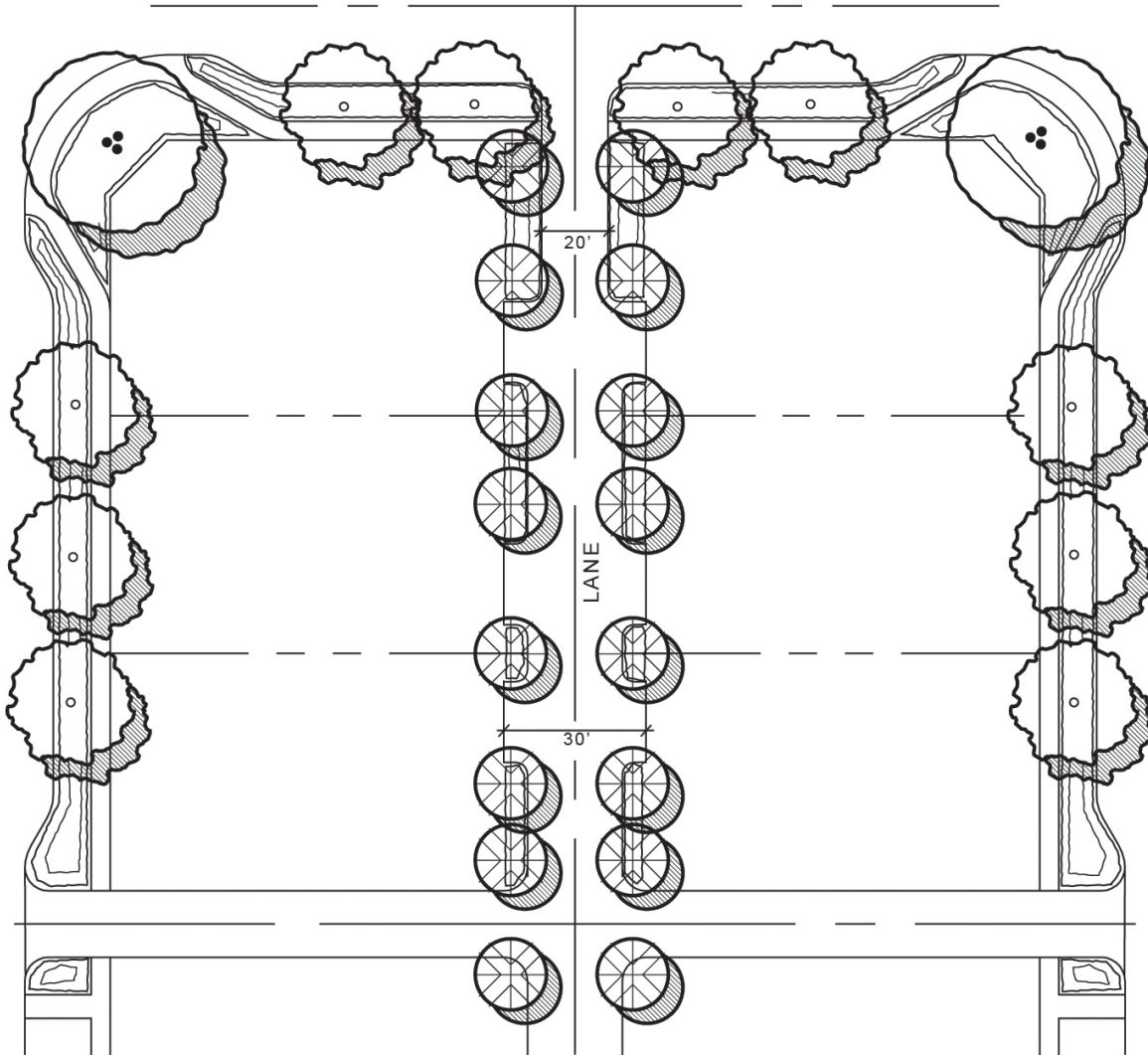


Exhibit 26—Primary Interior Local Street



# Parkside

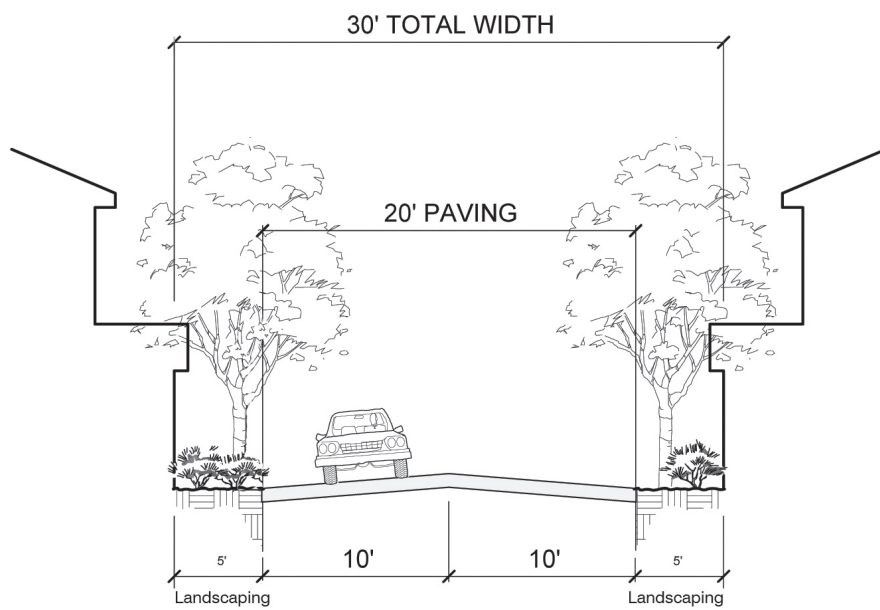


**Exhibit 27**—Conceptual Lane (Private Alley) Master Plan





# Parkside



## **LANES (PRIVATE ALLEYS)**

20' Paved Section / 30' Width, Garage to Garage

Note: Lane (private alley) paving may increase to 24' if required by the City of Ontario Fire Department



# Parkside

## 7.7.6 Entries and Monumentation

Monumentation occurs throughout the Parkside Specific Plan community and is designed to establish a basic hierarchy for entering each area of the community. Along the perimeter edges there are several entry points into the community. At key entries a landscape and monumentation program will be utilized to help identify the community as well as convey a “welcoming” feeling for both vehicular and pedestrian traffic. Four (4) basic monument treatments are used to set this hierarchy: Community Gateway Monuments, the Primary Community Entry and Monumentation, the Secondary Community Entry, and the Neighborhood Entry.

### Community Gateway Monument

The community of Parkside has a strong relationship with the “Great Park.” The layout of the community planning areas completely embraces and encompasses the western section of the “Great Park.”

As an example of this strong relationship between the community and the Park is the community’s Gateway Monuments (**Exhibit 20**). Here the project’s identity will be refined by adopting monument elements similarly found in the Great Park and bring it out to the four (4) corners of the community. Here these icons or “landmarks” will announce both the Park and the community of Parkside as somewhere truly special.

### Primary Community Entry and Monumentation

Parkside will have six (6) primary entries located at the major entry points into this community. Since four (4) of these entries are shared points with the “Great Park,” the key design elements between the two should be continued and reinforced.

- A scaled-down version of the Gateway Monument or Park Monument shall be incorporated into the primary entry statement and located to create a symmetrical formal design;
- The central primary statement shall be back dropped by an elegant seven (7) foot high curved brick, stone, or decorative split face block wall. The end of the wall shall be anchored by large, decorative pilasters;
- Community identification opportunities are located within the base of the primary statement or within a plaque inlaid into the anchoring pilasters;
- Architectural concrete caps, columns, trims, and bases help delineate each veneered material used;

- Use of “real” veneer material instead of faux concrete veneers;
- A linear row of vertical specimen screen trees shall be located behind the curved brick, stone, or decorative split face block wall, and in front of the community perimeter wall;
- Strong use of seasonal perennial and annuals providing for seasonal flowering and interest is encouraged;
- Enhanced pedestrian paving at street crossing and at monument location;
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color;
- Accent and up-lighting of landscape/monumentation; and
- Refer to **Exhibit 20, Conceptual Landscape Master Plan** and **Exhibit 29a-b, Primary Community Gateway Monument Plan/Concept** for detailed conceptual illustration.

### Secondary Community Entry and Monumentation

The Secondary Community Entry and Monumentation shall include the following:

- Similar in design as the Primary Entries but reduced in scale;
- Freestanding curved walls at each corner with anchoring entry pilasters. The large, elegant entry pilasters shall be brick, stone, or decorative split face block and located adjacent to right-of-way;
- Identification field for potential sign lettering placement shall be on a plaque inlaid into the two anchoring pilasters;
- Architectural concrete caps, trim, and bases to help delineate each veneered material used;
- Use of “real” veneer materials instead of faux concrete veneers;
- Use of large specimen native trees to flank each side of entry drive at site entry;
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year;
- Enhanced pedestrian paving at street crossing and at monument location;
- Accent trees and shrub masses planted in series of layers (fore-



# Parkside

ground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color;

- Accent and up-lighting of landscape/monumentation; and
- Refer to **Exhibit 20, Conceptual Landscape Master Plan** and **Exhibit 30, Secondary Community Gateway and Gated Entry Monument Plan** for detailed conceptual illustration, and **Exhibit 30a, Secondary Community Gateway Entry**.

## Secondary Community Gated Entry

Parkside will have two (2) "Secondary Community Gated Entries" that will combine several neighborhoods together behind one grand gated entry statement. Beyond these gates each neighborhood would still have its own individual (non-gated) entry. The Secondary Community Gated Entry will have the same hierarchy and stature as the other Secondary Community Entry and Monumentation sharing most of the same elements and features. Location and final configuration of the Secondary Community Gated Entries shall be reviewed and approved by the City.

The Secondary Community Gated Entry shall include the following:

- A large spacious motor court with decorative paving shall be provided and sized to accommodate required turn-around clearance and predicted volume of cars. At the center of the motor court, a large heritage tree shall be located in a raised island;
- Two (2) large, elegant entry pilasters shall be located behind curb announcing entry into the widened motor court. These pilasters shall be constructed of brick, stone, or decorative split face block;
- Identification field for potential sign lettering placement shall be on a plaque inlaid into the two entry pilasters;
- Walls enclosing the motor court and anchoring pilasters and wall at the vehicle gates shall be brick, stone, or decorative split face block with architectural concrete caps, trim and based to help delineate each veneered material used;
- A strong formal linear row of trees is encouraged for the entries drive and to frame to motor court;
- Vehicular gates shall be decorative and constructed of tubular steel and set back a minimum of 100 feet from a public street

intersection. Gates shall be fully automatic with a "state-of-the-art" directory system. Emergency access provided per local agency requirements;

- Use of "real" veneer materials instead of faux concrete veneers;
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year;
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color; and
- Accent and uplighting of landscape/monumentation.

Refer to **Exhibit 30b, Secondary Community Gated Entry**.

## Neighborhood Entry

Neighborhood entries shall occur for each planning area within the Parkside Specific Plan area. These entries shall be used to help continue the landscape character theme to the "core" of the community. Each neighborhood built within the project site will have the opportunity to identify their individual project character while providing the basic design features of the other monuments.

There are two (2) types of neighborhood entries: Gated and Non-gated. Selection of entry type will depend upon space available, local street configuration and residential product type. Location and final configuration of gated entries shall be reviewed and approved by the City.

The Neighborhood Entry (Gated) shall include the following:

- Decorative freestanding walls embodying the same character as that of the secondary entries. At the end of the walls, located just behind curb of the entry road, are two large pilasters. These pilasters support two (2) sets of swing gates;
- Identification for the gate community is located within a plaque inlaid into both pilasters;
- Vehicular gates shall be decorative and constructed of tubular steel and set back a minimum of 100 feet from a public street intersection. Gates shall be fully automatic with a "state-of-the-art" directory system. Emergency access provided per local agency requirements;



# Parkside

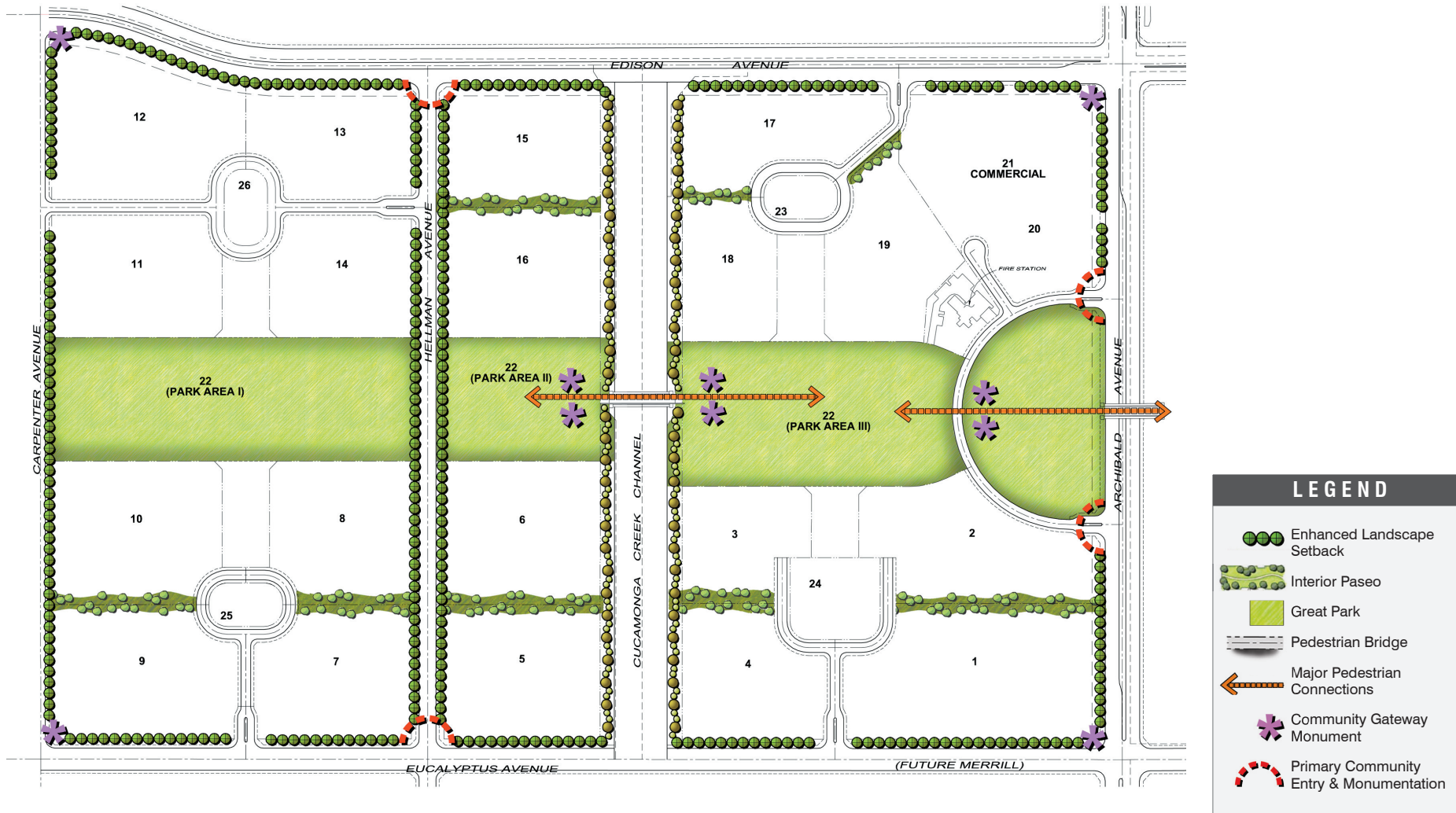


Exhibit 29—Primary Community Gateway Monument Plan



# Parkside

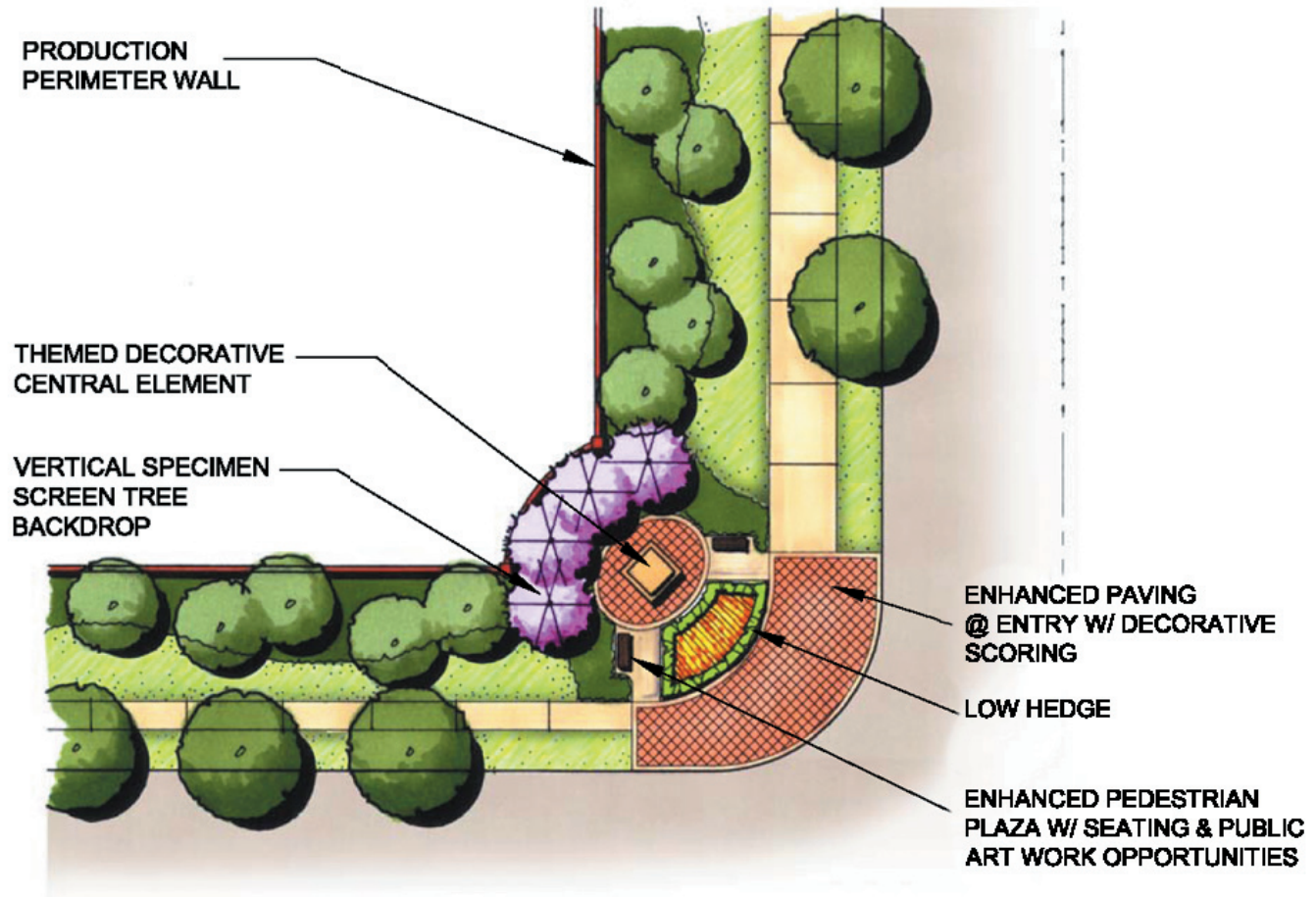


Exhibit 29a—Primary Community Gateway Monument Concept



# Parkside

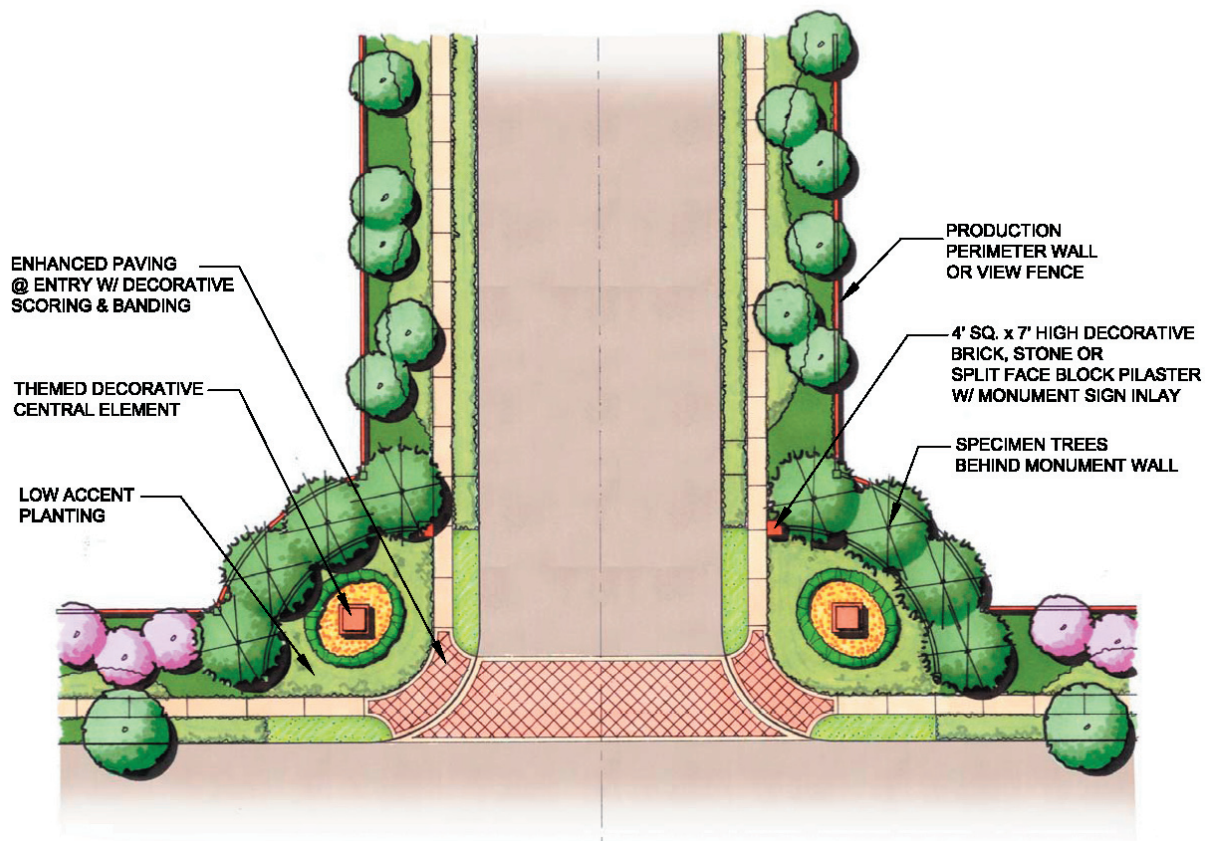
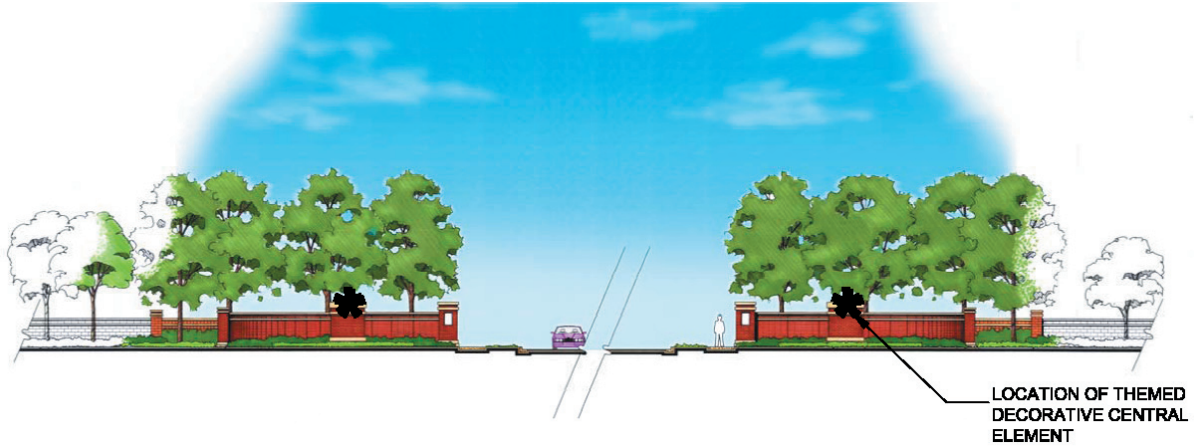
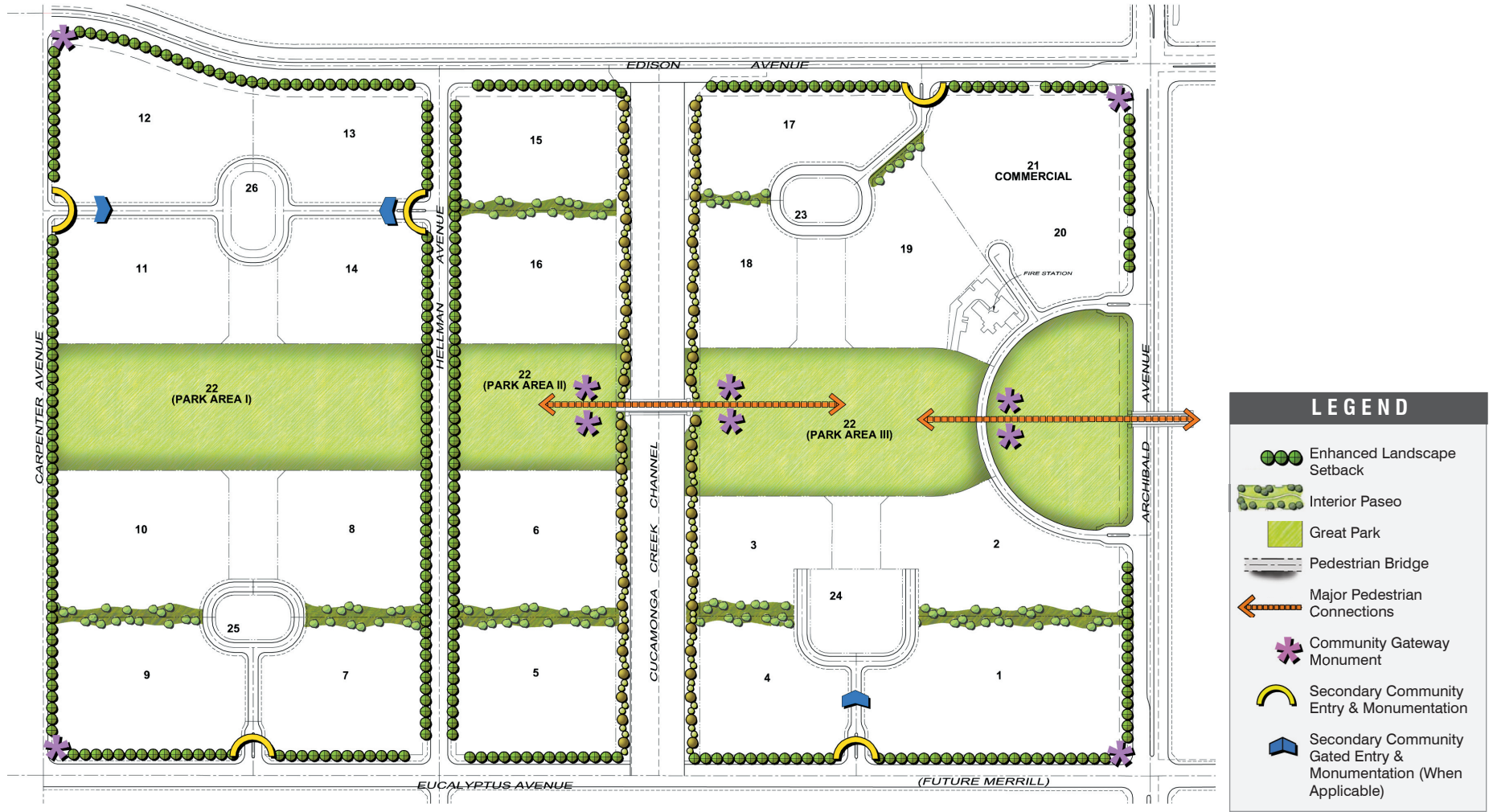


Exhibit 29b— Primary Community Entry Monuments



# Parkside



**Exhibit 30**—Secondary Community Gateway & Gated Entry Monument Plan



# Parkside

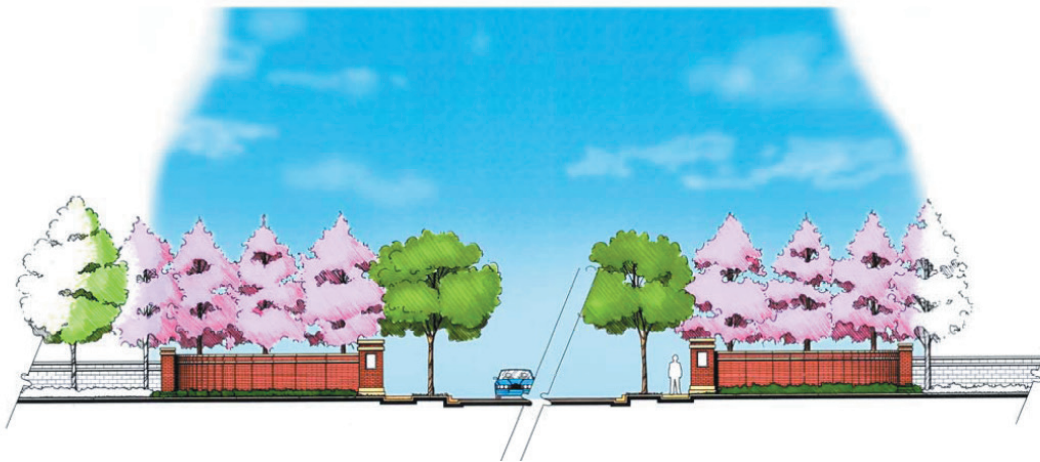
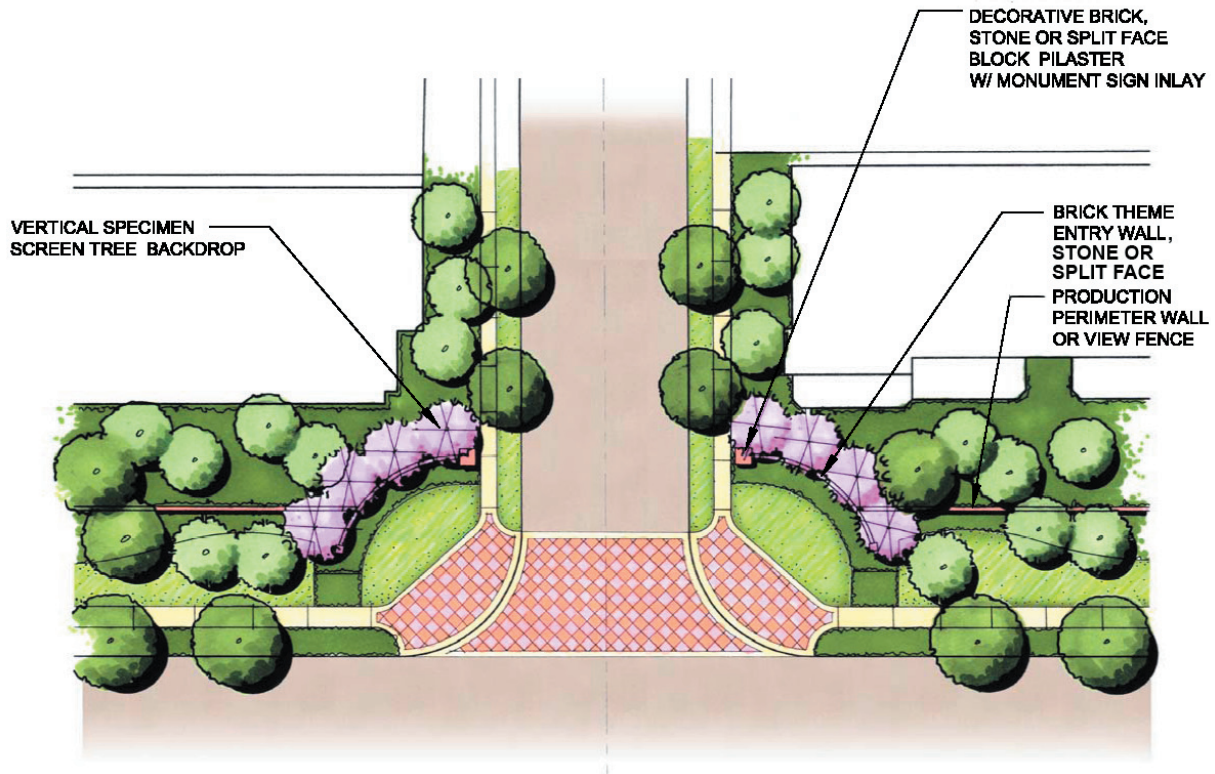


Exhibit 30a—Secondary Community Gateway Entry





# Parkside

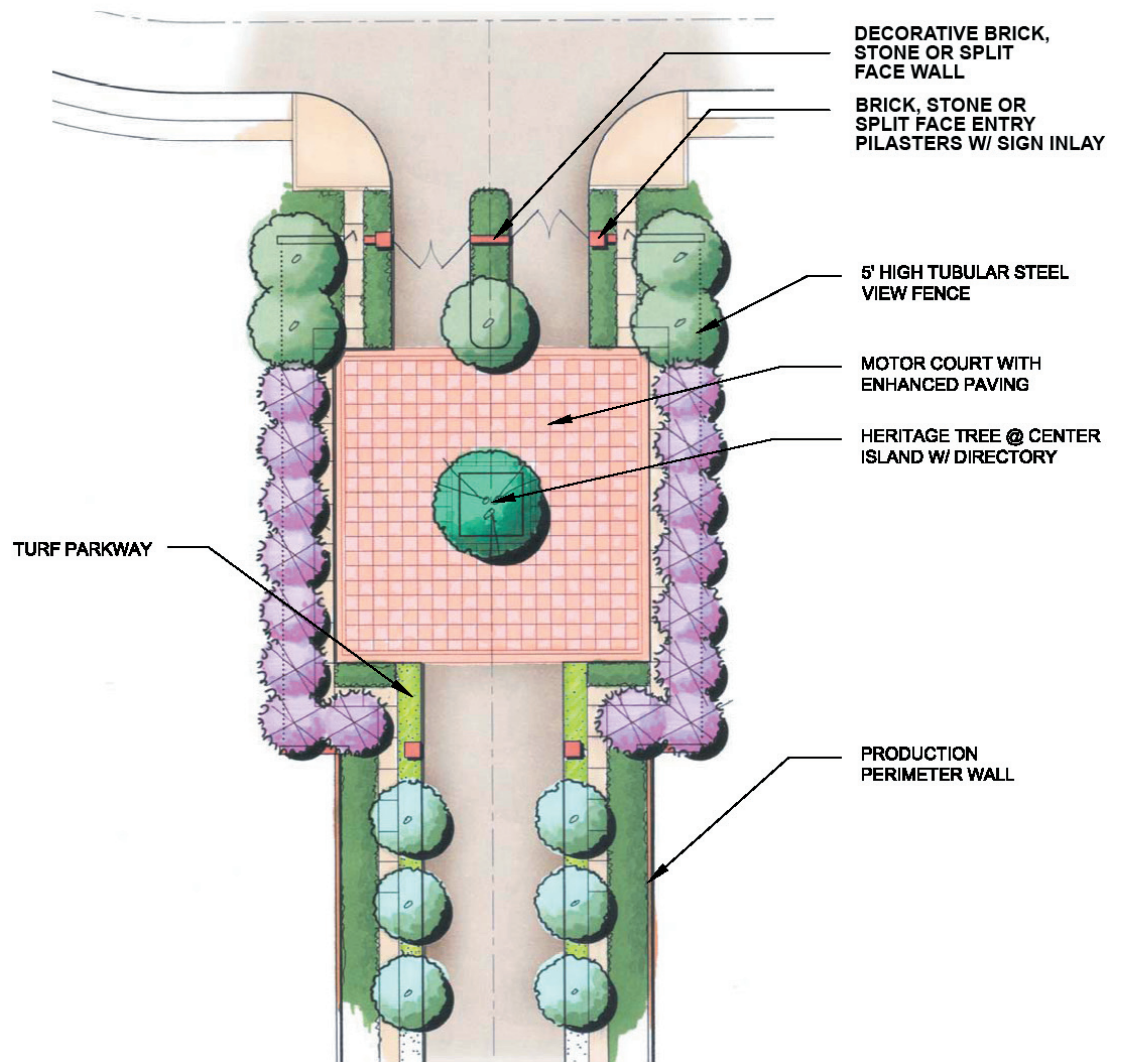
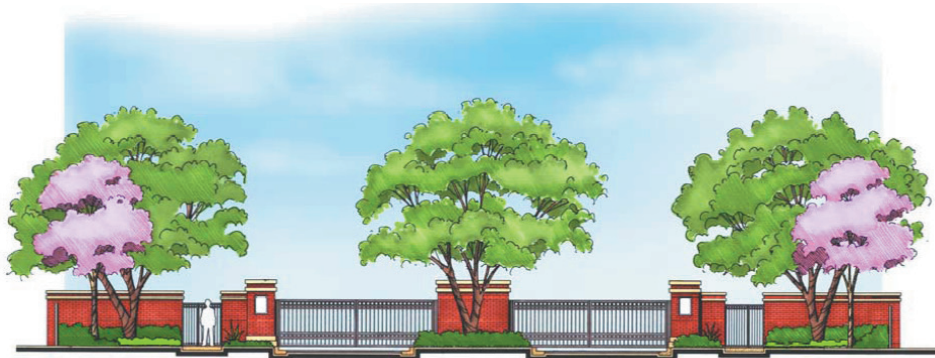


Exhibit 30b—Secondary Community Gated Entry



# Parkside

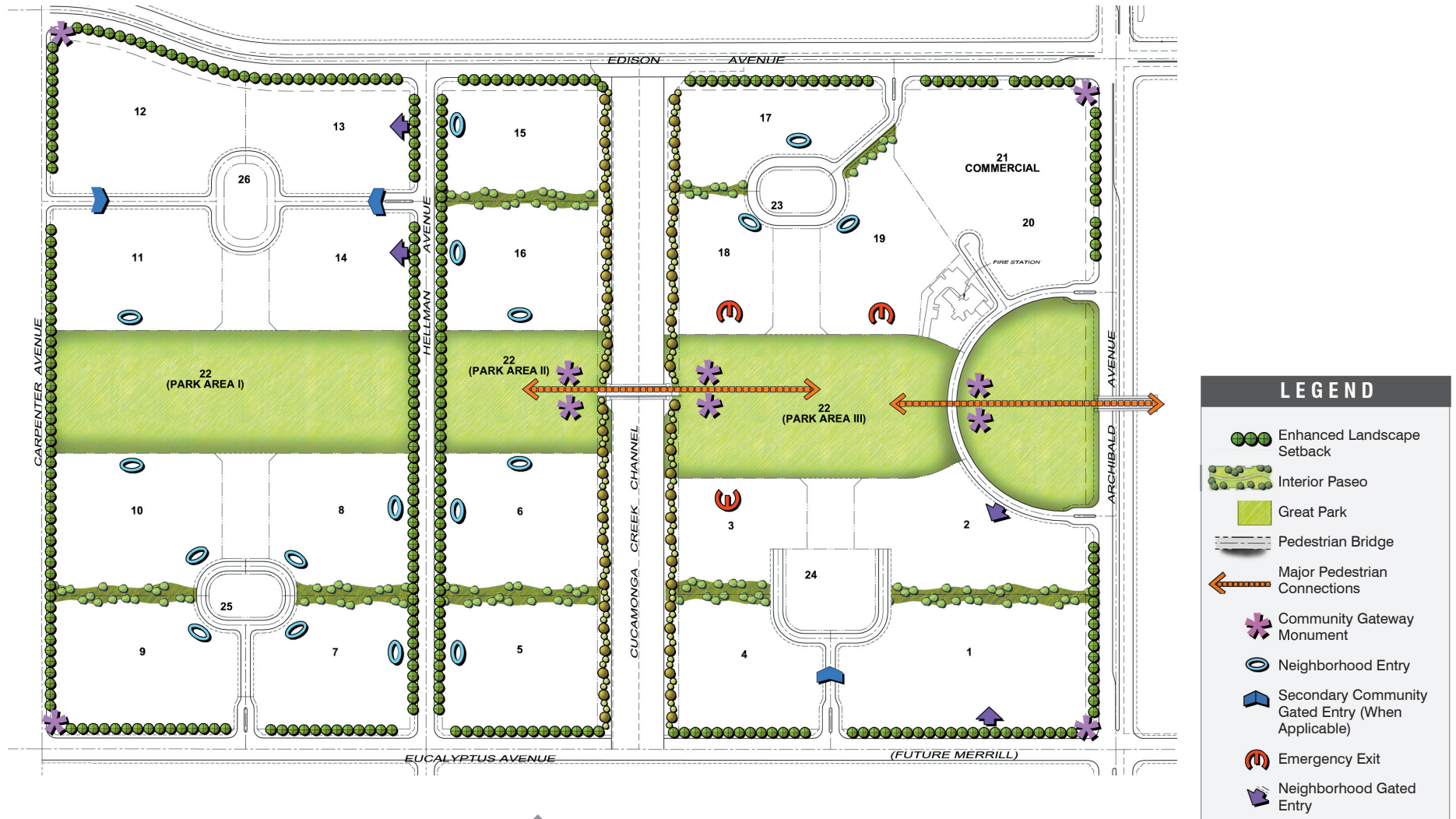
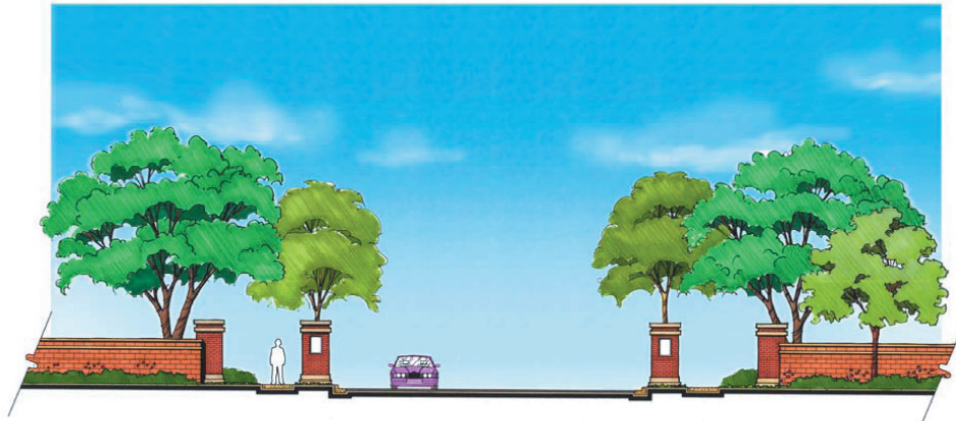


Exhibit 31—Neighborhood Entry Monument Plan



# Parkside



BRICK, STONE OR SPLIT FACE  
BLOCK PILASTER W/ MONUMENT  
SIGN INLAY

ENHANCED PAVING  
@ ENTRY W/ DECORATIVE  
SCORING & BANDING

HERITAGE ACCENT  
TREES

PRODUCTION  
PERIMETER WALL  
OR VIEW FENCE

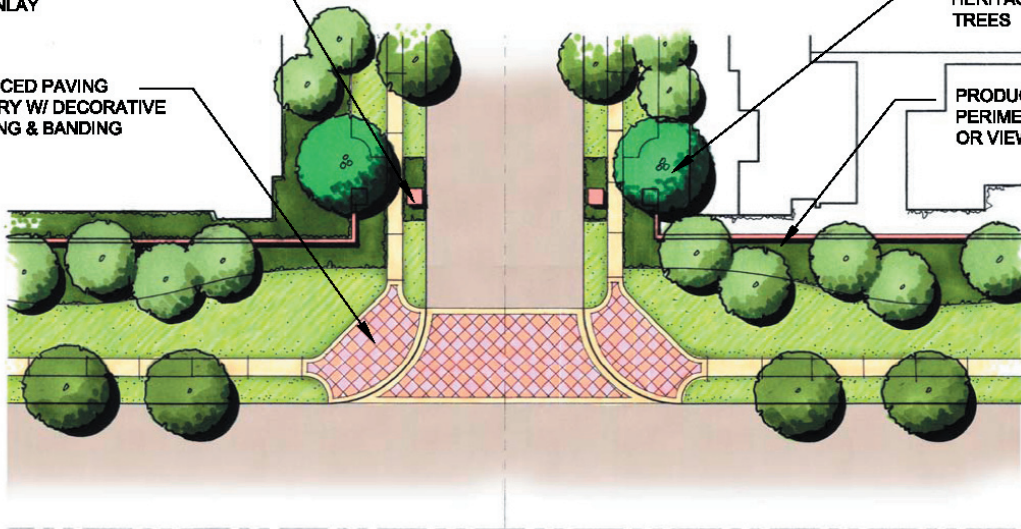


Exhibit 31a—Secondary Neighborhood Entry Monument



# Parkside

- A large spacious motor court with decorative paving shall be provided and sized to accommodate required turn-around clearance. At the center of the motor court, a large Heritage Tree shall be located in an island;
- Use of “real” veneer materials instead of faux concrete veneers;
- A strong formal linear row of trees is encouraged for the entries drive and along the sides of the motor court;
- Seasonal perennial flowering to allow for seasonal interest throughout the year; and
- Refer to **Exhibit 20, Conceptual Landscape Master Plan** and **Exhibit 31, Neighborhood Entry Monument Plan** for detailed conceptual illustrations, and **Exhibit 31b, Neighborhood Gated Entry Monument**.

The Neighborhood Entry (Non-gated) shall include the following:

- Freestanding large entry pilaster set within the landscaped parkway. This pilaster should embody the same character as that of the Secondary Community Entry but is slightly reduced in scale to create a pedestrian “gateway” into each neighborhood;
- Identification field for potential sign lettering placement within a plaque inlaid into pilasters;
- Architectural concrete caps, trim, and bases to help delineate each veneered material used;
- Enhancement of corner cut wall and use of accent pilasters to anchor each side;
- Use of “real” veneer materials instead of faux concrete veneers;
- Seasonal perennial flowering to allow for seasonal interest throughout the year;
- Enhanced pedestrian paving at street crossing and at monument location;
- Accent trees and shrub masses planted in series of layers (foreground, midground, background to help define borders, and plant groupings while combining interesting foliage textures and color;
- Accent and up-lighting of landscape/monumentation; and
- Refer to **Exhibit 20, Conceptual Landscape Master Plan, Exhibit 31, Neighborhood Entry Monument Plan, and Exhibit 31a, Secondary Neighborhood Entry Monument**.

## 7.7.7 Parks and Open Space

The Parkside Specific Plan area will have a central “Great Park” green core that consists primarily of open space for recreation and passive use. Exterior walkways and paseos will lead to this centralized area. The following areas make up the remainder of the Park and Open Space System for Parkside: private community recreation and the paseo trail system.

### A. The “Great Park”

The “Great Park” consists of the following:

- Parking - Parking shall be adequate to accommodate daily use of the park, and will be provided on adjacent streets or within the park area;
- Landscaping - Landscaping within the “Great Park” shall harmonize with the surrounding streetscapes. Large specimen trees should be used within the open turf areas to help provide shade and screening of unwanted views. Accent trees should also be used at pedestrian entries for color and seasonal interest; and
- Refer to the **Exhibit 33, “Great Park” Concept Plan**.

### B. Pocket Parks

Pocket parks, if any, will consist of the following:

- Parking - On-street parallel parking will be provided along local streets;
- Open turf - Open turf, with bench seating, will be provided throughout the pocket parks. Lighting will be included;
- Focal Points - Pocket parks may include focal point elements, such as tot lots, fountains, or small gazebos, depending on the size of the tot lot and orientation in the neighborhood;
- Any Pocket Park tot lots shall contain two play areas constructed one for younger children (2-5 years old) and one for older children (5-12 years old); and
- Refer to **Exhibits 34, 34a-b**, for detailed conceptual illustrations of the proposed Pocket Parks in Parkside.

## 7.7.8 Recreation Area Plan

The Recreation Area Plan for Parkside includes locations for private recreation facilities in local neighborhoods. These recreation areas may include the following:



# Parkside

- Parking - Parking shall be adequate to accommodate daily use of the recreation areas;
- Recreation Building - A recreation building should adhere to the architectural design guidelines and should be designed to accommodate the community needs;
- Pool and Spa Facility – Each neighborhood may have access to a pool (sized adequately to accommodate the needs of the neighborhood) as well as to serve as a summer leisure recreational amenity for adults and children of the community;
- The pool decking area should be sized to allow for lounge chairs and tables. A spa area separate from the pool may also be located within the recreation area. A group barbecue facility and shade structure may be located within the pool deck area. The private recreational facilities shall be fenced and gated for resident entry only. Hours of operation will be enforced in an effort to avoid evening disturbance to adjacent neighborhoods;
- Landscaping - Landscaping within the Private recreation areas shall harmonize with the surrounding streetscapes and adjacent Great Park. Large specimen trees should be used within the open turf areas to help provide shade and screening of unwanted views. Accent trees should also be used at pedestrian entries and around the pool area for color and seasonal interest;
- A strong visual connection shall be created between the private recreation area and the terminus of one of the four wings of the public Great Park. This connection will be in the form of sight lines, maintaining vistas and the mutual use of repetitive shade structures; and
- Paseo walkway System - A paseo walkway system will be designed to provide connections to adjacent neighborhoods, the “Great Park,” and commercial area.
- Paseo Trail System - A Paseo walkway system will be designed to provide connections to adjacent neighborhoods, the recreation areas, the “Great Park” and commercial area. The overall trail system will include:
  - Landscaping - Landscaping along the trails shall harmonize with the surrounding streetscapes;
  - Meandering sidewalks are encouraged with benches located approximately every 500 lineal feet;
  - Enhanced paving at paseo connections where pedestrian circulation crosses roadways;
  - Light poles shall be located at every 100 feet along the path;
  - Entry points shall have adequate directional signage;
  - Provide formal pickup/drop off areas at major entry points;
  - Integration of well defined pedestrian connections to the “Great Park.” Refer to **Exhibit 38, Trail Connection to “Great Park”**;
  - Integration of the Channel Regional Trails Plan. Refer to the detailed conceptual illustrations, **Exhibits 37, 37a, Channel Regional Trail Easement Plan**; and
  - Connection to recreation areas. Refer to the detailed conceptual illustrations. Refer to **Exhibit 39, Interior Paseo Concept**.

Refer to **Exhibit 36, Recreation Area Concept A**, and **Exhibit 36a, Recreation Area Concept B**.

## 7.7.9 Paseo Trail System

Pedestrian circulation is highly encouraged within the Parkside Specific Plan area. Landscape easements are provided along major roadways and are encouraged within the neighborhood communities.

## 7.7.10 Community Walls and Fencing

Walls are a major component in achieving an overall community theme within the Parkside Specific Plan. A strong, cohesive appearance is achieved through the use of “community walls” and general overall wall guidelines.

All walls that adjoin community street scenes and are along the boundary edges of the “Great Park” and facing the Cucamonga Creek Channel shall be deemed “community walls.” Non-climbing fencing shall be used around the Cucamonga Creek Channel to prevent children from climbing the fence to gain access. All wall and fencing designs and layout shall be approved by the City of Ontario prior to construction.

### Perimeter Walls and Fencing

Where common or private areas interface with perimeter streets, public open space and/or residential lots, a solid decorative theme wall, a tubular steel view fence with matching themed pilasters,



# Parkside

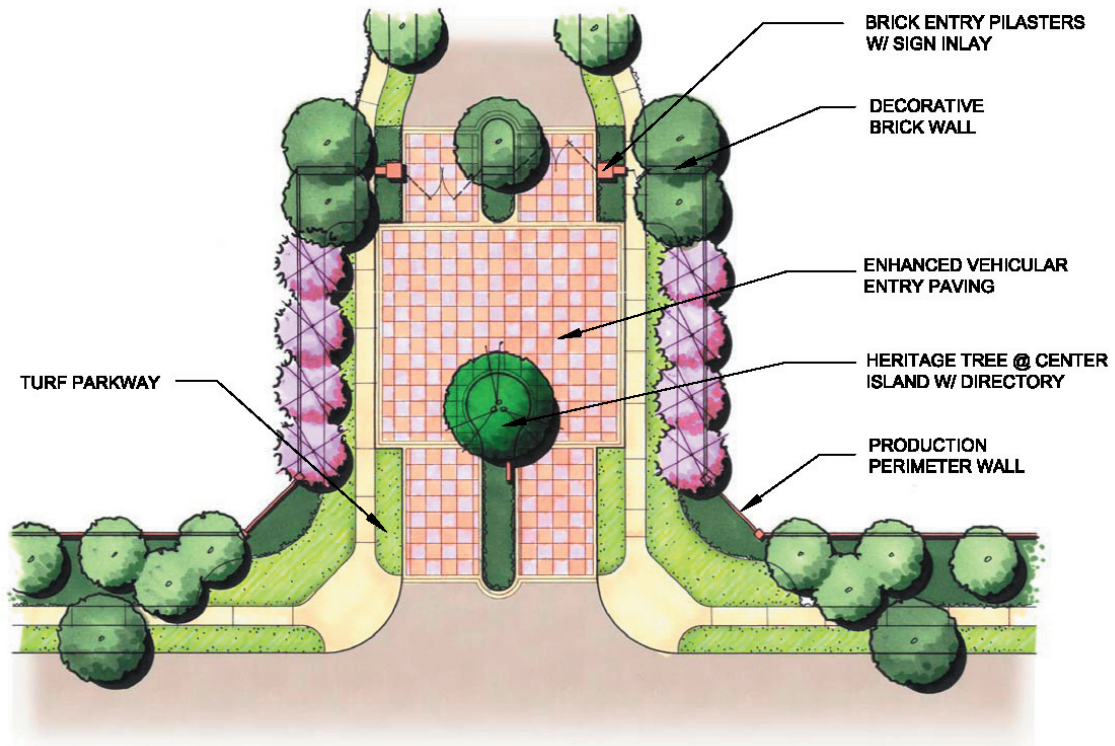
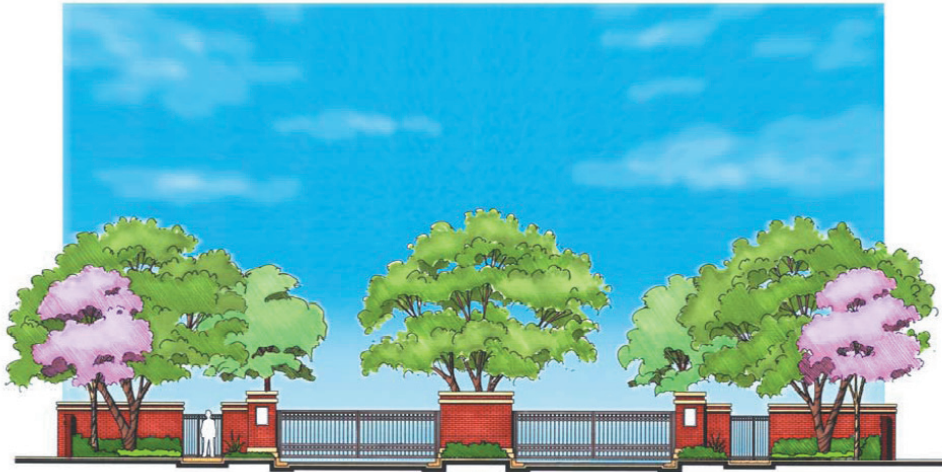
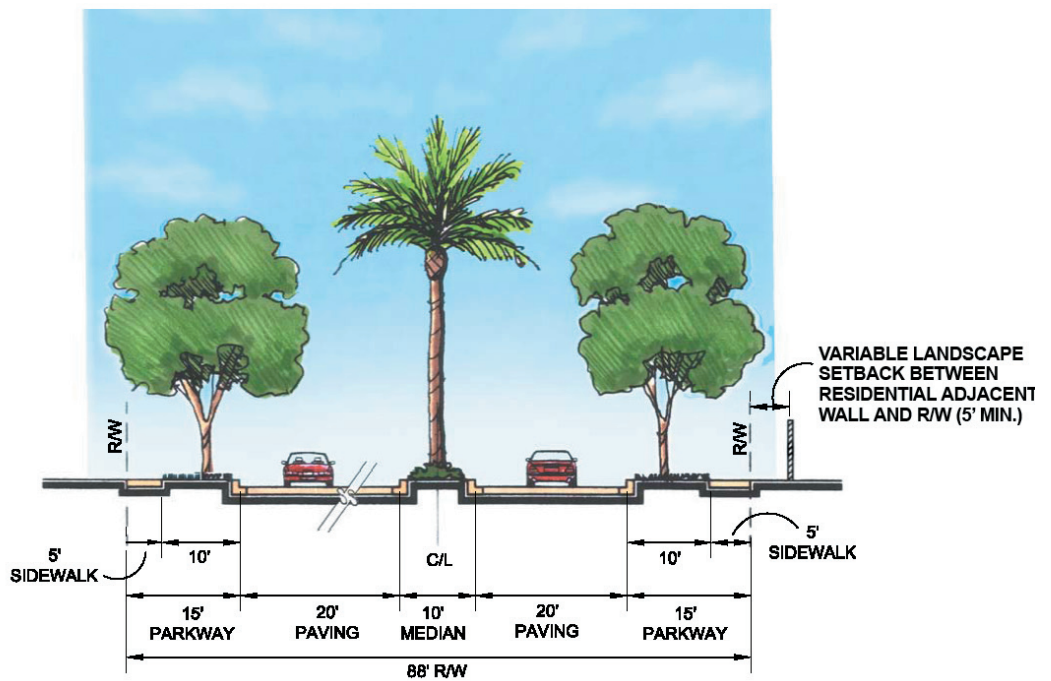
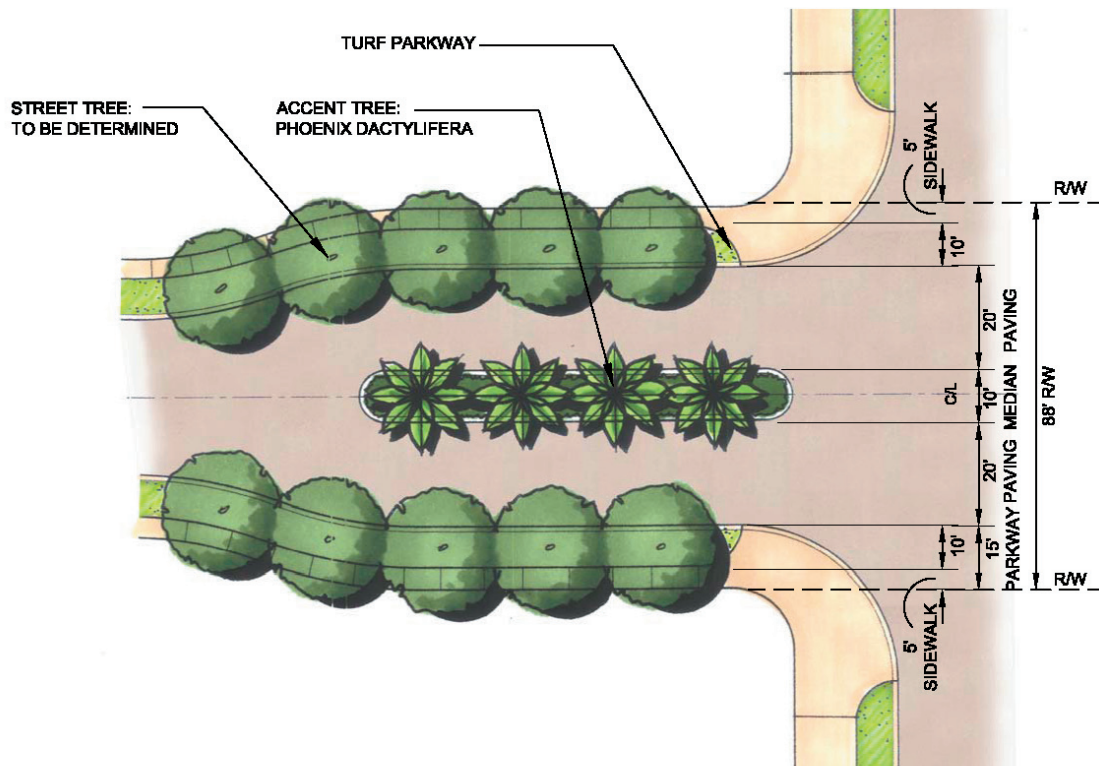


Exhibit 31b—Neighborhood Gated Entry Monument



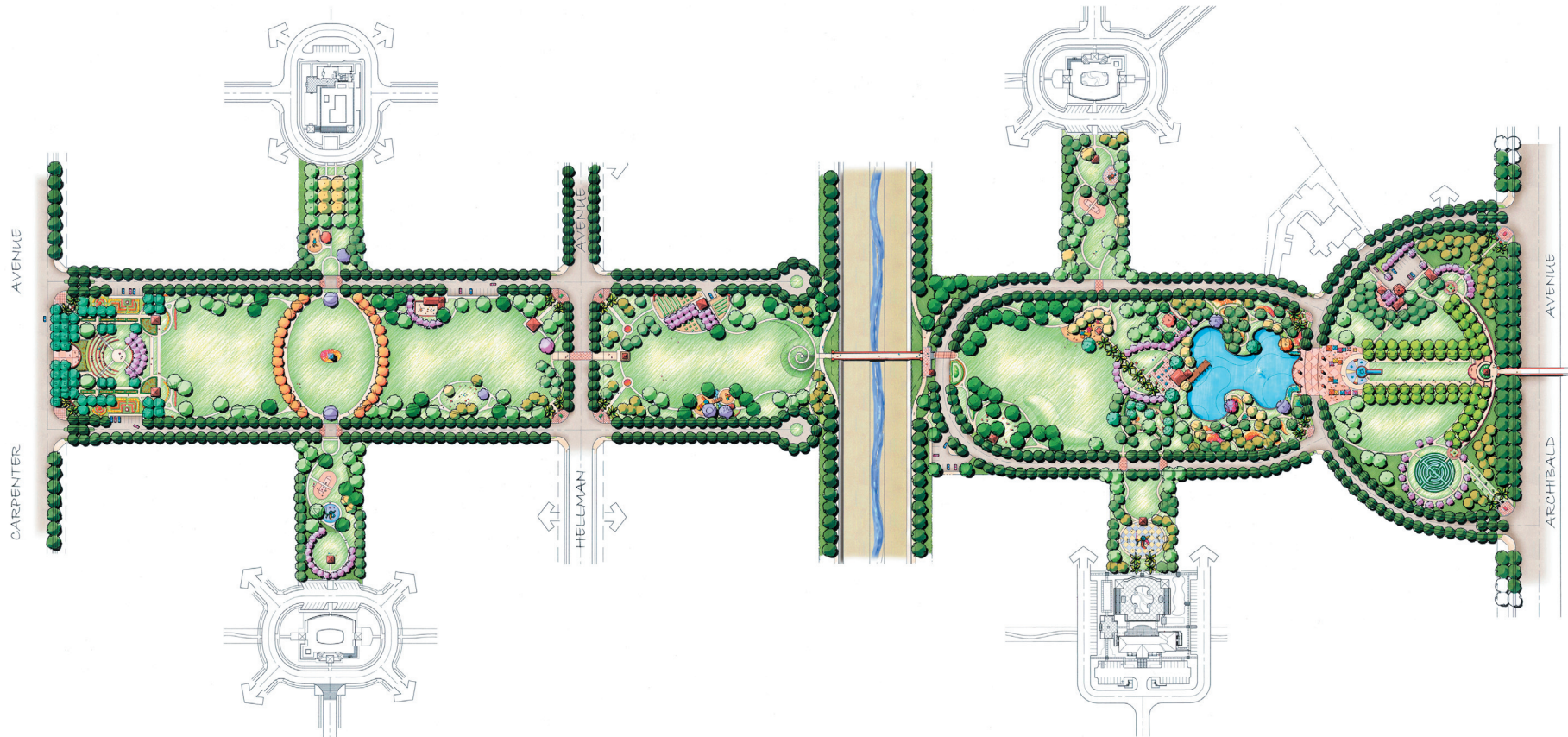
# Parkside



**Exhibit 32—Primary Residential Entry Monument**



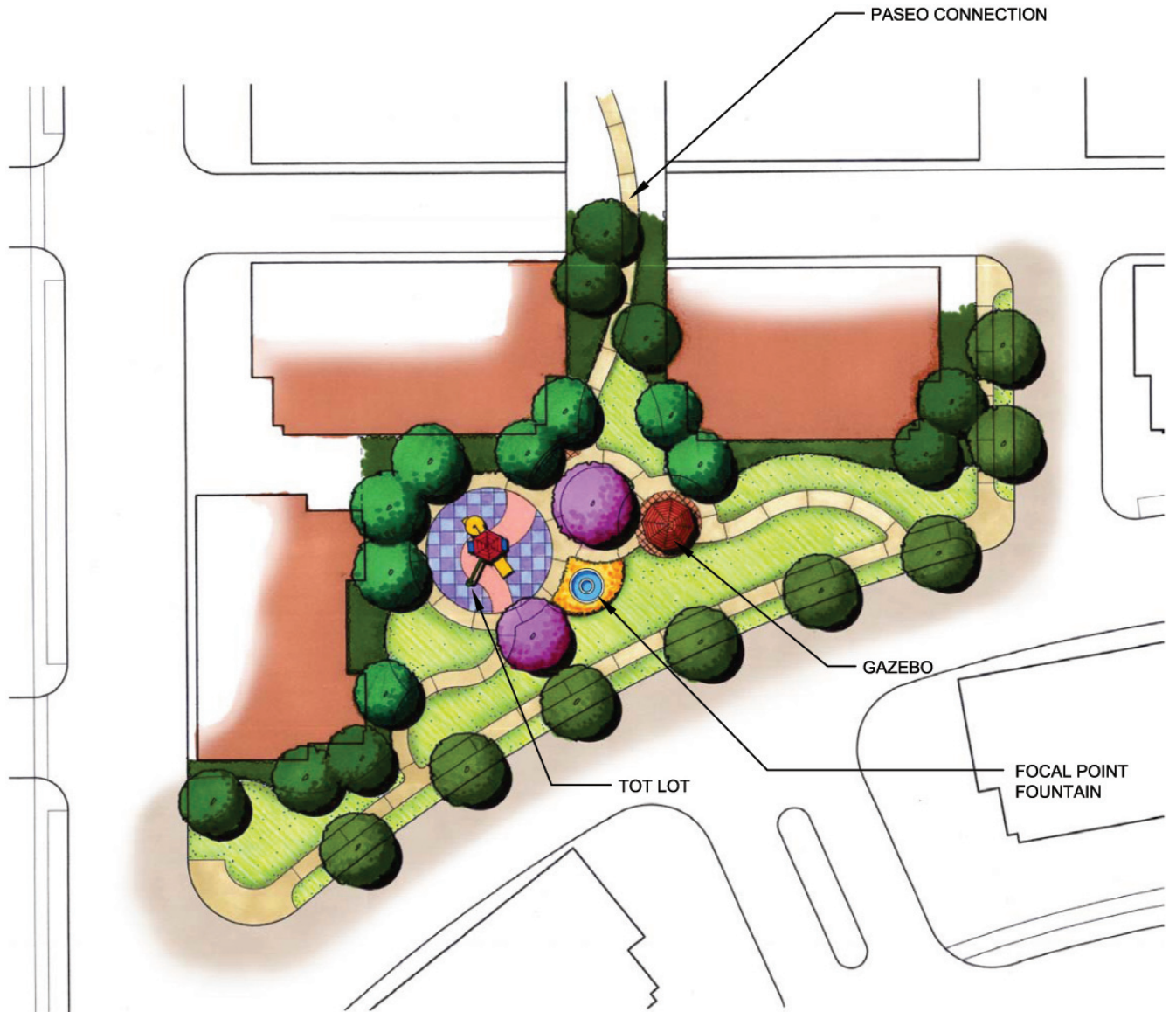
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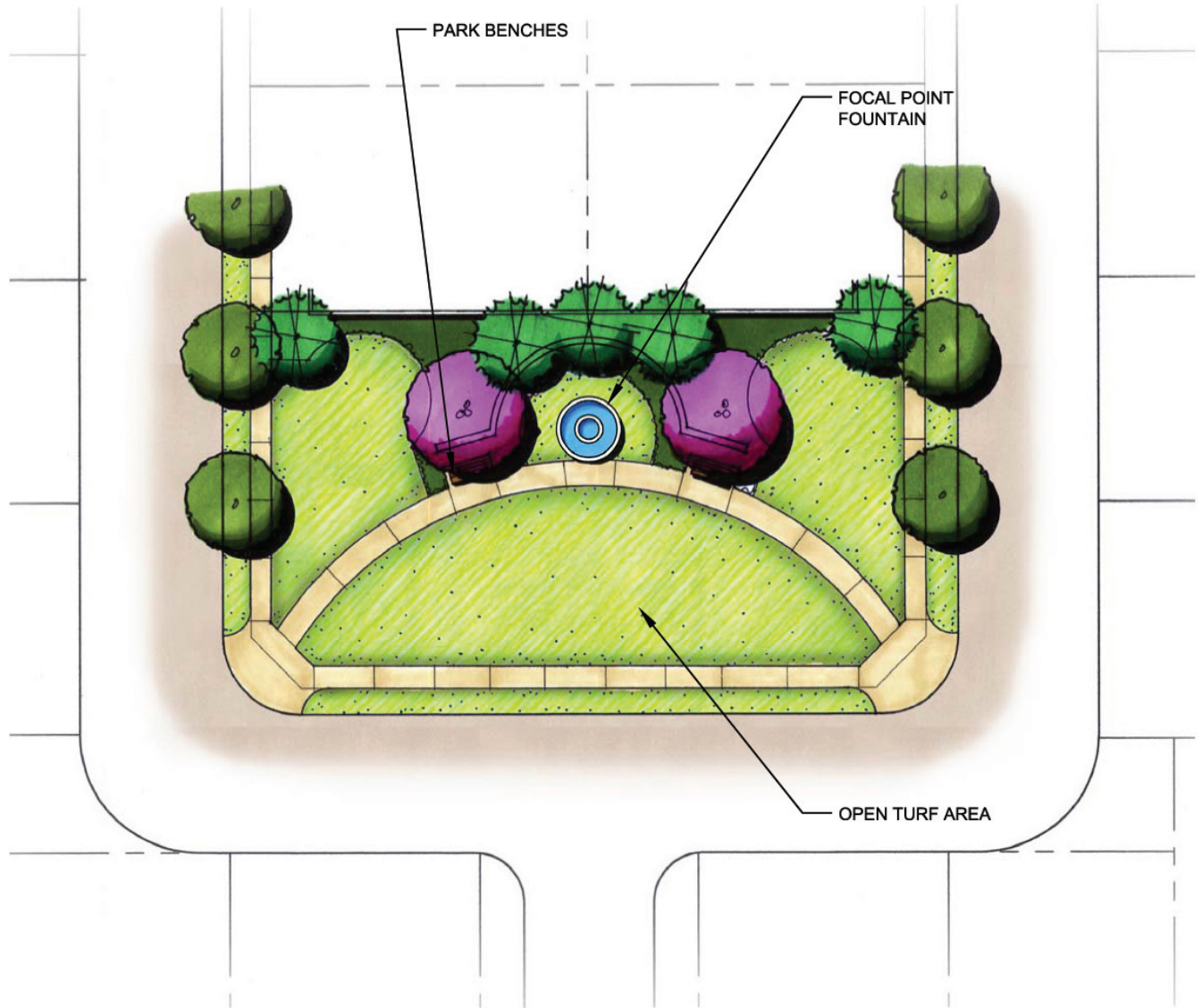
# Parkside



**Exhibit 34**—Pocket Park Concept



# Parkside



**Exhibit 34a**—Pocket Park Concept



# Parkside



**Exhibit 34b**—Pocket Park Rendering



# Parkside

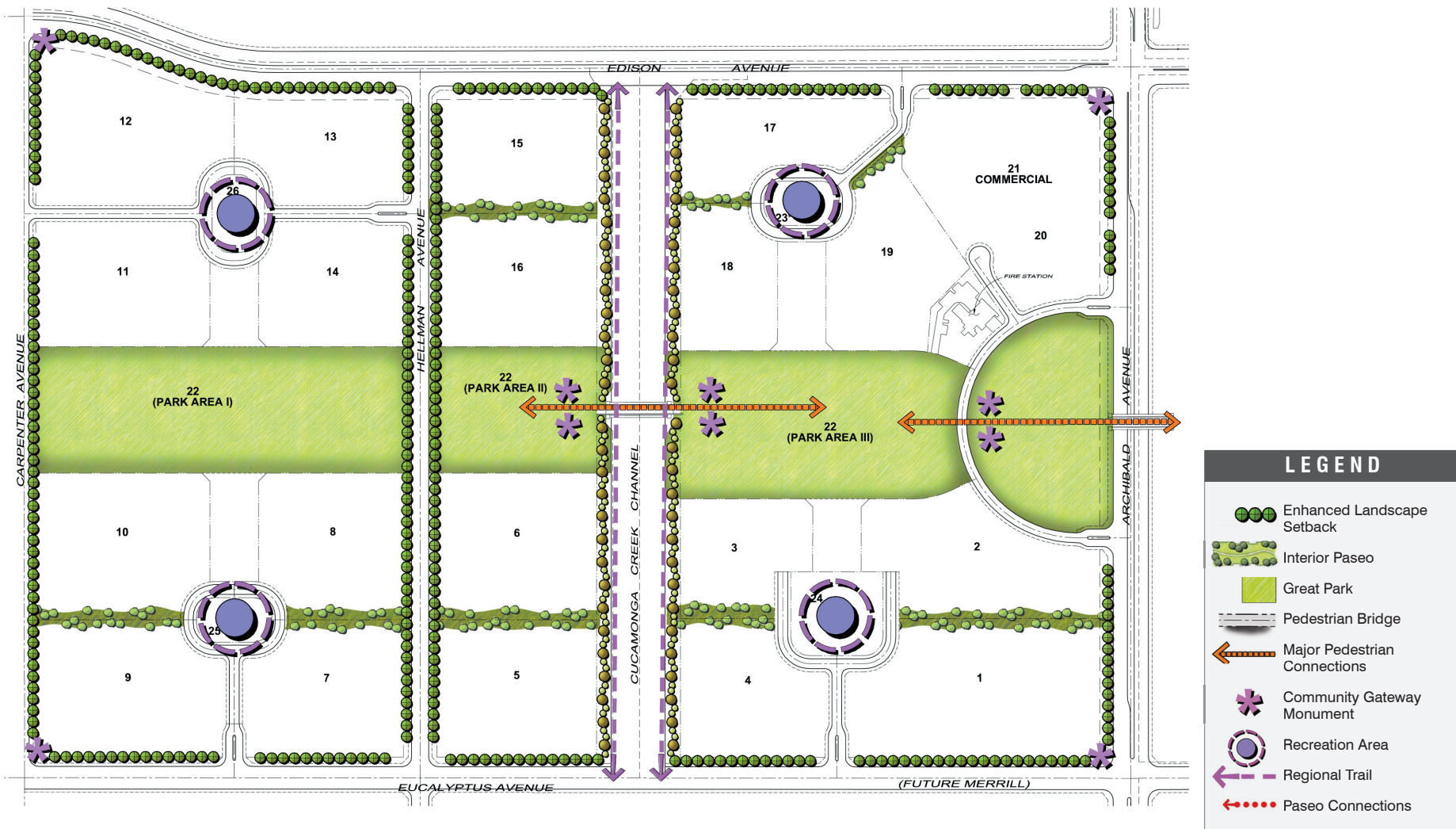


Exhibit 35—Recreation Area Plan



# Parkside

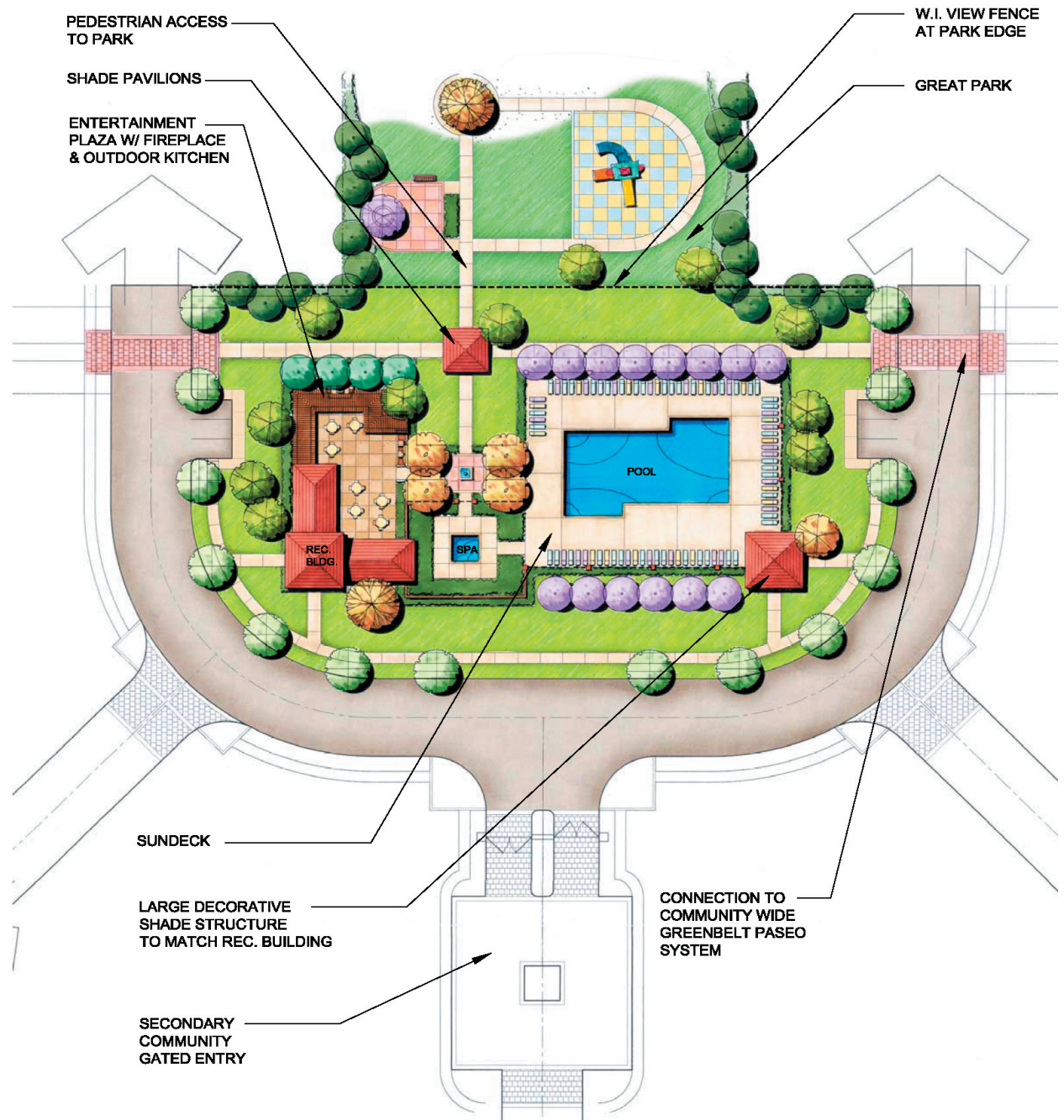


Exhibit 36—Recreation Area Concept A

# Parkside

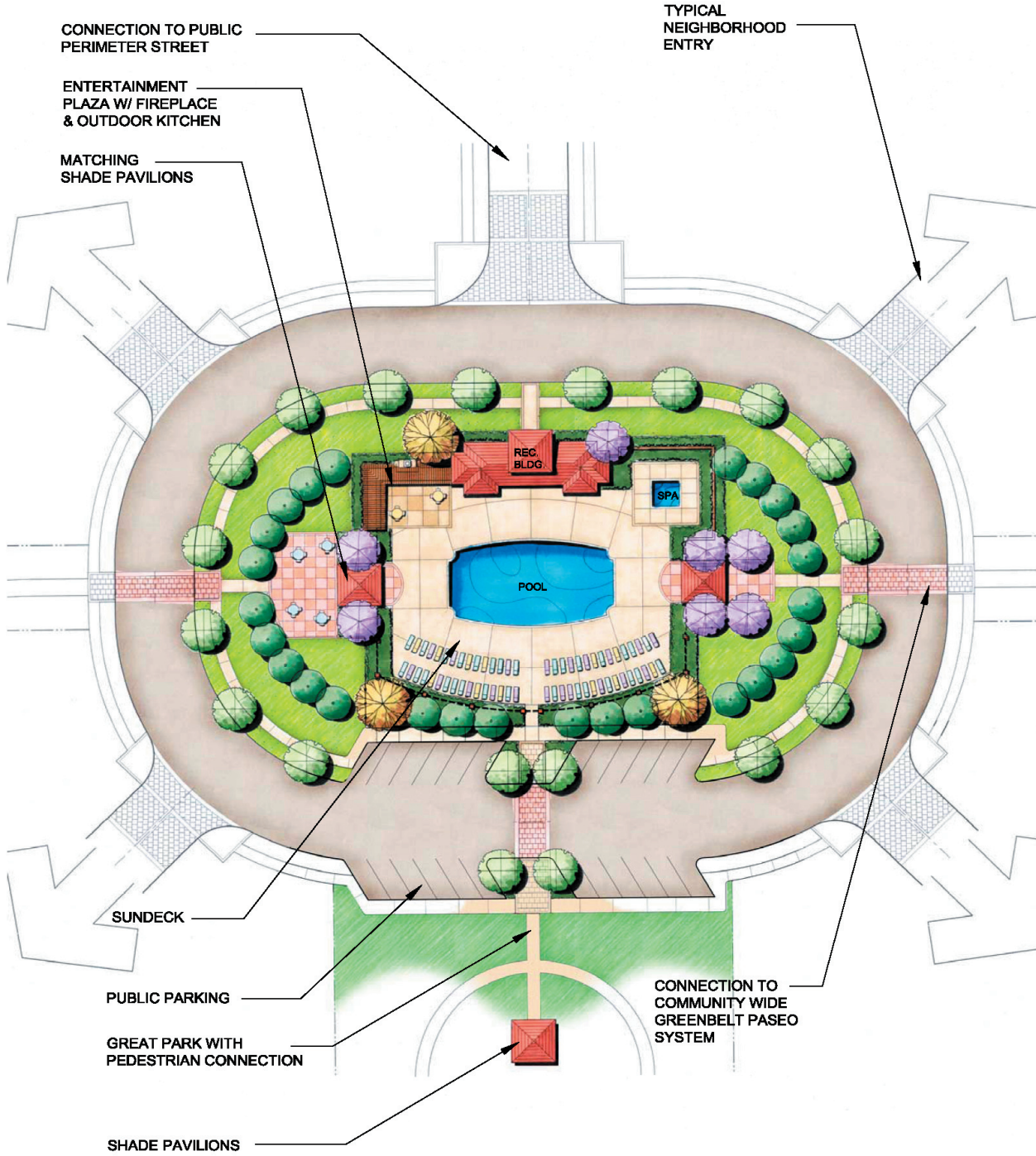
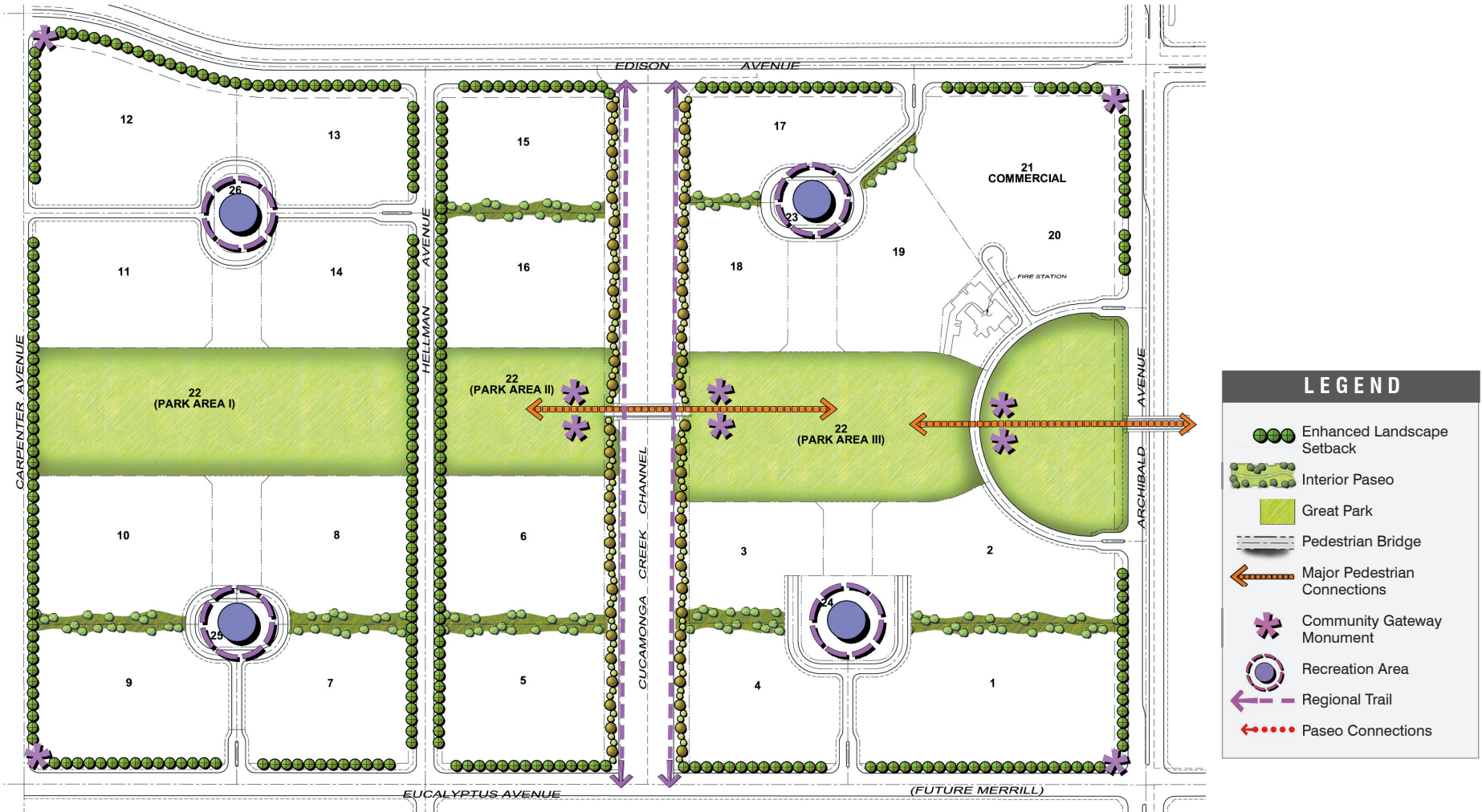


Exhibit 36a—Recreation Area Concept B



# Parkside





# Parkside

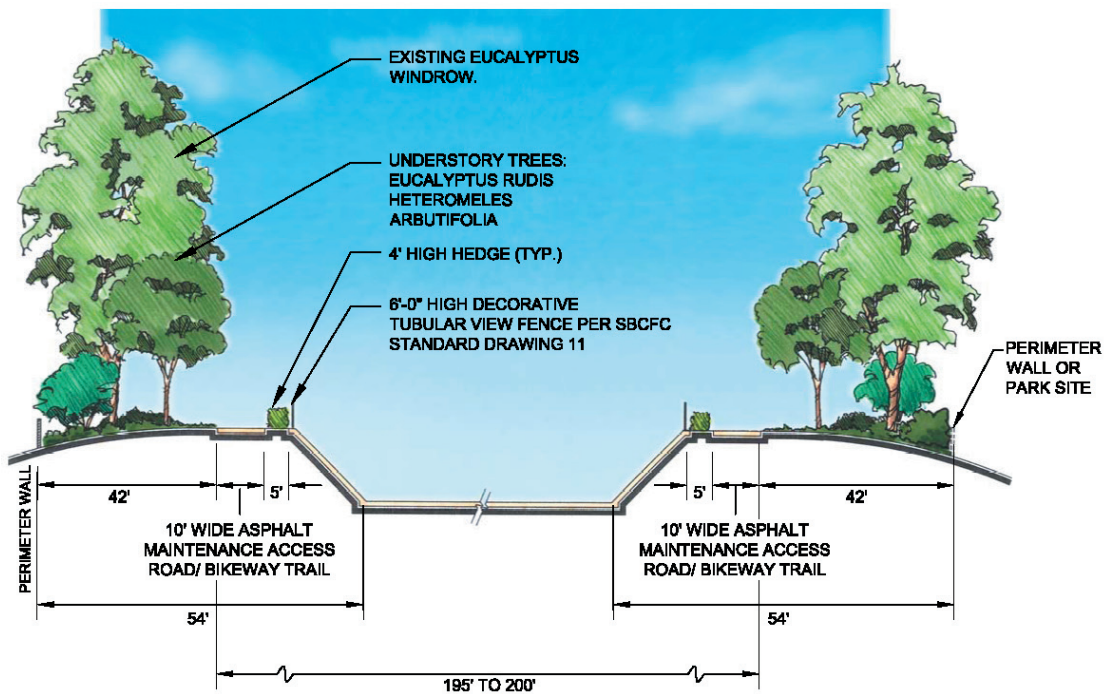
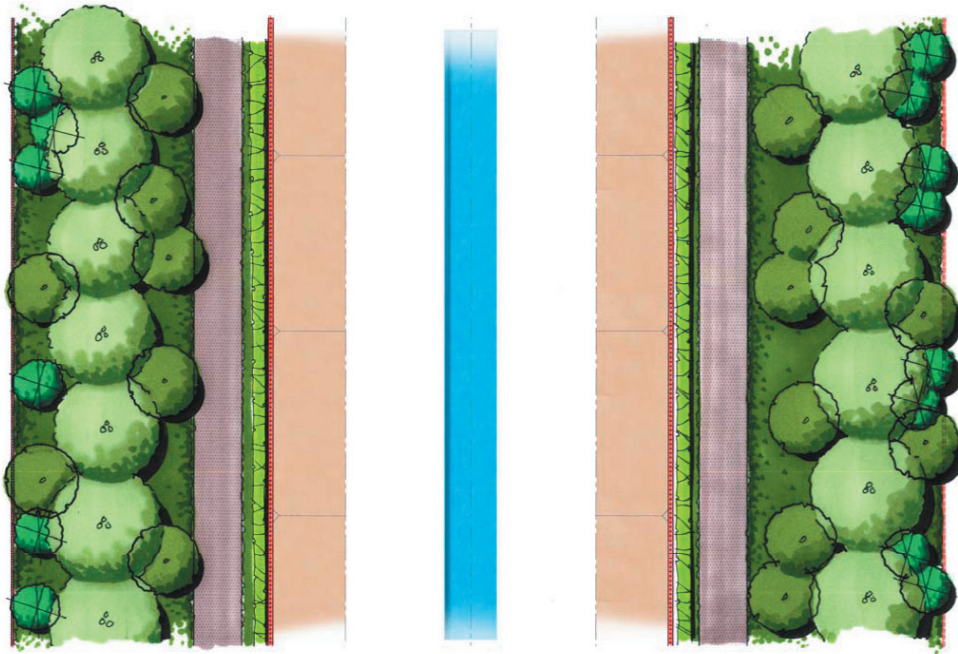
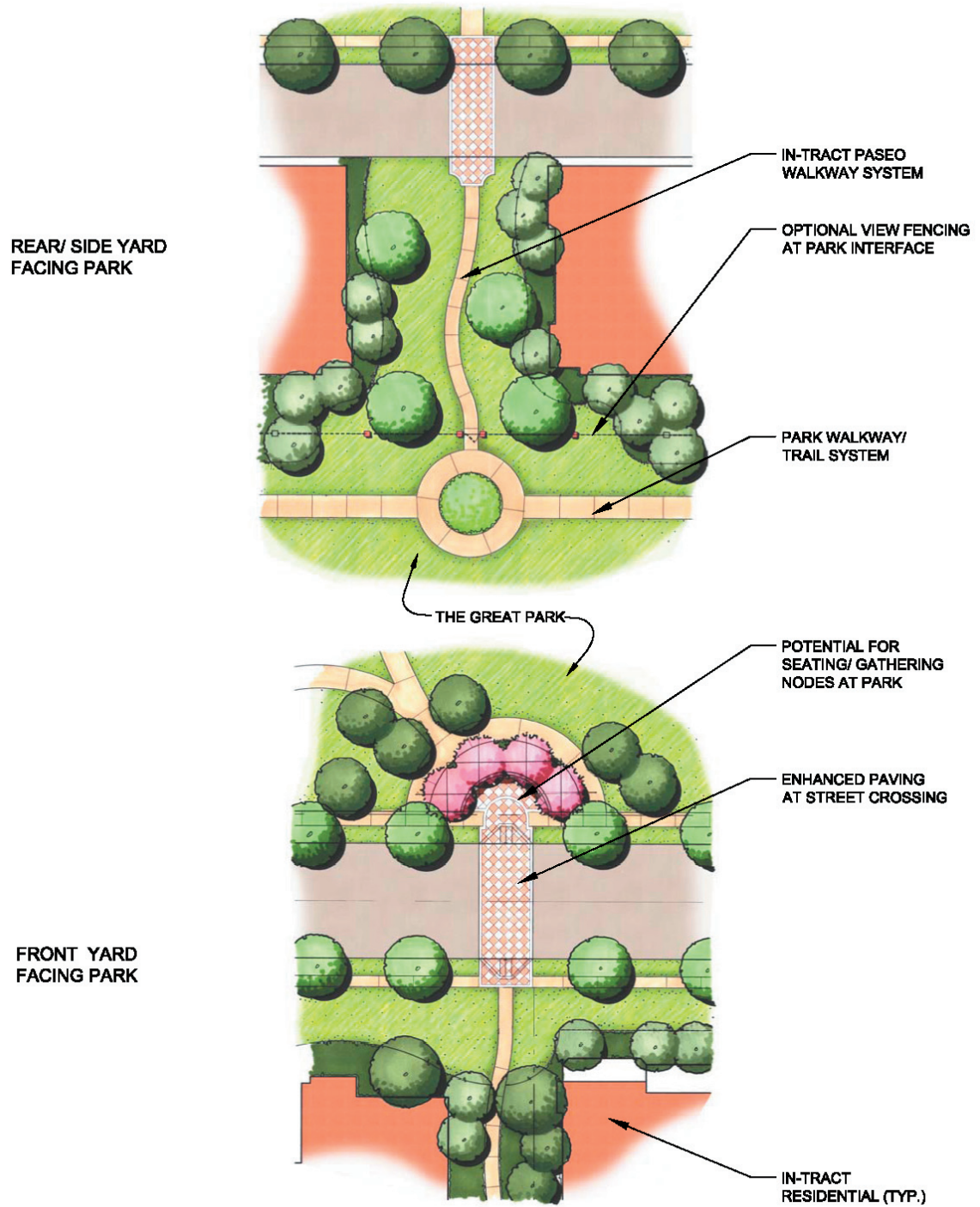


Exhibit 37a—Channel Regional Trail Easement





# Parkside



**Exhibit 38**—Trail Connection To “Great Park”



# Parkside

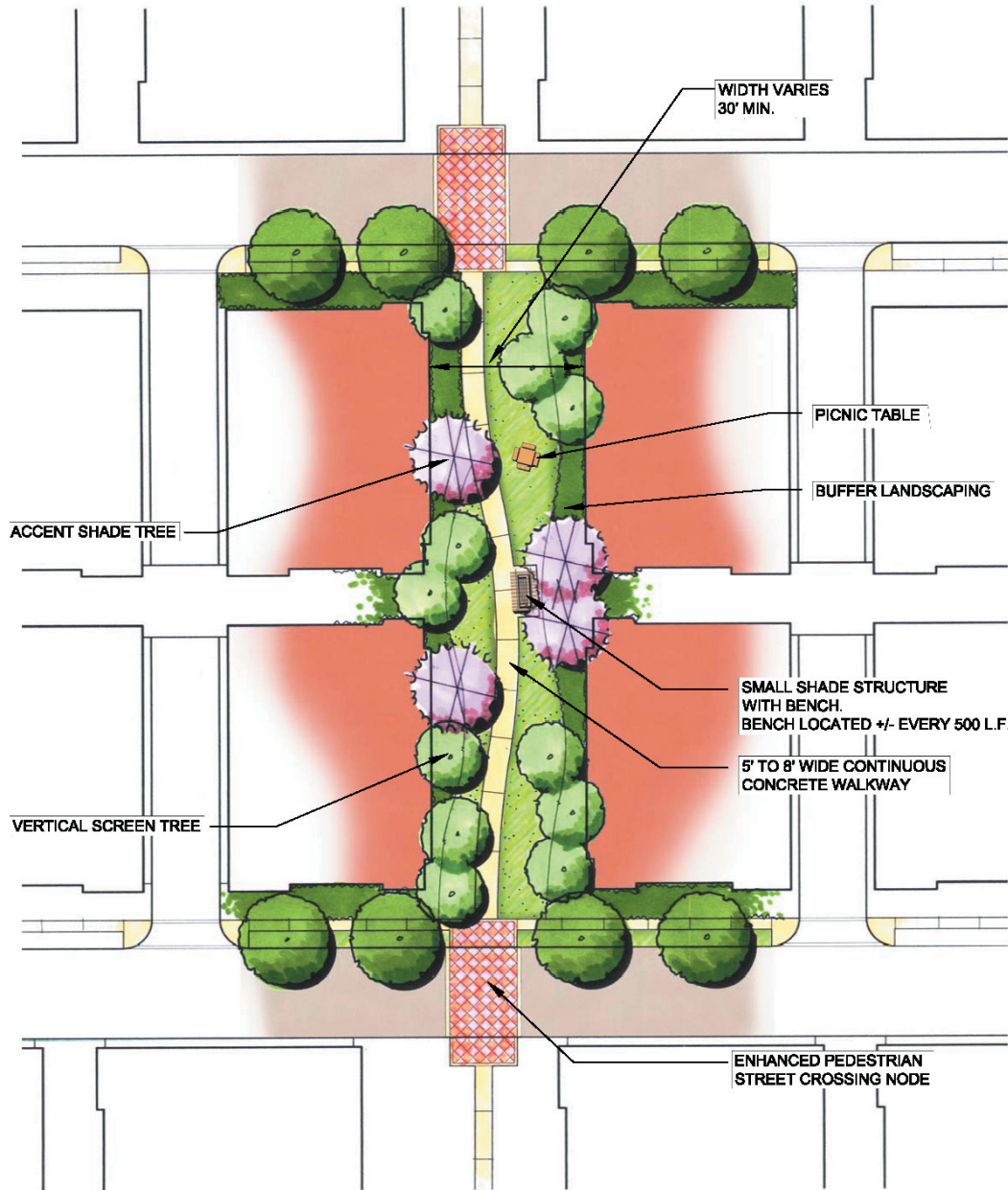
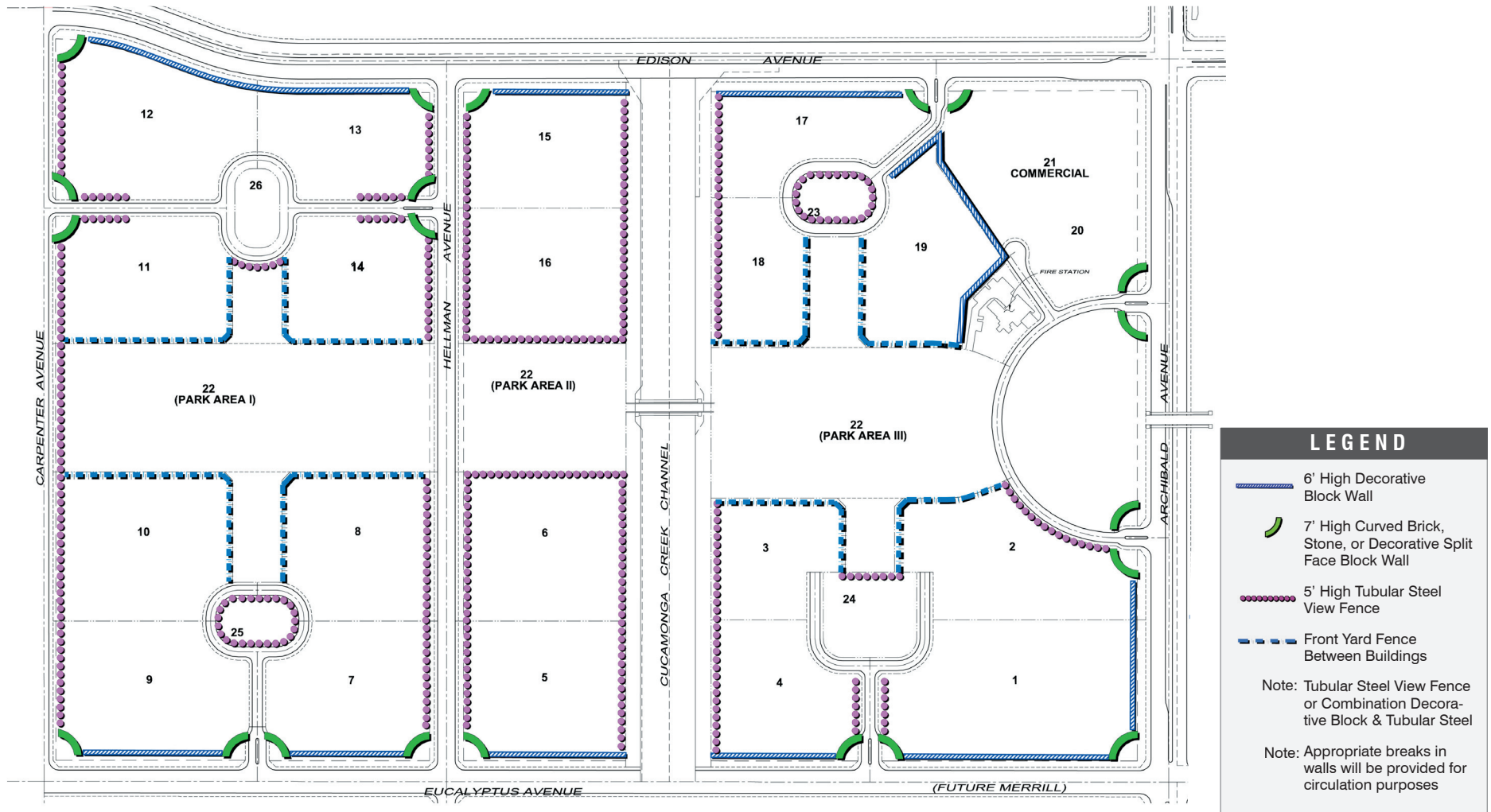


Exhibit 39—Interior Paseo Concept

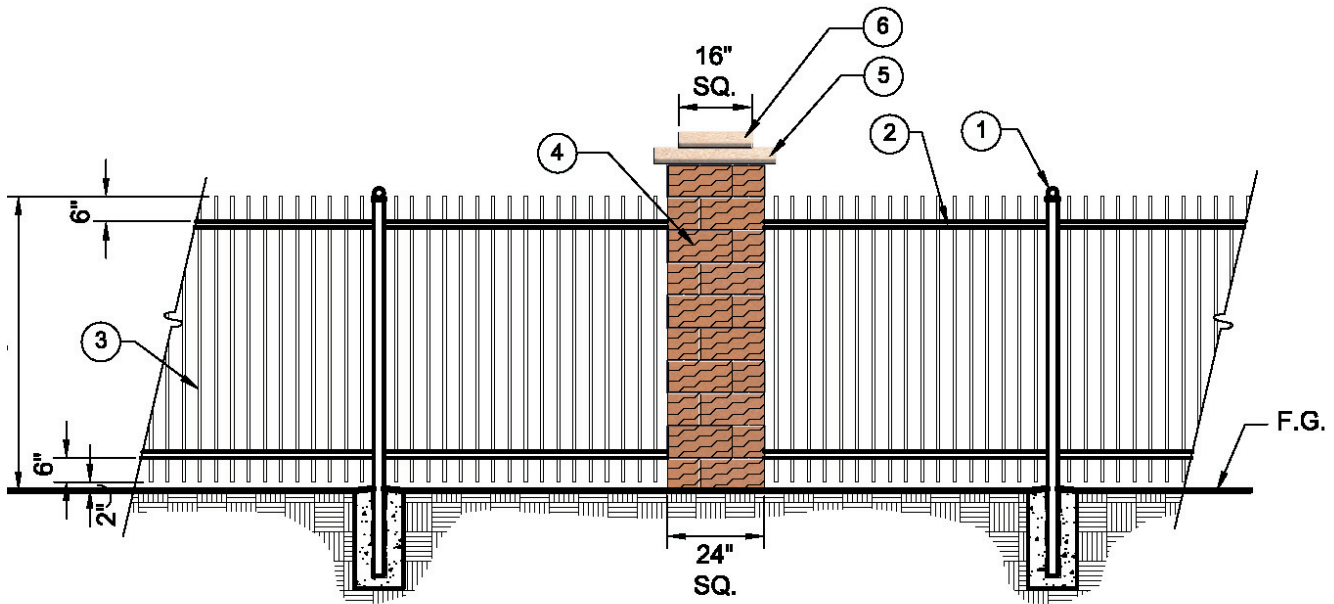


# Parkside





# Parkside



① 2 1/2" SQ. TUBULAR STEEL POST W/  
DECORATIVE CAP @ 6' O.C. MAX.

② 1 1/2"x1" 12 GA. TUBULAR STEEL. TOP &  
BOTTOM RAILS LAY FLAT

③ 1/2" SQ.x16 GA. TUBULAR STEEL  
FENCE PICKETS @ 4" O.C. MAX.

④ PILASTER TO BE CONSTRUCTED FROM  
SPLIT FACE BLOCK, RIVER ROCK, LEDGE  
STONE, FLAG STONE, BRICK OR OTHER  
DECORATIVE MATERIAL APPROVED BY  
THE CITY. LOCATE AT CORNERS & 50' O.C.

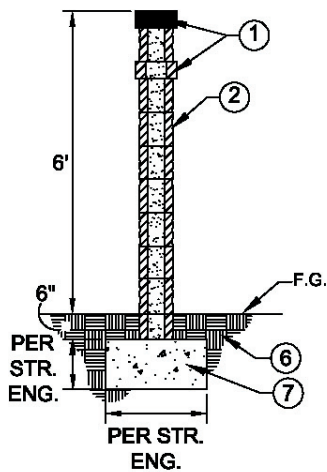
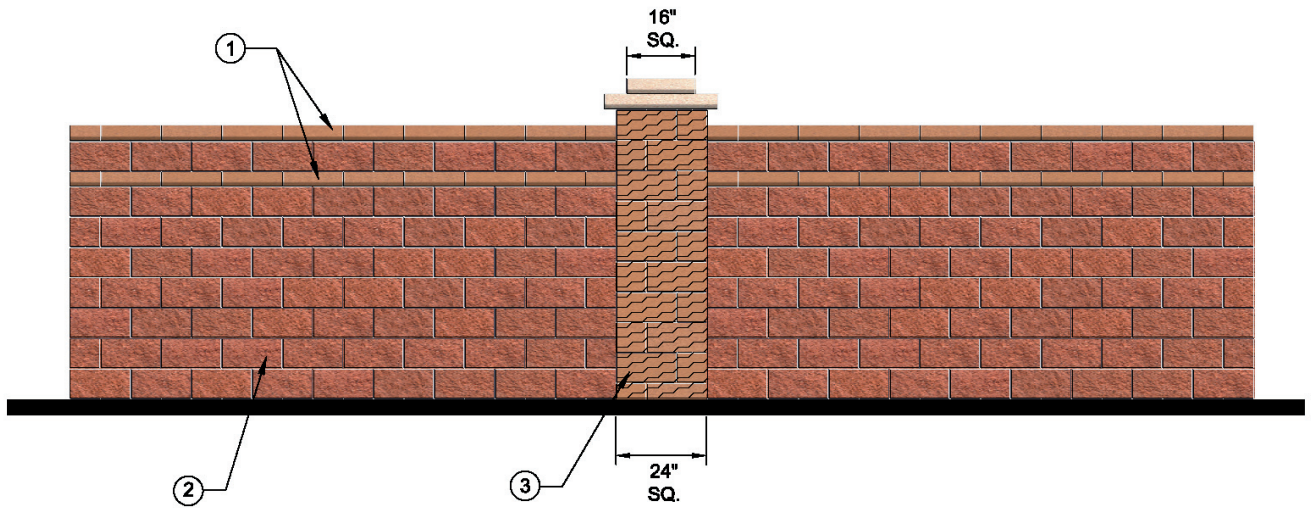
⑤ 4" HIGH PRE-CAST CAP SMOOTH FINISH  
'GRAY', CUT TO FORM 28" SQ.

⑥ 16" SQ. PRE-CAST CAP SMOOTH FINISH, 4"  
HIGH 'GRAY'

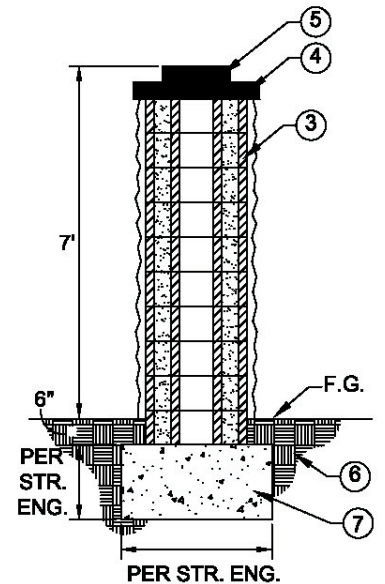
**Exhibit 41—Fence Detail**



# Parkside



- ① (2) ROWS 8x4x16 PRE-CAST SMOOTH FINISH COLOR "SHORELINE" (TOP BLOCK TO BE SOLID) BY ANGELUS BLOCK (714) 637-8594
- ② 6x8x16 SPLITFACED BLOCK (BOTH SIDES) COLOR "SIENNA BROWN" BY ANGELUS BLOCK (714) 637-8594
- ③ PILASTER TO BE CONSTRUCTED FROM SPLIT FACE BLOCK, RIVER ROCK, LEDGE STONE, FLAG STONE, BRICK OR OTHER DECORATIVE MATERIAL APPROVED BY THE CITY. LOCATE AT CORNERS & 50' O.C.
- ④ 4" HIGH PRE-CAST CAP SMOOTH FINISH "GRAY", CUT TO FORM 28" SQ.
- ⑤ 16" SQ. PRE-CAST CAP SMOOTH FINISH, 4" HIGH 'GRAY'
- ⑥ COMPACTED SUBGRADE
- ⑦ CONCRETE FOOTING PER STR. ENG.



**Exhibit 42—Wall Detail**



# Parkside

and/or a combo wall shall be constructed. Brick walls or screening walls shall have climbing plants or anti-graffiti elements to prevent vandalism.

For front yards facing the “Great Park” the same themed block or view fence shall be used between the structures to secure the project behind. These wall/fences shall be located behind the building set-back and arranged to create a project-wide unifying appearance.

### Interior Solid Walls and Fencing

Where privacy or protection of in-tract common and private area views dictates, walls shall either be tubular steel construction or decorative masonry block (both sides). Reverse frontage walls (both sides) and any wall return that is visible from the street shall be constructed of split-face block or precision block that is plastered or stuccoed, and of a color that blends with the Parkside color palette. Decorative caps and the use of decorative themed pilasters to help enhance the perimeter appeal of the walls are encouraged. Walls visible from the community streets may not be made of exposed or painted precision block or slumped block.

### View Fencing

These fences allow open views but not physical access; they shall be five (5) feet high and made of tubular steel construction. Areas where view fencing occurs will be subject to review by the City of Ontario. Refer to the **Fence and Wall Plan, Exhibit 40**, and **Exhibits 41-42, Fence and Wall Details**.

### Fencing in Cul-De-Sacs

Where perimeter walls about a cul-de-sac at the perimeter of a tract, 40 to 60 feet of view fencing will be installed to allow emergency personnel to see within the cul-de-sac area from the street. These areas will also be enhanced with landscaping.

### 7.7.11 Outdoor Lighting

Lighting standards within the project site shall be consistent in style, color, and materials in order to maintain uniformity throughout. Lighting should be subtle, providing a soft wash of light over illuminated objects such as monumentation. A hierarchy shall be established by using a variety of lighting fixtures and illumination levels based off of lighting design intent. Lighting styles shall tie into architectural styles and provide sufficient illumination for the safety and well being of the community.

Specimen trees may be uplighted with several fixtures into the canopy to avoid creating dark sides of the trees. Providing adequate lighting within the vehicular turn-around areas and lanes (private alleys) is essential. Metal halide lighting to project true colors and clear visibility, and reflective street signs shall be used on all proposed streets. Lighting shall have anti-vandalism fixtures.

Each residential unit shall have illuminated addresses at the front door and the garage door, if the garage faces an alley.

### 7.7.12 Mailboxes

Mailbox units may be designed with features to complement the architectural style of the neighborhood with trellises, stone bases, and landscaping. The adjacent space shall be designed to allow frequent pedestrian use and to function as an important neighborhood gathering space. The developer(s) shall work with the United States Post Office to determine the best possible location for mailboxes within the residential subdivisions. The developer(s) will determine the specifications for the mailbox units.

## 7.8 LANDSCAPE IMPLEMENTATION

### 7.8.1 Improvement Responsibility Landscape Maintenance

#### Landscape Maintenance

- All public landscapes, including swales, street trees, lighting, and irrigation systems, shall be maintained by the City of Ontario Landscape Maintenance District.
- Front yard landscapes shall be installed by the developer, however the homeowner shall maintain the front yard landscape in a healthy condition at all times.
- All manufactured slopes which exceed three (3) feet in height shall be planted by the developer with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment in conformance with the fuel modification guidelines described later in this document.

### 7.8.2 Homebuilder Landscape Requirements

#### Public Landscapes

- Landscape plantings in public areas should reflect a commit-



# Parkside

ment to both developing a “sense of place” and maintaining harmony with the New Model Colony.

- A landscape architect licensed in California shall be retained to prepare planting and irrigation plans for all public areas. Arrangement of plants should incorporate the concepts of mass planting; plants should be placed to allow them to grow to their natural sizes and forms, and sheared hedges should be kept to a minimum.
- All public areas, including HOA designated areas shall be installed by the developer.

The plant list at the end of this section offers a suggested plant palette for Parkside; while it is by no means all-inclusive, plantings in public areas should draw primarily from this palette for visual community continuity.

## Front Yard Landscapes

Plantings in front yards may vary substantially from the Specific Plan palette, but should retain some of the character and style of the public plantings. No more than seventy (70) percent of the total square footage of any front yard shall be lawn; the balance shall be composed of shrubs and groundcovers, with an emphasis on drought tolerant plant species.

## Soil testing

Soil samples shall be taken from several locations after the completion of rough grading operations, and a reputable soil-testing laboratory shall perform an agronomic soils test. The test shall assess soil fertility needs for water-wise California native and Mediterranean plant types. No planting shall take place until the soil has been properly prepared based on the recommendations of the soils testing laboratory.

## Slope Landscaping

All manufactured and cut/fill slopes which exceed three (3) feet in height (if they occur) shall be planted with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment in conformance with the fuel modification guidelines.

## Interior Slopes: Residential Interior

- Interior slopes may be more ornamental in character than exterior slopes. They may have a somewhat broader range

of plant materials than exterior slopes, but should still be chosen primarily from the plant palette and are subject to the same fuel modification restrictions.

- All manufactured slopes which exceed three (3) feet in height shall be planted by the developer with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment in conformance with the fuel modification guidelines described later in this document.

## Streetscape Landscaping

### Streetscape Development Standards

- Turf grass shall not exceed thirty (30) percent of streetscape planting and shall be located adjacent to the sidewalk or curb line.
- All new plantings within the planned community shall draw substantially from the Community Plant Palette included in this document.
- All streetscape landscaping within the Parkside planned community will be implemented by the Developer in accordance with this Specific Plan.
- The Developer shall install all primary and secondary improvements concurrently with the construction of the roadway on which they front. Neighborhood intersections shall be constructed as each neighborhood street is built.
- The Developer shall provide site inspection of all construction and installation of entries and intersections in accordance the City of Ontario requirements.

## Irrigation Design

Irrigation for both public and private landscapes should be designed to be as water-efficient as possible. All irrigation systems shall have automatic controllers designed to properly water plant materials given the site’s soil conditions, and irrigation systems for all public landscapes shall have automatic rain shut-off devices. Drip irrigation is encouraged. Spray systems shall have low-gallonage, matched-precipitation heads. Separate irrigation systems with bubblers or spray heads are required for trees and palms.



# Parkside

## **Addresses**

Each single family home will be required to have the address numbers painted on the curb with black numerals on a white reflective paint background. Each homeowner will be responsible for the maintenance of these numbers. Illuminated addresses shall also be installed on the residential units as required by the City of Ontario Fire Department.

## **7.9 DESIGN GUIDELINE IMPLEMENTATION**

### **7.9.1 Design Review Submittal Requirements**

The master developer shall review all plans prior to submittal to the City for Plan Check. This design review process will include these steps: conceptual review, refined review and construction document review prior to plans being submitted for city processing. The design review process will ensure the vision of Parkside will be implemented.





# Parkside

**Table 6—Community Plant Palette**

Note: The landscape materials (trees, shrubs, vines, and groundcovers) will be provided per the New Model Colony Streetscape Master Plan.

BOTANICAL NAME	COMMON NAME	Archibald Avenue	Eucalyptus Avenue	Edison Avenue	Hellman Avenue	Carpenter Avenue	Cucamonga Creek Channel	Primary Street / Park Loop Street	Interior Neighborhood Streets	Lanes (Private Alleys)	Community Gateway & Accents	Primary & Secondary Community Entries	Neighborhood Entries	Interior Paseo & Pocket Parks	Commercial Area
Trees															
<i>Albizia julibrissin</i> 'Rosa'	Silk Tree	•													
<i>Alnus rhombifolia</i>	White Alder						•								
<i>Cedrus deodara</i>	Deodar Cedar											•			
<i>Chitalpa tashkentensis</i>	Chitalpa Tree									•				•	
<i>Cinnamomum camphora</i>	Camphor Tree	•						•							
<i>Citrus sinensis</i>	Orange Trees										•				
<i>Cupaniopsis anacardioides</i>	Carrotwood								•						
<i>Cupressus sempervirens</i>	Italian Cypress										•		•		
<i>Eucalyptus sideroxylon</i> 'Rosea'	Pink Iron Bark				•		•								
<i>Fraxinus angustifolia</i>	Raywood Ash		•												
<i>Geijera parviflora</i>	Australian Willow									•					
<i>Gleditsia t. inermis</i> 'Shademaster'	Honey Locust								•					•	
<i>Heteromeles arbutifolia</i>	Toyon	•	•				•							•	
<i>Jacaranda mimosifolia</i>	Jacaranda											•		•	
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree			•											
<i>Lagerstroemia farnesia</i>	Crape Myrtle								•		•		•	•	•
<i>Lyonothamnus floribundus</i>	Catalina Ironwood			•			•								
<i>Magnolia grandiflora</i> 'Russet'	Southern Magnolia								•					•	•



# Parkside

**Table 6—Community Plant Palette**

Note: The landscape materials (trees, shrubs, vines, and groundcovers) will be provided per the New Model Colony Streetscape Master Plan.

BOTANICAL NAME	COMMON NAME	Archibald Avenue	Eucalyptus Avenue	Edison Avenue	Hellman Avenue	Carpenter Avenue	Cucamonga Creek Channel	Primary Street / Park Loop Street	Interior Neighborhood Streets	Lanes (Private Alleys)	Community Gateway & Accents	Primary & Secondary Community Entries	Neighborhood Entries	Interior Paseo & Pocket Parks	Commercial Area
Melaleuca quinquenervia	Cajeput Tree													•	
Michelia champaca	Michelia				•										
Olea europaea "Wilsonii"	Wilson Olive										•				
Phoenix dactylifera	Date Palm										•				•
Pinus canariensis	Canary Island Pine							•						•	•
Pittosporum undulatum	Victorian Box								•					•	
Platanus acerifolia 'Bloodgood'	London Plane Tree								•					•	
Pyrus calleryana 'Chanticleer'	Chanticleer Pear								•	•				•	
Pyrus kawakamii	Evergreen Pear								•						•
Quercus agrifolia	Coast Live Oak											•	•		
Quercus ilex	Holly Oak								•						•
Rhapiolepis 'Majestic Beauty'	N.C.N.									•					
Schinus molle	California Pepper Tree							•						•	
Sequoia sempervirens	Coast Redwood			•											
Syagrus romanzoffianum	Queen Palm									•					
Tabebuia impetiginosa	Pink Trumpet Tree		•												
Tipuana tipu	Tipu Tree					•		•							
Tristania conferta	Brisbane Box													•	•
Ulmus parvifolia 'True Green'	Evergreen Elm								•						



# Parkside

**Table 6—Community Plant Palette**

BOTANICAL NAME	COMMON NAME	Archibald Avenue	Eucalyptus Avenue	Edison Avenue	Hellman Avenue	Carpenter Avenue	Cucamonga Creek Channel	Primary Street / Park Loop Street	Interior Neighborhood Streets	Lanes (Private Alleys)	Community Gateway & Accents	Primary & Secondary Community Entries	Neighborhood Entries	Interior Paseo & Pocket Parks	Commercial Area
Shrubs															
Acacia redolens	Creeping Acacia						•								
Agave attenuata	Foxtail Agave										•	•	•	•	
Aloe species	Aloe										•			•	
Alyogene huegelii	Blue Hibiscus					•				•					
Anigozanthus flavidus	Kangaroo Paw										•	•	•	•	
Arctostaphylos species	Manzanita						•								
Baccharis pilularis	Coyote Brush						•								
Bougainvillea species	Bougainvillea														
Buxus m. japonica	Japanese Boxwood										•	•	•	•	•
Ceanothus species	California Lilac												•		
Cistus purpureus	Rockrose					•	•								
Cotonesaster species	Cotoneaster						•				•			•	
Dietes bicolor	Fortnight Lily	•					•			•	•	•	•	•	•
Echium fastuosum	Pride of Madiera	•												•	
Eleagnus pungens	Silverberry						•							•	
Eschscholzia californica	California Poppy						•								
Euryops pectinatus	Grey-Leafed Euryops														
Fremontodendron californicum	Flannel Bush		•				•								
Gardenia jasminoides	Gardenia											•	•	•	
Gaura lindheimeri	Gaura		•												
Grevillea species	N.C.N.										•	•	•	•	



# Parkside

**Table 6—Community Plant Palette**

BOTANICAL NAME	COMMON NAME	Archibald Avenue	Eucalyptus Avenue	Edison Avenue	Hellman Avenue	Carpenter Avenue	Cucamonga Creek Channel	Primary Street / Park Loop Street	Interior Neighborhood Streets	Lanes (Private Alleys)	Community Gateway & Accents	Primary & Secondary Community Entries	Neighborhood Entries	Interior Paseo & Pocket Parks	Commercial Area
Hemerocallis species	Day Lily									•	•	•	•	•	
Hibiscus rosa-sinensis	Golden Dust Hibiscus				•										
Ilex species	Holly										•				
Juniperus chinensis & CVS	Juniper	•								•					
Kniphofia uvaria	Red-Hot Poker													•	•
Lantana montevidensis	Lantana										•	•	•	•	
Lavandula species	Lavender										•	•	•	•	•
Leptospermum scoparium 'Snow White'	New Zealand Tea Tree				•									•	
Ligustrum japonicum 'Texanum'	Glossy Privet									•	•	•	•	•	•
Limonium perezii	Statice						•								
Liriope species	Lily Turf												•	•	
Muhlenbergia rigens	Deer Grass						•								•
Myoporum parvifolium	N.C.N.							•	•		•				•
Myrtus communis 'Compacta'	Dwarf Myrtle											•	•	•	
Phlomis fruticosa	Jerusalem Sage			•											
Phormium tenax & CVS	New Zealand Flax					•		•	•		•	•	•	•	•
Photinia fraseri	Photinia							•	•					•	•
Pittosporum tobira & CVS	Mock Orange							•	•		•	•	•	•	•
Pittosporum tobira 'Turner's Variegated Dwarf'	Tobira Turner's Variegated									•					•
Plumbago auriculata	Cape Plumbago													•	
Pyracantha species	Fire Thorn							•	•		•	•			
Rhaphiolepis indica	India Hawthorne							•	•		•	•	•	•	•



# Parkside

**Table 6—Community Plant Palette**

BOTANICAL NAME	COMMON NAME	Archibald Avenue	Eucalyptus Avenue	Edison Avenue	Hellman Avenue	Carpenter Avenue	Cucamonga Creek Channel	Primary Street / Park Loop Street	Interior Neighborhood Streets	Lanes (Private Alleys)	Community Gateway & Accents	Primary & Secondary Community Entries	Neighborhood Entries	Interior Paseo & Pocket Parks	Commercial Area
<i>Rhus integrifolia</i>	Lemonade Berry						•							•	
<i>Rosa species</i>	Rose										•	•			
<i>Rosmarinus officianalis</i>	Rosemary							•	•		•	•	•	•	•
<i>Salvia clevelandii</i>	Cleveland Sage														
<i>Salvia species</i>	Sage			•									•	•	
<i>Trachelospermum jasminoides</i>	Star Jasmine									•			•	•	•
<i>Viburnum tinus</i>	Laurustinus Viburnum													•	•
<i>Westringia fruticosa</i>	Westringia													•	
<i>Xylosma congestum</i>	Shiny Xylosma							•	•		•	•			
Vines															
<i>Clematis ligusticifolia</i>	Clematis	•												•	
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine		•												
<i>Distictis buccinatoria</i>	Blood Red Trumpet Vine			•											
<i>Ficus repens</i>	Creeping Fig							•	•	•					
<i>Gelsemium sempervirens</i>	Carolina Jessamine												•	•	
<i>Jasminum polyanthum</i>	Pink Jasmine													•	
<i>Macfadyana unguis-cati</i>	Cat's Claw						•								
<i>Pandorea jasminoides</i>	Bower Vine														
<i>Parthenocissus tricuspidata</i>	Boston Ivy	•	•	•	•	•		•	•	•					
<i>Passiflora species</i>	Passion Flower							•	•					•	
<i>Rosa banksiae</i>	Lady Banks Rose							•	•					•	
<i>Solanum jasminoides</i>	Potato Vine													•	
<i>Wisteria sinensis</i>	Chinese Wisteria												•	•	