

**CHAPTER 4.0**  
**DESIGN STANDARDS AND GUIDELINES**

## 4.0 DESIGN STANDARDS AND GUIDELINES

The purpose of this section is to establish the standards and guidelines that will create the visual character and achieve the development objectives of this Specific Plan.

### 4.1 URBAN DESIGN GOAL AND OBJECTIVES

The project area is a highly visible site as viewed from the Jurupa Street and Haven Avenue rights-of-way. Depending upon on-site landscaping and screening, the project will also be visible from the adjacent U.P.S. facility to the west, and the Acco Specific Plan area to the south.

In addition, the following design objectives support the overarching urban design goals of the Specific Plan:

- To perceive and develop the site as a single entity;
- To accommodate uses that are commercial/service oriented;
- To establish a design standard for the Jurupa/Haven intersection;
- To provide a transition and a degree of compatibility between the adjacent (north/south and east/west) uses:
- To ease access to/from the site from adjacent arterials and among the different uses that may ultimately occupy the site; and
- To construct a landscape/architectural environmental that will be in scale with the surrounding urban environment including the adjacent arterials.
- To provide connecting walkways within the site and to the adjacent properties to the west and south.

Subsequent land use applicants for the subject site or a portion thereof shall be required to address and satisfy each of these objectives as part of the development plan submittal.

As previously mentioned, the corner landscape element will be a significant design feature for this relatively small site. Additional landscaping within the required setback accompanied by graded berms will alleviate potential monotonous sight lines along the Haven Avenue frontage. Parking lots should be located away from the street. To further reduce a continuous, uninterrupted line of parking stalls and/or buildings along Haven, it is suggested that no more than 50 percent of the Haven Avenue frontage, exclusive of driveways, be occupied by parking stalls. Where parking lots occur along streets, a landscaped buffer should be provided and permanently maintained to minimize views of parked cars from the street. Within the landscaped buffer, trees should be planted at a rate of at least 30 feet on-center and within five feet of the front property line. In addition, the landscape buffer should include a screening feature that is 36 to 42 inches in height and consists of a wall, fence, hedge, or equivalent screening feature.

## 4.2 ARCHITECTURAL DESIGN

The project will be visible from the south, east, and north sides and, therefore, the development shall, at a minimum, aesthetically address these elevations with an appropriate level of architectural character. The elevations at Jurupa Street, Haven Avenue, and facing the property to the south, shall especially be developed with quality, time enduring design, which will complement their high visibility.

As stated within the Land Use Chapter (3.0) of this document, it is anticipated that specific land uses for the project area will evolve over time with the growth associated with the airport and surrounding area. The intensity of use on the site will likely increase with the emerging importance to the region of the Ontario International Airport.

## 4.3 LANDSCAPE GUIDELINES

There are three distinct landscape components within the Specific Plan area: the public streetscape, on-site landscape, and intersection landscape.

The public streetscape component intends to frame the site with plant materials that are complementary to the commercial use site, as well as blending the site with the rights-of way overall landscape concept. Streetscape landscaping shall allow visibility to the structures.

The on-site landscaping highlights the structures by complementing the key architectural concepts. Landscape designs shall be developed in concert with the architectural designs of the proposed buildings in order to provide a coherent site plan. Parking areas should utilize plant materials that shade and cool the pavement. All plant materials within the plan area, and especially within the parking area, should be tolerant of high wind conditions.

The intersection landscaping shall match the landscaping proposed at the other three corners of Jurupa Street and Haven Avenue. The formal palm radius will create an impressive visual impact for the intersection, further reinforcing this intersection as one of importance within the area. The remaining streetscape and on-site landscape character should relate to this strong corner statement.

A minimum of 15 percent gross site area will be landscaped.

### 4.3.1 Public Streetscapes

Public streetscapes within the JURUPA HAVEN AIRPORT CENTRE Specific Plan area shall be of plant materials complementary to those proposed within the California Commerce Center, the U.P.S. facility, and the Acco Specific Plan. That is, large canopy trees, formally planted and equally spaced, shall characterize the arterials. Canary Island Pines are planted within the median of Haven Avenue. A cobble style

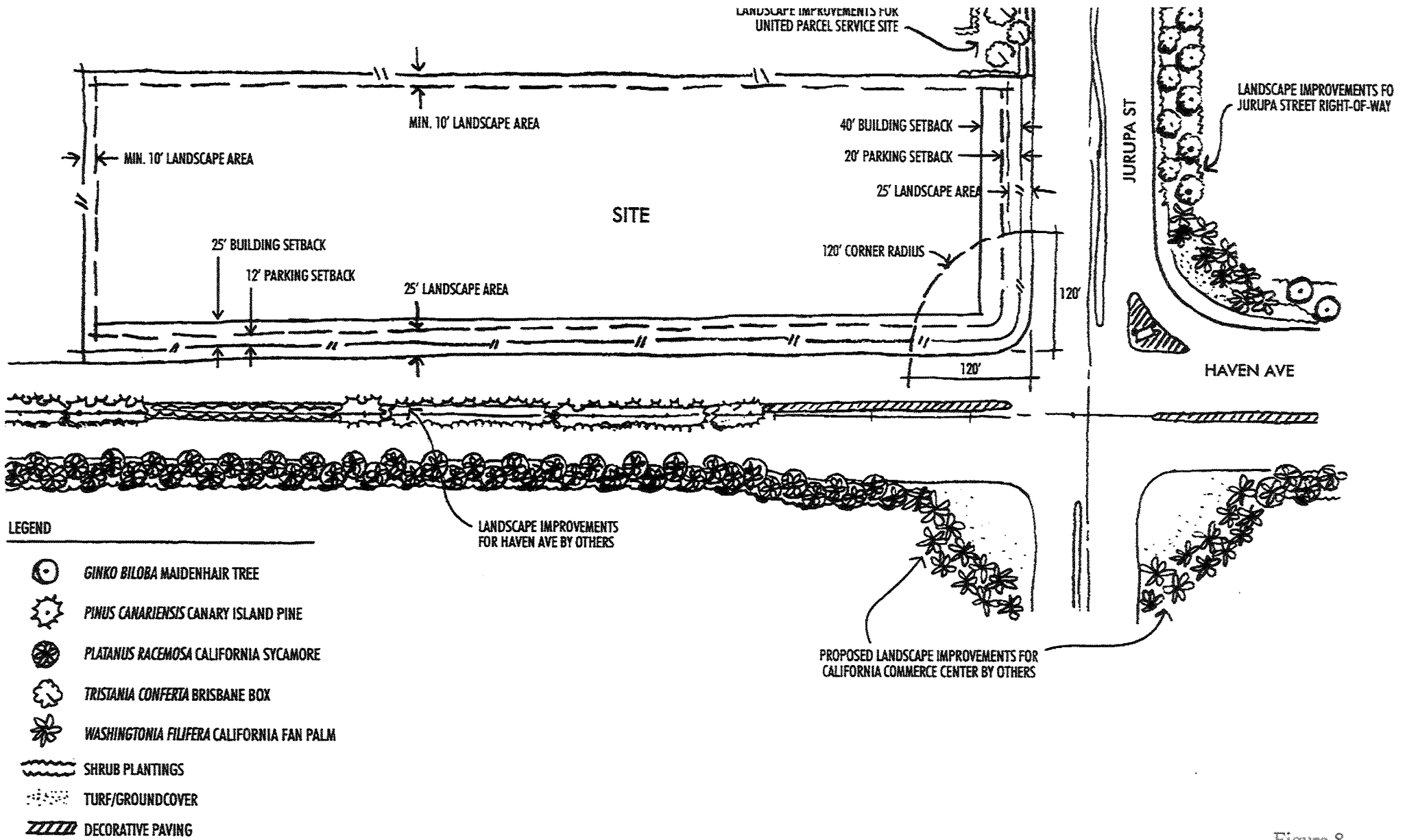


Figure 8

Landscape Concept of Surrounding Areas

hardscape is part of this improvement within the sections of the median that are too narrow to accommodate plantings. Figure 8 depicts the landscape concept for the surrounding areas.

Carefully designed berms could be located within the landscape area in order to create visual relief from the roadway. An extension from the public right-of-way sidewalk will also be constructed through this area to facilitate pedestrians from the surrounding land use areas through the landscape setback and onto the site. A sidewalk may be considered, if consistent with the overall site design. Figures 9, 10, and 11 depict the various public streetscapes. Figures 12 and 13 illustrate on-site grading concepts including recommended berming techniques.

#### 4.3.2 On-Site Landscape

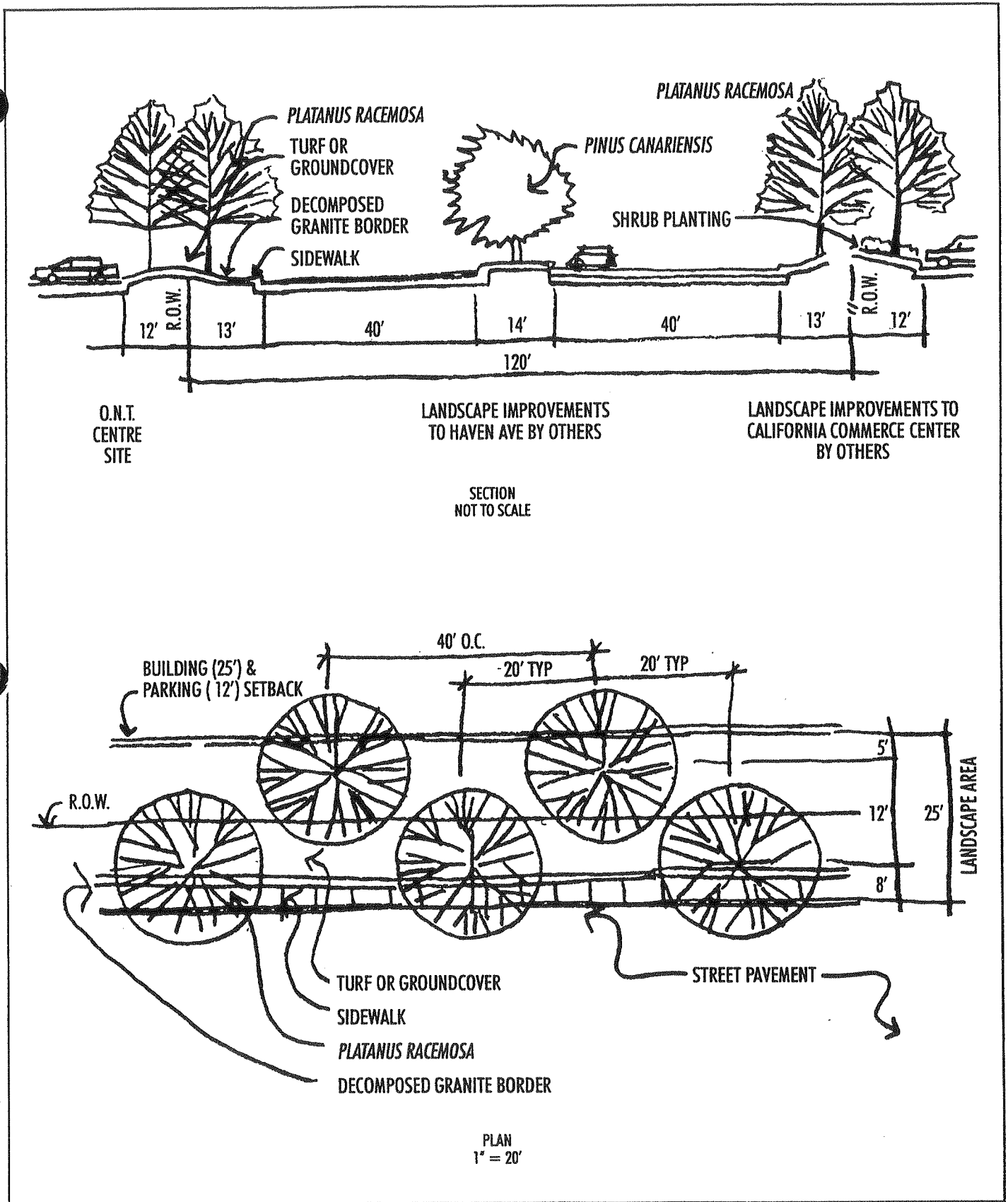
On-site landscaping will occur primarily in the parking and building setback areas and parking lots. As mentioned above, the plant materials within these areas shall highlight the structures and unify the project area by way of design and plant material selection. Non-aesthetic elements such as loading areas, expanses of parking and utility features should be landscaped in a manner that will contribute to shielding the element from public view.

In addition, the on-site landscape concept shall be an extension of the material located in the public right-of-way. For example, *Platanus acerfolia* should be used in parking areas adjacent to the Haven Avenue right-of-way to the potential visual impact of these parking areas. Further, it is recommended that the *Platanus acerfolia* be used in other portions of the site (e.g., southern boundary and central drive aisles). Figure 14 illustrates a general on-site landscape concept; Figure 15 indicates the basic approach for the landscape concept for the JURUPA HAVEN AIRPORT CENTRE development.

A windrow of closely spaced trees will be provided along the western boundary of the site. "Populus" trees or a similar type of tree will be used. Accent landscape corner statements will be provided at all vehicular entries.

Minimum sizes for trees shall be 24 inch box size, if available, and minimum sizes for shrubs shall be 5 gallons. Smaller container size plant material must be approved by the ONT approving agent and the City of Ontario's Public Facilities Department Coordinator prior to installation.

Water utilized for landscape maintenance is a significant component of overall water consumption within a development. Care should be taken to select plant materials that utilize less water. Turf or lawn shall comprise a maximum of 50 percent of the total permeable ground surface to further minimize the use of water. In addition, plant materials located within close proximity should be selected on their similarity for water consumption. It shall be noted in site development plans that developed areas of the site shall be permanently maintained with an automatic irrigation system.



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Figure 9

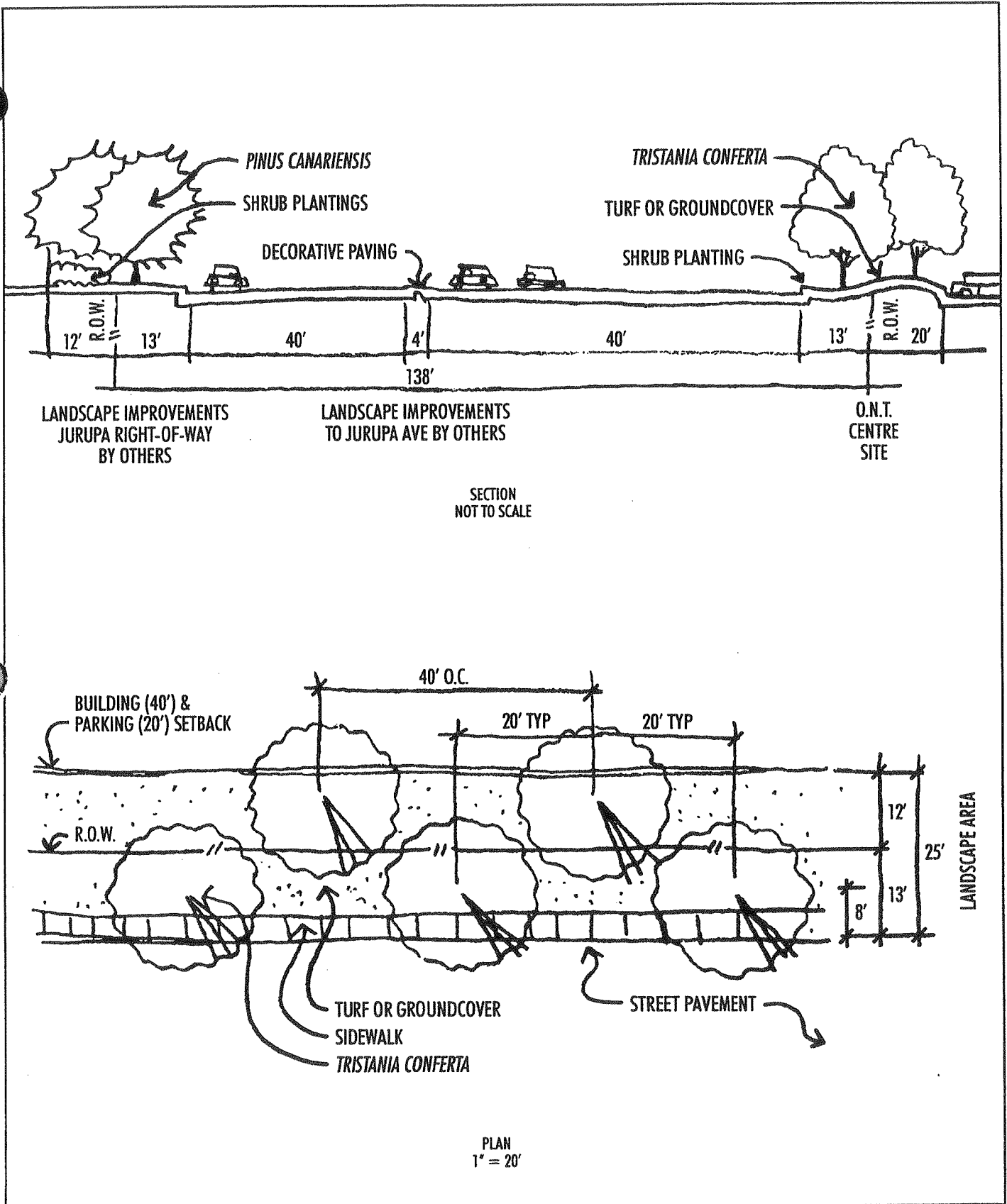
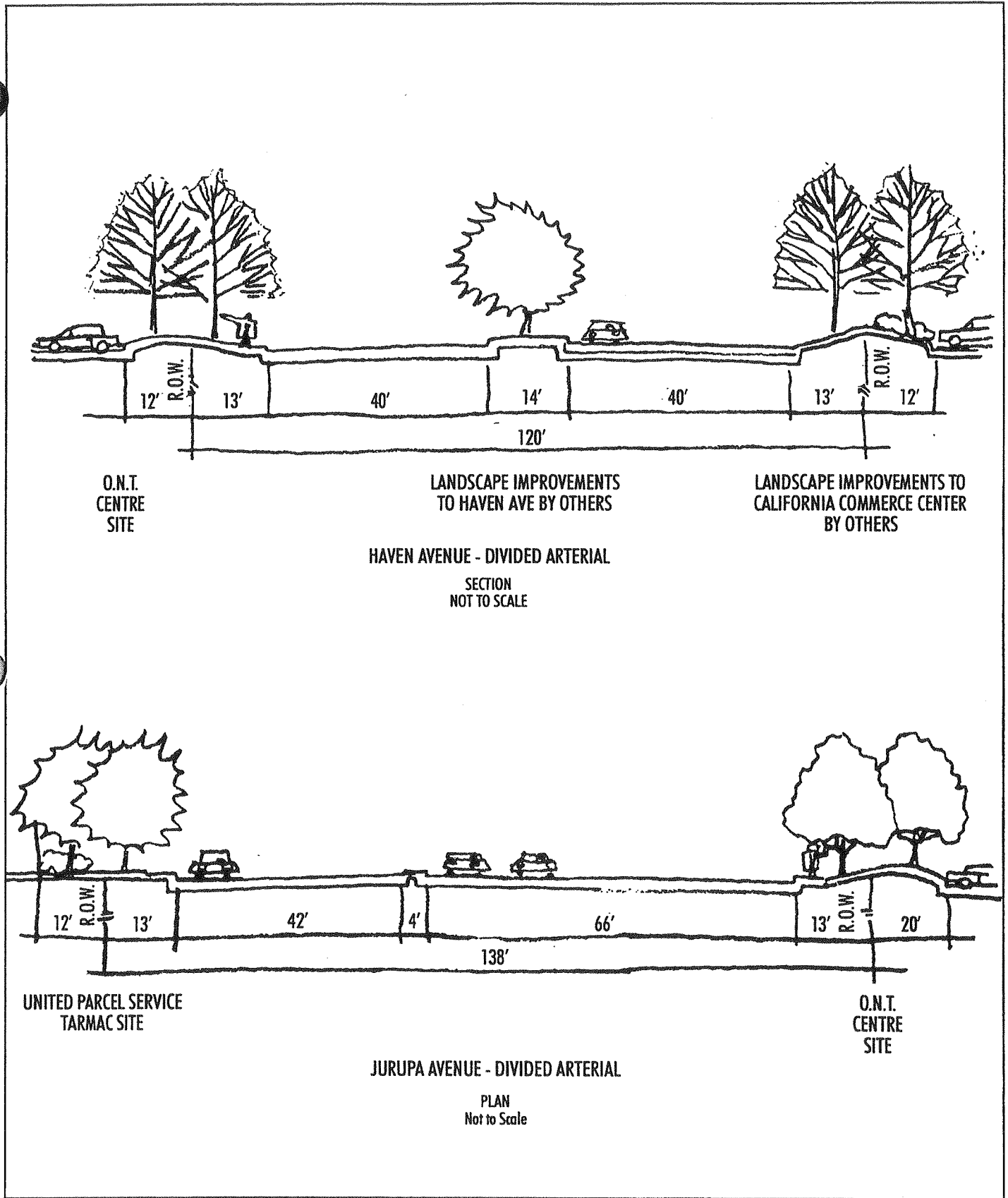


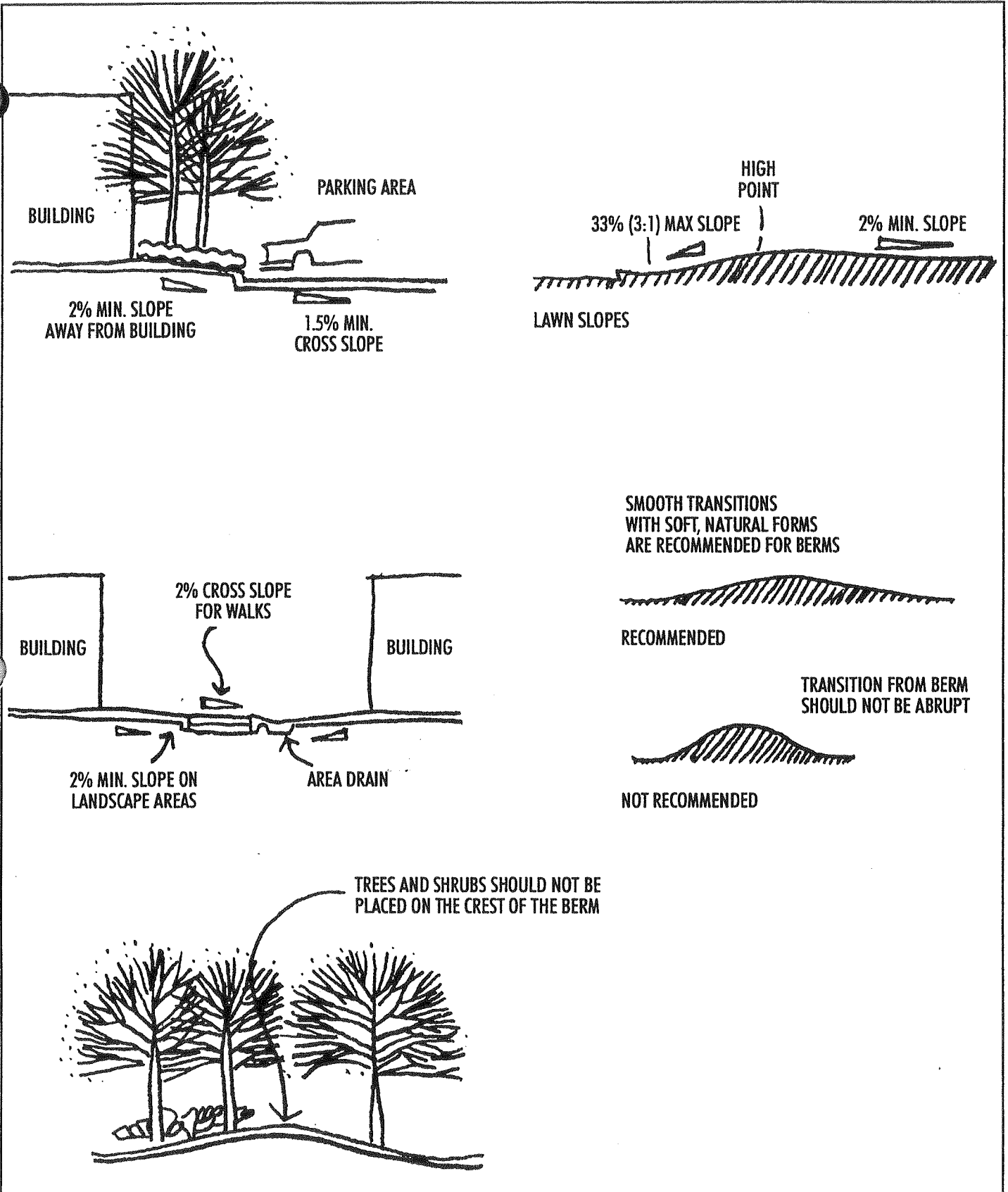
Figure 10



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Figure 11

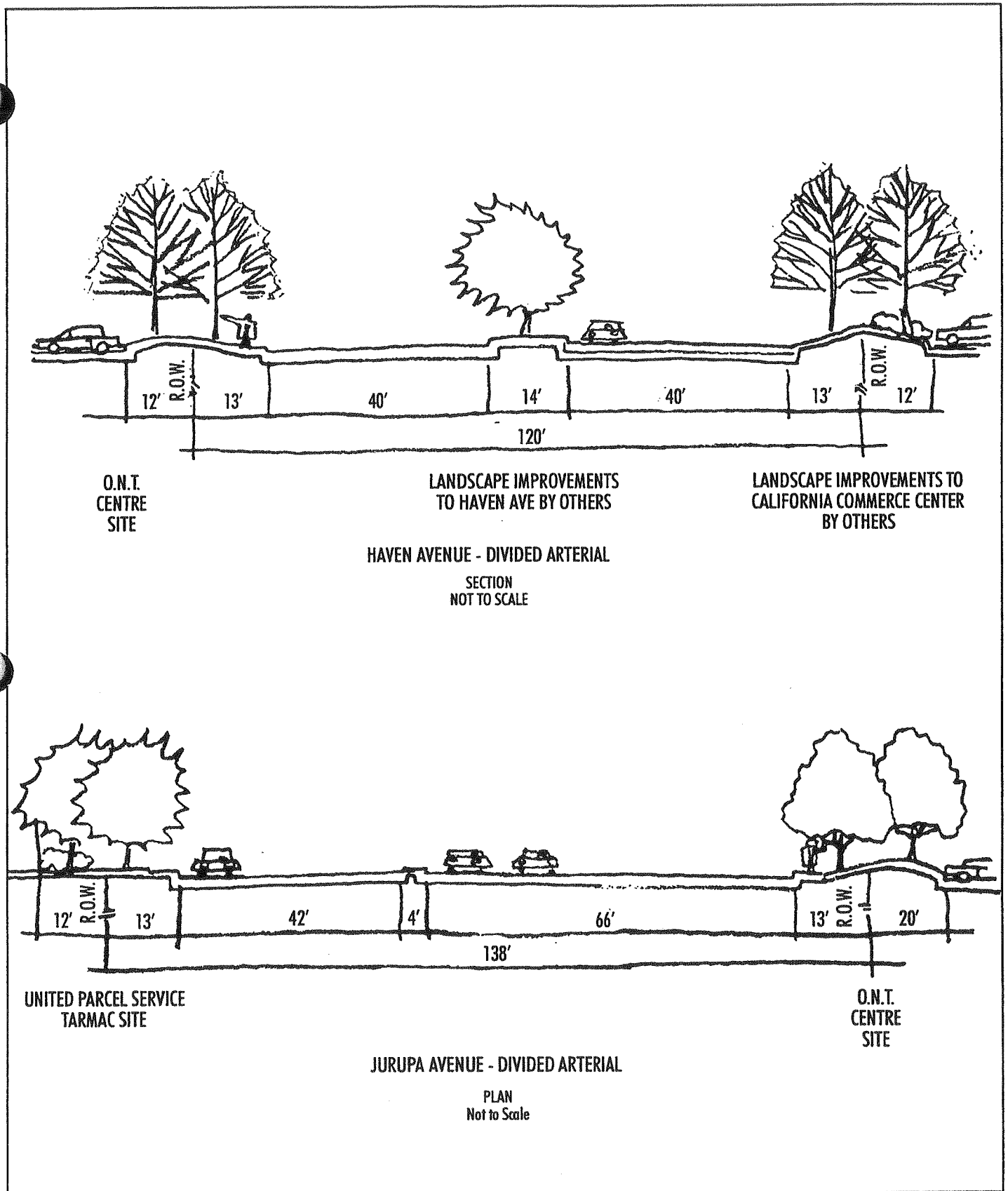




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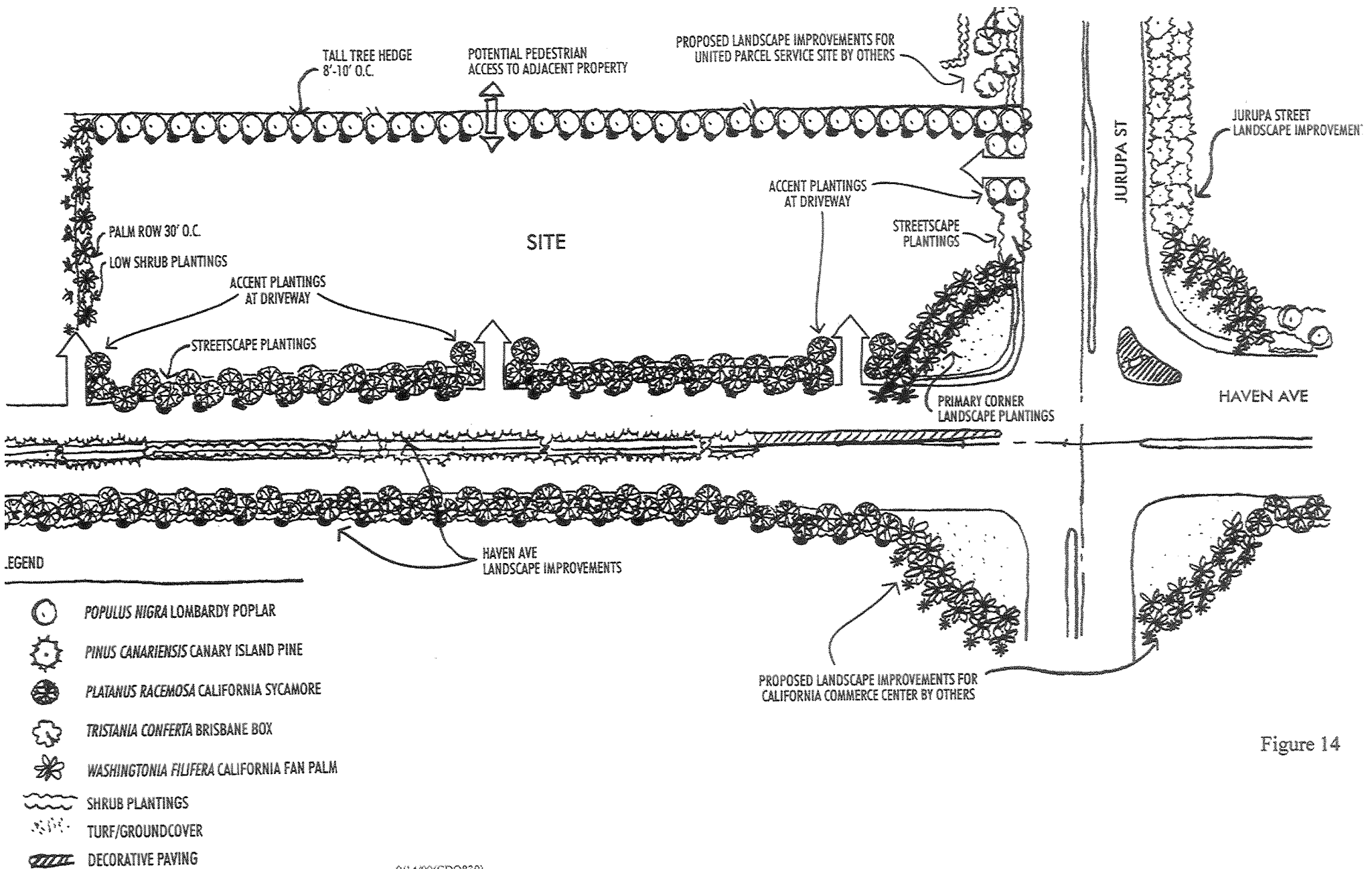
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Figure 12



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Figure 13

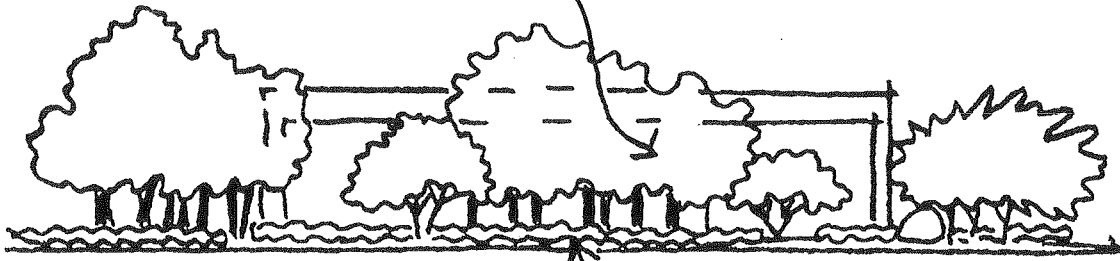


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Figure 14

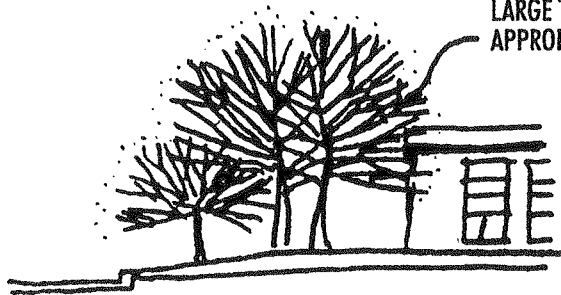
Master Landscape  
Concept Plan

STRONG AND SIMPLE MASSING OF TREES TO ARTICULATE BUILDING FACE

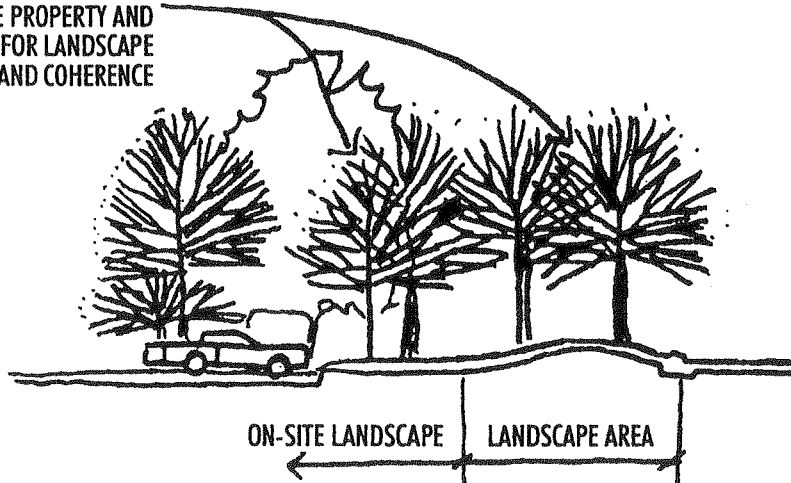


MASSING OF SHRUBS AT BASE, LONG DRIFTS TO SCREEN FOUNDATION

LARGE TREES AGAINST BUILDING APPROPRIATELY SCALED



THE USE OF THE SAME TREES AS THE STREETScape IS RECOMMENDED FOR THE FRONT OF THE PROPERTY AND PARKING AREAS FOR LANDSCAPE CONTINUITY AND COHERENCE



THE OVERALL INTENTION OF THE ON-SITE LANDSCAPE DESIGN CONCEPT IS THE CREATION OF A SIMPLE, STRONG LANDSCAPE SETTING, IN SCALE WITH LARGE BUILDINGS AND WIDE STREETS. THIS RESULT CAN BE ACHIEVED THROUGH THE USE OF A LIMITED PLANT MATERIALS PALLETTE AND THE ARRANGEMENT OF MASSINGS OF SIMILAR PLANT MATERIALS. MORE DETAIL, ACCENT TREES AND SHRUBS ARE RECOMMENDED FOR COURTYARDS, GARDENS AND FORMAL ENTRIES.

All plant material shall be guaranteed for a period of not less than six (6) months after installation. Palm trees will be guaranteed for one year. A schematic landscape plan shall be submitted as part of the site development plan application. The figures attached that are a part of this Specific Plan are to be used as guidelines only.

#### **4.3.3 Intersection Landscape**

The intersection of Jurupa Street and Haven Avenue is designated as a primary intersection for the City of Ontario and, therefore, will accommodate a 120 foot radius of palms in addition to groundcovers. This design will match the landscape design of the three opposing corners at the intersection (Figure 16). The design of this corner will include an enhanced landscape statement with accent pals, and a hierarchy combination of hardscape and landscape.

#### **4.3.4 Landscape Palette**

The following plant palette (Table 4.A) is provided to establish a context for the property. Any substitutions to this list will be reviewed and approved by the approving agency and the City of Ontario.

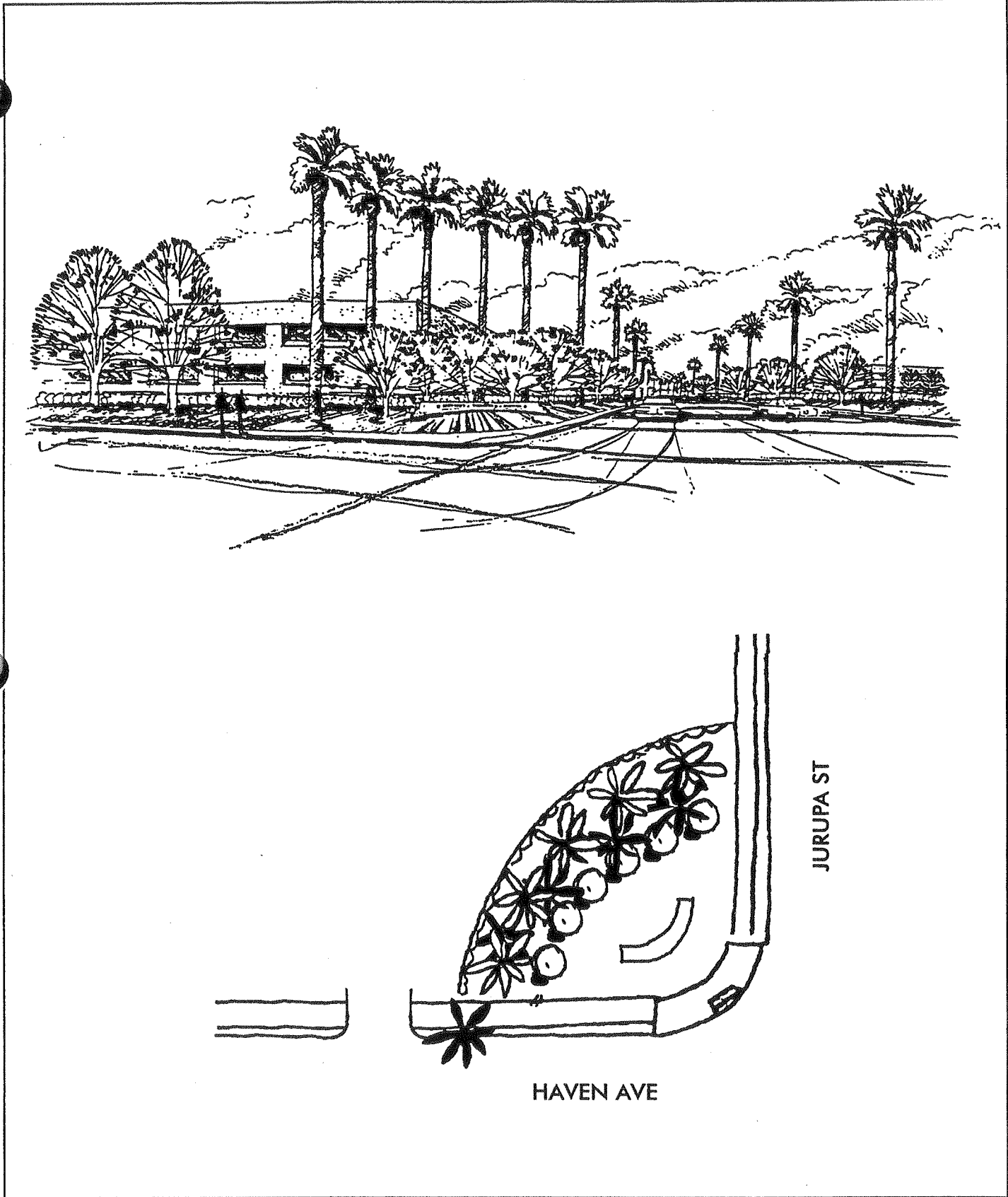
#### **4.4 CONNECTING WALKWAYS**

There are opportunities to provide pedestrian walkways that connect the uses on the site, and the on-site use with the adjacent U.P.S. facility to the west through property to the south. Where possible, connecting walkways should follow an alignment that connects building entries and should be at least eight feet (8') wide in these locations. Where connecting walkways pass through parking lots, they should be at least five feet (5') wide (excluding car overhangs) and should be accompanied by a minimum five foot (5') landscape buffer with trees planted at least every thirty feet (30') on center. Walkways should consist of special pavers or scored concrete with modules that should not exceed three feet (3') in width.

#### **4.5 SIGNAGE GUIDELINES**

The visual character of an area is defined by relationships among architecture, the site layout, and the landscape. Signage is included within this relationship, as it has the potential to contribute to or detract from the aesthetic cohesiveness of the site. In addition, signage must be able to safely withstand natural elements over time.

Essentially, only two types of signs will be permitted within the JURUPA HAVEN AIRPORT CENTRE development: 1) ground mounted monument signs, and 2) building mounted wall signs. All other signs, including but not limited to, pole, pylon, roof, flats, and vehicular signs are prohibited.



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Figure 16

LSA

Scale in Feet  
0 25 50

Primary Intersection  
Landscape Concept

Table 4.A - Landscape Palette

Evergreen Trees		Deciduous Trees	
<i>Cupaniopsis anacardioides</i>	Carrotwood+	<i>Albizia julibrissin</i>	Mimosa tree*
<i>Eucalyptus sp.</i> +	Eucalytus*+	<i>Alnus cordata</i>	Italian alder
<i>Olea europaea</i> Fruitless	Fruitless olive*	<i>Alnus rhombifolia</i>	White alder
<i>Phoenix canariensis</i> +	Canary Island Date Palm+	<i>Cercis occidentalis</i>	Western Redbud*
<i>Pinus halepensis</i>	Desert pine*	<i>Chorisia speciosa</i> +	Floss silk tree+
<i>Pinus pinea</i>	Italian stone pine*	<i>Ginko biloba</i>	Maidenhair tree
<i>Pittosporum rhombifolia</i>	Queensland pittosporum*	<i>Gleditsia triacantos</i>	Honey locus*
<i>Quercus agrifolia</i>	California live oak*	<i>Jacaranda mimosifolia</i>	Jacaranda*
<i>Quercus ilex</i>	Holly oak*	<i>Koelreuteria bipinnata</i>	Chinese flam tree*
<i>Rhus lancea</i>	African sumac*	<i>Koelreuteria paniculata</i>	Golden rain tree*
<i>Schinus molle</i>	California pepper*	<i>Lagerstroemia indica</i> "Indian tribe"	Crape myrtle*
<i>Schinus terebinthifolius</i>	Brazilian pepper*	<i>Liquidambar styraciflua</i>	Sweet gum
<i>Washington filifera</i> +	California fan palm+	<i>Liriodendron tulipifera</i> +	Tulip tree+
		<i>Populus nigra</i>	Lombardy Poplar
		<i>Prunus Cerasifera</i> +	Purple-leaf plum+

## Shrubs

<i>Abelia "Edward Goucher"</i>	Edward Goucher abelia*
<i>Agapanthus africanus</i>	Lily of the Nile
<i>Arbutus unedo "Compacta"</i>	Strawberry tree*
<i>Archostaphylos species</i>	Manzanita*
<i>Callistemon species</i>	Bottlebrush*
<i>Camellia species</i>	Camellia
<i>Casualpina gilliesii</i>	Bird of paradise bush*
<i>Cassia artemisioides</i>	Feathery cassia*
<i>Ceanothus species</i>	California lilac*
<i>Cistus species</i>	Rockrose*
<i>Clivia miniata</i>	Clivia
<i>Cocculus laurifolius</i>	Snailseed*
<i>Cortaderia seloana</i>	Pampus grass*
<i>Cotoneaster species</i>	Cotoneaster*
<i>Dendromecon harfordii</i>	Island bush poppy*
<i>Dendromecon rigida</i>	Bush poppy*
<i>Dietes bicolor</i>	Fortnight lily
<i>Hebe coed</i>	Veronica
<i>Hemerocallis species</i>	Day lily
<i>Ilex species: Cornuta and vomitoria</i>	Chinese and Yaupon holly*
<i>Iris douglasiana</i>	Beardless iris
<i>Leptospermum scoparium</i>	Australian tea tree*
<i>Leucophyllum frutescens</i>	Texas ranger
<i>Ligustrum japonicum</i>	Japanese privet*
<i>Lonicera japonica "Halliana"</i>	Hall's honeysuckle*

## Shrubs

<i>Magnolia soulangeana</i>	Saucer magnolia
<i>Mahonia aquifolium "Compacta"</i>	Oregon grape*
<i>Nandina domestica and Compacta</i>	Heavenly bamboo*
<i>Nerium Oleander</i>	Oleander*
<i>Osmathus fragrans</i>	Sweet olive
<i>Phorium tenax</i>	Flax*
<i>Photinia fraseri</i>	Photinia*
<i>Pittosporum tobira "Wheeler's dwarf"</i>	Mock orange*
<i>Plumbago auriculata</i>	Cape plumbago*
<i>Prunus caroliniana "Compacta"</i>	Carolina laurel cherry*
<i>Prunus ilicifolia</i>	Hollyleaf cherry*
<i>Punica granatum</i>	Pomegranate*
<i>Pyracantha species</i>	Firethorn*
<i>Raphiolepis indica "Springtime"</i>	Pink indian hawthorn*
<i>Rhus ovata</i>	Sugar brush*
<i>Ribes sanguinum</i>	Pink winter currant*
<i>Ribes speciosum</i>	Flowering fuschia*
<i>Romneya coulteri</i>	Matilija poppy*
<i>Ternstroemia symnanthera</i>	Ternstroemia
<i>Trachelospermum jasminoides</i>	Star jasmine*
<i>Viburnum suspensum+</i>	Sandankwa viburnum+
<i>Xylosma congestum</i>	Xylosma*



## Vines

<i>Bougainvillea sp.</i> +	Bougainvillea+
<i>Cissus antartica</i>	Kangaroo treevine
<i>Cissus hypoglauca</i>	Cissus
<i>Ficus pumila</i>	Creeping fig*
<i>Jasminum mesnyi</i>	Primrose jasmine*
<i>Jasminum polyanthum</i>	Jasmine
<i>Wisteria sinensis</i>	Wisteria*

## Ground Covers

<i>Aptenia cordifoli</i>	Red Apple*
<i>Archostaphylos edmundsii</i>	Little Sir mazanita*
<i>Baccharis pilularis</i> "Twin Peaks"	Coyote brush*
<i>Campanula poscharskyana</i>	Serbian bellflower
<i>Cotoneaster buxifolius</i>	Rock cotoneaster*
<i>Drosanthemum floribundum</i>	Rosea ice plant*
<i>Duchesnea indica</i>	Indian mock strawberry
<i>Festuca species</i>	Fescue
<i>Gazania rigens leucolaena</i>	Trailing gazania+
<i>Lonicera japonica</i>	Honeysuckle*
<i>Verbena peruviana</i>	Verbena
<i>Potentilla verna</i>	Spring cinquefoil
<i>Rosmarinus officinalis</i>	Rosemary*

In Ontario, the seasonal occurrence of extremely high winds makes safety a compelling factor of a sign's design. For these reasons, all signs within this project area shall be reviewed for approval by the City of Ontario Planning and Building & Safety Departments. General design requirements for all signing are as follows:

#### **4.5.1 General Signage Requirements**

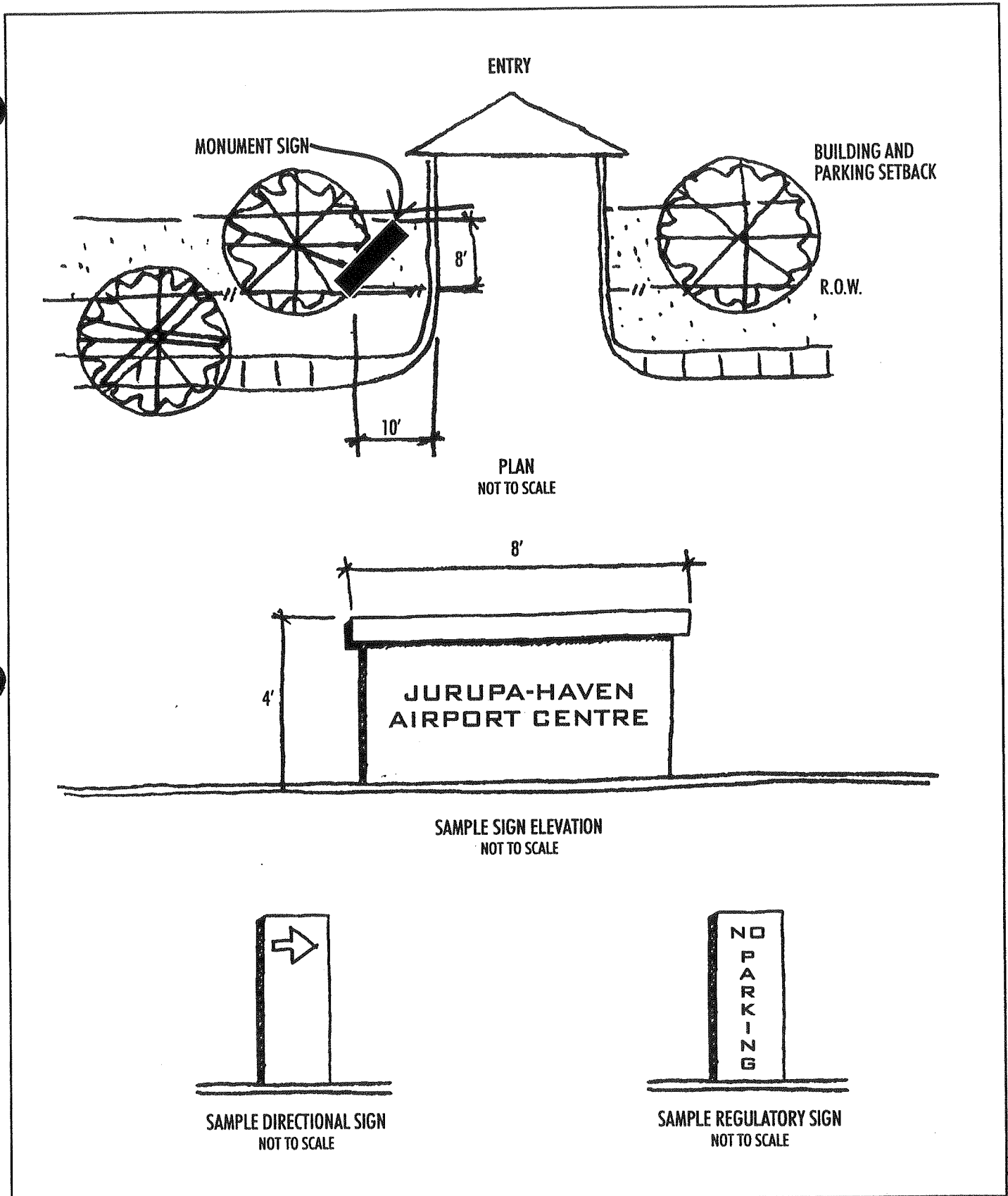
1. A signage program shall be submitted in conjunction with the submittal of a site development plan and/or architectural plan. All proposed signage must have the approval of the developer's agent prior to submittal to the City.
2. Signage shall be compatible with and complementary to the building's exterior materials, colors, and finishes.
3. Signage shall directly relate to the primary service or function of the given activity taking place on site.
4. Owner/tenants shall be responsible for the proper maintenance of all their signs. On notice by the City of Ontario, an owner/tenant may be required to remove or repair any signage that has not been properly maintained.
5. Signage is to be free of labels and fabricator's advertising, except for those labels required by code.
6. Electrical service to signage shall be fully concealed from public view, and electricity shall be received from the owner/tenant's meter.
7. No sign shall have visible moving parts or simulate movement by means of fluttering, rotation, or reflecting devices.
8. No sign shall have flashing, blinking, or moving lights, or any other illuminating device that has changing light intensity, brightness, or color, except for parts designed to give public service information such as time, date, temperature, or similar information.
9. Building mounted signs shall be constructed so as to have no exposed wiring, raceways, ballasts, conduit, transformers, or the like.
10. Monument signs shall be depicted within the landscape architectural plans to ensure their integration into the landscape.
11. Uplighting and colorful accent plant materials will be used to enhance signage areas.

#### 4.5.2 Monument Signs (Figure 17)

1. No more than one monument sign shall be located along Haven Avenue. The Jurupa Street frontage shall also be limited to one monument sign.
2. The monument sign shall be positioned perpendicular to or at a 45 degree angle to the street. The monument sign shall have a setback minimum of 10 feet from the property line.
3. The location of the monument sign shall be depicted within the landscape plans. The landscape concept adjacent to the sign shall display character and materials that complement the sign.
4. Graphics on the sign shall consist of the tenant and/or complex name and/or logo.
5. The font utilized within the sign may vary according to the user's preference. All graphics and font styles shall be reviewed for approval by the City Planning Department.
6. Night lighting of the sign may vary; however, the illumination shall act to contribute to the sign's aesthetic character, instead of merely illuminating the sign. All lighting of the signage shall be reviewed for approval by the City's Planning and Building & Safety Departments.
7. The monument sign shall not exceed 48" (4' 0") in height. The monument sign shall not exceed 96" (8'0") in length. Total square footage of the sign shall not exceed 32 square feet.

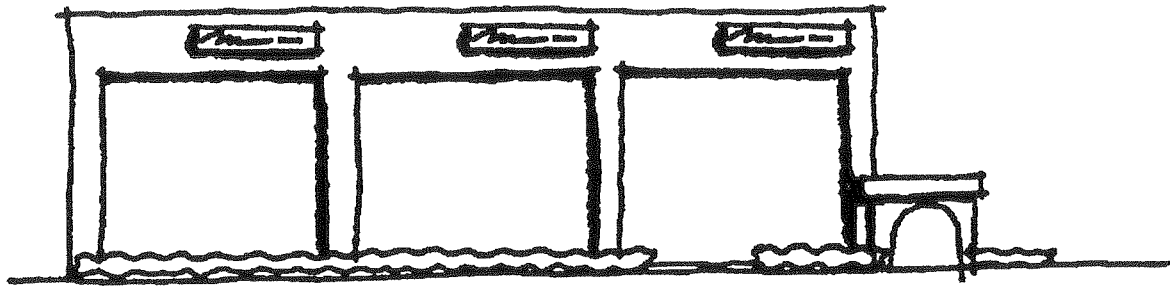
#### 4.5.3 Building/Wall Signs (Figure 18)

1. One sign shall be allowed per street frontage, per building for a single tenant structure. For a multiple tenant structure, a customized sign program will be developed and submitted as part of the architectural package. This program will provide for the identification of individual businesses at or near their respective entries. The size and location of each sign will be designed to be complementary and proportional to each individual building. Location and size of the signing shall be reviewed for approval by the City of Ontario Planning and Building & Safety Departments.
2. Letter sizes for the wall signs may vary depending upon the height at which the sign is located on the building. The standards in Table 4.B shall apply.

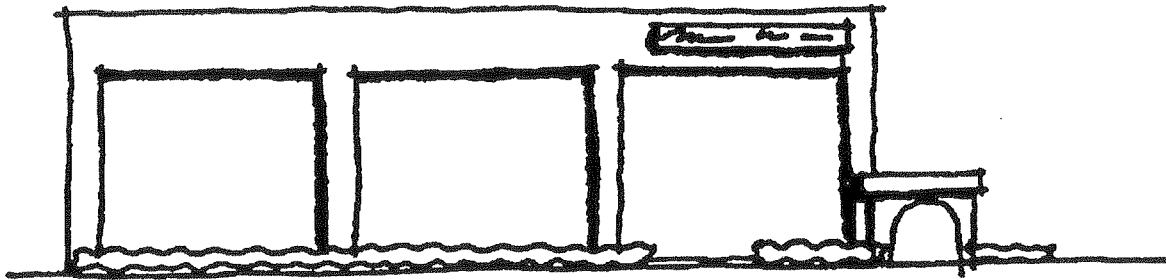


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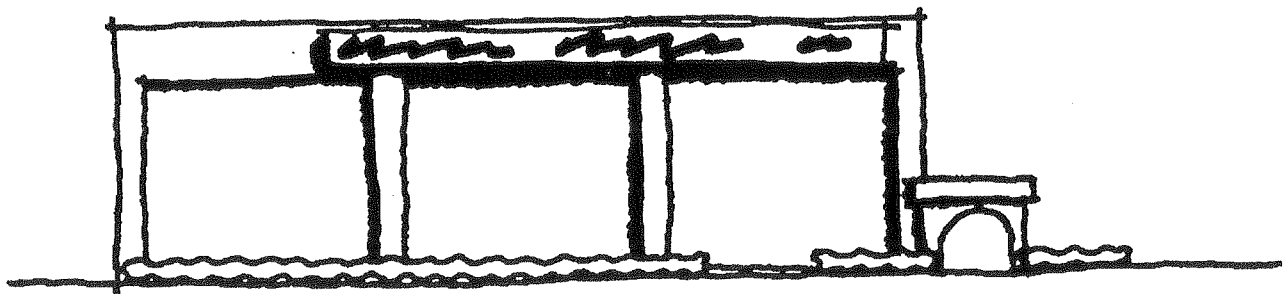
Figure 17



ACCEPTABLE (MULTIPLE TENANT)



ACCEPTABLE (SINGLE TENANT)



UNACCEPTABLE

Table 4.B - Sign Standards

Building Height in Stories	Capital Letter Height in Inches	Area of the Sign in Feet
1	18	40.0
2	18	62.5
3	20	90.0
4	25	122.5
5	30	160.0
6 and above	40	202.5

3. The location and size of the wall sign shall be depicted upon the building elevation plans. If a tenant has been selected, the design and colors of the wall sign shall also be depicted upon the building elevation plans.
4. Graphics on the wall sign shall consist of the tenant or building name and/or logo.
5. The font utilized within the sign may vary according to the user's preference. All graphics and font styles shall be reviewed for approval by the City Planning Department.
6. The sign may utilize either ambient or interior illumination, including neon tubing. All night lighting shall be reviewed for approval by the City Planning and Building & Safety Departments.
7. Total area of the sign may vary depending upon the height at which the sign is located. The length to height ratio of the sign at any height shall not exceed 10:1. The maximum area of the sign shall be as follows:
8. The size of the sign shall be in scale with the size of related buildings and development parcels.
9. No exposed conduit or raceways shall be allowed.

#### 4.5.4 Directional and Regulatory Signage

Directional signs provide functional directions, such as "shipping and receiving," and should incorporate a solid or "bollard" design to the extent feasible. Regulatory signs control vehicular movement, such as "handicapped parking only." The size, design, location, materials, and color shall be submitted as part of the overall sign program for review for approval. Copy will be as succinct as needed to convey the message. Signs will be located as utility and safety dictate.

#### 4.5.5 Temporary Signage

The developer of each structure may display one temporary monument sign whose purpose is to disseminate information pertinent to the site and its stage of development. A temporary sign may be constructed on a site any time after the site has been purchased. Information can be added or the sign can be exchanged for another to indicate the advent of construction, to recruit employees, or to identify the leasing agent. A sign that is to be replaced with another must be removed before the other sign can be installed.

The following standards shall apply to all temporary monument signs and their replacements.

1. Form - Monument sign panels must meet the surface grade.
2. Height - The height of the temporary sign shall be no higher than 12 feet.
3. Scale - The rectangular ratio of height to width shall not exceed 2:1. Total area not to exceed 24 square feet. Total height not to exceed seven (7) feet.
4. Materials - Materials shall be designed to last the length of intended use, without significant fading, peeling, blistering, warping, or cracking.
5. Duration - Temporary signs shall remain in place for no more than six months. This period may be extended upon approval by the City of Ontario Planning Department.
6. Security Deposit - A security deposit in the form of a bond or other means acceptable to the City of Ontario shall be posted with the City to guarantee removal of temporary sign(s). The amount of the security deposit shall be the equivalent of two times the sign permit fee, and shall be collected by the developer's approving agent. Failure to remove sign(s) after specified duration will result in forfeiture of security deposit to the Planning Department.
7. All temporary signage requires Planning Department approval.

The following shall apply to all temporary wall signs and their replacements:

1. Banners, pennants, flags, and any other advertising devices, except floodlights, may be placed on an occupant's property for the purpose of announcing the opening of a new business, subject to the following requirements:
  - a. The total area of all such signs or advertising devices shall not exceed the area of permanent signs for the use permitted by these sign criteria.

- b. No such device shall pose a hazard to the safe movement of traffic or block the visibility of permanent signs on adjacent properties.
- c. The temporary signs may remain in place for a period not to exceed ten (10) days after the date of installation of the sign; or until a permanent sign is installed, whichever occurs first.

#### 4.6 LIGHTING GUIDELINES

This section discusses the lighting of the individual project within the site (on-site lighting), as well as the lighting of the public rights-of-way (public street lighting).

##### 4.6.1 On-Site Lighting

On-site lighting not only enhances safety, but it is also critical in promoting the aesthetic character. As lighting may be the predominate character feature of the development by night, it follows that care shall be taken in the selection, placement, and intensity of the lighting elements. During daylight hours, light standards should complement and reflect the site's overall architectural character, form, and scale.

The following guidelines shall apply to lighting systems within the project area:

1. The maximum height of the parking and roadway light standard shall be 20 feet or the height of the building, whichever is less.
2. Light sources throughout the site shall be of one type, and shall display superior color rendition and pavement luminescence. Different wattages of the lamp may be utilized to achieve greater or lesser pavement luminescence for areas of pedestrian activity.
3. On-site light standards visible from public areas shall be of an architectural character compatible with the structure and landscape. On each site, lighting fixtures shall be from the same family of fixtures with respect to design, materials, and color rendition.
4. Lighting sources shall be shielded, diffused, or indirect to avoid light glare to pedestrians, motorists, and adjacent properties.
5. Wall mounted lights are permissible in areas away from public view, such as loading areas.
6. Along pedestrian movement corridors, the use of low mounted fixtures (bollard height) that reinforce the pedestrian scale and reduce visual glare are encouraged.



7. Pedestrian walkway lighting should not exceed 12 feet. Steps, ramps, and seatwells should be illuminated wherever possible with built-in fixtures.
8. All light fixtures shall have controls to allow their selective use as an energy conservation measure.
9. A lighting plan depicting the location, size, illumination rating, and material shall be provided as part of the site development application package for individual projects. It should be developed as part of the overall site plan along with the building's landscape and signing programs.

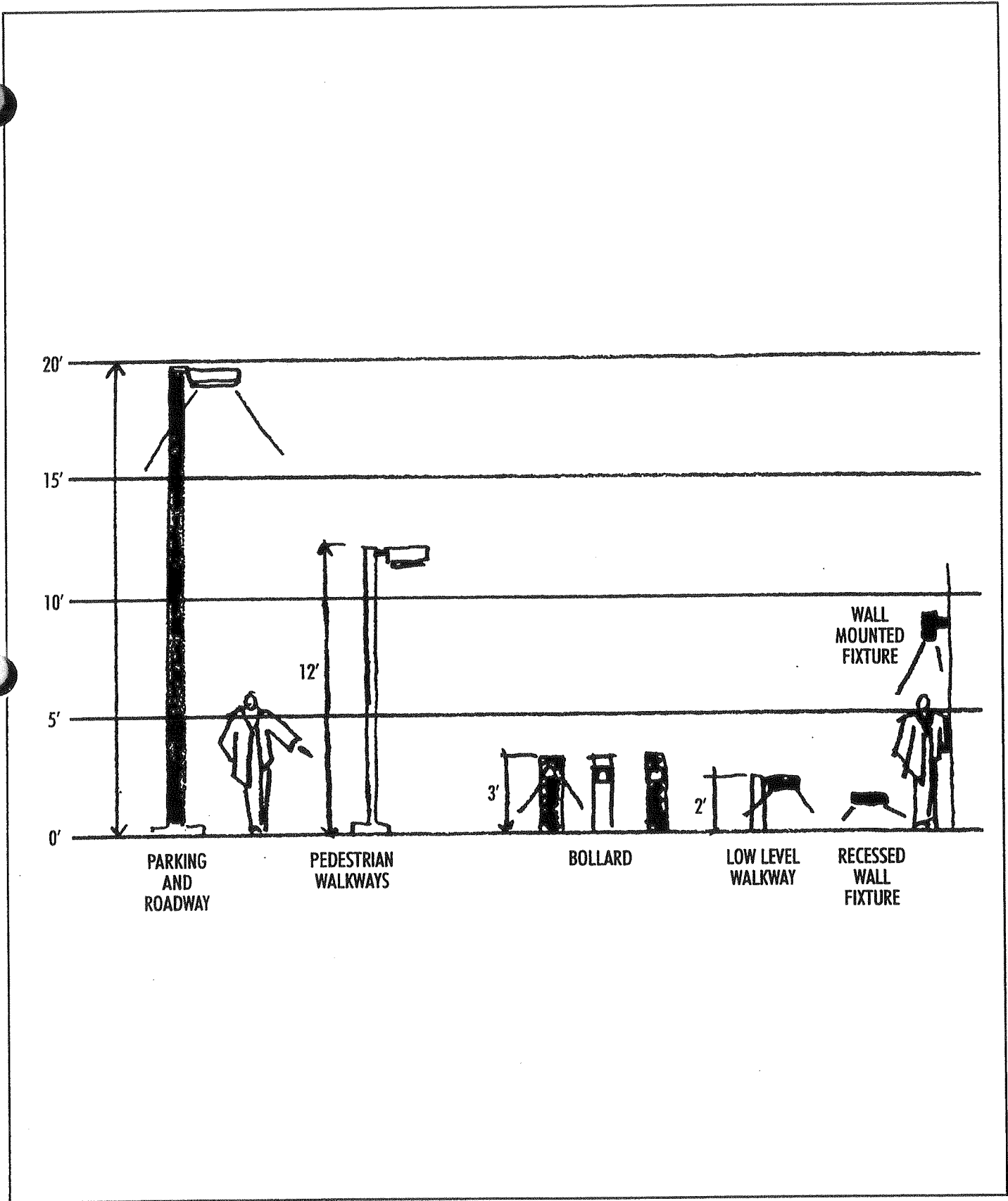
Table 4.C is a guideline for horizontal illuminators for indoor and outdoor parking area as established by the Illuminating Engineers Society. These guidelines should be utilized for reference when designing or reviewing the lighting systems designed for the project area, or for the individual projects. Figure 19 depicts the various types of permitted light fixtures.

**Table 4.C - Outdoor Parking Facility**

<b>Pedestrian Activity</b>	<b>Min. LUX on Pavement</b>	<b>Min. Footcandles on Pavement</b>	<b>Uniformity Ratio (Average/Minimum)</b>
High	10	0.7	4 to 1
Medium	6	0.7	4 to 1
Low	2	0.7	4 to 1
<b>Vehicular Activity</b>	<b>Average LUX on Pavement</b>	<b>Average Footcandles on Pavement</b>	<b>Uniformity Ratio (Average/Minimum)</b>
High	22	2	3 to 1
Medium	11	1	3 to 1
Low	5	0.5	4 to 1

**Indoor Parking Facility**

<b>Daytime Areas</b>	<b>Average LUX on Pavement</b>	<b>Average Footcandles on Pavement</b>	<b>Uniformity Ratio (Average/Minimum)</b>
Parking	54	5	4 to 1
Pedestrian Ramps, Corners	110	10	4 to 1
Entrances	540	50	4 to 1
All Nighttime Areas	54	5	4 to 1



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Figure 19