

APPENDIX E

Guasti Conservation Plan Final

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TABLE OF CONTENTS

Acknowledgement

I.	Overview	3
II.	Documentation of all On-site Structures	3
	A. Historical Narrative	3
	B. Record Drawings & Photo Documentation	5
	C. Secretary of Interiors Standards	5
III.	Site Features	5
	A. Site Conditions Assessment	5
	B. Guidelines for Site Issues	6
	C. Recommended Site Features to be Retained or Salvaged	8
IV.	Existing Buildings to be Retained	13
	A. Conditions Assessment	13
	B. Interim Repairs or Protection	16
	C. Existing and Proposed Uses	16
	D. Guidelines for Adaptive Reuse of Existing Buildings	17
	E. Proposed Treatment of Structures to be Retained	19
	1. Worker’s Cottages #13, 15, 16, 21, 23	19
	2. Mansion #38	22
	3. Foreman’s #48 & Cooper’s #47 Residence	25
	4. Firehouse #19 & Market #11	28
	5. Stone Structures #49, 50, 52, 54, 55	31
	F. Individual Building Treatment Recommendation Summary	36
	Mansion #38	37
	South Warehouse #54	38
	North Warehouse #50	39
	Wine Tasting Room #49	40
	Firehouse #19	41
	Cooper’s Residence #47	42
	Worker’s Cottages #13, 15, 16, 21, 23	43
	Market #11	44
	Foreman’s Residence #48	45
	Warehouse (burned structure, shell)	46
V.	Existing Buildings to be Demolished	47
VI.	New Construction	47
VII.	Design Review Procedures	48
VIII.	Planning Approvals to Date	49
	Appendix	
	Section A – Record Drawings & Photo Documentation	
	Section B – Secretary of Interior’s Standards for the Treatment of Historic Structures	
	Section C – Historical Preservation forms	
	Section D – Guasti Site Plan	

I. Overview

The purpose of the Guasti Conservation Plan is:

1. To document all existing on-site structures in a HABS-HAER format (prior to demolition, relocation or rehabilitation as required by the EIR). To provide a digital format and hard copy for the Ontario Model Colony History Room of the Ontario Library.
2. To provide an update to the conditions assessment of existing structures to be retained, ten years after the adoption of the 1997 Guasti Plaza Specific Plan.
3. To provide a proposed treatment that will preserve and conserve the structures to be retained while fostering adaptive reuse that is economically viable and physically appropriate, and be a pre-cursor to help guide the preparation of Construction Documents.
4. To provide a proposed treatment that will preserve and conserve site features and landscaping.
5. To evaluate treatments to minimize loss of historic fabric or any adverse affect.
6. To establish Design Review procedures.

II. Documentation of All On-site Structures

A. Historical Narrative

The Guasti Winery site is a unique success story about the growth and development of the Cucamonga Dessert. What makes this story unique?

The story begins with the Southern Pacific Railroad building a depot called South Cucamonga Station in 1875. A small town developed around the station including the establishment of a post office in 1877. The town was named Zucker after the first stationmaster and first postmaster of the town.

Secondo Guasti purchased the entire town site in 1900, forming the Italian Vineyard Company. His innovations in dry cultivation and processing techniques that made the winemaking very productive here. By 1910, the name of the town was changed to Guasti and the winery was considered to be the largest in the world in terms of acres under cultivation.

Guasti knew that he needed workers who were experienced in the growing of grapes in a similar climate. He organized the immigration of a large Italian community that formed the Colony at Guasti that, at one time, had a larger population than Ontario.

He constructed an entire, almost self-sufficient company town including the Owner's mansion, worker residences, warehouses and factories, schools and a church, that is one of the few remaining examples of an agricultural company town

in southern California. Guasti used stones from his fields to build up the massive stonewalls of the first warehouses, starting in 1903, on the south warehouse.

Guasti was well ahead of his time in terms of sustainability and water management. He was not, however, a genius at irrigation techniques. The fact is that he seldom irrigated, but imported grape vines that were grown in a similar climate and soil conditions in Italy. Guasti knew that there was an ample water table down about 10-11 feet supplied by the run-off from the foothills to the north. He simply brought in grape plants that often sent roots down 10 feet or more to reach water. There was also much more rain during the first half of the twentieth century, often 30-40 inches a year, or about 3 times the average rainfall now. (No, it is not the result of “Global Warming” as much as changes in the microclimate of the area due the development and vegetation of the area.) When droughts did occur, Guasti used grey water collected in a large sewer reservoir located where the airport is today.

Guasti knew that if irrigated he could greatly increase his yields, but the quality of his grapes would suffer. He produced very flavorful grapes that had a very high sugar content. These grapes were particularly good for making Sherries and Port. These products were in the greatest demand and made the highest profits.

He was also very innovative in his production of wines. He used a narrow gauge steam train to bring the harvest from the fields to the warehouses for processing. He excavated the largest fermenting wine cellar in the world and was able, by adjusting the airflow into the basement, to keep the temperature at exactly 52 degrees, perfect for wine making.

To construct the winery and to work in the fields and make the wine products, Guasti brought from Italy experienced workers, coopers and craftsman. He built a community (including three additional off-site barracks) that housed over 250 workers and their families. The workers were paid in Guasti script that they used at the market to purchase many imported products from Italy and Europe. There were many parties and festivals throughout the year resulting in a very, close-knit community. Later improvements such as the swimming pool, tennis court and party hall (now the Homestyle Cafe) were built by the Garret family, later owners of the property, but made available to all Guasti residents. In spite of ownership changes over time, the Colony, as it later became known, was a very happy place to live, work and raise a family.

Most of the town that was constructed from 1903-1938 remains intact today except for those structures that have burned, floated away, or been destroyed by winds. Buildings were added or expanded as needed, typical of factory architecture. In spite of Prohibition and two World Wars, Guasti Winery remained in production until about 1962 when wine-making operations were relocated to the Hoffer Winery. Bottling operations remained in operation until the early 1990's. As wine operations ceased to function, a wide variety of retail, storage and light

manufacturing uses occupied most of the remaining warehouses. The Guasti Mansion and site was used as an events venue and catering facility for about 11 years and the Homestyle Cafe occupied the adjacent party hall.

In 1997, the City of Ontario adopted the Guasti Specific Plan to help guide the planned redevelopment of this site for a mixed-use project. Bounded by the I-10 Freeway to the north and the new Ontario Airport to the south, the vision for this project was a high density, urban, mixed-use development that included retaining and adaptively reusing a minimum of 15 of the existing on-site structures.

It is now 2008, and new mid-rise office buildings are currently under construction at the northerly portion of the property (located between I-10 freeway and the proposed New Guasti Road). Last summer, a major developer with extensive rehabilitation experience, Oliver McMillan, purchased the property from the Pauley Family and plans to construct a mixed-use, people-place featuring major entertainment, food service and recreational, retail and office uses. The approved Planning Area Plan No. PAP06-001 with Resolution 07-047 approved the retention, possible rehab or relocation of the historic structures.

Today, all of the existing buildings not to be retained have been demolished and the remaining fifteen historic structures are vacant. The site has been fenced and is monitored by full-time security guards. All of the proposed treatments shall conform to Article 26 of the Ontario Historic Preservation Ordinance and should meet the “Secretary of the Interior’s Standards for the Treatment of Historic Properties”.

B. Record Drawings and Photo Documentation

See Appendix, Section A.

C. Secretary of Interior’s Standards for the Treatment of Historic Structures

See Appendix, Section B.

III. Site Features

A. Site Conditions Assessment

Existing site features and landscaping have been cataloged by the Preservation Architect and Landscape Architect. The condition of these features vary widely, particularly the landscape. Please also see the new Arborist Report and the Landscape Demolition Plan for more information.

B. Guidelines for Site Issues

Goals

Guasti is to become a focal point for the City of Ontario as well as a gateway to the Ontario International Airport. The proposed project should reflect the historic agrarian character of the site by adaptively reusing as many of the existing structures as economically feasible and by preserving historically significant and healthy trees and site features where possible. New construction for new hotel, office and commercial uses should be high quality, contemporary and timeless architecture that respects past and helps foster an inviting pedestrian environment.

The intent of the guidelines contained in this document is to reflect deteriorated condition of the historic buildings identified in the 1997 Guasti Plaza Specific Plan, to respect current trends in applying standards to historic adaptive reuse projects, and to update design review procedures and hearing processes by incorporating the City's current Historic Preservation Ordinance, Article 26 of the Development Code.

Landscape and Hardscape

New landscape improvements including the landscape palette, street edge treatments and entry gateway treatments shall preserve and enhance the existing agrarian landscape setting.

Existing site features shall be either retained in place or removed and salvaged for future reuse.

The proposed parcelization, new street layout, streetscape, building and parking shall reflect the "urban" site context.

Archibald Avenue

The Archibald Gateway will be punctuated by the existing palm tree plantings, which will be supplemented with a rich ground plane planting and landforms that complement the site and the new hotel and office buildings. This gateway entry will reintroduce the agrarian patterns of landscape materials that will become the unifying design element of the site. The linear patterning reminiscent of the vineyard history of the site will be depicted through the language of grape vine and rows of low growing plant material such as roses and lavender, and irrigation channels or runnels.

Guasti Road

Guasti Road will be a mix of large shade trees accentuated by palm trees used to complement and visually transition from the high-rise architecture down to the large shade tree canopy. Along New Guasti Road large shade and ornamental trees frame and accent the architecture, softening and shading the building facade and providing seasonal color to the landscape. Signalized intersections will have enhanced pedestrian paving at cross walks and additional landscape plantings.

Old Guasti Road

Existing healthy plantings of Eucalyptus and Pepper trees as shown in the Arborist plan will be preserved wherever possible by maintaining the existing roadway alignment and appropriate alignment of parcel entries and new roads. Special paving treatments shall be used along Old Guasti Road in the northern setback to control car traffic while creating pedestrian way.

Historic Core

The foremost goal will be to recreate an early southern California atmosphere reflecting a range of pedestrian activities. Large shade trees as well as vine-covered trellises, will articulate the pedestrian pathways within the district and create a pedestrian promenade.

Historic Vineyard

In a highly visible area at the entry drive from Guasti Road into the Historic core, a small recreated vineyard will be planted and maintained. Reuse existing vine grafts, as well as trellis materials, and appropriate signage will complement the vineyard.

The final number, location and width of view corridors may vary depending upon final Master Plan layout and vehicular circulation.

Some of the existing buildings to be retained may be relocated as determined in the Guasti Plaza Specific Plan and the Planning Area Plan.

The actual Worker Cottages to be retained and/or relocated on-site shall be determined by the Owner, but a minimum of five (5) will be retained.

Signage

A comprehensive, creative and innovative signage/graphics program shall be prepared for the overall development. High quality and innovative signage is encouraged that results in a thematic or unified signage treatment for the entire site. For example, signage in

conjunction with artifacts, or tasteful rooftop ridge signs, or painted rooftop signage is encouraged.

Signage at existing historic buildings shall be in scale with the architectural elements where the signage is located. The attachment of signage to historic fabric shall be carefully considered to minimize the number of penetrations.

C. Recommended Site Features to be Retained or Salvaged

The following sections describe those features to be retained in place or that can be salvaged for reuse. All site features shall be protected from deterioration from weather or damage from proposed grading and new construction.

Retain areas of significant landscaping, such as the large trees behind the Mansion, trees at Pepper Tree Lane, windrows at Old Guasti Road, existing vineyards (or take cuttings), and Cacti where possible, and as directed by the Landscape Architect.

Retain and protect in place, or remove and store in Owner-designated storage yard for reuse the following site features where possible. An inventory of salvaged items and an exhibit showing the interim storage location will be provided to the City.

- Photo 1 Remove signage and relocate to Owner-designated storage yard.
- Photo 3 Remove wine barrels and relocate to Owner-designated storage yard.
- Photo 4 Remove agricultural equipment and relocate to Owner-designated storage yard.
- Photo 5 Relocate trucks to Owner-designated storage yard.
- Photo 6 Remove light poles and relocate to Owner-designated storage yard.
- Photo 7 Remove railroad rails and relocate to Owner-designated storage yard.
- Photo 12 Remove concrete barrel stanchions and relocate to Owner-designated storage yard.
- Photo 29 Retain Vineyard(s) adjacent to Mansion or remove grape vines for future use as directed by the Landscape Architect.
- Photos 31 & 34 Salvage stone from pathways adjacent to the Mansion to be reused.
- Photos 31 & 34 Salvage granite walkways and granite edging and relocate to Owner-designated yard.
- Photo 32 Remove and store various miscellaneous site features such as the marble wishing well and other interesting items to the Owner-designated storage yard.
- Photo 35 Remove Mansion perimeter existing iron gates (if wall is to be demolished upon approval by the Historic Preservation Commission) and relocate to Owner-designated storage yard.
- Photo 36 Remove and save the wrought iron rope rails at existing walkways and store at the Owner-designated storage yard.

Photo 37 Retain Aviary in place or relocate to Owner-designated storage yard, if feasible.

Photo 40 Remove Mansion wall light fixtures (if wall is to be demolished upon approval by the Historic Preservation Commission) and relocate to Owner-designated storage yard.

Misc. Remove scales (if they still exist) and relocate to Owner-designated storage yard.

Retain Mansion perimeter wall in place.

Retain concrete ramps, loading platforms and stoops in place until final grades are established and building demo commences.



1. SITE SIGNAGE



2. LARGE STEEL STRUCTURES WITH SIGNS



3. LARGE BARRIERS



4. AGRICULTURAL EQUIPMENT



5. UNPAID TRUCKS



6. WHITE CONCRETE LIGHT PILLARS WITH BARRIERS IN FRONT



7. GRAVEL PILE



8. GRAVEL PILE ON CORRUPTED STEEL



9. CONCRETE WITH LARGE BARREL SUPPORTING SIGNAGE

GUASTI DEMOLITION FOR SALVAGED SITE ELEMENTS



02. THREE INCHES AND SIXTY
EMPTY PLASTER POT



03. BONDUGUZZELLA PLANTINGS



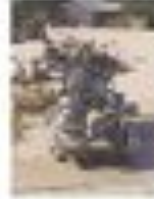
04. WOODEN DOOR, GREEN DOOR, WINDOW SHUTTERS



05. SIGNPOST TOP 4' UP
SECURITY WALL



06. SPINOSA CACTUS



07. PAVED SIDEWALK



08. PAVED SIDEWALK



09. WOOD PLAYFIELD



10. SIGNPOST TOP
SECURITY WALL



11. WOOD BRICK



12. WOOD BRICK

GUASTI DEMOLITION
FOR SALVAGED SITE ELEMENTS



VILLA - GUASTI DEMOLITION FOR SALVAGED SITE ELEMENTS

IV. Existing Buildings to be Retained

A. Conditions Assessment

1. Worker Cottages - #13, 15, 16, 21, 23

The existing Worker Cottages have deteriorated significantly since the Specific Plan was approved in 1997, primarily due to rainwater infiltration through the roofs. The intent of the Specific Plan was to save a sampling of a minimum of five (5) of these structures. The proposed project will conform with this requirement, although the structures selected to be retained vary from those designated in the Specific Plan based on current conditions. The following exhibit shows the cottages that have been retained. Some of these structures will remain in place while others will be relocated to Parcel No. 8.



2. Mansion - #38

The existing Guasti Mansion is currently not occupied, is in good condition and is being well maintained. It was renovated about five years ago by the current tenant, who operates a catering kitchen, cafe and banquet facility on-site. A new electrical service and HVAC mini-duct HVAC system was installed as part of this renovation. The renovation deferred fire sprinklering,

seismic retrofit and roofing underlayment replacement. An underground drainage system and drywell have also been added near the northeast corner of the residence to remove water that collected at a low point in grade that had caused some differential settlement of the foundation and cracking of exterior stucco. The building also has a partial basement that was used for family wine storage.

The Guasti Mansion is arguably the most significant architectural resource on-site and retains most of its original historic fabric including purple hewed stucco that was actually stained with grape skins during construction. It is important that any future rehabilitation of this structure respect and conserve areas of historic fabric, as well as address seismic retrofit, fire sprinklering, roofing replacement and attic and crawlspace ventilation issues.

3. Foreman's (#48) and Cooper's (#47) Residence

The existing Cooper's Residence is currently in fair condition. The Foreman's Residence has deteriorated very significantly since the Specific Plan was approved in 1997, primarily due to rainwater infiltration through the roofs. This structure likely has significant dryrot and mold issues. Both of these structures were relocated to their current location. Both will again be relocated to Parcel No. 8 to facilitate the development of the site.

4. Firehouse #19 and Market #11

The existing Guasti Market and Firehouse are currently in good condition and appear to be unaltered. Both of these structures are unoccupied and constructed with hollow clay tile bearing walls and wood frame roofs. Existing roofing appears to be in fair condition and there are no visible areas of rainwater infiltration. There are no visible signs of foundation settlement or wall cracking due to seismic activity. Built up roof beams in the market appear to be over-spanned for their size.

Hollow clay tile structures are difficult and very costly to relocate. Any new use will also require seismic retrofit to provide adequate tensile strength to resist earthquakes. New building systems will also be required.

Both of these structures appear to be unaltered and without external additions.

5. Stone Structures #49, 50, 52, 54, 55

The five stone structures on-site include the Wine Tasting Room (#49), the Powerhouse (#55), the South Warehouse (#54), the North Warehouse (#50), the Burned Out Warehouse (#52) and significantly vary in their conditions.

The Wine Tasting Room is in good condition and was in continuous use until the summer of 2008. Although it has been altered and expanded over time, most of these changes are not significant and reversible. It is particularly significant because of its use as a wine tasting room and wine sales store. This building was the last remaining remnant of the winery operation on-site.

The Powerhouse is a very small stone structure located near the west end of the south warehouse. It is in fair condition and is the smallest structure to be retained. The stone bearing walls have been repointed with modern Portland Cement mortars.

The southerly Warehouse is the largest building on-site at over 650 feet in length. It was incrementally enlarged over time from the east to the west. It is in fair to good condition except for the westerly bay where the roofing has completely deteriorated. Here rainwater has damaged the wood trusses and first floor framing. There are visible mold blooms in the basement. It is likely that the most recent addition at the west end of this structure will be removed during rehabilitation, exposing to view the stone gable west end.

This Warehouse is very solidly built, but does show some signs of seismic cracking at the southeast corner. The easterly bay has a steel truss roof, but the balance of the structure has large wood trusses. All of the floors are very well built and can support huge live loads that will accommodate any new proposed use.

The northerly Warehouse has been altered over time with a block addition at the east end that will likely be removed. At some point in time, the warehouse walls were extended in height, transom windows were added and new roof framing was installed. Transom windows were later infilled with CMU to apparently improve lateral strength in the raised portion of the walls. This structure is in fair to poor condition and has not been well maintained. As a result, the wood trusses and purlin roof system is very deteriorated and in poor condition, particularly at the east end of the original structure. The northeasterly end of this structure has two very large concrete wine tanks. It is very likely that the easterly addition and fermenting tanks will be removed and that much of the existing roof framing will need to be replaced.

The Burned Out Warehouse is actually composed of a smaller stone warehouse with an easterly stone gable end and a very large concrete tank attached to the west. The wood frame roof of this structure was completely destroyed in a fire during the 1980's. The stone and concrete shell relic remains. The reinforcing steel inside of the concrete tanks got very hot during the fire and expanded, spalling off chunks of concrete. It cannot be effectively retrofitted and will have to be removed. The stone portion of this building is in stable condition and will be retained.

B. Interim Repairs or Protection – approve through Conservation Plan

Preservation treatment to be completed immediately (prior to issuance of any building permits).

1. Worker Cottages #13, 15, 16, 21, 23

The roofs of any cottages to be retained on-site should be protected from winter rains with roof tarps secured with battens.

2. Mansion #38

Any roof leaks should be repaired prior to the next rainy season to prevent any rainwater infiltration and staining of historic finishes.

3. Foreman's #48 and Cooper's #47 Residence

The roofs of both residences should be protected from winter rains with roof tarps secured with battens. Unprotected openings in walls (missing windows, etc.) shall be secured and tarped at the Foreman's Residence. Any mold and mildew should also be treated. All existing utilities shall be disconnected and capped.

4. Firehouse #19 and Market #11

The roofs of both of these structures should be inspected and patched, if necessary, to prevent rainwater infiltration. Windows and doors should be secured shut and protected.

5. Stone Structures #49, 50, 52, 54, 55

The roofs of all the stone structures should be inspected and repaired if necessary. Repairs can be temporary in nature to achieve weather tight conditions. A new roof may be required at the west end of the south warehouse. The doors of all vacant structures should be secured and protected. Mold should be removed and treated at the westerly bay of the south warehouse.

C. Existing and Proposed Uses

1. Worker Cottages #13, 15, 16, 21, 23

The existing Worker Cottages were single-family residences for married workers and their families. Reuse of cottages to be determined in the future based on economic viability.

2. Mansion #38

The existing Guasti Mansion will be used as part of a new boutique hotel and may include a boutique, hotel or guest rooms, restaurants, cocktail lounges, meeting spaces, retail spaces, or day spa.

The very large trees just north of the Mansion will be retained as part of this development.

3. Foreman's #48 and Cooper's #47 Residence

The existing Foreman's Residence and Cooper's Residence were the two premier single-family residences (not counting the Mansion) for the two most important employees to the wine-making operation. Proposed new uses may include residences, hotel guest rooms or professional offices, retail or service retail.

4. Firehouse #19 and Market #11

The existing Firehouse and Market served the Guasti community for many years. New uses could include hotel guest suites, retail, day care center, Post Office, office, service retail, museum uses or convenience store.

5. Stone Structures #49, 50, 52, 54, 55

The large stone warehouses housed wine-making operations at Guasti. These structures were expanded as the business grew. By 1913, Guasti was the largest winery by acres under cultivation in the world. When the wine-making operations were shut down in the 1960's, these structures were used for a variety of uses including storage, light manufacturing operations, wholesale and retail sales.

Due to their size and height, the warehouse structures can accommodate a wide variety of new uses not limited to retail sales, restaurants, entertainment and recreational uses.

The small Powerhouse (#55) could be used as an information kiosk or small retail sales area.

D. Guidelines for Adaptive Reuse of Existing Buildings – Certificate of Appropriateness required.

All work should conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties. Please see the Appendix, Section B for more information.

- a. The four stone buildings (Bldg. No.'s 49, 50, 52, 54) and the Mansion (#38) are to remain at their current location. The Powerhouse #55 building may be relocated as stipulated in the approved Planning Area Plan File No. PAP06-001. All other structures to be retained may be relocated if necessary.
- b. Areas of historic fabric should be retained. Areas of deterioration or elements that have lost their structural integrity that are beyond repair should be replaced "in-kind".
- c. Existing finishes, doors and windows should be retained and repaired verses replaced.
- d. Alterations to existing buildings should respect and preserve the visual integrity and identify of the existing historic structures to be modified.
- e. Additions should not be added to the front facade or gable ends of historic buildings.
- f. New window and door openings should be designed to be compatible with existing openings.
- g. The accumulative effect of new and existing window fenestration on any given facade on stone building should maintain the massive, heavy image of that building.
- h. Additions should be setback from the corners of existing historic buildings a minimum of 25' to help distinguish the new from the old.
- i. Additions to historic buildings should be designed to be "reversible".
- j. The accumulative affect of additions and alterations should not alter the form and mass of the original historic building beyond recognition.
- k. Additions to existing historic buildings should be complimentary and compatible to existing architecture, but not identical to help visually distinguish between the old and new.

- l. New additions should have roof forms, slopes and materials that are complimentary to existing roofs.
- m. New roof mechanical equipment added to existing roofs, or at grade, should be screened from view.
- n. The maximum height of any proposed addition to an existing historic building shall not exceed 50 ft.

E. Proposed Treatment of Structures to be Retained

1. Worker Cottages #13, 15, 16, 21, 23 (review by Staff and a Waiver or Certificate of Appropriateness is required)
 - A. Relocation (as approved in the Planning Area Plan (File No. PAP06-001 with Resolution 07-047).

The proposed development calls for the relocation of the Worker Cottages to Parcel No. 8. These cottages will be relocated in a pattern that is reminiscent of the existing Pepper Tree Lane setting and that existing site features, such as the light poles should be recycled at the new location. The relationship of the height of the wood floor above adjacent grade shall be maintained.

After relocation, the cottages will be secured to a new foundation and the buildings shall be weatherproof including the following work:

- i. Conservation of Historic Fabric

The existing horizontal redwood siding shall be carefully conserved. We recommend removal of existing paint with a heat gun. NO SANDBLASTING! Replace deteriorated areas from siding harvested from structures that are to be demolished. Caulk, prime and repaint.

Same treatment is recommended for all exposed fascias, roof sheathing, window and door trim. Windows and doors shall be repaired or replaced with others salvaged on-site.

- ii. Waterproofing of Building Envelope

In addition to the treatment of the exterior wood elements, all existing roofing shall be removed. Deteriorated roof sheathing shall be replaced and a new thin layer of plywood installed (see Seismic). New mineral cap sheet roofing shall be installed over an appropriate

underlayment. All flashings shall be replaced with galvanized metal and painted to match. Edge metal at fascias shall be minimal.

iii. Hazardous Materials

Hazardous materials such as asbestos shall be removed and properly disposed per the recommendations of the Hazardous Materials Study. Existing lead paint may be encapsulated with new paint.

iv. Treatment for Termites, Mold or Dryrot

All structures to be retained shall be tested for termite and vermin infestation and mold and mildew. Treatments shall be as recommended by the Testing agency. If termite treatment is required, the use of borate or other low impact methods should be considered. Repairs to structural elements shall be made using repair methods as opposed to replacement where possible. For example, damaged rafter tails can be repaired using epoxy wood fillers such as Abitron.

v. Treatment of Existing Additions

Existing additions to these structures may either be retained or removed to facilitate new uses. Restroom shed additions may need to be enlarged to accommodate new uses.

B. Future Rehabilitation – (review by Staff and a Waiver or Certificate of Appropriateness is required).

The cottages may be adaptively reused in the future if economically viable. This work may include:

i. Exiting and Life Safety

The existing two exits from these structures meet all necessary exit requirements. Windows may need to be enlarged to meet code exit requirements from any sleeping rooms (see Accessibility).

ii. Accessibility

Concrete stoops shall be replaced with wood frame stoops. A minimum of one new wood ramp shall be constructed at one of the stoops, preferably the rear stoop. Exterior and interior doors shall be widened to meet the minimums specified in the California Historic Building Code (CHBC). Existing restrooms may need to be

enlarged or widened to meet American Disabilities Act (ADA) requirements.

iii. Insulation

We recommend at a minimum insulating the attic spaces with 6 in. batt insulation. If the interior wall finishes are removed, we also recommend insulating wall cavities with batt insulation.

iv. Attic and Crawlspace Ventilation

One of the most important aspects of rehab of these structures is providing adequate attic and crawlspace ventilation. The size, type and location of the roof vents shall be determined to minimize visibility.

v. Fire Protection

We recommend the fire sprinklering of these structures with a Junior Fire Sprinkler System (13-D) that operates off of the domestic water system. Sprinklers shall be located in the attic spaces and crawlspace where required.

vi. Live Loads

Although the existing floor framing of the cottages has stood the “test of time”, it is understructure. It appears to be adequate to meet residential loads, but if office uses are anticipated, additional strengthening may be required (add additional support piers and floor beams.).

vii. Seismic

It appears that very minimal improvements may be required for seismic retrofit. This work would likely include augmenting anchorage to the foundation, the installation of a plywood roof diaphragm and shear transfer blocking between the roof framing and wall framing.

viii. M, P & E

The installation of new Mechanical, Plumbing & Electrical (M, P& E) systems is a must for any reuse of these structures. We recommend that a new electrical service be installed and all wiring be replaced. This may require the removal and replacement of some

or all-interior wallboard. All plumbing shall be replaced and restrooms shall be made accessible (see Accessibility). We recommend the installation of a new HVAC system in the attic with exterior pad mount condenser (to be screened from view). This unit may be a horizontal FAU or mini-duct unit. Bathroom exhaust fans shall be installed in every restroom. See Fire Protection for more information.

ix. Proposed Additions

It is recommended that any new additions to the Worker Cottages not be attached to the front facades and be respectful of the size, scale and roof form of the existing structures.

x. Proposed Alterations

The adaptive reuse of these structures may require exterior and/or interior alterations to facilitate new uses. Alterations should be respectful of the existing structures by being consistent with existing detailing, materials and finishes.

2. Mansion #38

a. Relocation

The Guasti Mansion shall remain at its current location.

b. Site Features

The existing site context should be respected. The mature landscaping should be maintained. Site features can be relocated, but should be reused.

c. Conservation of Historic Fabric

The existing Mansion should be preserved and alterations should be minimized to accommodate any adaptive reuse alternative. Any areas of deterioration should be repaired and new finishes installed that match the existing in terms of composition, color, texture and finish.

d. Waterproofing of Building Envelope

The existing roofing will need to be carefully removed and stored and a new waterproof membrane installed. Existing biological growth should be removed from roof tiles using non-abrasive methods. We also

recommend replacing all existing flashings in copper. The original roofing can then be re-installed. New roof tiles replacing breakage should be sprinklered into the existing roof pattern or located at a roof area that cannot be viewed.

Joints at existing doors and windows should be carefully caulked with caulking with fines to match adjacent stucco colors. Stucco cracks should be repaired and repainted to match adjacent finishes. Note: exterior paint at the Mansion had grape skins mixed in to create color variations and the overall purple hue of the exterior plaster.

e. Exiting and Life Safety

Additional exits are required from the rear courtyard and from the basement (if occupied for public use).

f. Accessibility

The main floor of the Mansion is generally accessible although some of the existing doorways may be substandard in terms of width. These can be evaluated using the CHBC.

Any commercial use of the basement would require either an elevator or lift to provide access for the disabled. Existing restrooms may need to be enlarged or widened to meet ADA requirements.

g. Hazardous Materials

Hazardous materials such as asbestos shall be removed and properly disposed per the recommendations of the Hazardous Materials Study. Existing lead paint may be encapsulated with new paint.

h. Treatment for Termites, Mold or Dryrot

All structures to be retained shall be tested for termite and vermin infestation and mold and mildew. Treatments shall be as recommended by the Testing agency. If termite treatment is required, the use of borate or other low impact methods should be considered. Repairs to structural elements shall be made using repair methods as opposed to replacement where possible. For example, damaged rafter tails can be repaired using epoxy wood fillers such as Abitron.

i. Treatment of Existing Additions

There are no existing additions at the Mansion.

j. Insulation

We recommend at a minimum insulating the attic spaces with two layers of 6 in. batt insulation. We also recommend insulating wall cavities with blow-in insulation where possible.

k. Attic and Crawlspace Ventilation

One of the most important aspects of rehab of this structure is providing adequate attic and crawlspace ventilation. The size, type and location of the roof and crawlspace vents shall be determined to minimize visibility.

l. Fire Protection

We recommend the fire sprinklering of this structure and integrating the sprinkler system with an alarm system.

m. Live Loads

The existing floor framing of both structures have stood the “test of time” and appear to be adequate for residential and light commercial uses. If proposed new uses require a higher live load capacity, additional strengthening of floor framing may be required.

n. Seismic

The Guasti Mansion is constructed with brick cavity walls with single wythes of brick masonry on either side of a 5" wide cavity. At the north wall of the front Great room, the masonry wall stops just above the ceiling line, providing no lateral connection to the roof sheathing.

Due to the likely use of this building as an assembly space with a high occupant load, it will be very important to adequately seismically retrofit this structure. This work will likely involve installing a new horizontal diaphragm at the roof or above the ceiling anchored to masonry walls. The masonry walls may need to be reinforced and strengthened to act as one homogenous wall to meet acceptable height standards. This could include grouting of the cavity or some kind of reinforcing/grouting system such as manufactured by Cyntec.

It is also likely that the very tall fireplace chimneys will also need to be reinforced and braced back to the roof structure. It will be essential to make all of these improvements without visibly changing the interior or exterior appearance of this structure.

Also note that the installation of fire sprinklers will also be required and it may be necessary to augment roof and ceiling framing to support sprinkler pipes.

o. M, P & E

Recently, the electrical service for the Mansion was upgraded and partial new M, P & E systems were installed. The HVAC system (mini-duct system) is undersized and does not have the capacity to effectively cool the great rooms of the Mansion during peak temperatures. We recommend the installation of a new FAU systems including air conditioning with exterior pad mount condenser (to be screened from view). These units may be a standard FAU or mini-duct unit where no attic access is available. Bathroom exhaust fans shall be installed in every restroom. Much of the plumbing was replaced and restrooms were made accessible (see Accessibility). See Fire Protection for more information. Any existing non-conforming electrical wiring should also be upgraded.

p. Proposed Additions

It is recommended that no new additions be attached to the front facade of the Mansion. Additions elsewhere shall be respectful of the size, scale and roof form of the existing structure. We recommend that most of the additional space required for the proposed new use be detached from the Mansion and separated by gardens or plazas.

q. Proposed Alterations

The adaptive reuse of this structure may require exterior and/or interior alterations to facilitate new uses. Alterations should be respectful of the existing structures by being consistent with existing detailing, materials and finishes.

3. Foreman's #48 and Cooper's #47 Residence

a. Relocation

Both of these structures will need to be relocated to Parcel No. 8, as approved in the Planning Area Plan (File PAP06-001 with Resolution 07-047).

b. Conservation of Historic Fabric

The existing redwood siding shall be carefully conserved. We recommend removal of existing paint with a heat gun. NO SANDBLASTING! Replace deteriorated areas with new siding that matches existing in terms of species, profile, texture and finish. Caulk, prime and repaint.

Same treatment is recommended for all exposed fascias, exposed roof sheathing, porch ceilings, window and door trim. Windows and doors shall be repaired or replaced with others salvaged from on-site where possible.

c. Waterproofing of Building Envelope

In addition to the treatment of the exterior wood elements, all existing roofing shall be removed. Deteriorated roof sheathing shall be replaced and a new thin layer of plywood installed (See Seismic.). New mineral cap sheet roofing shall be installed over an appropriate underlayment. All flashings shall be replaced with galvanized metal. Edge metal at fascias shall be minimal dimension and painted to match fascia.

d. Exiting and Life Safety

The existing two exits from these structures meet all necessary exit requirements. Windows may need to be enlarged to meet code exit requirements from any sleeping rooms. The one exit stair that serves the upper level of the Foreman's Residence is adequate for exiting provided that the second floor is not used for retail sales. Also, see Accessibility.

e. Accessibility

Concrete stoops shall be replaced with wood frame stoops. A minimum of one new wood ramp shall be constructed at one of the stoops, preferably the rear stoop. Exterior and interior doors shall be widened to meet the minimums specified in the CHBC. Existing restrooms may need to be enlarged or widened to meet ADA requirements. Access for the disabled to the second floor of the Foreman's Residence shall not be required unless used for Medical Offices.

f. Hazardous Materials

Hazardous materials such as asbestos shall be removed and properly disposed per the recommendations of the Hazardous Materials Study. Existing lead paint may be encapsulated with new paint.

g. Treatment for Termites, Mold or Dryrot

All structures to be retained shall be tested for termite and vermin infestation and mold and mildew. Treatments shall be as recommended by the Testing agency. If termite treatment is required, the use of borate or other low impact methods should be considered. Repairs to structural elements shall be made using repair methods as opposed to replacement where possible. For example, damaged rafter tails can be repaired using epoxy wood fillers such as Abitron.

h. Treatment of Existing Additions

Existing additions to these structures may be removed to facilitate new uses.

i. Insulation

We recommend at a minimum insulating the attic spaces with 6 in. batt insulation. If the interior wall finishes are removed, we also recommend insulating wall cavities with batt insulation.

j. Attic and Crawlspace Ventilation

One of the most important aspects of rehab of these structures is providing adequate attic and crawlspace ventilation. The size, type and location of the roof vents shall be determined to minimize visibility.

k. Fire Protection

We recommend the fire sprinklering of these structures with a Junior Fire Sprinkler System (13-D) that operates off of the domestic water system. Sprinklers shall be located in the attic spaces and crawlspace where required.

l. Live Loads

The existing floor framing of both structures have stood the “test of time” and appear to be adequate for residential uses. If proposed new uses

require a higher live load capacity, additional strengthening of floor framing may be required.

m. Seismic

It appears that some improvements may be required for seismic retrofit. This work would likely include augmenting anchorage to the foundation, the installation of a plywood roof diaphragm and shear transfer blocking between the roof framing and wall framing and the possible installation of some new plywood shear walls.

n. M, P & E

The installation of new M,P&E systems is a must for any reuse of these structures. We recommend that a new electrical service be installed and all wiring be replaced. This may require the removal and replacement of some or all-interior wallboard. All plumbing shall be replaced and restrooms shall be made accessible (see Accessibility). We recommend the installation of a new FAU systems including air conditioning with exterior pad mount condenser (to be screened from view). These units may be a standard FAU or mini-duct unit. Bathroom exhaust fans shall be installed in every restroom. See Fire Protection for more information.

o. Proposed Additions

It is recommended that any new additions to the Foreman's Residence and the Cooper's Residence not be attached to the front facades and be respectful of the size, scale and roof form of the existing structures.

p. Proposed Alterations

The adaptive reuse of these structures may require exterior and/or interior alterations to facilitate new uses. Alterations should be respectful of the existing structures by being consistent with existing detailing, materials and finishes where possible.

4. Firehouse #19 and Market #11

a. Relocation

Due to the existing hollow clay tile bearing wall construction, it would be very difficult and expensive to relocate these structures. As a result, it is hoped that new uses can be found for these structures at their current location.

b. Conservation of Historic Fabric

The exterior walls of the Firehouse and Market are exposed hollow clay tile block. This appearance should be maintained since seismic strengthening can be retrofitted internally from the tops of the walls. Roofing should be either wood shingle or 40 year, three dimensional composition roofing. Exterior doors and windows should be repaired and made operable.

Interior finishes such as bead board walls and ceilings should be preserved where possible. Any areas of deterioration should be repaired and new finishes installed that match the existing in terms of composition, color, texture and finish. Interior alternations to accommodate new uses should be consistent with existing finishes, detailing and textures.

Interior fixtures such as built in shelving, etc. should be retained if possible.

c. Waterproofing of Building Envelope

The existing roofing will need to be completely removed and replaced. Roof sheathing should be inspected and repaired/replaced where necessary. A new thin layer of plywood can then be installed and new underlayment and roofing re-installed. We also recommend replacing all existing flashings and painting them to match adjacent finishes.

Joints at existing doors and windows should be carefully caulked with caulking with fines to match adjacent colors. Structural cracks should be repaired and repainted to match adjacent finishes.

d. Exiting and Life Safety

A man door minimum 3 ft. in width shall be installed in the Firehouse for exiting purposes. The existing two exits are adequate at the Market.

e. Accessibility

The main floor of the Firehouse is at grade and accessible. A new ramp to the front door of the Market should be constructed to provide access for the disabled. Existing restrooms may need to be enlarged or widened to meet ADA requirements.

f. Hazardous Materials

Hazardous materials such as asbestos shall be removed and properly disposed per the recommendations of the Hazardous Materials Study. Existing lead paint may be encapsulated with new paint.

g. Treatment for Termites, Mold or Dryrot

All structures to be retained shall be tested for termite and vermin infestation and mold and mildew. Treatments shall be as recommended by the Testing agency. If termite treatment is required, the use of borate or other low impact methods should be considered. Repairs to structural elements shall be made using repair methods as opposed to replacement where possible. For example, damaged rafter tails can be repaired using epoxy wood fillers such as Abitron.

h. Treatment of Existing Additions

There are no existing additions at the Firehouse or Market.

i. Insulation

We recommend at a minimum insulating the attic spaces with one layer of 6 in. batt insulation.

j. Attic and Crawlspace Ventilation

One of the most important aspects of rehab of this structure is providing adequate attic and crawlspace ventilation. The size, type and location of the roof and crawlspace vents shall be determined to minimize visibility.

k. Fire Protection

We recommend the fire sprinklering with a 13-D system supplied by the domestic water service.

l. Live Loads

The existing floor framing of both structures have stood the “test of time” and appear to be adequate for residential and light commercial uses. If proposed new uses require a higher live load capacity, additional strengthening of floor framing may be required.

m. Seismic

As previously mentioned, it is likely that the hollow clay tile walls of both of these structures will need to be strengthened to have tensile capacity. This can be accomplished from the tops of the walls using special reinforcement and grouting systems such as those made by Cyntec. A lightweight plywood roof diaphragm will then be installed and properly anchored to the tops of perimeter walls with a new top plate and shear blocking. Wood beams at the Market may need to be stiffened due to their span.

n. M, P & E

We recommend the installation of a new FAU systems including air conditioning with exterior pad mount condenser (to be screened from view). These units may be a standard FAU or mini-duct unit where no attic access is available. Bathroom exhaust fans shall be installed in every restroom. Much of the plumbing will need to be replaced and restrooms will be made accessible (see Accessibility). See Fire Protection for more information. A new electrical service will be required for both structures and all existing wiring and lighting fixtures should be retrofitted or replaced to meet current code requirements.

o. Proposed Additions

It is recommended that no new additions be attached to the front facade of the Market and Firehouse. Additions elsewhere shall be respectful of the size, scale and roof form of the existing structure.

p. Proposed Alterations

The adaptive reuse of these structures may require exterior and/or interior alterations to facilitate new uses. Alterations should be respectful of the existing structures by being consistent with existing detailing, materials and finishes.

5. Stone Structures #49, 50, 52, 54, 55

a. Relocation

Due to their massive size the existing stone warehouses (Bldg. No.'s 49, 50, 52, 54) are too large to relocate. The Powerhouse (Bldg #55) will be relocated.

b. Conservation of Historic Fabric

The exterior walls of the stone buildings are field stonewalls approximately 3 ft. thick. While the original mortar used to construct these walls was lime based, many of the joints have been sloppily re-pointed with modern Portland Cement mortars. This work needs to be reversed and the joints need to be carefully repointed using lime mortar matching in composition, color and texture of the original mortar joints. (Note: this is important to the structural integrity of the walls.)

Since these structures are considered to be Unreinforced Masonry (URM's), they will need to be seismically retrofitted for adaptive reuse. It is hoped that most of this work can be accomplished invisibly or on limited areas of the interior face of the walls to preserve the exterior appearance.

The roof framing of the warehouses will likely need to be augmented due to over spanning of current trusses and new dead loads such as fire sprinklers and HVAC equipment. At the North Warehouse, it appears as though all of the existing roof framing will need to be replaced because of the extensive deterioration from rainwater infiltration.

The original roofing was likely roof stock mineral cap. The corrugated metal roofs appear to be later alterations. Roofing shall be completely removed to facilitate truss strengthening and seismic retrofit. A new mineral cap sheet roof should then be installed to match the original.

Interior finishes include exposed stonewalls (some are plastered with a very rough cement plaster finish) and exposed roof sheathing. Limited areas of bead board and other wood finishes occur at office areas. Interior finishes should be retained and preserved where possible.

c. Waterproofing of Building Envelope

The existing roofing will need to be completely removed and replaced. Roof sheathing should be inspected and repaired/replaced where necessary. A new thin layer of plywood can then be installed and new underlayment and roofing re-installed. We also recommend replacing all existing flashings and painting them to match adjacent finishes.

Joints at existing doors and windows should be carefully caulked to match adjacent colors. Structural cracks in stonewalls should be pinned and repointed to match adjacent finishes.

d. Exiting and Life Safety

Due to the proposed intensification of use in these structures, all exiting will need to meet current code requirements.

e. Accessibility

The intensification of use at the warehouses and proposed rehabilitation will trigger full compliance to all ADA requirements including access for the disabled to basements, upper levels or mezzanines. Note that all required exits shall be accessible. Existing restrooms will likely need to be enlarged, widened or reconstructed to meet ADA requirements.

f. Hazardous Materials

Hazardous materials such as asbestos shall be removed and properly disposed per the recommendations of the Hazardous Materials Study. Existing lead paint may be encapsulated with new paint.

g. Treatment for Termites, Mold or Dryrot

All structures to be retained shall be tested for termite and vermin infestation and mold and mildew. Treatments shall be as recommended by the Testing agency. If termite treatment is required, the use of borate or other low impact methods should be considered. Repairs to structural elements shall be made using repair methods as opposed to replacement where possible. For example, damaged rafter tails can be repaired using epoxy wood fillers such as Abitron.

h. Treatment of Existing Additions

It is likely that many of the most recent and visually distinct additions may be removed as part of this project to facilitate reuse and to expose areas of original historic fabric. This shall be allowed, but is not a requirement.

i. Insulation

We recommend, at a minimum, insulating the roof with a minimum of R-19 insulation. If rigid insulation is used, the eaves and rakes should be carefully detailed to minimize the appearance of increased thickness of the roof assembly. (Note that although all of the historical buildings are exempt from Title 24 insulation requirements, we strongly recommend that insulation be added, particularly at roofs, to improve the thermal performance of these structures.)

j. Attic, Crawlspace and Basement Ventilation

One of the most important aspects of rehab of this structure is providing adequate ventilation to attic spaces (existing or new), crawlspaces and basements. The size, type and location of the roof and crawlspace vents shall be determined to minimize visibility.

k. Fire Protection

We recommend the full fire sprinklering of all of the stone warehouses and tying this system into the alarm system. The Powerhouse can be sprinklered with a 13-D system supplied by the domestic water service.

l. Live Loads

The existing floor framing of the warehouse structures have stood the “test of time” and were designed to be very stout to support heavy wine casks. Existing floor appear to be adequate to support any new proposed use, but may be reconstructed as necessary to accommodate adjacent grades and accessibility for the disabled.

m. Seismic

As previously mentioned, all of the existing stone structures to be retained will require seismic retrofit and some roof framing augmentation. It is very likely that this will involve substantial areas of interior uniting with added steel reinforcing. This work will need to be coordinated with new openings in external walls necessary to facilitate new uses. These new openings should be detailed in a way similar to the large warehouse doors located on the east gable end of the south warehouse.

A new plywood roof diaphragm be installed and properly anchored to the tops of perimeter walls with new steel pins embedded into the walls and a new perimeter concrete bond beam. Wood and steel trusses will need to be stiffened due to their span and anchored into the bond beam with steel plates and bolts.

n. M, P & E

We recommend the installation of completely new HVAC, electrical and plumbing systems in the warehouse structures to meet all current code requirements. The size, type and location of these systems to be determined based on anticipated tenant needs. All external and roof top equipment should be screened from view or integrated into roof wells.

All restrooms will need to be accessible. See Fire Protection for more information.

o. Proposed Alterations

The adaptive reuse of these structures may require exterior and/or interior alterations to facilitate new uses. Alterations should be respectful of the existing structures by being consistent with existing detailing, materials and finishes.

Portions of the existing warehouses may be removed to provide pedestrian linkages to parking structures or for other purposes provided that the openings do not to exceed 25% of the total wall area.

Interior floors or mezzanines may be added within the existing warehouses, but public view opportunities to the full height of the existing structures should be periodically maintained at entries and lobbies where possible.

New openings may be added for fenestration and doorways in existing stonewalls provided that the majority of any one-wall plane and the predominant visual appearance shall remain solid and does not exceed 25% of the total wall area.

The use of window box displays at external walls is encouraged because of reversibility.

The stone gable ends of the warehouses are character-defining elements of primary importance and shall be preserved with minimum alteration and may only be removed upon approval of a Certificate of Appropriateness by the Historic Preservation Commission

p. Proposed Additions

New additions to gable ends of the stone warehouses are to be discouraged.

Additions should be setback from existing building corners a minimum of 25' to help provide visual separation between the "old and new".

Additions may be added to the stone warehouses on the sides or through the roof provided that the original warehouse is respected and that the addition relates to the warehouse via the use of similar roof forms or building materials.

The height of any addition to a stone warehouse shall not exceed 50 feet.

The accumulative affect or additions or exterior alterations to warehouse structures shall not detract from the original warehouse shed form to the point where the addition or alterations are visually dominant.

F. Individual Building Treatment Recommendation Summary

1. Worker Cottages #13, 15, 16, 21, 23
2. Mansion #38
3. Foreman's #48 and Cooper's #47 Residence
4. Firehouse #19 and Market #11
5. Stone Structures #49, 50, 52, 54, 55

Building Name: Mansion

Building Number: 38

Most Current Use: Catering facility and restaurant.

Assumptions - Catering facility and restaurant, finished shell.

SCOPE OF WORK	
Removal of Modern Additions	
Not applicable	
Expansion of Fenestration	
Not applicable	
Weatherproofing of building envelope	
Remove roof, install new underlayment and reinstall roofing and flashings.	
Repair finishes damaged by other work.	
Repair doors and windows.	
Install drains at low spots of site, pipe to dry well.	
Prep, prime and repaint.	
Exiting and Life Safety	
Install new rear exit from courtyard.	
Future additional stairs to basement.	NIC
Accessibility	
Future elevator to basement.	NIC
Cleaning and Protection of Historic Fabric	
Clean roof tiles.	
Hazardous Materials Abatement	
Minimal.	
Mold, Mildew, Infestation	
Termite treatment.	
Structural Stabilization and Seismic Retrofit	
Install new roof diaphragm.	
Anchor roof to walls.	
Anchor floor to walls.	
Strengthen brick cavity to walls, fill with foam and pin.	
Anchor fireplace chimneys.	
Insulation	
Install batt insulation above ceiling.	
Mechanical, Plumbing & Electrical	
Make minor repairs, if required.	
Fire Sprinklers	
Install fire sprinklers, basement, crawlspaces, habitable spaces and attics.	
Relocation	
Not applicable.	

Building Number: South Warehouse #54
Most Current Use: Retail sales, light industrial
Assumptions - Retail, restaurant or office. Demo west addition,
add storefronts at north elevation.

SCOPE OF WORK
Removal of Modern Additions
Remove west addition, fill
Expansion of Fenestration
Expand storefronts at north facade.
Weatherproofing of Building Envelope
Remove roof, install new underlayment and install new roofing and flashings.
Repair doors and windows.
Prep, prime and repaint doors and windows.
Exiting and Life Safety
Future additional stairs to basement. (NIC)
Accessibility
Future elevator to basement. (NIC)
Cleaning and Protection of Historic Fabric
Clean interior and exterior stone work and interior of roof framing.
Hazardous Materials Abatement
Minimal removal.
Mold, Mildew, Infestation
Treat roof and floor framing for termites.
Treat west end of building for mold.
Structural Stabilization and Seismic Retrofit
Wall crack repair and repointing.
New concrete bond beams at the top of walls.
New vertical structural supports at major truss points. (North wall)
Support of parapets.
Wall strengthening around new openings.
Creation of a new lateral diaphragm.
New anchorage between roof or diaphragm and perimeter walls.
Augmentation of existing transverse shear walls.
Augmentation of existing purlins and trusses at some locations.
Insulation
Install batt insulation between roof purlins.
Mechanical, Plumbing & Electrical
New HVAC split system with fan coil units. Set units and rough in ducts into space.
Periodically stub out new sewer, gas and water.
Install new electrical (2 - 2,000 amp) service, distribute to sub panels.
Fire Sprinklers
Install fire sprinklers, basement, crawlspaces, habitable spaces and attics.
Relocation
New concrete shear walls.
New bond beams at gable ends.

Building Name: North Warehouse
Building Number: #50
Most Current Use: Retail sales, light industrial
Assumptions - Retail, restaurant or office. Demo east addition, add storefronts at south elevation.

SCOPE OF WORK
Removal of Modern Additions
Remove east addition, fill
Expansion of Fenestration
Expand storefronts at south facade.
Weatherproofing of Building Envelope
Remove roof, install new underlayment and install new roofing and flashings.
Repair doors and windows.
Prep, prime and repaint doors and windows.
Exiting and Life Safety
No new requirements.
Accessibility
Future elevator to basement, if retained. (NIC)
Cleaning and Protection of Historic Fabric
Clean interior and exterior stone work and interior of roof framing.
Hazardous Materials Abatement
Minimal removal.
Mold, Mildew, Infestation
Treat roof and floor framing for termites.
Structural Stabilization and Seismic Retrofit
Wall crack repair and repointing.
New bond beams at the top of walls.
New vertical structural supports at major truss points.
Support of parapets.
Wall strengthening around new openings.
Creation of a new lateral diaphragm.
New anchorage between roof or diaphragm and perimeter walls.
Augmentation of existing purlins and trusses at some locations.
Insulation
New HVAC split system with fan coil units, set units and rough in ducts into space.
Install batt insulation between roof purlins.
Mechanical, Plumbing & Electrical
New HVAC split system, set units and rough in ducts into space.
Periodically stub out new sewer, gas and water.
Install new electrical service, (2 - 2,000 amp) distribute to sub panels.
Fire Sprinklers
Install fire sprinklers, basement, crawlspaces, habitable spaces and attics.
Relocation
New concrete shear walls.
New bond beams at gable ends.
Demo tanks.

Building Name: Wine Tasting Room

Building Number: #49

Most Current Use: Retail sales, light industrial

Assumptions - Retail, restaurant or office. Demo east addition, add new storefronts at south elevation.

SCOPE OF WORK	
Removal of Modern Additions	
Remove east addition, fill	
Expansion of Fenestration	
Expand storefronts at south facade.	
Weatherproofing of Building Envelope	
Remove roof, install new underlayment and install new roofing and flashings.	
Repair doors and windows.	
Prep, prime and repaint doors and windows.	
Exiting and Life Safety	
No work.	
Accessibility	
No work.	
Cleaning and Protection of Historic Fabric	
Clean interior and exterior stone work and interior of roof framing.	
Hazardous Materials Abatement	
Minimal removal.	
Mold, Mildew, Infestation	
Treat roof and floor framing for termites.	
Structural Stabilization and Seismic Retrofit	
Wall crack repair and repointing.	
New bond beams at the top of walls.	
New vertical structural supports at major truss points.	
Support of parapets.	
Wall strengthening around existing openings.	
Creation of a new lateral diaphragm.	
New anchorage between roof or diaphragm and perimeter walls.	
Augmentation of existing purlins and trusses at some locations.	
Insulation	
Install batt insulation between roof purlins.	
New bond beams at gable ends.	
Mechanical, Plumbing & Electrical	
New HVAC system with fan coil units, set units and rough in ducts into space.	
Periodically stub out new sewer, gas and water.	
Install new electrical (1-800) service, distribute to sub panels.	
Fire Sprinklers	
Install fire sprinklers, basement, crawlspaces, habitable spaces and attics.	
Relocation	
No work	

Building Name: Fire House

Building Number: #19

Current Use: Vacant

Assumptions - Retail, restaurant, museum or office, shell only.

SCOPE OF WORK	
Removal of Modern Additions	No work.
Expansion of Fenestration	No work.
Weatherproofing of Building Envelope	Remove roof, install new underlayment and install new roofing and flashings. Repair doors and windows. Prep, prime and repaint doors.
Exiting and Life Safety	No work.
Accessibility	No work.
Cleaning and Protection of Historic Fabric	Clean interior of roof framing.
Hazardous Materials Abatement	Minimal removal.
Mold, Mildew, Infestation	Treat roof and floor framing for termites.
Structural Stabilization and Seismic Retrofit	Wall crack repair and repointing. Strengthening of hollow clay tile walls - grouting. Wall strengthening - tubes Creation of a new lateral diaphragm at roof. New anchorage between roof or diaphragm and perimeter walls.
Insulation	Install batt insulation between roof purlins.
Mechanical, Plumbing & Electrical	New through wall split system with remote condenser. Stub out new sewer, gas and water. Install new electrical service - 200 amps, distribute to sub panels.
Fire Sprinklers	Install fire sprinklers at habitable spaces.
Relocation	Not applicable.

Building Name: Cooper's Residence
Building Number: #47
Most Current Use: Residences
Assumptions - Residence, retail or offices.

SCOPE OF WORK	
Removal of Modern Additions	Demolition of additions and foundations.
Expansion of Fenestration	Not applicable.
Weatherproofing of Building Envelope	Remove roof, install new underlayment and new asphalt shingle roofing and flashings. Repair siding and porches. Repair doors and windows. Repair of interior finishes. Prep, prime and repaint.
Exiting and Life Safety	None.
Accessibility	Construct rear wood frame ramp to door or porch.
Cleaning and Protection of Historic Fabric	None.
Hazardous Materials Abatement	Minimal.
Mold, Mildew, Infestation	Treat entire structure for termites.
Structural Stabilization and Seismic Retrofit	Demolish fireplace chimney, reconstruct. Replacement of deteriorated framing and sheathing. Install new roof diaphragm. Anchor roof to walls - shear blocking
Insulation	Install batt insulation above ceilings.
Mechanical, Plumbing & Electrical	Install conventional FAU with exterior condensers. Install new plumbing and plumbing fixtures. Install new electrical and 200 amp service.
Fire Sprinklers	Install junior fire sprinklers system crawlspaces, habitable spaces and attics.
Relocation	Grade and compact building pad. Moving costs Construct new concrete foundation, anchor floor to foundation. Construct new site utility connections.

Building Name: Worker's Cottages

Building Number: 13, 15, 16, 21, 23

Current Use: Residences/vacant

Assumptions – Buildings shall be relocated, secured to new foundations and the exterior walls and roofs to be waterproofed. Future rehabilitation and adaptive reuse, if economically viable, may include the following work items.

SCOPE OF WORK
Removal of Modern Additions
Demolition of additions and foundations.
Expansion of Fenestration
Not applicable.
Weatherproofing of Building Envelope
Remove roof, install new underlayment and new asphalt shingle roofing and flashings.
Repair siding.
Repair doors and windows.
Repair interior finishes.
Prep, prime and repaint.
Exiting and Life Safety
None.
Accessibility
Construct rear wood frame ramp to rear door.
Cleaning and Protection of Historic Fabric
None.
Hazardous Materials Abatement
Minimal
Mold, Mildew, Infestation
Treat entire structure for termites.
Structural Stabilization and Seismic Retrofit
Replacement of deteriorated framing and sheathing.
Install new roof diaphragm.
Anchor roof to walls - shear blocking
Insulation
Install batt insulation above ceilings.
Mechanical, Plumbing & Electrical
Install new electrical ductless split system with exterior condenser.
Install new plumbing and plumbing fixtures.
Electrical and new 200 amp electrical service.
Fire Sprinklers
Install junior fire sprinklers system crawlspaces, habitable spaces and attics.
Relocation
Grade and compact building pad.
Moving costs.
Construct new concrete foundation, anchor floor to foundation.
Construct new site utility connections.

Building Name: Market
Building Number: #11
Current Use: Vacant
Assumptions - Retail, restaurant, or office, shell only.

SCOPE OF WORK	
Removal of Modern Additions	No work.
Expansion of Fenestration	No work.
Weatherproofing of Building Envelope	Remove roof, install new underlayment and install new roofing and flashings. Repair doors and windows. Prep, prime and repaint.
Exiting and Life Safety	No work.
Accessibility	No work.
Cleaning and Protection of Historic Fabric	No work.
Hazardous Materials Abatement	Minimal removal.
Mold, Mildew, Infestation	Treat roof and floor framing for termites.
Structural Stabilization and Seismic Retrofit	Wall crack repair and repointing. Strengthening of hollow clay tile walls - grouting. Wall strengthening - tubes Creation of a new lateral diaphragm at roof. New anchorage between roof or diaphragm and perimeter walls.
Insulation	Install batt insulation between roof purlins.
Mechanical, Plumbing & Electrical	New split system, wall hung fan coil with exterior condenser. Stub out new sewer, gas and water. Install new 400 amp electrical service, distribute to subpanels.
Fire Sprinklers	Install fire sprinklers at habitable spaces.
Relocation	Not applicable.

Building Name: Foreman's Residence
Building Number: #48
Current Use: Residences
Assumptions - Residence, retail or offices.

SCOPE OF WORK	
Removal of Modern Additions	Demolition of additions and foundations.
Expansion of Fenestration	Not applicable.
Weatherproofing of Building Envelope	Remove roof, install new underlayment and new asphalt shingle roofing and flashings. Repair siding and porches. Repair doors and windows. Repair of interior finishes. Prep, prime and repaint.
Exiting and Life Safety	None.
Accessibility	Construct rear wood frame ramp to door or porch.
Cleaning and Protection of Historic Fabric	None.
Hazardous Materials Abatement	Minimal.
Mold, Mildew, Infestation	Treat entire structure for termites.
Structural Stabilization and Seismic Retrofit	Demolish fireplace chimney, reconstruct. Replacement of deteriorated framing and sheathing. Install new roof diaphragm. Anchor roof to walls - shear blocking
Insulation	Install batt insulation above ceilings.
Mechanical, Plumbing & Electrical	Install conventional FAU with exterior condenser. Install new plumbing and plumbing fixtures. Install new electrical and 200 amp service.
Fire Sprinklers	Install junior fire sprinklers system crawlspaces, habitable spaces and attics.
Relocation	Grade and compact building pad. Moving costs Construct new concrete foundation, anchor floor to foundation. Construct new site utility connections.

Building Name: Warehouse (Burned, Stone Shell)

Building Number: #52

Current Use: Vacant

Assumptions: Rear/restaurant - shell only

SCOPE OF WORK	
Removal of Modern Additions	No work.
Expansion of Fenestration	No work.
Weatherproofing of Building Envelope	Install new underlayment and new roofing and flashings. Replace doors and windows. Prep, prime and repaint.
Exiting and Life Safety	No new requirements.
Accessibility	No work.
Cleaning and Protection of Historic Fabric	Clean stone walls.
Hazardous Materials Abatement	None.
Mold, Mildew, Infestation	None.
Structural Reconstruction Stabilization and Seismic Retrofit	Wall crack repair and repointing. Replacement of roof framing and sheathing. New bond beams at the top stone walls. New vertical and structural supports at major truss points. Support of parapets. Creation of new lateral diaphragm -plywood. New anchorage between roof or diaphragm and perimeter walls.
Insulation	Install batt insulation between roof purlins.
Mechanical, Plumbing & Electrical	New split system. Rough-in utilities. New 1,200 amp electrical service.
Fire Sprinklers	Install fire sprinklers system crawlspaces, habitable spaces and attics.
Relocation	Not applicable.

V. Existing Buildings to be Demolished

A. Architectural Salvage

The following is a listing of architectural features and building materials that should be harvested from existing structures scheduled to be demolished. The Owner is designating an area at the southeast corner of the site as a storage area for these salvaged materials and other site features to be saved.

1. Salvage galvanized corrugated roofing and relocate to Owner-designated storage yard.
2. Salvage existing wood doors, gates and windows and relocate to Owner-designated storage yard.
3. Salvage existing roof vents and skylights and relocate to Owner-designated storage yard.
4. Salvage wood trusses and relocate to Owner-designated storage yard.
5. Salvage redwood siding from cottages and relocate to Owner-designated storage yard.
6. Salvage significant original equipment such as conveyors and lifts.
7. Retain in place catwalks where possible.
8. Salvage fieldstone from any walls to be removed.
9. See Site Demo and Salvage for more information.

VI. New Construction

A. Guidelines for New Construction

1. New buildings shall be adequately setback from existing or relocated historic buildings to help visually distinguish the old from the new where possible.
2. New buildings shall not exceed the height limit established by the Airport Hazard Map.
3. High quality, timeless and distinctive contemporary design is encouraged for all new construction in all zones. New buildings should act as mediators and respond emphatically to adjacent site influences. Massing of new construction should be appropriate for scale of the site and frontages. Offsets and changes in plane or building materials are encouraged to reduce building bulk and mass.
4. Buildings should be articulated to have a base and grouted plane that relates to the pedestrian at the lower level.
5. The use of arcades, arbors or trellises to help shade pedestrian walkways is encouraged.
6. Entries should be readily identifiable and articulated.
7. The use of some stone (salvaged from site, if possible), or masonry in the base or adjacent site walls or special features of new construction is encouraged.
8. The use of highly reflective or mirror glass is discouraged.

9. The screening of portions of parking structures with landscaping or vertical gardens is encouraged.
10. Mechanical equipment should be screened from view.

VII. Design Review Procedures

A. Review Procedures

The following shall be proposed treatments and shall be approved with the Conservation Plan approval from the Historic Preservation Commission:

- Interim Repairs or Protection (page 16).
- Conservation of Historic Fabric (page 19) if the treatment is consistent with the recommendation.
- Waterproofing of Building Envelope (page 19).
- Hazardous Material removal (page 20).
- Treatment for Termites, Mold, or Dryot (page 20).
- Future rehabilitation of historic structures that do not result in any alteration of the existing exterior.

The following proposed treatments shall require staff review and issuance of “Waiver” by staff or a Certificate of Appropriateness approval from the Historic Preservation Subcommittee as deemed appropriate by the City Planner.

- Relocation of buildings provided that the locations are consistent with those identified in the Planned Area Plan (File No. PAP06-001) (page 19).
- Treatment of Existing Additions with regards to removal of identified non-historic construction additions.
- Future rehabilitation of historic structures that result in minor alterations of the existing exterior (for example, exterior ramps for Accessibility related alterations and window and doors alterations to meet egress as determined by the Building Official).

The following proposed treatments shall require staff review and a Certificate of Appropriateness approval from the Historic Preservation Subcommittee.

- Relocation of buildings that are not consistent with the sites identified in the Planned Area Plan (File No. PAP06-001) (page 19).
- Adaptive Reuse that requires rehabilitation and may include demolition of non-historic additions, all new additions that are visible from public view and for those additions that are 500 square feet or more, and size alteration of windows and doors. (page 17).

APPENDIX

SECTION A

RECORD DRAWINGS AND PHOTO DOCUMENTATION
(Under a separate cover)

SECTION B

**SECRETARY OF THE INTERIOR'S STANDARDS
FOR THE
TREATMENT OF HISTORIC PROPERTIES**

Standards for Preservation

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial

- relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards for Restoration

1. A property will be used as it was historically or be given a new use which reflects the property's restoration period.
2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces, and spatial relationships that characterize the period will not be undertaken.

3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Materials, features, spaces, and finishes that characterize other historical periods will be documented prior to their alteration or removal.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.
6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10. Designs that were never executed historically will not be constructed.

Standards for Reconstruction

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will

- be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
 4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
 5. A reconstruction will be clearly identified as a contemporary re-creation.
 6. Designs that were never executed historically will not be constructed.

SECTION C

HISTORICAL PRESERVATION FORMS

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-015471, 36-016298, 36-016290

HRI #

Trinomial

NRHP Status Code 7J, 3D

Other Listings SPHI –SBR – 076, SHL 36-0010

Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: San Secondo D'Asti Catholic Church, Guasti Village Historic District, Building # 1 (Building #22 in 1985 survey)

P1. Other Identifier: Church of San Secondo D'Asti, Guasti, 250 Turner Avenue

***P2. Location:** Not for Publication Unrestricted *a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ;R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 398 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446175 mE/ 3769210 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: On east side of North Turner Avenue between Interstate 10 freeway and Ontario Airport

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) Text is from Jim Warner/Cynthia Solie/Ontario Department Survey, January 1985, DPR site forms. Complete document on-file at Model Colony History Room, Ontario Public Library.

San Secondo d'Asti church is 29 feet wide and 115 feet long and designed in the Mediterranean Revival style. Its walls are twenty inches thick and are made of red brick covered with a cement parging. It has Spanish tile gable roof with capped edges at each gable. Tall stained glass windows in each gable end are recessed and depict various religious scenes. Multi-scroll-like plaster decorations are found over the recessed front doorway and at the apex of the front-facing gable. A wrought-iron bell tower is situated along the south side of the church. A 32 foot by 38 foot priest's residence is attached to the church at the southwest corner. Two small additions to the north (10 foot x 20 foot and 9 foot x 11 foot) serve as an office and separate room. The second room has a curvilinear gable facing north. The interior of the church has wooden beams with five heavy wrought-iron chandeliers, several statues, a carved Italian oak pulpit, and Italian marble altar, a choir loft, and wooden pews. A minor alteration is the addition of an air-conditioning ductwork along the north side of the church. Related features: Fountain, stone foot bridge, formal gardens, garden wall.

The architects for the church were Morgan, Wells & Clements. *Southwest Builder & Contractor June 26, 1925, pg. 54, col. 2.*

***P3b. Resource Attributes:** (List attributes and codes) HP16 (Religious Property)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking east. September 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Construction began 1924, First Mass 1926.

***P7. Owner and Address:**

Diocese of San Bernardino
 1201 East Highland Avenue
 San Bernardino, CA 92404

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-015470
 HRI #
 Trinomial
 NRHP Status Code N/A

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Louisa Guasti School, Guasti Village Historic District, Building # 2 (demolished 2008)

P1. Other Identifier: 520 Turner Avenue, Ontario

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA **Date:** 1966/1981 **T ;R ;** **1/4 of** **1/4 of Sec** ; M.D. **B.M.**

c. Address: (approximate street address in 2007) 583 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446177 mE/ 3769558 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Was located on east side of Turner Avenue, on the east side, just before North Turner Ave. intersected with Interstate 10.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Text is from Myra L. Frank & Assoc. Caltrans I-10 HOV Segment, August 1993, DPR site forms. Complete document on-file at Model Colony History Room, Ontario Public Library.

The Louisa Guasti School is a one-story, Art Moderne grammar school configured in an irregular U-shape. The Art Moderne elements include the smooth concrete surface, the use of glass block, curved corners and metal sash windows, the continuous canopies and flat roof form. The elevation features four identical classrooms on the south side with continuous ribbon windows and individual doors set on the north sides separated by protruding block piers. There is an inset central entry with a curved glass block wall and sidelights, set deep below the overhanging canopy. The wide canopy features polished steel, stylized block letters spelling out "Louisa Guasti School." The north side has three sets of windows, set on a roman brick base. The school has five classrooms, an auditorium and a multi-purpose room (originally an enclosed play area) and an office, small library and two reading rooms. The structure occupied a flat lot immediately south of the Interstate 10 Freeway. The architect for the school was H.L. "Hank" Gogerty from Los Angeles. The Louisa Guasti School was built to replace the Piedmont School built by Secondo Guasti in 1904 for the children living in, and near, Guasti's Italian Vineyard Co. Louisa Guasti was the wife of Secondo Guasti, who had died in 1927, and they had one son, Secondo Guasti Jr. Secondo Guasti Jr., now President of Italian Vineyard Company, named the school in honor of his mother who had passed away in 1937, for the cost of \$85,000.

***P3b. Resource Attributes:** (List attributes and codes) HP15 (Educational Property)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)

P5b. Description of Photo: (View, date, accession #) [View looking east. September 2008.](#)

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Constructed in 1939 to replace Piedmont School (destroyed by fire in October 1935.)

***P7. Owner and Address:**

School had been under the Cucamonga School District, San Bernardino County.

***P8. Recorded by:** (Name,

affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016297
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 226 Turner Avenue, Guasti Village Historic District, Building # 3 (23w), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2008) 457 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446108 mE/ 3769375 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

On west side of North Turner Avenue, northernmost worker cottage on Turner Ave.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. Under the eaves at the corner of the building there is a single bracket supporting the overhanging roof edge. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northeast. July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name,

affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016296
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 224 Turner Avenue, Guasti Village Historic District, Building # 4 (23v), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 441 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446096 mE/ 3769371 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

On west side of North Turner Avenue, second most northern cottage.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. Under the eaves at the corner of the building there is a single bracket supporting the overhanging roof edge. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking east. July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016295
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 223 Turner Avenue, Guasti Village Historic District, Building # 5 (23u), demolished 2008

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 437 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446108 mE/ 3769367 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On west side of North Turner Avenue.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking east. July 2007.

***P6. Date Constructed/Age and Sources:** Historic
 Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016294
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 221 Turner Avenue, Guasti Village Historic District, Building # 6 (23t), (demolished 2008)

P1. Other Identifier: Catholic Charities (building was occupied by Catholic Charities in 1994)

***P2. Location:** Not for Publication Unrestricted *a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 417 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446108 mE/ 3769315 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On west side of North Turner Avenue.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast. February 2007.

***P6. Date Constructed/Age and Sources:** Historic
 Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016293
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 215 Turner Avenue, Guasti Village Historic District, Building # 7 (23s), (demolished 2008)

P1. Other Identifier: Cordova's Printing (building was occupied by Cordova's Printing in 1994)

***P2. Location:** Not for Publication Unrestricted *a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; 1/4 of 1/4 of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 331 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446106 mE/ 3769317 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

On west side of North Turner Avenue, between Sycamore and Pepper Tree Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking east. February 2007.

***P6. Date Constructed/Age and Sources:** Historic
 Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016292
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 214 Turner Avenue, Guasti Village Historic District, Building # 8 (23r), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 329 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446106 mE/ 3769305 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On west side of North Turner Avenue.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. February 2007.

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016291
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 213 Turner Avenue, Guasti Village Historic District, Building # 9 (23q), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 325 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446106 mE/ 3769279 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

On west side of North Turner Avenue, between Sycamore and Pepper Tree Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking west. November 2007.

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016205
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 211 Pepper Tree Lane, Guasti Village Historic District, Building # 10 (23p), (demolished 2008)

P1. Other Identifier: Recreation Hall/Guasti Village Bakery

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 325 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446103 mE/ 3769245 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Was located at the northwest corner of North Turner Avenue and Pepper Tree Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A building constructed of concrete block with a medium pitched gable roof. The main entrance is located at the south gable end. The exterior walls have simple pillar-type buttresses to help support the walls. The building is approximately 2200 square feet in a rectangular footprint. Prior to it's last use as a recreation facility, the building housed the community bakery.

***P3b. Resource Attributes:** (List attributes and codes) HP6 (1-story commercial building), HP13 (Community center/social hall)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Estimated 1935.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016289
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Guasti Market , Guasti Village Historic District, Building # 11 (12)

P1. Other Identifier: 3099 Guasti Road

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 279 North Turner Avenue City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446106 mE/ 3769202 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Located at the southwest corner of North Turner Avenue and Pepper Tree Lane. Across North Turner Ave. from the Catholic Church.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed "plans for a store building to be erected at Guasti for the Italian Vineyard Company."

The one-story building is rectangular in plan and has a flat truss roof support system covered with composition material. The walls of the building are hollow ceramic brick tile that were manufactured by the Alberhill Clay Mines near Lake Elsinore. The walls have double hung wood sash windows of various sizes and designs (2/2 horizontal lights, 4/4 vertical lights, 1/1 dhs). The building has a full basement constructed from concrete and these form the foundation walls. Concrete steps lead to the primary front door, and a wood ramp leads to the rear entrance. The front door is a pair of wood paneled double doors, and a large 8-light wood framed movable transom window is situated above the doorway.

*P3b. Resource Attributes: (List attributes and codes) HP6 (1-story commercial building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking west. July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name,

affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016214
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 185 Pepper Tree Lane , Guasti Village Historic District, Building # 12 (23h) (demolished 2008)

P1. Other Identifier: General Store, Workshop, Residence

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 **T ; R ;** ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address: (approximate street address in 2007) 10088 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446099 mE/ 3769210 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Building was located to the immediate west of the Guasti Market, on Pepper Tree Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This was a one-story, rectangular massed wood frame building with a gable roof. The front and rear entrances to the buildings were at the gable ends, with the south facing (Guasti Road) end emphasized by a false front frequently found on early commercial buildings in the West. The building sat on a stone foundation and was clad in shiplap siding. 2/2 wood sash double-hung windows were used throughout the building. The building had been the original company store until the Guasti Market was built in the 1920s. In 1984, the building had been broken up into two dwelling units.

***P3b. Resource Attributes:** (List attributes and codes) HP6 (1-story commercial building), HP3 (2 Family dwelling)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)

P5b. Description of Photo: (View, date, accession #)

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Estimated 1900.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)

Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter

"none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016213
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 181 Pepper Tree Lane, Guasti Village Historic District, Building # 13 (23g)

P1. Other Identifier: 180 Pepper Tree Lane

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address: (approximate street address in 2007) 10070 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446069 mE/ 3769206 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 Between Pepper Tree Lane and Old Guasti Road.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This is a small, cross-gable house of approximately 900 square feet. The front entrance is located on the east/west ell and this ell is covered in narrow clapboard wood siding. The cross ell is clad in board-and-batten siding. The building sits on a poured concrete foundation. A small shed roof addition is located on the east elevation. The windows in the building are 2/2, 4/4 or 6/6 double hung wood sash. There was a small, wood-frame single car garage with a gable roof associated with the building.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking south. July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Estimated 1900.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016212
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 179 Pepper Tree Lane, Guasti Village Historic District, Building # 14 (23f)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; 1/4 of 1/4 of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10050 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446034 mE/ 3769207 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Between Pepper Tree Lane and Old Guasti Road

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. This house has one of the original shed roof canopies over the front entrance, supported by wood brackets. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking south. September 2008.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both

Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey

report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016211
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 178 Pepper Tree Lane, Guasti Village Historic District, Building # 15 (23e)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10042 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446023 mE/ 3769203 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 Between Pepper Tree Lane and Old Guasti Road

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. This house has one of the original shed roof canopies over the front entrance, supported by wood brackets. The floorplan for this house was modified to incorporate a shed-roof addition on the south elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Building 15 is on the right. Building 14 to the left, and Building 13 to the far left. View looking southeast. September 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016210
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 177 Pepper Tree Lane, Guasti Village Historic District, Building # 16 (23d) (demolished 2008)

P1. Other Identifier: 175 Pepper Tree Lane

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10042 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446023 mE/ 3769203 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: Between Pepper Tree Lane and Old Guasti Road

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. This house had one of the original shed roof canopies over the front entrance, supported by wood brackets. The floorplan for this house was modified to incorporate a gable-roof addition on the south elevation.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) November 2008.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Record

Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016209
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 173 Pepper Tree Lane, Guasti Village Historic District, Building # 17 (23c) (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10020 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445989 mE/ 3769200 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 Between Pepper Tree Lane and Old Guasti Road

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. This building diverted from the standard small, 650 square foot residence, and was a larger building almost double in size. The building kept the Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The rectangular massed house measures approximately 25 feet x 50 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. This building may have been a duplex unit.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building) or HP3 (Multiple Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking south. February 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016208
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 170 Pepper Tree Lane, Guasti Village Historic District, Building # 18 (23b) (demolished 2008)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10010 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445970 mE/ 3769199 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 Between Pepper Tree Lane and Old Guasti Road

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This is a one-story building that was constructed by adding a large hipped roof building onto a small gable roof building. The gable roof building was most probably one of the first buildings in the Guasti community dating from 1900, and then was enlarged in 1920 when the other pyramidal roofed cottages designed by architects Morgan, Walls & Morgan were constructed in the vineyard community. The resultant building was used as a duplex. The gable roof section of the building had 4/4 double hung wood sash windows while the newer windows of the building were 2/2 double hung wood sash. The clapboard siding on the building is not consistent with the same width or profile on the new and old parts of the building. There is a shed roof addition built between the ell of the gable end and the main block of the hipped roof section. The doors are irregularly placed on the south elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP3 (Multiple Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northeast, July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Estimated 1900, hipped roof addition in 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016207
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Fire House, Guasti Village Historic District, Building # 19 (23a)

P1. Other Identifier: 150 Pepper Tree Lane

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10001 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445943 mE/ 3769222 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 Between Pepper Tree Lane and Old Guasti Road

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This is a tall one-story building with a gable roof that was used to house the Italian Vineyards fire fighting equipment. The oversized firehouse doors are located on the north gable end. The building measures 16 feet x 32 feet and is approximately 512 square feet. It is constructed of hollow clay tile bricks. The building sits on a concrete foundation and has a 16 foot long concrete ramp leading to the front doors. The pedestrian door is located on the west elevation and has a large, multi-light wood framed transom above. The other windows are multi-light, wood frame casement. The building has been painted between 1984 and 1994. (See previous survey information.) The building was most probably constructed about the same time as the Guasti Market in 1920, as they are both constructed of the hollow, clay tile brick.

*P3b. Resource Attributes: (List attributes and codes) HP39 (Other – Fire Station)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southwest, September 2008.

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016216
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page of *Resource Name or #: 192 Pepper Tree Lane, Guasti Village Historic District, Building # 20 (23i) (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ;R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10003 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445955 mE/ 3769238 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: North side of Pepper Tree Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. This building had been enlarged with the addition of an L to the rear (north) elevation. This added approximately another 250 square feet to the overall building mass. The house had 2/2 wood frame double-hung sash windows, and was clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance was placed between two windows, and a concrete pathway and set of steps led to the front door.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. February 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name,

affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016217
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 196 Pepper Tree Lane, Guasti Village Historic District, Building # 21 (23j) (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ;R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10019 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445970 mE/ 3769241 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 North side of Pepper Tree Lane.

*P3a. **Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The house had 2/2 wood frame double-hung sash windows, and was clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance was situated between two windows, and a concrete pathway and set of steps led to the front door. A small shed roof room addition with window was added to the west elevation.

*P3b. **Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

*P4. **Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. February 2007.

*P6. **Date Constructed/Age and Sources:** Historic
 Prehistoric Both
 Estimated 1920.

*P7. **Owner and Address:**
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. **Recorded by:** (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. **Date Recorded:** October 2008

*P10. **Survey Type:** (Describe)
 Update of Guasti Village Historic District

*P11. **Report Citation:** (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location
 Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016215
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 197 Pepper Tree Lane, Guasti Village Historic District, Building # 22 (23k) (demolished 2008).

P1. Other Identifier: 191 Pepper Tree (typo error on earlier site form)

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10031 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446000 mE/ 3769245 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: North side of Pepper Tree Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The house had 2/2 wood frame double-hung sash windows, and was clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance was placed between two windows, and a concrete pathway and set of steps led to the front door. A small shed roof room addition with window was added to the east elevation.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. February 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016218
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 199 Pepper Tree Lane, Guasti Village Historic District, Building # 23 (23L)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10043 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446019 mE/ 3769241 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 North side of Pepper Tree Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The house had 2/2 wood frame double-hung sash windows, and was clad in narrow clapboard with plain corner boards. In a restrained bungalow style, the building has closed overhanging eaves. The front entrance was placed between two windows, and a concrete pathway and set of steps led to the front door. A small shed roof addition was added to the east elevation.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north, Sept 2008.

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey

report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016219
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 202 Pepper Tree Lane, Guasti Village Historic District, Building # 24 (23m) (demolished 2008)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA **Date:** 1966/1981 **T ; R ;** ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address: (approximate street address in 2007) 10047 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446023 mE/ 3769241 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: North side of Pepper Tree Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This is a vernacular one-story cottage with rectangular massing of approximately 720 square feet. The house has a gable roof and is set on an east/west axis with the main entrance under the open eaves on the south elevation. The house is set on a concrete foundation and the double hung wood sash windows are set randomly in the façade. Because this is a gable building, it was most probably one of the original houses built as part of the winery.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking south. February 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1900.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe) Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016204
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 251 Pepper Tree Lane, Guasti Village Historic District, Building # 25 (23n) (demolished 2008)

P1. Other Identifier: Garage/Stable

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 10069 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446065 mE/ 3769249 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: North side of Pepper Tree Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This was a fieldstone building constructed in a vernacular style that measured approximately 560 square feet. The rectangular massed building has a gable roof and was on an east/west axis. The building had a pair of large wood paneled doors on the east elevation and across the south elevation were four doorways and window openings with segmental arches. The building was most probably built to stable horses or donkeys that were used in the vineyard. There was a large open area around the building that would have been used as a corral. Later, in the 1930s, the building was converted to use for automotive equipment.

*P3b. Resource Attributes: (List attributes and codes) HP39 (Other – Stable/Garage)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northwest. July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1900.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016206
HRI #
Trinomial
NRHP Status Code 7R

Other Listings
Review Code

Reviewer

Date

Page 1 of 1 ***Resource Name or #:** 209 Pepper Tree Lane, Guasti Village Historic District, Building # 26 (23o) (demolished 2008)

P1. Other Identifier: Bunkhouse

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 **T ; R** ; $\frac{1}{4}$ of $\frac{1}{4}$ of Sec ; M.D. **B.M.**

c. Address: (approximate street address in 2007) 10083 Pepper Tree Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446088 mE/ 3769248 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: North side of Pepper Tree Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) Built in a "U" plan, the concrete block building was constructed to house workers at the vineyard. The one story building is covered with a shallow gable roof and had wood framed double hung windows. The roof edge that faced the courtyard of the building was extended and supported by posts to create a covered walkway. The complex had eleven individual sleeping units, one community kitchen and one community bathroom. The entire building was approximately 1,340 square feet.

The date of the construction of this building ties it to the initiation of the Braceros Treaty between the United States and Mexico for the legal immigration of migrant field workers to supplement the U.S. farm workers who had been enrolled in the war effort. This courtyard setting would have provided the workers with a small community living area. There has also been written that World War II Italian prisoners-of-war were assigned to work at the vineyard during the later war years.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (Other –Bunkhouse)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1943.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016282
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 220 Sycamore Lane, Guasti Village Historic District, Building # 27 (23ad) (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3195 Sycamore Lane City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 446085 mE/ 3769336 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: North side of Sycamore Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This is a long, rectangular massed building with a gable roof. The main entrance is at the south gable end. The main block of the building measures 29 ½ feet wide x 59 ½ feet long for a total of 1,755 square feet. On the west side of the main block is a gable roof addition measuring 12 feet x 12 feet. The windows are 2/2 wood sash double hung and the building is clad in board-and-batten siding. The building sits on a concrete foundation suggesting it was moved to this site from an earlier site on the ranch. This building may have been used as a bunkhouse. It was an earlier version of Building 26. These buildings were located in close proximity to each other.

*P3b. Resource Attributes: (List attributes and codes) HP39 (Other –Bunkhouse)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking east. July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1900.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016285
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 230 Sycamore Lane, Guasti Village Historic District, Building # 28 (23ac), (demolished 2008)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3193 Sycamore Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446069 mE/ 3769340 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On the north side of Sycamore Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition on the west elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. February 2007.

***P6. Date Constructed/Age and**

Sources: Historic
 Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016284
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 229 Sycamore Lane, Guasti Village Historic District, Building # 29 (23ab), (demolished 2008)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3191 Sycamore Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446058 mE/ 3769337 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On the north side of Sycamore Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a shed-roof addition with a window on the west elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northeast. February 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name,

affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016283
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 227 Sycamore Lane, Guasti Village Historic District, Building # 30 (23aa), (demolished 2008)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3189 Sycamore Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446050 mE/ 3769333 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On the north side of Sycamore Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. The small, 650 square foot residence designed in a Vernacular Craftsman style, was built on a poured concrete foundation and had a medium-pitched pyramidal roof. The square massed house measures approximately 25 feet x 25 feet with 1/1 wood frame double-hung sash windows, and is clad in narrow clapboard with plain corner boards. In the bungalow style, the building has wide overhanging eaves with exposed rafter tails. The front entrance is placed between two windows, and a concrete pathway and set of steps lead to the front door. The floorplan for this house was modified to incorporate a large shed-roof addition with a window on the west elevation.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north. February 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016286
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 233 Sycamore Lane, Guasti Village Historic District, Building # 31 (23z), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3185 Sycamore Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 446020 mE/ 3769333 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On the north side of Sycamore Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) In the April 4, 1920 edition of *Southwest Builder & Contractor* (page 13, col. 3) it was reported that architects Morgan, Walls & Morgan had designed plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. This appears to be one of the small residences designed in a Vernacular Craftsman style, but has been altered with the construction of a gable roof porch on the front (south) elevation, and by being larger than the other hipped roof bungalows. The rectangular massed house measures approximately 46 feet long x 28 feet wide, and has 2/2 wood frame double-hung sash windows. It is clad in narrow clapboard with plain corner boards and the roof on the main block is hipped and has closed eaves. The porch is 7 feet deep and 24 feet across, it was designed not to span the entire width of the porch. The roof on the porch is medium pitched with a wide frieze below the roof edge. Where the house connects with frieze there are large scroll sawn brackets. A decorative bracket is also found in the gable peak under the roof edge. The porch roof is supported by four tapered posts sitting on the porch rail that has closed paneling, and the porch floor is supported by large concrete piers.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north, July 2007.

*P6. Date Constructed/Age and Sources: Historic Prehistoric Both Estimated 1920.

*P7. Owner and Address: Oliver McMillan Company 733 8th Avenue San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address) Pamela Daly, M.S. Architectural Historian 4486 University Avenue Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe) Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016287
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 235 Sycamore Lane, Guasti Village Historic District, Building # 32 (23y), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3181 Sycamore Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445993 mE/ 3769337 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

On the north side of Sycamore Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This is a rectangular massed, Vernacular-style bungalow with some Craftsman styling, with a medium-pitched gable roof. The house has many more decorative details than found on the residential buildings in this area of the winery. The building measures 49 feet long x 26 feet wide with a porch that measures 8 feet deep. The porch was created by an extension of the roof.

*P3b. Resource Attributes: (List attributes and codes) HP2 (Single Family building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north, July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016278
 HRI #
 Trinomial
 NRHP Status Code

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 236 Sycamore Lane, Guasti Village Historic District, Building # 33 (14), (demolished between 1994 and 2007)

P1. Other Identifier: Garage/Storage

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA **Date:** 1966/1981 **T ; R ;** ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address: (approximate street address in 2007) 3180 Sycamore Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445993 mE/ 3769287 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On the south side of Sycamore Lane.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 At this location stood a one-story garage constructed of corrugated metal on a wood frame, situated on a poured concrete foundation. The foundation measures 52 feet wide x 162 feet long. Historic photographs of the building show that it had a gable roof.

***P3b. Resource Attributes:** (List attributes and codes) HP8 (Industrial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking north, July 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Estimated 1930.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016277
 HRI #
 Trinomial
 NRHP Status Code

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Gas Station, Guasti Village Historic District, Building # 34 (15), (demolished 2008)

P1. Other Identifier: 237 Sycamore Lane

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; 1/4 of 1/4 of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3168 Sycamore Lane City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445936 mE/ 3769307 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On the south side of Sycamore Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This small building was used to dispense gasoline to the winery's vehicles and farm equipment. The building measures 12 feet x 12 feet and has a metal clad gable roof that extends to cover one "pull-up" lane. The roof is supported by two round metal posts set in a concrete island on the other side of the pull-up lane. The dispensary building is set on a concrete foundation and has concrete walls that are approximately 3 feet in height forming the base of the building walls with the rest of the wall constructed of large metal-framed casement windows. The windows on all the elevations were covered with corrugated metal siding at the time of demolition. There had been two gas pumps installed on the island. Gasoline powered equipment became more widely used in agricultural equipment after World War I.

*P3b. Resource Attributes: (List attributes and codes) HP8 (Industrial building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southwest, July 2008.

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
 Estimated 1930.

*P7. Owner and Address:
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016280
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Sycamore Lane, Guasti Village Historic District, Building # 35 (11), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; 1/4 of 1/4 of Sec ; M.D. B.M.

c. Address: (approximate street address in 2007) 3173 Sycamore Lane City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445940 mE/ 3769360 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 On the north side of Sycamore Lane.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This large warehouse/garage measures approximately 141 feet long x 120 feet wide and consists of over 17,000 square feet of floor space. The roof is a triple gable, with all the gables medium-pitched, with exposed rafter tails under the overhanging eaves. The building's structure is wood frame with corrugated metal used as siding. Doors and windows are wood. The door sizes vary from large double doors for vehicles, to regular pedestrian doors. The windows vary from 4/4 and 1/1 double hung sash, to 3 light panel casement type windows. There is a small shed roof attachment to the rear elevation, that is also clad in corrugated metal.

*P3b. Resource Attributes: (List attributes and codes) HP8 (Industrial building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northwest, July 2008.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1920.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name,

affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P36-016280
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 240 Old Brookside/Garrett Road, Guasti Village Historic District, Building # 36 (Had been previously recorded as part of Building 35. Building 11 in the 1984 survey), (demolished 2008)

P1. Other Identifier: Pipe Storage/Carpenter Shop

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: located to the rear (north) of Building 35

City:

Zip:

d. UTM: Zone: 11 ; 445948 mE/ 3769387 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 Located immediately and directly north of Building 35.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This is a building measuring 39 feet wide by 63 feet long for a total square footage of 2,457 square feet. The building sits on a concrete pad and is constructed of wood and metal frame with a medium-pitched metal roof. The building was used for the storage and machining of the miles of irrigation pipes.

***P3b. Resource Attributes:** (List attributes and codes) HP8 (Industrial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast, July 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-015584
 HRI #
 Trinomial
 NRHP Status Code Unknown

Other Listings Review Code	Reviewer	Date
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Page 1 of 1 *Resource Name or #: 243 Old Brookside/Garrett Road, Guasti Village Historic District, Building # 37 (16), (the exact demolition date between 1994 and 2007 is unknown.)

P1. Other Identifier: Storage/Truck and Tractor Storage

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445903 mE/ 3769422 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 The building was demolished between 1994 and 2007. All that remains of the 9,000 square foot industrial building is the concrete foundation wall.

***P3b. Resource Attributes:** (List attributes and codes) HP8 (Industrial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking south, July 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1960. (Based on topographic map markings.)

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-016279
 HRI #
 Trinomial
 NRHP Status Code 3B

Other Listings
 Review Code

Reviewer

Date

Page of *Resource Name or #: Guasti Mansion, Guasti Village Historic District, Building # 38 (21)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445879 mE/ 3769280 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

From the Los Angeles Times, *Guasti House to be Erected Near Ontario*, April 22, 1923;

Construction was started this week on a residence for Secondo Guasti, head of the great Italian Vineyard Company, which is to occupy the site of the old Guasti ranch house at the eastern gates of Ontario. This promises to be the finest structure of its kind in San Bernardino county. The dwelling, which will cost approximately \$75,000, will be of the low Spanish type with spacious interior patio. The dwelling will cover an area of approximately 101 by 160 feet and will be of one story in height. The patio will be 62 by 30 feet. The Campbell Construction Company of Ontario has been awarded the principal contract for the building. The construction will be principally of brick. The finish, while all the keeping with the Spanish architecture, will be elaborate, with much hand carved and wrought iron work. Three fireplaces will be a feature of the dwelling, one of these being placed in the patio. The dwelling will contain some twenty rooms and six baths. The dwelling room is to be 24 by 48 feet and this, with the dining room and bedroom of the owner, will have arched ceilings. The interior finish will provide wall niches for the figures of Spanish saints. A club room is to be a feature of the great dwelling. Morgan, Walls & Morgan of Los Angeles are the architects for the new building.

Associated features of the mansion include a masonry wall with stucco finish that encircles most of the area around the mansion and adjoining grounds. Within the garden walls are an elaborate, grotto-style aviary; highly decorative marble well with wrought iron metal work; hand made wrought iron gates with the SG insignia in the design; gardens; walkways; a small vineyard; and olive trees. Since 1984, a swimming pool and tennis courts have been removed.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single Family Property)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northwest, September 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Construction began April 1923.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-015588
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Administration and Reception Center, Guasti Village Historic District, Building # 39 (13), (demolished 2008)

P1. Other Identifier: Home Style Café, 2902 Old Brookside/Garrett Road

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445841 mE/ 3769349 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 A one-story, rectangular massed building with low-pitched gable roof. The building was constructed of concrete block in a rectangular mass 40 feet wide x 84 feet long. A shed roof porch extends along the north (front) elevation and is 11 feet deep, clad in red clay Mission tile, and is supported by four large square masonry posts. The entire structure is clad in a concrete stucco finish and the roof of the main block appears to be covered by flat roofing material. The front entrance is a pair of wood doors. The porch floor is square red clay tile. On the west elevation, a small gable-roof ell was built with a fireplace and chimney. The majority of the windows are metal framed casement type.
 The building was recorded in 1984 as being used for a restaurant. It continued to be used for this purpose until its demolition.

*P3b. Resource Attributes: (List attributes and codes) HP6 (1-3 story commercial building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking south, July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both

Estimated 1940.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name,

affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)

Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 36-015583
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 2830 Old Brookside/Garrett Road, Guasti Village Historic District, Building # 40 (17), (demolished 2008)

P1. Other Identifier: Offices, Shipping and Storage

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445750 mE/ 3769346 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: Immediately north of Building 50.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) *Text from Jim Warner/Cynthia Solie site form dated January 1985.*

The original part of this building was built around 1932 with dimensions of 115 feet x about 265 feet, including a 15 foot x 62 foot extension t the north on the west end of the building. It has a concrete foundation, box frame with corrugated iron exterior, and a gable and sawtooth roof. It was used for shipping, storage, (of empty bottles only) and bottling. A winery warehouse with 62 foot x 115 foot dimensions was added on the east end of the original building around 1946. It has a concrete foundation, brick and reinforced concrete construction, beams, pilasters, and an arched roof. A covered concrete dock area along the east and part of the south sides is raised to allow access to a railroad spur next to int. The building also has a basement and was used for shipping, and empty bottle storage. Around 1948, an L-shaped office was added to the north of the 1946 addition. It has a concrete foundation, brick walls, and a hip composition roof.

***P3b. Resource Attributes:** (List attributes and codes) HP6 (1-3 story commercial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Partial view looking southwest, July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1932.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 7R

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 2825 Old Brookside/Garrett Road, Guasti Village Historic District, Building # 41 (25), (demolished 2008)

P1. Other Identifier: Storage

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445724 mE/ 3769396 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This is a tall one-story industrial building of metal frame construction with a low-pitched gable roof. The building has metal siding and sits on concrete foundation. The rectangular massed building is approximately 5,000 square feet.

*P3b. Resource Attributes: (List attributes and codes) HP8 (Industrial building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southwest, July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1968.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P36-015586
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 2820 Old Brookside/Garrett Road, Guasti Village Historic District, Building # 42 (9), (demolished 2008)

P1. Other Identifier: Warehouse/Storage, (used by Select Steel, Inc. in 1994)

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445674 mE/ 3769346 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This is an extremely simple storage warehouse constructed of 13-inch solid brick walls with a wood-framed bowstring truss roof system. The rectangular massed building measures 97 feet long x 72 feet wide for approximately 7,000 square feet. The bricks are set in a running bond with a bond course every five rows. There is one large overhead door opening on the west elevation. In 1984 the building was being used for wine storage. In 1994 the building was being leased by Select Steel Inc. In 2007, the building was being used by a masonry supply operation.

***P3b. Resource Attributes:** (List attributes and codes) HP8 (Industrial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast, July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 7R

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 2701 Old Brookside/Garrett Road, Guasti Village Historic District, Building # 44 (24), (demolished 2008)

P1. Other Identifier: Storage/Warehouse

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445552 mE/ 3769340 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This is a moderate sized, one-story, metal framed industrial type storage building with corrugated metal siding and low-pitched gable roof. The building sits on a concrete foundation and has approximately 13,200 square feet of space.

In 1994 it was being used by General Marble Company. In 2007 it was being used by the J. Filipi Winery.

***P3b. Resource Attributes:** (List attributes and codes) HP8 (Industrial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking east, July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1968.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI # Unknown
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: 2705 Guasti Road, Guasti Village Historic District, Building # 45 (10), (demolished 2008)

P1. Other Identifier: General Marble Co. (1984), Fruit Industries Warehouse (after 1937)

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445547 mE/ 3769236 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
Text from Jim Warner/Cynthia Solie site forms, January 1985.

The main section of this 1920 Warehouse has dimensions of 78 feet x 151 feet and is of brick construction with brick buttresses, a concrete foundation, and a composition roof with a curved "gymnasium-style" [bowstring truss arch] dome to it. The west wall has two slightly arched windows high over a bricked-up large doorway flanked by two high windows that have also been bricked-up. A large metal rolling door on the east side is the main entrance. A corrugated metal addition to the south (left) has dimensions of 15 feet x 80 feet with two large wooden doors and four six-light medium height windows. The corrugated metal shed roof slopes to the south. Another addition to the north has dimensions of 44 foot x 115 foot, corrugated metal walls and roof, and a single small door. A smaller 19 foot x 32 foot addition with corrugated metal walls and shed roof extends to the east (right). The northern wall of both of these additions was originally a 100 foot x 200 foot concrete block ware house, but has been demolished, leaving only the common wall. The main building was originally used as a warehouse for the winery but is now used for general storage. The addition to the north was originally a bottling shop and is also now used for general storage.

***P3b. Resource Attributes:** (List attributes and codes) HP8 (Industrial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast, July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location

Map Sketch Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 7R

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Public Restrooms, Guasti Village Historic District, Building # 46 (26), (demolished 2008)

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445604 mE/ 3769209 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

To the immediate west of Building 54.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A small, one-story building of adobe-style concrete block with a low-pitched gable roof, constructed to provide restrooms to the public. The roof is clad with red clay Mission tiles, with exposed rafter ends and there are decorative wood cross beams at the gable ends. A water fountain is placed within an arched recess.

*P3b. Resource Attributes: (List attributes and codes) HP39 (Public/guest restrooms building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast, July 2007.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both

Estimated 1980.

*P7. Owner and Address:

Oliver McMillan Company

733 8th Avenue

San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.

Architectural Historian

4486 University Avenue

Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)

Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # Unknown
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Coopers House, Guasti Village Historic District, Building # 47 (6), (to be moved)

P1. Other Identifier: 2751 Guasti Road

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 **T ; R ;** ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address: (approximate location in 2007) 2815 East Guasti Road City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445464 mE/ 3769198 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Located just outside, and to the west of the immediate boundary of the main group of buildings. This building may have been the "old ranch house" that was moved from the present site of the Guasti Mansion when the mansion was constructed in 1932.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This is a 1 ½-story residence that appears to have been built around the beginning of the 20th century. It has stylistic attributes of the Queen Anne and Shingle residential houses in a Vernacular interpretation. The main massing of the building is a wide gable roof structure with the gable roof on an east/west axis. To enlarge the amount of space on the second floor, two large gable roof dormers, that are connected in the middle to each other project from the southern roof slop. Under the gable roof of each dormer there is a hip-roofed cant bay window that has a double hung wood sash window on each side of the bay. The top sash of each rectangular window in the bay has a large wood sash diamond pane with smaller triangular panes at each corner. The bottom sash is a single pane. The bay windows sit on an extension of the roof plane, and this plane forms one side of a secondary roof that encircles the east, south, and west elevations and forms a roof for the deep veranda on the ground floor. The veranda roof is supported by classical columns that sit on a solid porch railing. Large brackets are used to support the roof edges on the upper level while decorative trimmed rafter tails support the veranda roof edge. The entire building sits on a large fieldstone and cement foundation and concrete steps lead to the front (south) entrance. Except for the exterior wall of the north elevation on the first floor, the entire building is clad in a wide shiplap siding. The north wall is covered with vertical boards. There is a brick chimney with a corbelled cap on the west elevation. The centrally placed front door has ¾ sidelights. Besides being the original manager's house, it was used by the foreman of the cooperage shops, and later as a restaurant.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single family property), HP6 (1-3 story commercial building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northwest, Sept 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1900.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # Unknown
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Foreman's House, 2701 Guasti Road, Guasti Village Historic District, Building # 48 (7), (to be moved)

P1. Other Identifier: Residence

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate 2007 location) 2822 East Guasti Road City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445418 mE/ 3769185 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: Located just to the west of the Cooper's House.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) Except for the lack of the added gable roof covered porch this house is very similar to Building 31 (P36-016286). They are both slightly larger than the other hipped roof cottages that were designed by architects Morgan, Walls & Morgan, who drew the plans for 20, 4-room, wood-frame bungalows to be erected at Guasti for the Italian Vineyard Company. This appears to be one of the small residences designed in a Vernacular Craftsman style. The rectangular massed house measures approximately 46 feet long x 28 feet wide, and has 1/1 wood frame double-hung sash windows. It is clad in narrow clapboard with plain corner boards and the roof on the main block is hipped and has closed eaves. The front door is centrally located and is covered by a shed roof awning supported by wood brackets. The house also has a red brick exterior chimney on the east elevation and decorative cut-out shutters still remain on this building. A small, gable roof, single-car garage is an associated feature and is located at the northwest corner of the house.

***P3b. Resource Attributes:** (List attributes and codes) HP2 (Single family property)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northeast, Sept 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1920.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P36-015469
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: J. Filippi Winery Tasting Room, Guasti Village Historic District, Building # 49 (8),

P1. Other Identifier: Office/Salesroom/Warehouse, Fruit Industries Warehouse (after 1937)

***P2. Location:** Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445618 mE/ 3769254 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Located just to the northwest of Building 54, Old Winery Warehouse.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This building is an amalgamation of several buildings serving different functions. The rectangular massed fieldstone building which forms the core for this structure measures approximately 64 feet wide x 158 feet long. The main block has a medium pitched gable roof. Original entrances and windows are still evident on the west and south elevations. The wood doors, windows and gable end vent, are set in deep segmental arched openings. There are two separate gable roof buildings that were attached to east elevation of the stone warehouse. The immediate building is exactly the same dimensions as the stone building, while the building at the east end is slightly larger and is constructed of wood frame with clapboard siding. Both buildings were clad with metal siding. Running along the entire length of the north elevation of the stone warehouse is a smaller and more narrow gable roof warehouse-type building. The north extension has concrete brick on the west elevation, but the rest of the building appears to be metal siding over a wood frame. On the saddle of the roof ridge sit two large ventilators, and a smaller ventilator sits on the apex of the ridge just to the west. There had been an extension of the north warehouse block on the east elevation that measured 32 feet x 54 feet. (It had been removed by September 2008.) These buildings used to house a coopers shop, barrel manufacturing shop, a wine tasting sales room and visitors center.

***P3b. Resource Attributes:** (List attributes and codes) HP8 (Industrial Building), HP39 (Sales room, wine tasting)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northeast, Sept 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1900-1950.

***P7. Owner and Address:**
 Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P36-015587
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Warehouse, Guasti Village Historic District, Building # 50 (4),

P1. Other Identifier: Warehouse

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445730 mE/ 3769288 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Located north of Building 54, Old Winery Warehouse.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This building has three distinct construction dates; the large double gable fieldstone warehouse is estimated to have been constructed in 1904, and the large brick and concrete addition on the east end of the building was added in 1932 to serve as a loading dock and storage area. The fieldstone building is 146 feet wide x 404 feet long. The loading dock addition measures 146 feet wide x 80 feet long. Both this building and Building 54 were extensively damaged by fire in July 1916 and only the fieldstone walls were left standing. (Los Angeles Times July 4, 1916. page 15.) All of the almost 90 redwood tanks that were contained in the building and used for fermenting the wine were destroyed. When the building was reconstructed may have been when the height of the building was increased with poured concrete walls increasing the height of the fieldstone walls. Inserted in the new wall space were window/vent openings that provided additional ventilation to the building interior. The new addition at the east end of the building was of reinforced concrete and brick infill construction with a bowstring truss roof. The railroad spur line ran to this end of the large building.

*P3b. Resource Attributes: (List attributes and codes) HP8 (Industrial Building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast, Sept 2008.

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1900/1916/1932.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey

report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 7R

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Cooling Tower Base, Guasti Village Historic District, Building # 51 (demolished 2008).

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445620 mE/ 3769274 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Located just to the north of Building 49.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This concrete pad served as the base for the cooling towers. The cooling towers were part of the fermentation process with the grapes.

This resource had not been documented in any prior survey.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (Other)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast, July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1930.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P36-015587, P36-015987
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Distillery/Warehouse (fire damaged between 1985 and 1994), Guasti Village Historic District, Building # 52 (3).

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address:

City: Ontario

Zip: 91761

d. UTM: Zone: 11 ; 445756 mE/ 3769246 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
 Located immediatly north of Building 54.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This building was almost destroyed by fire. Only the stone walls remaining standing from what was one of the main distillery buildings. The section remaining measures approximately 70 feet wide by 50 feet long. The fieldstone section was only one-third of the building total size before the fire.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (Other)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northwest, September 2008.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1904.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P36-015988
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Scale House, Guasti Village Historic District, Building # 53 (19) (demolished 2008).

P1. Other Identifier: Mona's Flowers (1995)

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA

Date: 1966/1981 **T ; R ;** ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address: (approximate address in 2008) 3093 East Guasti Road City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445852 mE/ 3769196 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Was located at the west corner of intersection of the entrance road to Guasti Winery and Guasti Road.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) The scale house had dimensions of 13 feet wide x 21 feet long and set on a concrete pad foundation. The walls were constructed of 8 inch concrete block and the building had a gable roof set on a north/south axis. The Fairbanks scales were sub-level and the weigh bed measured 10 feet wide x 45 feet long. The scales could hold up to 80,000 pounds.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (Other – Scale House)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking southeast. February 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1941.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

***Required information**

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # Unknown
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 3 *Resource Name or #: Winery Warehouse/Post Office, Guasti Village Historic District, Building # 54 (1).

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Guasti, CA Date: 1966/1981 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: (approximate address in 2008) 3005 East Guasti Road City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445719 mE/ 3769212 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

The most southern of the large fieldstone warehouses, it bordered the north side of Guasti Road.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This 55,000 square foot warehouse constructed of fieldstone and cement mortar has walls which are 16 feet high and up to 3 feet thick. A basement area runs under the building and is approximately 16,000 square feet. The medium-pitched gable roof is constructed of wood frame. The windows and doors in the fieldstone building are set within the thick walls and have segmental arches. The front elevation is that facing south and Guasti Road and a 20 foot wide by 50 foot long section projects from the main block of the winery with a curvilinear Mission style parapet. It contains some of the offices for the winery and shares space with a branch of the U.S. Post Office. The fieldstone building has taller walls on the east end than on the west end. The west end may have been added or altered after the fire in 1916 which totally gutted this and Building 50 (Los Angeles Times, July 4, 1916.) At the far west end of the building, a large concrete brick shipping dock building unit was added in the 1930s or 1940s. Along the exterior of the north side of the warehouse, there are still remnants of the railroad spur that picked up wine and grape products for distribution around the United States. Inside the building is the large steam engine plant that produced the power for the machinery inside the building before electrical power became practical.

*P3b. Resource Attributes: (List attributes and codes) HP8 (Industrial)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking northwest. September 2008

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both
 Estimated 1904/1916/1930.

*P7. Owner and Address:

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

*P8. Recorded by: (Name,

affiliation, and address)
 Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

*P9. Date Recorded: October 2008

*P10. Survey Type: (Describe)
 Update of Guasti Village Historic District

*P11. Report Citation: (Cite survey

report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

*Recorded by: Pamela
Daly, M.S.
DPR 523L (1/95)



Building 54, north elevation, east end of building, view looking southwest, September 2008.



Building 54, south elevation, mid-section of the building, view looking northwest, September 2008

***Recorded by:**
Pamela Daly, M.S.
DPR 523L (1/95)



Building 54, north and west elevation, west end of building, view looking southeast, September 2008.



Last section of railroad spur line that ran along the north side of Building 54.
Photo looking east, September 2008.

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # Unknown
 HRI #
 Trinomial
 NRHP Status Code 3D

Other Listings
 Review Code

Reviewer

Date

Page 1 of 1 *Resource Name or #: Power House, Guasti Village Historic District, Building # 55 (#2 – 1985 survey, included with #54 – 1995 survey, renamed #55 in 2007 survey)

P1. Other Identifier:

***P2. Location:** Not for Publication Unrestricted

***a. County:** San Bernardino

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Guasti, CA **Date:** 1966/1981 **T ; R ;** ¼ of ¼ of Sec ; M.D. **B.M.**

c. Address: (approximate address in 2008) 2959 East Guasti Road City: Ontario Zip: 91761

d. UTM: Zone: 11 ; 445616 mE/ 3769186 mN (G.P.S.) NAD 27

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Located south of Building 54, towards the west end, between Building 54 and Guasti Road.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This small building was used to house a large electrical transformer to supply power to the winery. A small, utilitarian building, it was constructed with medium sized fieldstone or river rock. The rectangular building has a shed roof and one door on its east elevation. The transformer within the building would have been used to step-down the power from lines that ran parallel to the railroad tracks.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (Other –Small Power House)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View looking west, July 2007.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both
 Estimated 1910.

***P7. Owner and Address:**

Oliver McMillan Company
 733 8th Avenue
 San Diego, CA 92101

***P8. Recorded by:** (Name, affiliation, and address)

Pamela Daly, M.S.
 Architectural Historian
 4486 University Avenue
 Riverside, CA 92501

***P9. Date Recorded:** October 2008

***P10. Survey Type:** (Describe)
 Update of Guasti Village Historic District

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") None

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Record

Rock Artifact Record Photograph Record Other (List):

Art

DPR 523A (1/95)

***Required information**

OHP Primary #	1984 Survey #	1995 Survey #	Description or address	Condition in October 2008
Unknown	1	54	Stone warehouse, post office, on old Guasti Ave.	Extant
Unknown	2	55	Stone powerhouse, Guasti Ave.	Extant
P36-015587, P36-015987	3	52	Stone warehouse – fire damaged	Extant
P36-015587	4	50	Stone warehouse – raised roof	Extant
P36-015589	5	Noted with Building 54	Rail road spur line from SPRR line, steam line temporary tracks	Small section remains on north side of Building 54
Unknown	6	47	9776 Guasti Road, Coopers House	Will be moved
Unknown	7	48	9750 Guasti Road, Foreman’s House	Will be moved
P36-015469	8	49	Tasting Room	Extant
P36-015586	9	42	1915 brick bottling house	Demolished
Unknown	10	45	1920 brick warehouse, store house	Demolished
P36-016280	11	35 and 36	Large corrugated sided warehouse	Demolished
P36-016289	12	11	Guasti Market	Extant
P36-015588	13	39	Reception Hall/offices/La Villa Guasti Restaurant	Demolished
P36-016278	14	33	Long warehouse for storage	Demolished
P36-016277	15	34	Old gas station	Demolished
P36-015584	16	37	Storage building	Demolished
P36-015583	17	40	Large packing plant	Demolished
P36-015582	18	Demolished between 1985 and 1995	Bottling plant	Demolished
P36-015988	19	53	Scale House with Fairbanks in-ground scales	Demolished
P36-015585	20	43	Sherry House	Demolished
P36-016279	21	38	Guasti Mansion	Extant
P36-015471, P36-016298, P36-016290, SPHI-SBR-076, SHL 36-0010	22	1	Church of San Secondo d’Asti Church/Guasti Community Church	Extant
P36-016207	23a	19	Firehouse	Extant
P36-016208	23b	18	170 Pepper Tree Lane, altered hip roofed house	Demolished
P36-016209	23c	17	173 Pepper Tree Lane, hip house	Demolished
P36-016210	23d	16	177 Pepper Tree Lane, hip house	Demolished

P36-016211	23e	15	178 Pepper Tree Lane, hip house	Extant
P36-016212	23f	14	179 Pepper Tree Lane, hip house	Extant
P36-016213	23g	13	181 Pepper Tree Lane, gable house	Extant
P36-016214	23h	12	185 Pepper Tree Lane, gable house	Demolished
P36-016216	23i	20	192 Pepper Tree Lane, hip house	Demolished
P36-016217	23j	21	196 Pepper Tree Lane, hip house	Demolished
P36-016215	23k	22	197 Pepper Tree Lane, hip house	Demolished
P36-016218	23L	23	199 Pepper Tree Lane, hip house	Extant
P36-016219	23m	24	202 Pepper Tree Lane, hip house	Demolished
P36-016204	23n	25	Old Fieldstone Stable/Garage	Demolished
P36-016206	23o	26	1943 Bunkhouse	Demolished
P36-016205	23p	10	Recreation Hall/Old Bakery	Demolished
P36-016291	23q	9	213 Turner Avenue, hip house	Demolished
P36-016292	23r	8	214 Turner Avenue, hip house	Demolished
P36-016293	23s	7	215 Turner Avenue, hip house	Demolished
P36-016294	23t	6	221 Turner Avenue, hip house	Demolished
P36-016295	23u	5	223 Turner Avenue, hip house	Demolished
P36-016296	23v	4	224 Turner Avenue, hip house	demolished
P36-016297	23w	3	226 Turner Avenue, hip house	Demolished
	23x	Demolished between 1985 and 1995	218 Sycamore Lane, gable roof house	Demolished
P36-016287	23y	32	235 Sycamore Lane, gable roof house	Demolished
P36-016286	23z	31	233 Sycamore Lane, gable addition to hip roof	Demolished
P36-016283	23aa	30	227 Sycamore Lane, hip house	Demolished
P36-016284	23ab	29	229 Sycamore Lane, hip house	Demolished
P36-016285	23ac	28	230 Sycamore Lane, hip house	Demolished
P36-016282	23ad	27	220 Sycamore Lane, gable house	Demolished
No Primary #	24	44	Modern Storage building (1968)	Demolished
No Primary #	25	41	Modern Storage building (1968)	Demolished
No Primary #	26	46	Public Bathrooms (1980)	Demolished
P36-015470	None	2	Louisa Guasti School	Demolished
No Primary #	N/A	51	Cooling Tower Base	Demolished
P36-015469 CPHI-SBR-084			All of the Guasti Winery, 1975, California Points of Interest	

D1. Historic Name: Guasti Winery, Italian Vineyard Company
D2. Common Name: Guasti

***D3. Detailed Description** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.): The Guasti Historic District consists of fifty-five resources (buildings, structures) on approximately sixty acres of land one mile east of downtown Ontario, on the south side of Interstate 10 freeway. There existed a company town that was comprised of multiple winery buildings, a workers village, a mansion, a church, a market, a restaurant, a post office, a firehouse, a gas station, rail lines, a scale-house, and a school. Other contributing elements consisted of roads, temporary rail lines, streetlamps, landscaping, sidewalks, road signs, and decorative fencing around some of the houses. The complex was roughly divided with the worker community on the east side of the complex site, and the industrial buildings relegated to the eastern section. Roughly in the middle sits the Guasti Mansion, constructed in 1922. The earliest winery buildings were constructed of local fieldstone or river rock and a Portland-based mortar. These early buildings were used for fermenting, bottling, storing, barrel making, aging and mixing the produce from the grapes crushed on site. As the winery grew from 1,500 acres to 5,000, more large buildings were added to process the grapes. Spur lines from the Southern Pacific Railroad tracks, that parallel Old Guasti Road, ran into the main site of the winery to pick up goods in bottles and barrels, and deliver supplies. A group of twenty small wood-framed houses for permanent workers were constructed in the 1920s, and were built in addition to the early houses dating from 1900 to 1920. The group of 1920s houses were all similar with pyramidal or hipped roofs. Earlier residences on site had gable roofs. Most temporary workers were housed in bunkhouses just outside the main complex on the south side of the railroad tracks, although a few permanent bunkhouses were built within the main complex.

***D4. Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

In 2007, the entire Guasti Winery complex was roughly located between Interstate 10 to the north; Old Guasti Road to the south; Turner Road to the east and Archibald Avenue to the west. The Louisa Guasti School and the Church of Secondo D'Asti are located just outside those boundaries, on the east side of Turner Road.

***D5. Boundary Justification:** The boundary encompasses the area where the historic events took place. It surrounds the main living and activity area established by Secondo Guasti for the Italian Vineyard Company south of the city of Ontario, CA.

***D6. Significance:** Agriculture, Community Planning and Development, Italian Heritage, Wine Industry, Social History.

Historic Context: Company Towns, Wine Making **Area:** California, United States

Period of Significance: 1900 - 1940

Applicable Criteria:

The Guasti Winery is significant under Criteria A for its association with the establishment of a company town to support the largest winery in the world in the first half of the twentieth century. Secondo Guasti built a company-town to support the workers and operations of the Italian Vineyard Company in Guasti, San Bernardino County, California.

The Italian Vineyard Company was incorporated by Secondo Guasti in 1900 in Los Angeles, California. At the time, his wife Louisa was assigned the position of Treasurer and his longtime associate J. A. Barlotti as Secretary. From 1900 to 1927, Guasti purchased almost 5,000 acres of land and established the largest winery in the world on the site. During the first ten years he was primarily interested in growing grapes to improve the variety of grapes, the yield, and the harvesting. To accomplish the processing of his grapes, he built large stone, gable-roofed buildings to house the huge wood vats used to mix and ferment the wine. He also built other large stone, brick and concrete buildings to house the bottling works, the cooperage, shipping operations, and workshops. Starting in 1920, Guasti put a large amount of his resources into establishing a company town with a market, a bakery, small houses, bunkhouses, streets, landscaping, lighting, a church and a school. The large villa-style house was constructed for his son, Secondo Guasti Jr. after his marriage in 1923. By 1924, Italian Vineyard Company was shipping its products worldwide from its branches in New York, Chicago and New Orleans. Located next to the Southern Pacific Railroad line it shipped out over 4 million gallons of wine or grape-related products a year from a spur line that ran into the winery complex. Secondo Guasti ran the Italian Vineyard Company until his death in 1927. His son, Guasti Jr., then took over the reins until his untimely death at the age of 42 in 1933. The death of Guasti Jr. threw the company into turmoil as this was also the height of the depression and the Volstead Act would not be repealed until December of 1933. The company town of Guasti, and associated vineyards, changed hands many times over the years that led to thousands of acres being sold off for development (including the land where the Ontario Airport is now located.)

The complex of buildings that had comprised the Italian Vineyard Company in 1933, would remain relatively intact until 2007 when a new owner was authorized to demolish over 40 buildings, while retaining a central core of eight structures including the large stone warehouses, the mansion, the Cooper's House, the firehouse, the market and a few of the workers houses.

The remaining buildings of the district still retain significance for their association with the world's largest winery in the 1920s and the architecture of the Guasti mansion and fieldstone winery buildings. The buildings were constructed on a permanent basis

in the early 1900s under the direction of Secondo Guasti who purchased 1,500 acres in 1900. As Guasti's land holdings increased to 5,000 acres in just a short ten years, he renamed the railroad stop from Zucker to Guasti, and financially supported the buildings of houses, stores, a church and school to serve his workers. Living somewhat apart in lightly inhabited San Bernardino County, Secondo Guasti built a company town that supported the physical and educational needs and spiritual sustenance necessary for a healthy worker and his family.

Company towns had been built across the United States by company owners to houses and support workers employed in their large industrial operations. These included Pullman, Illinois constructed for workers with Pullman Railroad Cars, and towns near the coal fields in Pennsylvania and West Virginia. In Humboldt County, California, the cookhouse (dining hall) of the Samoa community created by Hammond Lumber still stands although the worker housing surrounding it was demolished in the 1980s.

As a historic district, Guasti has lost its integrity with the loss (demolition) of more than 75 percent of the original buildings which made up the company town. That being said, the Guasti Mansion would still be eligible individually under Criteria 3 as a building that possesses high artistic value. The Guasti Mansion was designed by Morgan, Walls & Clements in a blended design of Italian and Spanish Revival styles. Morgan, Walls and Clements was an architectural firm located in Los Angeles who have been recognized for their extensive contribution of buildings in the Beaux Arts style that included the Pantages Theater, the El Capitan Theater, and the Sampson Tyre and Rubber Company Building (also known as the Citadel). For many years after its construction the Guasti Mansion was considered the finest house in the Ontario area.

***D7. References** (Give full citations including the names and addresses of any informants, where possible.):

Gebhard, David and Robert Winter. *An Architectural Guidebook to Los Angeles*. Salt Lake City, UT: Gibbs Smith Publisher. 2003.

Hatheway & Associates, "Guasti Village Architectural Survey". 1994/1995. On-file at the Model Colony Room, Ontario Public Library Main Branch. (This document also contains the report by the Ontario Planning Department, Jim Warner/Cynthia Solie, survey of all the Guasti buildings performed in 1985.)

Hofer, James D. "Guasti and the Italian Vineyard Company". (Unpublished article.), 1984. On-file at the Model Colony Room, Ontario Public Library Main Branch.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York, NY: Alfred A. Knopf, 1996.

Ontario Model Colony Room, Ontario Public Library. "Secondo Guasti". (Unpublished article.)

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Ontario Model Colony Room, Ontario Public Library. "Brookside Vineyard Company". (Unpublished article.)

State of California, Department of Parks and Recreation, Points of Historical Interest: "San Secondo D'Asti Catholic Church, San Bernardino County, SBR-076". 1975. On-file at the San Bernardino Archaeological Information Center.

State of California, Department of Parks and Recreation, Points of Historical Interest: "Guasti (Brookside) Winery, San Bernardino County, SBR-084". 1975. On-file at the San Bernardino Archaeological Information Center.

U.S. Department of the Interior, National Park Service. *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*. 2002 Available on-line at: http://www.cr.nps.gov/nr/publications/bulletins/nrb15/nrb15_4.htm

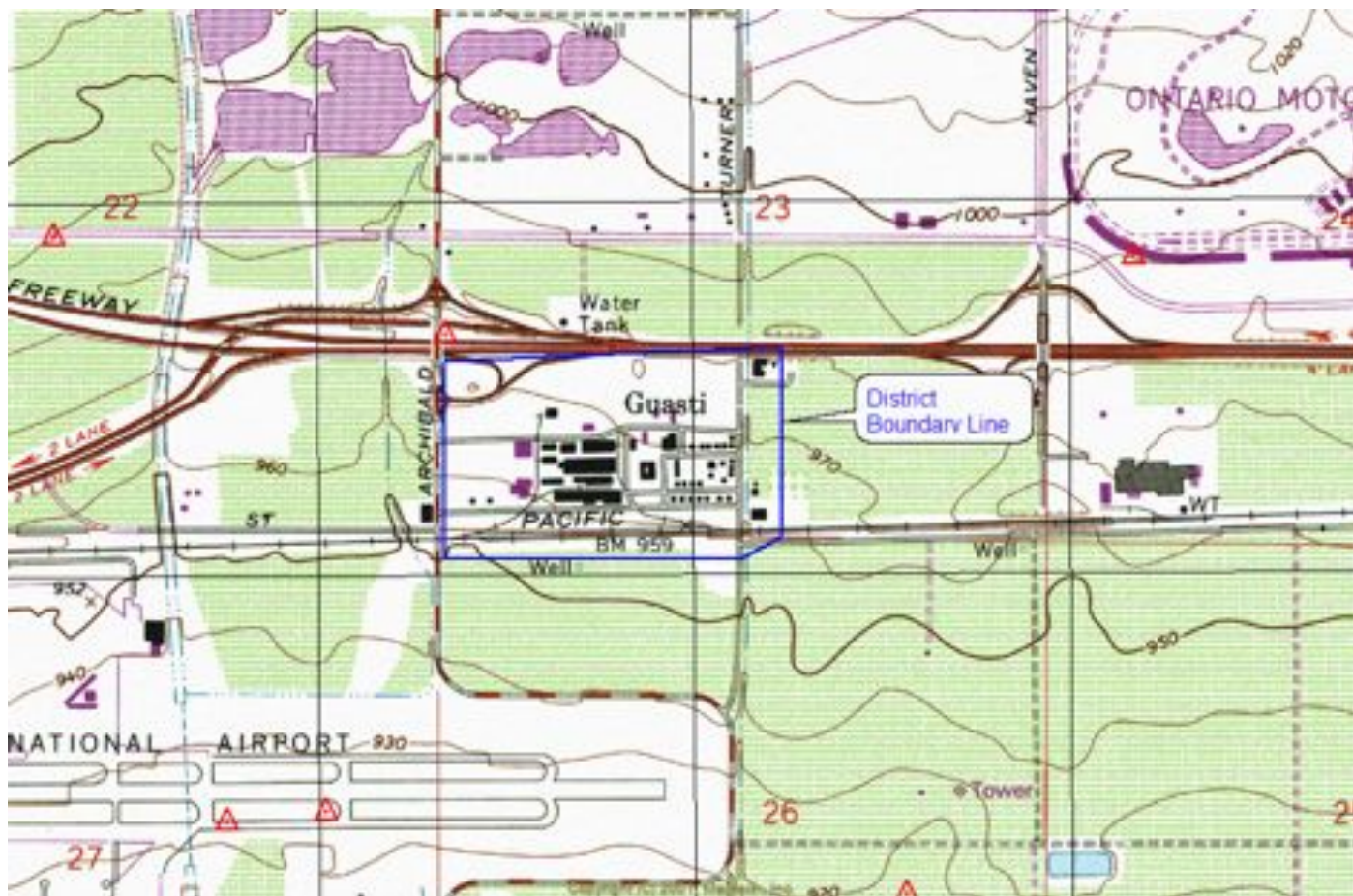
***D8. Evaluator:** Pamela Daly, M.S., Architectural Historian

Date: October 2008

Affiliation and Address: Daly & Associates, 4486 University Avenue, Riverside, CA.

DPR 523D (1/95)

***Required information**



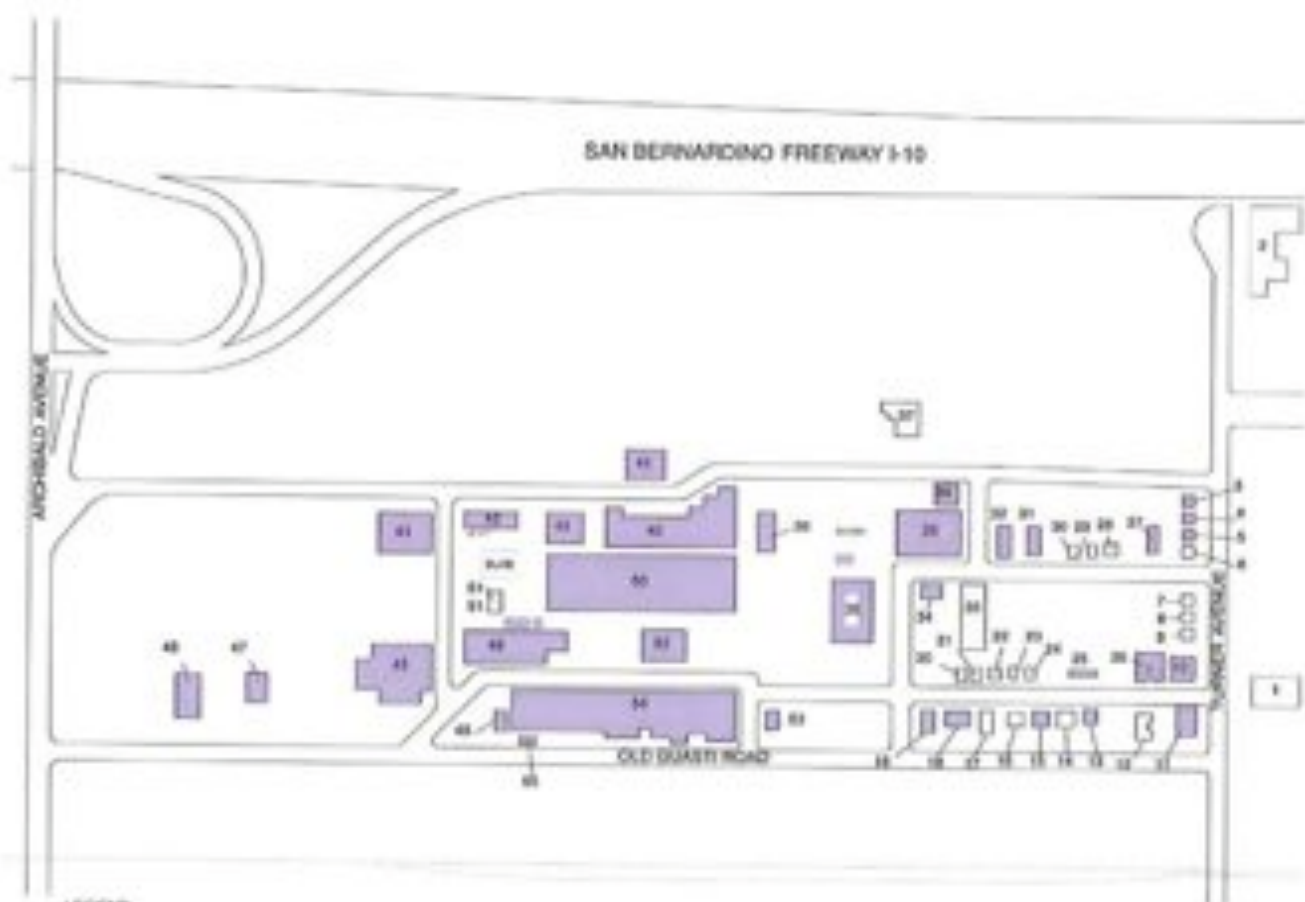
*Recorded by: Pamela Daly
DPR 523L (1/95)

*Date: Oct 2008

Continuation Update
*Required information

SECTION D

GUASTI SITE PLAN



LEGEND

1	Small Church/Church of San Bernabé + part of part	10	Old Fire Station	34	Old Administration Building (Industrial Office/Shipping)	51	Existing Tower Foundation
2	Large Small School (part + part)	20-24	Residence	35	Storage/Buffing	52	Went (Fire Damaged) Mining
3-4	Residence	25	Old Truck Building	41	Storage	53	Old Truck House
5-6	Catholic Church	26	Old Bank/Post	42	General Market	54	Food Office/Old Heavy Warehouse
7	Coffee + Parking	27-30	Residence	43-45	General Market	55	Powerhouse
8-9	Residence	31	Old Garage	46	Public Restroom		
10	Recreation Hall/Old Bakery	32	Gasoline Station	47	Foreman's Residence		
11	Small Market	33	Garage	48	Copier + Residence		
12	General Store	36	Old Plye Storage/Carpenter Shop	49	J. Filipe Tending Room		
13-14	Workshop/Residence	37	Old Truck/Tractor Storage	50	Stone Warehouse		
		38	Small Warehouse				

SITE PLAN 