

**Hofer Ranch
Airport Business Park Specific Plan**

DESIGN GUIDELINES



LSA

CHAPTER V: DESIGN GUIDELINES

A. General Concepts for All Planning Areas

Within the Hofer Ranch Airport Business Park Specific Plan, site and building design should first address the nature and function of the development, structure, or feature being considered. Architectural design and details are then, as a rule, expected to be oriented to areas within public view. Landscaping is to be provided to highlight positive visual features, to screen negative ones, and to provide a cool, pleasant outdoor environment. Design within the Hofer Ranch Airport Business Park Specific Plan should thus be the result of melding function and form, not one to the exclusion of the other. Consequently, each development plan submittal will be reviewed for its overall design, with allowances for individuality and special functional needs.

1. Site Design

The following concepts are intended to facilitate design quality and compatibility between the variety of uses within the Hofer Ranch Airport Business Park Specific Plan, as well as with uses adjacent to the project (See Figure 5.1).

- a. Site design should facilitate the intended functions of developed and open space areas, and provide for appropriate interactions between buildings and activity areas, goods movement, vehicular access and parking, and pedestrian and bicycle travel.
- b. Site design of commercial, office, industrial, and Business Park uses should, where feasible, be arranged in such a way as to create opportunities for outdoor plazas and/or courtyards as part of landscaped open spaces.
- c. Buildings should be oriented to define the street and provide for an aesthetically pleasing streetscape. Generally, buildings should be located close to the street, with service and parking areas located toward the side or rear of buildings.
- d. Major vehicular and pedestrian entries to the site from the public street system should create visible "gateways."
 - i. Major entries to planning areas, other than truck entries should be marked by textured pavement with accent trees and other landscape features.
 - ii. Where site entries are adjacent to a building entry along Jurupa Street or Archibald Avenue south of Jurupa Street, pedestrian plazas are strongly encouraged.
- e. Plazas are encouraged as a site amenity and design detail within the Historic Commercial, Business Park, and Industrial Planning Areas.

- i. Buildings should be arranged to include opportunities for plazas, courts or gardens, and lunch areas for employees with such amenities as outdoor seating, landscaping, water elements, pergolas, special lighting and other "place-making" features.
 - ii. Plazas are encouraged where high levels of pedestrian activity are expected, such as adjacent to major entrances and food services such as delis, restaurants, and bakeries or between building clusters in a business park development.
 - iii. Building entries and windows should look onto plazas to enhance activity and security. Outdoor employee break areas should be located away from loading areas or other high-traffic areas.
- f. Benches should be provided in areas where socializing and informal gathering are encouraged.
- g. Public trash receptacles should be conveniently located in areas where public sitting and socializing are common. Receptacles should be simple, architecturally compatible, and similar in design. Within the Hofer Ranch homestead area, wood materials are preferred.
- h. Parking areas should be located behind the buildings to preserve the integrity of views of building architecture.
- i. Commercial, Business Park, and industrial buildings and industrial buildings adjacent to the Planned Commercial area along Jurupa Street should have the same setbacks from the streetscape as the ranch complex.
- j. Buildings outside of the Historic Commercial Area should be set back from the ranch complex to a point where they will not be visible from the ranch complex.
- k. Architectural character and the use of materials should be consistent with the overall design of the site within which the building is located. Building materials for buildings and site accessories should, to the extent feasible and consistent with historic preservation, be graffiti- and vandal-resistant by using materials that are easily cleaned or painted over.
- l. Walkways should connect major building entries with the public sidewalk along the adjacent street.
- i. Ideally, pedestrian walkways should be adjacent to buildings and be overlooked by frequent entries or windows.
 - ii. Connecting walkways visible from public streets should be at least five feet (5') wide, excluding automobile overhangs, and should be accompanied by a 5-foot minimum landscape buffer with trees planted at least every 30 feet.
 - iii. Walkways with decorative pavers or other special design features are preferred where the walkway will be visible from public streets and will connect to public and private gathering places.

- iv. Cross-section drawings should be prepared to illustrate the method in which the equipment will be screened from view of adjacent streets, freeways, and properties.
- o. Typical ground-mounted equipment (such as transformers and heating units) should be screened with walls and/or landscaping where they would otherwise be within public view. Large structures and/or equipment such as water tanks, silos and large bins should be screened by the building from view of adjacent streets.
- p. Service areas should be simple and efficient, and should not interfere visually or physically with other building operations. Service areas should not be visible from public rights-of way.
- q. All existing and new gas, telephone lines, and electrical lines of 12 kV or less within the project and along the adjacent arterials shall be placed underground.
- r. All ground-mounted utility appurtenances should be located away from public view or adequately screened. Screening should consist of a material complementary to the structure and/or heavy landscaping and berming.
- s. No utility appurtenances shall be permitted directly within a pedestrian area.
- t. Where long, linear walls or fences are needed, a combination of wall/fence along a landscaped berm is encouraged.
- u. The mass of new structures, as viewed from public streets, should be softened by landscaping or lessened by small-scale elements such as windows, panels, entrances, and other detail features to avoid monotony in design

B. Landscaping

This section describes the minimum landscape requirements that shall be followed in the design of all public and private improvements within the Specific Plan. Landscaping shall promote the aesthetic character and value of the Hofer Ranch Airport Business Park and shall:

- Define, unify and enhance the public space;
- Embellish and enhance private areas; and
- Screen views of parking, loading, and service areas.

1. General Landscape Standards

In addition to City of Ontario standard landscape plans and specifications, and the landscape provisions of this document, the following shall apply:

- a. All areas not devoted to paving or building shall be landscaped and permanently maintained. Street frontage landscaping along Jurupa Street shall be consistent with existing development landscaping along the street.

Shrubs shall be massed or configured as maintained hedges. A second row of trees paralleling the street trees shall be planted in the street yard at frontages with loading areas or where building elevations not meeting the requirements for façades are built.

4. Parking Lots

The following standards shall be applied to parking lot landscaping in all commercial and public facilities:

- a. Provide trees within the vehicular use areas at a ratio of one tree for every 14 parking stalls. The trees shall consist of 24-inch box sized trees.
- b. Planter areas shall have a minimum inside width of 3 feet and an average inside length of 7 feet, bounded on the outside by a concrete curb (or its equivalent having a minimum height of 6 inches). The requirement for an outside concrete curb may be waived for landscaped swales intended for NPDES water quality protection purposes.
- c. Parking should be buffered from streets and driveways with a combination of earth berms and landscape or with a 3-foot high landscape hedge.
- d. An end cap planter island should be provided at the ends of all parking rows. End cap shall be a minimum of 6 feet wide including curbs. Planters shall have a minimum length equal to the longest abutting parking stall, inclusive of curbing.
- e. Parking areas should be designed in a manner which links the building to the street-sidewalk system, as an extension of the pedestrian environment. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures, and/or landscape treatments.
- f. Vegetated swales should be provided between opposing parking stalls to allow pavement runoff to infiltrate into these areas for pollutant mitigation and rainwater infiltration (see Chapter IV, Figure 4.3).

5. Acceptable Plant Materials

The following plants are approved for use in the Hofer Ranch Airport Business Park Planning Areas. Plants other than those listed may be used to satisfy design or horticultural needs consistent with the project's objectives if approved by the DAB.

- a. Street Trees
 - Schinus molle*California pepper tree
 - Platanus acerifolia*London plane tree
- b. Frontage Trees
 - Washingtonia spp.*Palm tree
 - Koelreuteria paniculata*Golden rain tree

<i>Brachychiton populneus</i>	Bottle tree
<i>Pinus canariensis</i>	Canary Island pine

c. Parking Lot Trees

<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Platanus acerifolia</i>	London plane tree
<i>Pistacia chinensis</i>	Chinese pistache
<i>Pyrus calleryana</i> "aristocrat"	Aristocrat pear
<i>Tipuana tipu</i>	Tipu tree

d. Bioswale Groundcovers/Shrubs/Trees

<i>Umbellularia californica</i>	California laurel
<i>Arctostaphylos ericaceae</i>	Manzanita
<i>Rhamnus californica</i>	California coffee berry
<i>Ceanothus rhamnaceae</i>	Ceanothus Louis Edmunds
<i>Calocedrus decurrens</i>	Incense cedar
<i>Mahonia berberedacea</i>	California holly grape
<i>Parthenocissus tricuspidata</i>	Boston ivy
<i>Carex cyperaceae</i>	Sedge
<i>Juncus effuses</i>	Soft rush, Quartz Creek
<i>Alnus rhombifolia</i>	White alder

e. Tall Shrubs

These shall reach 3 to 10 feet in height at maturity and shall not be frequently sheared or pruned. The shrubs shall display flowers and/or foliage color, and be resistant to prolonged periods of drought. Acceptable species include:

<i>Abelia grandiflora</i>	Glossy abelia
<i>Escallonia fradesii</i>	Escallonia
<i>Elaeagnus pungens</i>	Silverberry
<i>Nerium oleander</i>	Oleander
<i>Photinia fraseri</i>	Photinia
<i>Plumbago auriculata</i>	Cape plumbago
<i>Pittosporum tobira</i> "variegata".....	Variegated tobira
<i>Xylosma congestum</i>	Shiny xylosma

f. Low Shrubs and Groundcovers

These shall reach no more than 3 feet in height at maturity, without requiring frequent shearing and pruning. The shrubs shall display flower and/or foliage color, and be resistant to prolonged periods of drought. Acceptable species include:

<i>Bougainvillea rosenka</i>	Prostrate bougainvillea
<i>Carissa macrocarpa</i> "green carpet".....	Prostrate natal plum
<i>Cistus salvifolius</i>	Prostrate rockrose
<i>Cotoneaster dammeri</i> "lowfast".....	Prostrate cotoneaster
<i>Euonymus fortunei</i> "colorata"	Purpleleaf euonymous

<i>Lantana montevidensis</i>	Trailing lantana
<i>Mahonia parvifolium</i> "puta creek"	Prostrate myoporum
<i>Pittosporum tobira</i> "wheelers"	Prostrate tobira
<i>Trachelospermum jasminoides</i>	Star jasmine

g. Hedge Plantings (when used in lieu of a streetwall)

These hedges shall be pruned and sheared into a solid hedge row of the specific height, without breaks or openings between individual shrubs. Acceptable species include:

<i>Escallonia fradesii</i>	Pink escallonia
<i>Ligustrum texanum</i>	Wax leaf privet
<i>Raphiolepis indica</i> "springtime"	India hawthorn

h. Trash Enclosures and Streetwalls at Loading Areas

These walls shall be planted with self adhering vines no less than 12 feet on center and a minimum of 5 gallons in size. Acceptable species include:

<i>Ficus pumila repens</i> "minima"	Creeping ornamental fig
<i>Parthenocissus tricuspidata</i>	Boston ivy

C. Signage

1. General Requirements

The signage program for the Hofer Ranch Airport Business Park provides project identity, maintains attractiveness while allowing for individuality, and providing compatibility with the historic background of the area. The following criteria shall apply to all signs within the planning areas of the Hofer Ranch Airport Park Business Park Specific Plan. All developments shall submit with development drawings a sign program for approval by the City of Ontario. The sign program shall meet the City's sign code and the following requirements:

- a. Signs shall be of materials which are compatible with exterior building colors, materials, and finishes and be of a high quality of fabrication.
- b. Signs shall be free of all labels and fabricator's advertising except for those required by code.
- c. All signs, if lit, shall be front lit or halo lit, not internally illuminated. No canister type signs or electronic reader boards are permitted.
- d. All building-mounted signs shall be constructed so as not to have exposed wiring, raceways, ballast, conduits, and transformers.
- e. All signs shall conform to the appropriate building and electrical codes and bear the U.L. label if illuminated. The owner/tenant and contractor shall be responsible for obtaining any and all permits required.

- f. No sign shall have flashing, blinking, or moving lights or any other illuminating device which has changing light intensity, brightness, or color, except for parts designed to give public service information such as time, date, temperature, or similar information.
- g. No signs shall have visible moving parts or simulate movement by means of fluttering, rotating or reflecting devices.
- h. All freestanding signs shall be integrated with landscaping and grading.
- i. Metal signs may be made of aluminum, brass, bronze, copper or stainless steel and may be painted.
- j. All owners and/or tenants shall be responsible for the proper maintenance of their signs.
- k. The scale and proportion of graphics shall be in consonance with the architecture.
- l. All ground-mounted signs shall be set back from the ultimate curb face and positioned so as not to create a hazard for either pedestrian or vehicular traffic.
- m. The size and number of signs for identification of individual development sites within the Specific Plan shall be governed by Table 5A.

Table 5A – Maximum Permitted Sign Types by Planning Areas

Sign Type	Business Park and Planned Industrial	Historic Commercial	Homestead Ranch Structures	Maximum Number
Freestanding Monument signs	N/A	N/A	N/A	One per building elevation
Building Identification ²	60 square feet 18-inch letters	60 square feet 18-inch letters	40 square feet 18-inch letters	N/A
Tenant Directory ²	60 square feet 6-inch letters	60 square feet 6-inch letters	40 square feet 6-inch letters	N/A
Tenant Identification	40 square feet 18-inch letters	40 square feet 18-inch letters	20 square feet 18-inch letters	N/A
Streetwall signs (in lieu of monuments)	N/A	N/A	N/A	One per street frontage
Building Identification	40 square feet 18-inch letters	N/A	N/A	N/A
Tenant Directory	40 square feet 6-inch letters	N/A	N/A	N/A
Tenant Identification (per tenant) ³	20 square feet 18-inch letters	N/A	N/A	N/A
Total Streetwall signage per frontage	80 square feet	N/A	N/A	N/A
Building Wall Signs	N/A	N/A	N/A	One per building elevation

Table 5A – Maximum Permitted Sign Types by Planning Areas

Sign Type	Business Park and Planned Industrial	Historic Commercial	Homestead Ranch Structures	Maximum Number
Building Identification	30 square feet 18-inch letters	30 square feet 18-inch letters	20 square feet 18-inch letters	N/A
Tenant Identification	20 square feet 18-inch letters	20 square feet 18-inch letters	20 square feet 18-inch letters	N/A
Projecting Signs	N/A	N/A	N/A	One per tenant
Tenant Identification (per tenant)	N/A	12 square feet 18 inches	12 square feet 18 inches	N/A
Street Address Signs	10 square feet 18-inch letters	10 square feet 18-inch letters	10 square feet 18-inch letters	One per street

- 1 A signage program shall be prepared for any building that is to be occupied by more than one business. The program shall identify the permitted sign types, the criteria for their placement, and the manner in which permitted sign area and location will be allocated to the various tenants. A signage program shall also be prepared for any multi-building development project in which any building lacks frontage on a public street, even if each building within the development is to be occupied by a single business. A signage program is not generally required for a building occupied by a single business. The allowable area of tenant identification for a business occupying an entire building may be the sum of the building signage and tenant signage allowances listed in table
 - 2 A maximum of one freestanding monument sign per street frontage shall be permitted on a lot (corner lots may have two). A single freestanding monument sign of up to 60 square feet may include both identification of the building and the tenants therein.
 - 3 Tenant identification signs within a directory sign may have letters up to a maximum of 12 inches if approved by the DAB. For directories including four or more tenants, 6 inches is recommended.
- n. All electrical service to sign lights shall be fully concealed. No sign shall have exposed wiring, raceways, ballast, conduits, or transformers.
 - o. All wall-mounted signs shall not exceed the height of the building roofline or architecturally integrated parapet wall.
 - p. All signs shall be made of materials compatible with exterior building colors, materials, and finishes, and be of a high quality fabrication.
 - q. Existing signs on the Hofer Ranch structures are permitted regardless of type, fabrication, finish, size, electrical service or color (see Historic Commercial Signs Section, below).
 - r. For each multi-tenant building and for multiple building complexes including buildings without frontage on a public street, a customized signage program shall be submitted to and approved by the City to identify the individual businesses at their respective entries. A sign program is not required for owner-occupied or single tenant buildings fronting on a public street.
 - s. No window signs or painted wall signs shall be permitted except within the Historic Hofer Ranch area.
 - t. All signage within the Hofer Ranch Airport Business Park Specific Plan shall comply with these regulations. Sign types not covered in this program, such as temporary signs for commercial promotions, shall follow the City of Ontario Sign Ordinance for

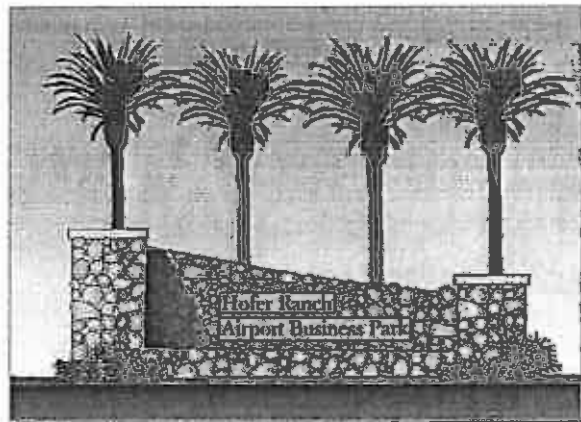
Temporary Signs. Temporary construction signs shall follow the guidelines under the Temporary Facility Signs Section, below.

2. Definitions of Signage Terms

- a. **Flush Left Layout:** Typography begins at left margin and any additional lines of typography are also flush with first line at left margin.
- b. **Front Lit Lettering:** Fabricated letter form with internal foam backing with various materials for facing.
- c. **Halo Lit Lettering:** Opaque, fabricated metal letter form with internal luminous tubing, mounted a few inches off face of building. Illumination falls only on building surface immediately adjacent to letter, creating halo effect
- d. **Sign Area:** The area considered to be included in a streetwall or building wall sign shall be the area enclosed by the shortest line drawn to include all letters and logos, including all intervening space. The area of a freestanding monument sign shall be the area of the monument wall, excluding any base element designed to be obscured by plantings. The area of a projecting sign shall be the area of the sign panel, excluding architectural supporting brackets or hangers.
- e. **Signage Band:** Constant horizontal band or fascia area of a façade within which lettering must be placed.

3. Sign Types and Requirements

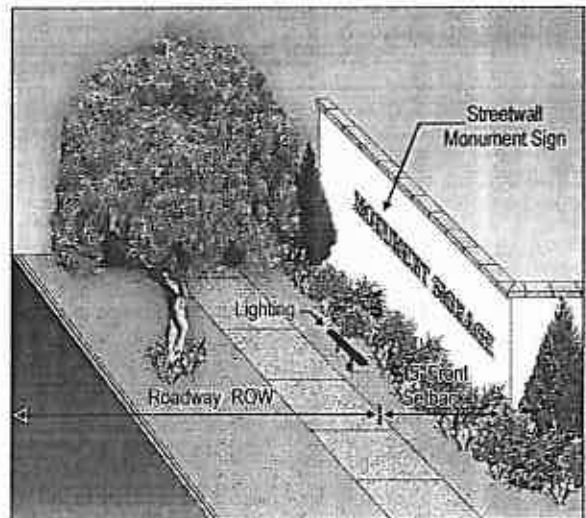
- a. **Building Identification Signs/Building Wall Signs:** Lettering mounted on the façades of buildings or on streetwalls to identify a multi-tenant building. Such signs may include building wall signs and streetwall signs, not to exceed 18 inches in height. See previously referenced Table 5.A for size and type requirements.
- b. **Building Street Address Sign:** A sign mounted on a building to identify the street address number. Such signs may be lettering applied to the wall or may be cast into a concrete wall. The lettering may be no more than 16 inches in height.
- c. **Directional Signs:** Signs within the Business Park and within individual lots which control and direct the circulation of vehicles and pedestrians. Directional signs provide functional directions, such as "Shipping and Receiving." Directional signs may include



Gatewall with Hofer Ranch Airport Business Park identification signage. Maximum height is 8 feet with a minimum frontage setback of 15 feet.

streetwall signs and building wall signs. Lettering shall be consistent with the tenant identification signs. Copy shall be succinct as needed to convey the message. Signs will be located where utility and safety dictate. There shall be no more than one sign per driveway.

- d. **Freestanding Complex Identification Signs:** Signs that identify multi-building or multi-tenant development. Such signs may be either streetwall signs or freestanding monument signs. No lot shall have both types.
- e. **Gatewall Signs:** Stone walls with lettering identifying the Hofer Ranch Airport Business Park, located at the southwest corner of Jurupa Street and Turner Avenue, the northeast and southeast corner of Archibald Avenue and Jurupa Street and the northeast corner of Archibald Avenue and Mission Boulevard. The Archibald/Mission gatewall sign shall be located on private property with front landscaping which may extend into the public-right-of way land reserved for the future Archibald Avenue railroad grade separation. An encroachment permit shall be obtained from the City of Ontario to landscape the right-of-way area until such time as the right-of-way is necessary for construction of the proposed Archibald Avenue railroad grade separation. Gatewalls shall emulate the design of the existing Hofer Ranch gatewalls on Jurupa Street and Turner Avenue. Lettering shall be individually mounted metal letters, not to exceed 24 inches in height, either front lit or halo lit. Gatewalls shall be located perpendicular to the corner with a minimum frontage setback of 15 feet. The maximum height is 8 feet. Gatewalls shall be constructed of river rock or similar material.
- f. **Monument Signs:** Signs that are freestanding and are not streetwalls which identify the facilities businesses, tenants, and addresses. Lettering shall be individually mounted metal letters, not to exceed 18 inches in height, and either front lit or halo lit. Monument signs shall meet the same setback requirements as required of streetwalls and shall have distinct base and cap elements. Monument signs shall be set back at least 5 feet from the frontage line and not exceed 5 feet in height.
- g. **Projecting Signs:** Signs perpendicular to and projecting from a façade to identify a historic structure and/or retail business. Such signs may be made of metal or wood, with lettering raised or incised, and painted. Projecting signs must be at least 8 feet above the ground surface.
- h. **Streetwall Signs:** Signs located on streetwalls that identify facilities, businesses tenants, and addresses. Lettering shall be individually mounted metal letters, not to exceed 18 inches in height, and either front lit or halo lit.



Streetwall as monument sign.

- i. **Temporary Signs:** Any signs, banners, pennants, valances, or advertising displays used for marketing purposes for a short period of time. See Temporary Facility Signs Section, below, for requirements.
- j. **Tenant Directory Sign:** Lettering mounted on a freestanding monument sign or streetwall, listing two or more tenants on the lot who do not have frontage on a public street. Lettering shall have a flush left layout, located in a distinct rectangular field on the wall. Tenant identification on such signs shall have a maximum letter height of 6 inches unless otherwise approved by the DAB as part of a sign program.
- k. **Tenant Identification Sign:** Lettering mounted on the façades of buildings or on streetwalls to identify a tenant within the building. Such signs may include building wall signs and streetwall signs, not to exceed 18 inches in height or 20 square feet per tenant. The detailed requirements for the design, size and placement of tenant identification signage in a multi-tenant facility shall be specified in the Signage Program submitted and approved by the DAB as part of the development permitting process.
- l. **Traffic Control Signage:** All street signage shall conform to City of Ontario standards.

4. Temporary Facility Signs

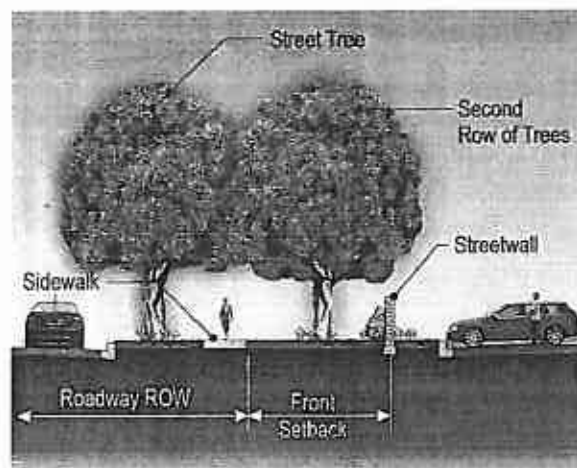
- a. **Freestanding Signs:** The developer of each facility may display one temporary freestanding sign including information pertinent to a site and its stage of development. Temporary signs may be post and panel signs or freestanding monument signs. Such signs shall be submitted to and approved by the City of Ontario prior to installation. No temporary promotional signs are allowed within public street rights-of-way. The following criteria apply to temporary facility signs:
 - i. A temporary freestanding sign may be erected on a site any time after the site has been purchased from the Hofer Ranch property owners. Information may be added or the sign can be replaced by another to indicate the beginning of construction, or to recruit employees or to identify the leasing agent. However, each revision or sign replacement must conform to these guidelines. A sign that is to be replaced by another shall be removed before the new sign is installed. Such signs shall be removed from the lot when the initial leasing program is 95 percent complete.
 - ii. **Size:** Temporary signs shall be neither more than 5 feet in height nor more than 4 feet in width.
 - iii. **Material:** The material shall be designed to last the length of its intended use without significant fading, warping, peeling, blistering, cracking, rotting, or delaminating. The City of Ontario may, without liability, cause the removal of any sign deemed to be in deterioration or damaged.
 - iv. **Duration:** Temporary signs associated with the sale, leasing, and/or the development and construction of buildings shall remain in place no more than twelve (12) months. Removal shall occur after 95 percent occupancy or

- lease-out or within 6 months of occupancy approval, whichever is sooner. This period may be extended upon approval from the City of Ontario.
- v. No temporary sign shall pose a hazard to the safe movement of traffic, nor shall it block the visibility of permanent signs on adjacent lots.
- b. **Wall Signs:** Banner, pennants, and flags may be placed on an occupant's property for the purpose of announcing the opening of a new business.
- i. The total area of all temporary signs and advertising devices shall not exceed the area of permanent signs for the use permitted by these sign criteria (see previously referenced Table 5.A).
 - ii. No temporary sign shall be located in a manner not permitted for permanent signs.
 - iii. No inflatable rooftop signs or devices are permitted.
 - iv. No temporary sign shall pose a hazard to the safe movement of traffic, nor shall it block the visibility of permanent signs on adjacent properties.
 - v. Temporary signs may remain in place for a period not to exceed thirty (30) days after the date of installation of the sign; or until a permanent sign is installed, whichever occurs first.
- c. **Security Deposit:** A security deposit fee of five hundred dollars (\$500) shall be posted with the City of Ontario to guarantee removal of the temporary sign(s). Failure to remove sign(s) after specified duration will result in forfeiture or security deposit.

D. Walls and Fences

1. General Standards and Guidelines

- a. Walls along public streets at the front property line may be between 36 inches and 54 inches in height. Walls at loading areas shall be at least 8 feet in height and may be up to 12 feet in height, as approved by the DAB in response to sightline analysis drawings to screen loading activities from off-site views.
- b. Fences and garden walls at side and rear property lines may be up to 10 feet in height, or as required by the DAB in response to sightline analysis drawings. Fences and trellises may be made of painted or galvanized steel.
- c. Yard walls may be no less than 8 inches wide and, where visible to the public, are to be capped. Yard



Landscaped setback to streetwall at parking.

and street walls may be made of concrete, brick, stone, or stucco matching the principal building.

- d. Fences and gates along street frontages may be vertical steel pickets with no more than 6-inch gaps in between. Fences and gates at side and rear property lines may additionally be galvanized or coated chain link when screened from public view. Rolling gates at loading areas shall be clad in high-density perforated metal screening or other material approved by the DAB which has the effect of substantially screening views.
- e. Smooth or texture-formed concrete walls may be painted with colors approved by the DAB. Texture-formed concrete walls simulating boards may additionally be left natural or finished with a clear sealant.
- f. Stucco shall be smooth and sand-finished only. Exposed steel may be galvanized or painted.
- g. Wood trim shall be heavy timber with a minimum nominal dimension of 4 inches. Joints may be made with exposed steel connectors. Exposed wood may be painted or stained.
- h. Brick and cut stone shall be laid in true bonding pattern and joints shall be struck. River and rubble stone shall be laid in the natural manner and joints shall be smooth or beaded.
- i. Street walls at loading or storage areas shall be substantially covered in vines and other plantings. The DAB may additionally require the use of architectural elements such as pilasters, raised planters, trellises and other devices to relieve long expanses of such screen walls. It is the intent of this plan that loading areas be located in side and rear yards of buildings whenever practical, such that the need for such elaborate screening walls may be diminished.
- j. Rail access openings in street walls along the southerly boundaries of the planning area shall be designed to obscure or minimize off-site views of on-site rail yards.
- k. The retaining wall to be constructed shall be a theme wall as illustrated in Figure 5.1. The specific design of the wall shall be as approved by the Development Director.

E. Site Lighting

1. General Standards and Guidelines

Public lighting refers primarily to streetlights along public streets. Streetlights shall conform, both in type and location, to the Standards of the City of Ontario at the time of installation. Costs for the maintenance of and energy used in the public street lighting will be paid through annexation to the Street Lighting District as approved by the City of Ontario Department of Engineering.

The following section addresses illumination of on-site areas for purposes of safety, security, and nighttime ambience, including lighting for parking areas, pedestrian walkways, graphics

and signage, architectural and landscape features, shipping and loading areas, and any additional exterior areas.

- a. A comprehensive lighting plan shall be prepared and approved in conjunction with the site plans submitted for approval to the DAB. In addition, all plans shall be reviewed and approved by the Ontario Police Department.
- b. Exterior lighting should be located and designed to minimize direct glare beyond the parking lot, service area, or other intended to be lighted.
 - i. Lighting standards under 25 feet in height are encouraged through sites, and should illuminate all sidewalks and connecting walkways. Taller lighting standards may be used for lighting of ramps within the Industrial Planning Area and other areas if reflectors are provided to direct light only toward the area intended to be lighted.
- c. The design of the lighting fixtures shall be consistent throughout individual planning areas, and shall be compatible with the architectural style of the building within each development. Except within the historic homestead area, wall-mounted lights should be utilized to minimize the total number of freestanding light standards, such lighting is feasible and consistent with building architecture.
- d. Lighting sources shall be shielded, diffused, or indirect in order to avoid glare to pedestrians and motorists. Lighting fixtures should be selected and located to confine the area of illumination to within the site boundaries.
- e. Pedestrian paths should be lighted by pole- or bollard-type fixtures that are in scale with the pedestrian, typically no more than 16 feet or 3 feet in height, respectively.
- f. Architectural lighting of building façades is encouraged to enhance and emphasize the buildings and to provide identity.
- g. Landscaped areas may be illuminated by bollard-type fixtures and by ground-mounted up-lights into trees.
- h. All parking areas should have photocell-operated lighting which maintains one foot candle from sunrise to sunset.
- i. Floodlighting and intense lighting of expansive areas, with the exception of industrial uses associated with airport use, is to be avoided.
- j. Lighting provided by wall packs is strictly prohibited.

F. Design Concepts for Specific Planning Areas

The following design guidelines provide direction for site design, as well as for construction materials, appurtenances, and site elements within specific planning areas of the Hofer Ranch Business Park. They do not, however, require any particular architectural style and no such requirement is to be inferred, except within the Historic Commercial area where compatibility with existing historic architecture is required.

1. Historic Commercial Planning Area

a. Design Objectives

The primary design objective for the Historic Planned Commercial portion of the Specific Plan area is to protect the integrity of the existing historic district and to ensure that new development fits in with its historic character. As such, the design intent within the existing "homestead" portion of the Historic Commercial Planning Area is to pursue adaptive reuse of existing buildings without significantly altering their architecture, and to design new buildings to appear as if they were originally part of the historic working ranch (see Figure 5.2). The existing pattern of landscaping is to be retained and applied to new development within this Planning Area. Expansion of development to the north of the existing homestead will entail the construction of new buildings and installation of landscaping within undeveloped former vineyard areas. The design intent for the northern portion of the Historic Commercial Planning Area is a contemporary expression of traditional winery/ranch architecture and landscaping compatible with the existing homestead to the south.

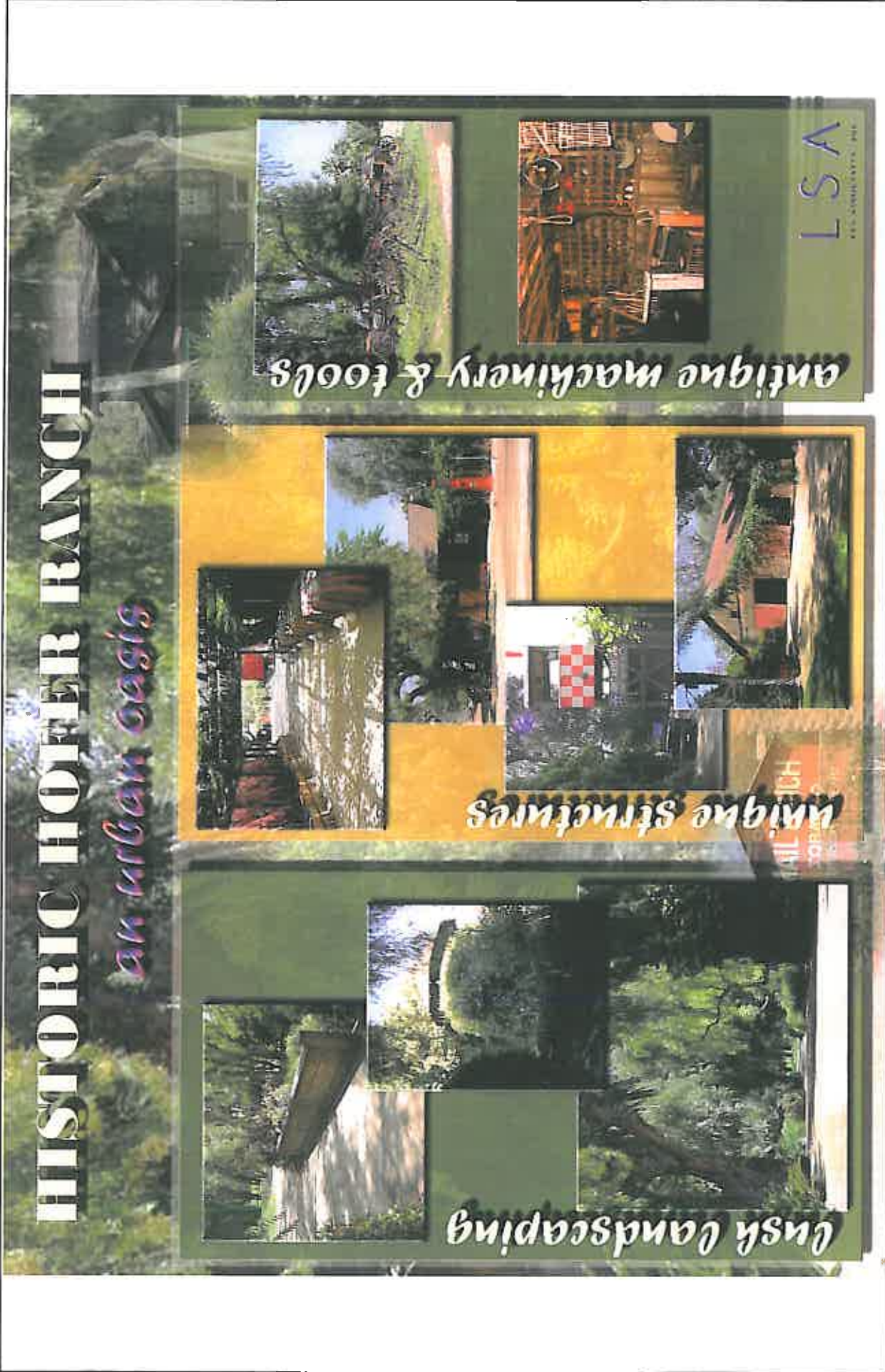
b. Building Design

In order for the Hofer Ranch complex to retain the integrity of its setting, character, and association, new development and adaptive reuse of existing development is to be sensitive to the historic nature of the Hofer Ranch and Cucamonga Valley architecture, and should reflect designs and materials appropriate to the period of significance, 1905-1930. Thus, architectural and design elements should be:

- i. Rural, rather than urban in character;
- ii. Informal, rather than formal;
- iii. Rustic and traditional, rather than polished and contemporary, and
- iv. Reflective of the existing Hofer residence, traditional winery buildings, or barn-style buildings.

c. General Guidelines

- i. New buildings within the Hofer Ranch homestead area are to be consistent with the existing mass, size, shape, form, style, and architectural features of the buildings within the ranch complex.
- ii. New buildings within the Historic Commercial area to the north of the homestead area may be greater in mass than those within the homestead and may use modern construction techniques to achieve a contemporary interpretation that respects and pays homage to the structures and the period of significance (1905-1930).



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FIGURE 5.2

Hofer Ranch Airport Business Park
 Specific Plan
 Hofer Ranch Complex Structures and Landscapes

- iii. New buildings within the Hofer Ranch homestead area should be no more than two stories in height and not larger than a typical winery building in the area. New buildings within the Historic Commercial area to the north of the homestead may exceed two stories in height for hotels if adequate setbacks from the homestead are provided so as to prevent the taller building from becoming a predominant visual feature when viewed from the homestead.
- iv. Architectural details within the existing farm complex should be reflected in new buildings, including gabled end walls with stone, concrete, and wood-frame construction; horizontal board or shingle siding; wood-framed windows; and the coloration of wood or shingles. Window frames should be constructed of wood or metal frame appropriate to the historical period of significance.
- v. The rhythm of solid-to-void window and door openings should be consistent with those of other buildings of the period of significance (1905-1930).
- vi. Buildings should be painted in colors appropriate to the architectural style of the existing historic buildings within the Hofer Ranch.
- vii. Entries and walkways should display or provide opportunities for personal expression, such as hand-lettered signs for daily specials or potted plants. Standard or conventional entry treatments should be discouraged.
- viii. Modern construction techniques (e.g., tilt slabs, large span or cantilever, visible skylights, vinyl or aluminum windows, or smoked or reflective glass) are inappropriate and should not be used within the Historic Commercial area.
- ix. New fences, walls and gates made of indigenous materials such as wood and stone are recommended. Plant materials should take the place of fences where possible.

d. Building Materials Palette

The following architectural elements form the basis for new development within the Historic Commercial Area of the Hofer Ranch Airport Business Park Specific Plan, and are to be reflected in new construction within the Historic Commercial Planning Area. A mix of eclectic design elements which complements the Historic Ranch is encouraged.

i. Roof Details

- (1) Shallow to moderately sloping.
- (2) Hipped, gabled, or barn/shed roofs covered with corrugated metal or shakes; exposed rafters, and knee braces.



Modern materials and construction used in winery building. Note tower element, exposed rafter tails, and arbor over the entry.

- (3) Wood shingle, slate or standing seam metal, earth tone in color.
- ii. Walls
 - (1) Stained or painted woods (clapboard, board & batten).
 - (2) Textured stucco.
 - (3) Cobblestone, river rock, fieldstone.
 - (4) Earth tone and rust colors.
- iii. Accents
 - (1) Exposed rafter tails.
 - (2) Warm color accents.
 - (3) Towers, cupolas (multi-story buildings).
 - (4) Multi-lighted windows.
 - (5) Vine arbors.
 - (6) Curved parapet walls.
 - (7) Covered walkways.
 - (8) Distressed surfaces or patinas.
- iv. Scale
 - (1) One- to three-story heights with the first floor oriented toward pedestrians.
 - (2) Tower elements on winery-style buildings.
- v. Pavement
 - (1) Interlocking pavers, concrete, compacted decomposed granite.
- vi. Entrances, Openings, and Walls
 - (1) Doors and windows should be recessed away from outer wall surfaces at the ground floor level.
 - (2) The primary entrance to buildings should be emphasized with higher building massing and projections or recessions.
 - (3) Arcades are encouraged to provide cover and shade for entrances and to provide outdoor walkways.
 - (4) Glass areas should be broken up with mullions to achieve a scale that is compatible with the building.
 - (5) Arches are encouraged for openings on the ground floor within the northern portion of the Planning Area.
- vii. Cornices, Reveals, Ornamentation
 - (1) Moldings, cornices, and/or reveals should cap parapets or separate the horizontal zones of the building.

- (2) Ornamentation is to be limited to key locations on the building elevation.
- viii. Colors
 - (1) Contemporary buildings which interpret a historic building style should follow traditional historic building colors.
 - (2) Colors should relate to the existing Hofer Ranch homestead and contain colors that are commonly found at wineries, including:
 - (a) Neutral or soft colors for large wall surfaces: cream, beige, tan brown, mustard.
 - (b) Brighter or deeper colors for accents and trim: brown, dark green, maroon, rust, black, charcoal gray.

e. Special Guidelines for Adaptive Reuse of Existing Buildings

It is intended that the existing buildings within the "homestead" portion of the Historic Commercial Planning Area remain in their present locations and be rehabilitated and adapted for new uses. Rehabilitation and adaptive reuse of existing buildings within the homestead area will be subject to the following provisions.

- i. Buildings and structures within the homestead should be recognized as products of their own time and should not incorporate alterations that create a historic appearance unrelated to the significant design of the building.
- ii. The proposed use is reasonably compatible with the structure within which it is to be located.
- iii. The proposed use of the building is to be consistent with the "Secretary of the Interior's Standards for Rehabilitation," which can be summarized as:
 - (1) The use will require minimal change to the defining characteristics of the building and its setting.
 - (2) The historic character of the homestead area, which is listed in the National Register, shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize the property shall be avoided.
 - (3) The adaptive reuse of the building will recognize the physical record of the building in terms of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings shall not be undertaken.
 - (4) Because properties change over time, those features of the homestead area that have acquired historic significance in their own right (e.g., site landscaping) shall be retained and preserved.

- (5) The distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the homestead area shall be preserved.
 - (6) Deteriorated historic features are to be repaired rather than replaced, if feasible. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
 - (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic structures shall be avoided. Surface cleaning of structures is to be undertaken with the gentlest feasible means.
 - (8) New additions or exterior alterations shall not destroy historic materials that characterize the homestead area. The new work shall be differentiated from the old, and shall be compatible with the massing, size, scale, and architectural features of historic structures to protect the historic integrity of the site.
 - (9) New additions shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the building and the physical setting of the homestead area would not be impaired.
 - (10) Because buildings within the homestead area are listed in the National Register, reasonable variances from compliance with the current Uniform Building Code may be approved as necessary to preserve the architectural integrity of buildings undergoing adaptive reuse.
- iv. If alterations to historically significant buildings are necessary to ensure their continued use, these changes should not alter, obscure, or destroy historically significant features, materials, forms, or finishes which are unique or not found elsewhere on the building. Such changes may be necessary to provide additional access to the building, natural lighting, structurally reinforce the building, or meet ADA or fire protection requirements.
 - v. Wherever feasible, the original roof forms, heights, and materials of historically significant buildings are to be retained. Deteriorated roof coverings should be replaced with materials that match the old materials in composition, size, shape, color and texture. The architectural features that give the roof its essential character, such as cornices, brackets, chimneys, weather vanes, gutters, and downspouts.
 - vi. Additions to historic buildings should be complementary (although not identical) to the original building.
 - (1) While an addition may be necessary to provide the floor area needed for a new use, such additions should complement the original design of the structure in mass and scale, but should not be so similar as to be confused with the original, historically significant structure.

- (2) New additions to existing historic structures shall have complementary roof forms, slopes, and materials, but shall be distinguished from the existing historic structure.
- (3) New roofs over additions should match the original pitch and form of the existing roof, but shall not exceed the height of the existing roof.
- vii. The proportions, sizes, and locations of window openings should be maintained.
- viii. The rhythm of solid-to-void within historic structures is to be maintained, and the total proportion of glazing in proportion to solid wall should not be significantly changed.
- ix. Glazing is not to include mirrored or reflective glass.
- x. The original, historic window type, style, and material within historically significant buildings are to be maintained in rehabilitation and reuse. When a window requires replacement, the replacement window should match the original in type, style, and material.
- xi. Double-hung or casement windows should not be replaced with fixed windows; however, operable windows can be rendered fixed.
- xii. Awnings, if proposed, are to be sensitive to the overall façade where they are to be placed in terms of size, scale, and color.
- xiii. An awning should not be the predominant element of the building façade.
 - (1) The use of retractable awnings is recommended, but not required.
 - (2) Awnings should be sloping and shed-style of one or two colors that complement the overall color scheme of the structure.
 - (3) New awnings on historic buildings should be of canvas or acrylic coated canvas. Aluminum, shiny vinyl, or back-lit awnings are inappropriate.
- ix. Historic buildings should be painted in colors that are appropriate to the architectural style of the building. Bold, primary colors should be avoided.

f. Character-Defining Features of Historic Structures

Adaptive reuse of the Historic structures should retain the following distinctive features:

- i. **Ballou/Hofer Residence**
 - (1) Frame construction.
 - (2) Low-pitched multiple cross-gabled roofs covered in shingles and supported with exposed rafter tails.
 - (3) Wood shingle wall cladding.
 - (4) Frame multi-light and 1/1 light frame windows, double-hung.

- (5) Shed-roofed porch entrance.
- (6) Brick steps and planter.
- ii. Shop**
 - (1) Frame construction.
 - (2) Moderately-pitched hip roof; wood or composition shingles.
 - (3) Full-width shed-roofed front porch, supported with turned posts
 - (4) Horizontal board wall cladding.
 - (5) Multi-light and six-light frame windows.
 - (6) Solid wood doors.
- iii. Barn**
 - (1) Post and beam frame construction.
 - (2) Front-gable roof, covered with rusted corrugated sheet metal.
 - (3) Vertical board-and-batten siding.
 - (4) Sliding barn doors of vertical boards, on metal tracks.
- iv. Bunkhouse**
 - (1) Frame construction.
 - (2) Moderately-pitched front-gabled roof covered with rusted corrugated sheet metal.
 - (3) Vertical board-and-batten siding, wood shingles in gable ends.
 - (4) Shed-roofed additions.
 - (5) Frame sash, 2/2 light, double-hung.
 - (6) Door of vertical boards on metal roller track and on hinges.
 - (7) Rock and concrete foundation.
- v. Tractor Shed**
 - (1) Frame construction.
 - (2) Moderately-pitched gable roof covered with rusted corrugated sheet metal.
 - (3) Vertical board-and-batten siding.
 - (4) Rolling barn doors on south and west walls.
 - (5) Wood frame double-hung windows.

- vi. Garage**
 - (1) Frame construction.
 - (2) Gable roof covered with wood shingles.
 - (3) Walls clad with wood shingles and horizontal board siding.
 - (4) Frame double-hung windows.

- vii. Hay Shed**
 - (1) Frame construction.
 - (2) Shed roof, exposed eaves, sheet metal roofing.
 - (3) Vertical board siding.
 - (4) Rolling barn door.
 - (5) Frame window.

- viii. Water Tower**
 - (1) Board-formed concrete construction, octagonal shape.
 - (2) Pyramidal roof, covered with painted metal, supported by exposed rafters.

- ix. Cookhouse**
 - (1) Simple Craftsman architectural style.
 - (2) Frame construction.
 - (3) Hipped and gabled roof, supported with knee braces, and with a wood louvre in the gable end.
 - (4) Walls clad in horizontal board siding.
 - (5) Shed-roofed porch with knee braces.
 - (6) Frame sash windows.

- x. Quonset Hut**
 - (1) Half-cylinder steel construction.
 - (2) Covered with corrugated sheet metal.
 - (3) Rolling metal doors.
 - (4) Multi-light frame windows.

- xi. Barracks**
 - (1) Frame construction.
 - (2) Gable roof, gable-roofed porch supported by knee braces.

**Hofer Ranch
Airport Business Park Specific Plan**

ADMINISTRATION



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CHAPTER VI: ADMINISTRATION AND INFRASTRUCTURE DEVELOPMENT

A. Administration

The preceding chapters of the Hofer Ranch Airport Business Park Specific Plan have established permitted land uses, building intensities, circulation plans, technical master plans for services and other development standards and guidelines. Subsequent to approval of the Specific Plan, implementation will entail the review of various project-wide plans, as well as individual development projects. To ensure compliance with all applicable development standards contained in the Hofer Ranch Airport Business Park Specific Plan; applicable provisions of Title 10 of the City of Ontario Codes; and such applicable standards as may be adopted by the City of Ontario from time to time, all proposed development within the Specific Plan area shall be subject to review and approval by the City of Ontario Planning Department in accordance with the provisions of this Specific Plan and the City of Ontario Zoning Code.

B. Substantial Conformance

The purpose of the Substantial Conformance provision is to provide an administrative mechanism by which minor modifications to literal application of the Specific Plan or design departures from specific standards herein may be permitted without amendment of the Specific Plan, provided that such departures do not result in significant impacts and are consistent with the intent and basic objectives of the Specific Plan. The ability to permit minor modifications to the Specific Plan via the Substantial Conformance provision allows for reasonable flexibility while maintaining the structure and intent of the Specific Plan, including protection against significant impacts to adjacent property owners. Substantial Conformance may include, but is not limited to, modifications necessary to comply with Final Conditions of Approval or modifications affecting infrastructure, public services and facilities, landscape material and other issues except those affecting project financing and development regulations.

Substantial Conformance may include, but is not limited to, inclusion of land uses not listed in Chapter 2.0 of the Specific Plan; modifications that might be necessary to comply with Final Conditions of Approval; or modifications affecting infrastructure, public services and facilities, landscape palette; and other issues. Except as otherwise provided below, Substantial Conformance shall not include significant modifications in the basic design of the project.

Guidelines for Determination of Substantial Conformance

Determination of substantial conformance shall be made by the City of Ontario Development Advisory Board.

Table 6A -- Infrastructure Matrix

Backbone Infrastructure	Planning Area					Historic Commercial
	Existing	North Business Park	South Business Park	North Planned Industrial	South Planned Industrial	
Drainage Improvements						
Jurupa Street						
Jurupa Street, minor catch basins and laterals		x		x		
Historic District System						x
Hofer Ranch Road south 60" storm drain of Jurupa Street	x					
Turner Avenue south of Jurupa Street	x					
Hofer Ranch Road north of Jurupa Street		x		x		
"A" Street storm drain		x		x		
Hofer Ranch Road west to west terminus		x		x		
Archibald Avenue, Existing						
Existing "Seg"/East to Hofer Ranch Road			x			x
Hofer Ranch Road						
Jurupa Street to "A" Street		x		x		
"A" Street						
East of "B" Street to west of Hofer Ranch Road		x		x		
Turner Avenue						
Jurupa Street to southern terminus	x					
Water Improvements						
Archibald Avenue						
Jurupa Street to most southerly fire hydrant			x			x
Hofer Ranch Road						
Jurupa Street south to terminus			x			x

Table 6A – Infrastructure Matrix

Backbone Infrastructure	Planning Area						Historic Commercial
	Existing	North Business Park	South Business Park	North Planned Industrial	South Planned Industrial		
Jurupa Street north to "A" Street		x		x			
"A" Street							
"B" Street to Archibald Avenue		x		x			
Turner Avenue north							
Historic District							x
Sewer Improvements							
Jurupa Street							
Turner Avenue to beyond Hofer Ranch Road		x		x			
Hofer Ranch Road north/"A" Street west		x		x			
"B" Street to west "A" Street		x		x			
Archibald Avenue to central portion of industrial area			x		x		
Tuner Avenue Historic District							x
"B" Street							
Jurupa Street to "A" Street		x		x			