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Section 7 Residential Design Guidelines

7.1 INTRODUCTION

Borrowing from the vision of Ontario’s founder, George Chaffey, Jr., Edenglen’s walkable design is reminiscent of many 1900s-era American small towns. It will be the kind of place where flags reflecting the season line the streets, children make wishes and throw their pennies into the neighborhood fountain, and an unexpected visitor is always welcomed.

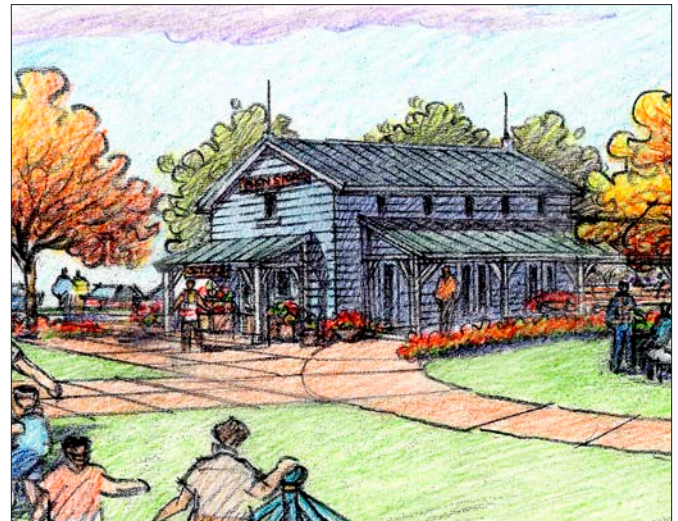
Edenglen is designed as a traditional residential community that connects to Ontario’s historic past and emphasizes its pedestrian-friendly streets, landscaped parks and inviting gathering places. Architecture-forward and rear-access garages provide relief to the interface between cars and people, while front porches and landscaping help to soften the streetscene. A range of home types and authentic architectural styles further enhances the nurturing, friendly atmosphere—setting the tone for future family-oriented communities within the New Model Colony.

In order for the vision of Edenglen to be fully realized as an attractive and welcoming place to live, the design team has developed the Edenglen Residential Design Guidelines. This document will provide planning, architectural, and landscape criteria to describe various techniques and elements encouraged in the design of the homes and facilities at Edenglen. The appropriate selection of architectural styles, materials, landscaping and massing are important to creating quality homes in a pleasing living environment.

In an effort to encourage creativity and innovation, the Guidelines are to be used as a tool to inspire architectural creativity while maintaining the character and quality anticipated for the community of Edenglen. The guidelines express “intent” rather than “absolutes”, thereby allowing certain flexibility in fulfilling the intended design goals and objectives. The sketches and graphic representations contained herein are for conceptual purposes only and are to be used as general visual aids in understanding the basic intent of the guidelines.

These Guidelines are organized into the following sections:

- Architectural Style
- Massing
- Materials and Details
- Home Types
- Landscape Design
- Implementation



Conceptual Country Market and Rec Center

“The American city should be a collection of communities where every member has a right to belong.

It should be a place where every man feels safe on his streets and in the house of his friends.

It should be a place where each individual’s dignity and self-respect is strengthened by the respect and affection of his neighbors.

It should be a place where each of us can find the satisfaction and warmth which comes from being a member of the community of man.

This is what man sought at the dawn of civilization. It is what we seek today.”

U.S. President Lyndon B. Johnson
Special message to Congress
on the Nation’s cities—March 2, 1965

EDENGLLEN
ONTARIO, CALIFORNIA

7.1.1 Guiding Principles

Guiding Principles for residential design for Edenglen:

Buildings should contribute to the qualitative nature of neighborhood.

- Proper scale and proportions in massing and details should be used
- Transitional spaces between public and private spaces (courtyards, porches, low walls, etc.) should be implemented
- Building setbacks at front and rear should be varied
- Massing and articulation should be varied
- Garage placement should vary from lot to lot and should not be the dominant feature of the home

Buildings should have an enduring quality.

- Design should draw inspiration from the rich and diverse Southern California architectural heritage
- Regionally appropriate materials and colors should be used
- Authentic details and ornamentation should be emphasized
- Durable materials should be used

Buildings should be designed with architectural sensitivity to human scale.

- Doors, windows, indoor, and outdoor spaces should be intimate and secure
- Designs should not overpower the overall streetscape

Buildings should be appropriate to the climate and context.

- Shading and shaded areas should be provided to protect from intense summer sun
- Protection from adverse weather should be considered using a variety of techniques in designs.
- Buildings should complement and reflect the surrounding environment
- Design should encourage outdoor activities

Buildings should be designed of materials and techniques appropriate to achieving realistic hard cost objectives (see Simple Home Design section).

- Efficient structural systems should be considered
- Consistent window and door sizes are encouraged
- Use of standard modules and sizes is encouraged



Homes should have an enduring quality

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7.2 ARCHITECTURAL STYLES

7.2.1 Introduction

The residential architectural intent for Edenglen is to emphasize diversity of styles, floor plans, garage placement, materials, and color. In keeping with the overall community theme, the homes will be of high quality and contribute positively to the character of the community and City of Ontario. Overall, the design concept is to blend the traditional architectural styles found in Ontario and Southern California with contemporary lifestyles, current building methods and emerging technologies. Additionally, these styles incorporate detailing appropriate to the setting.



Traditional Style

Acceptable architectural styles include Spanish, Bungalow, Cottage, Monterey, Traditional and Territorial Ranch. These styles are appropriate to the region, address the needs and lifestyles of the residents, and support the community theme reflective of Ontario’s historic development pattern. Brookfield Homes seeks to embrace that diversity in architectural style and design, while responding to market desires.

Builders may submit home designs using alternative architectural styles to those listed, provided they are appropriate to the region, environment and setting.

Diversity is a fundamental guiding principle at Edenglen. This ensures that neighborhoods are varied and that blanket uniformity is avoided.

The styles selected for Edenglen share similar design attributes. Specifically, these styles:

- Are compatible and complementary
- Are generally accepted by the market (actually desired)
- Can be implemented using current building methods and techniques
- Can be interpreted in a number of ways (creativity, diversity)
- Have a historic relevance to the region (timeless in nature)
- Can be interpreted in contemporary and/or regional adaptations

Builders are required to produce a minimum of two styles for a 3-plan package, and three styles for a 4-plan or more package. Attached plans may require additional styles to avoid repetition in certain locations.

7.2.2 Architectural Philosophy

Southern California has a rich legacy of early agriculturally-based towns, such as Ontario, that have fostered a variety of traditional architectural styles. As these towns were being established, architectural styles were often imported from the Midwest and East Coast in the form of pattern books from which the builders chose the style and massing of their homes. Placed in the setting of “sunny” Southern California, the styles were then often modified to meet specific climatic influences of the region. Outdoor spaces became more prominent and useful year-round, colors were light earth tones, and materials included a blend of plaster, stucco and siding.

Additionally, the Spanish history of Southern California also influenced the architecture of the region. Brought to the region by Spanish settlers and missionaries, these homes were well-suited for the temperate climate of Southern California.

The theme of Edenglen’s architecture is based upon these architectural styles historically found in Ontario. Edenglen’s homes shall age gracefully over time, contributing to the sustainability and vitality of the neighborhoods. All architectural styles have been chosen for their traditional forms and timeless character that reinforces the charming nature of the neighborhoods and of historic Ontario.

All architectural styles outlined in these guidelines should be interpreted with authenticity. Simple yet detailed forms are crucial to the success of the community. All architectural styles must be detailed with elements that represent the best interpretations. Homes shall be designed with a few particular styles in mind prior to the beginning of the design process. A home designed to a particular set of compatible styles is always stronger than a home that has a style applied after the floor plan has been designed.

Additionally, each home is expected to provide a “gift to the street” — a positive contribution to the public realm. Specific elements may include, but are not limited to, architecture forward, porches, recessed garages, covered terraces, enhanced elevations, and landscape.

Residential Design Objectives:

- Emphasize styles of architecture that are compatible, yet vary enough to create interest and diversity
- Focus on traditional, more timeless styles of architecture
- Interpretations of styles that are authentic to the extent feasible
- Create a dynamic streetscape through variation in floor plan and elevation plotting
- Emphasize articulated building massing
- Emphasize front elevations that relate strongly to the street and contribute to the livability of that realm
- Design certain homes specifically for corner conditions
- Emphasize alternative garage configurations.
- Utilize authentic materials and colors that reinforce the overall design theme



Spanish Style Home at Corner



Craftsman Style Home

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7.2.3 Architectural Styles

The architectural character of Edenglen’s neighborhoods shall consist of complementary traditional architectural styles. As an architectural pedigree, they reinforce Edenglen’s connection to Ontario’s early beginnings, building upon a rich heritage of traditional neighborhood design. Additionally, the chosen styles complement one another through overall scale, massing, proportions, details, and the ability to establish a charming architectural backdrop that will age gracefully over time. The materials and colors of these home styles shall complement the overall landscape design of the neighborhoods. Each style shall be developed appropriate to the region, addressing the lifestyle needs of the residents.

Acceptable architectural styles for Edenglen’s homes include:

- Spanish
- Bungalow
- Cottage
- Monterey
- Traditional
- Territorial Ranch



Spanish Style

The following guidelines have been developed for the Specific Plan in order to create a community with a diversity of architectural styles and design:

- A variety of styles and plans is encouraged
- The same plan, either standard or reverse, shall not be platted adjacent to one another under most circumstances
- A variety of plan orientations is encouraged
- No two adjacent homes shall utilize the same architectural styles

SPANISH

History and Character

Spanish-inspired homes began appearing at the turn of the 20th Century in the form of the Mission style, reflecting a loose adaptation of features often found in detailing from various influences, including Moorish and Spanish Colonial. Edenglen's Spanish style is a catalog of styles unified by the order of arches, courtyards, strong form and mass, plain wall surfaces, and tile roofs, all derived from Mediterranean architectural styles. The Spanish style is most often characterized by an informal plan arrangement and massing. This informality reflects the natural composition of the farmhouses and small estates of Spain, which were not symmetrically composed.

General Attributes

Massing:

- Asymmetrical massing

Finishes and Details:

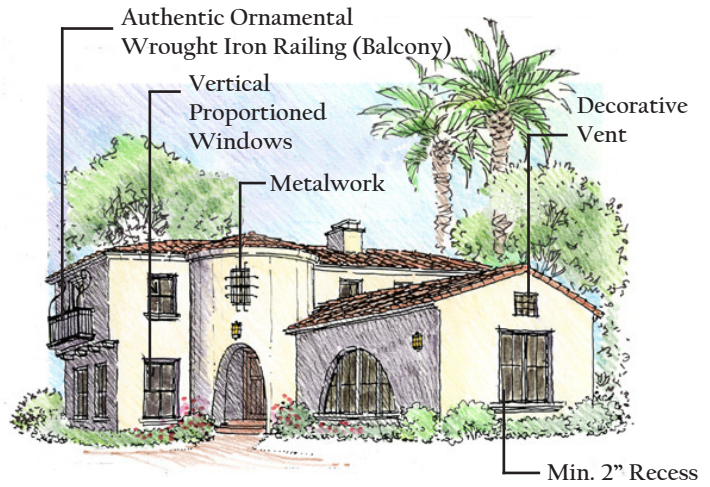
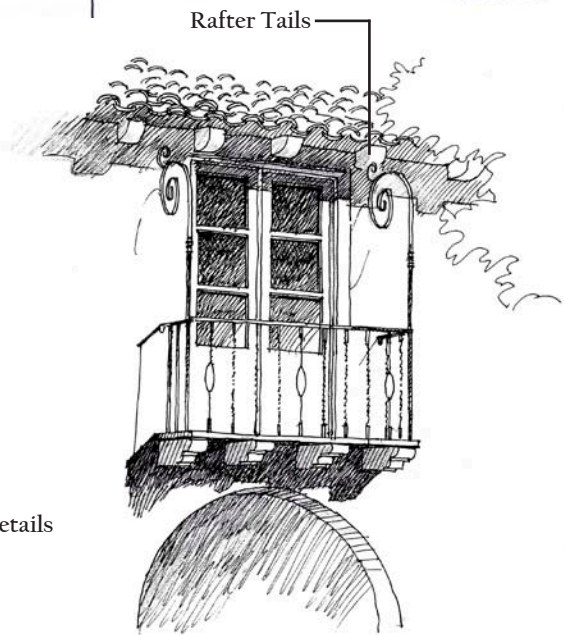
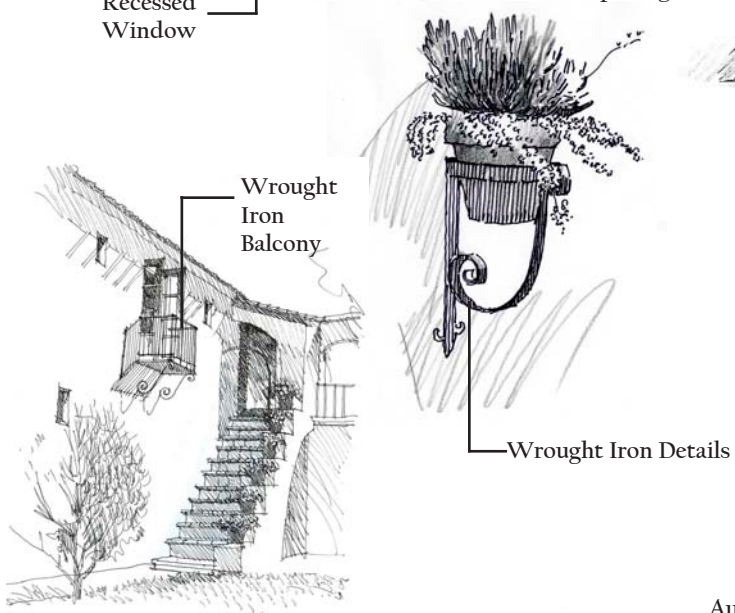
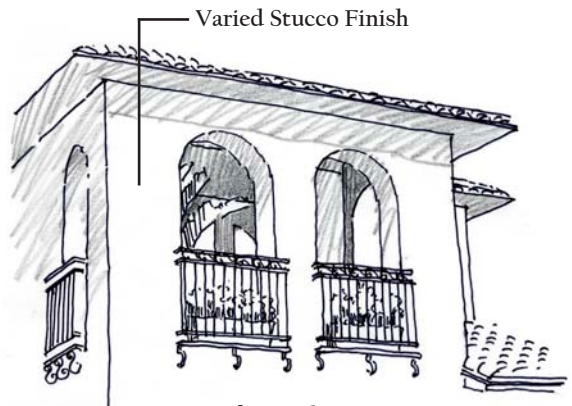
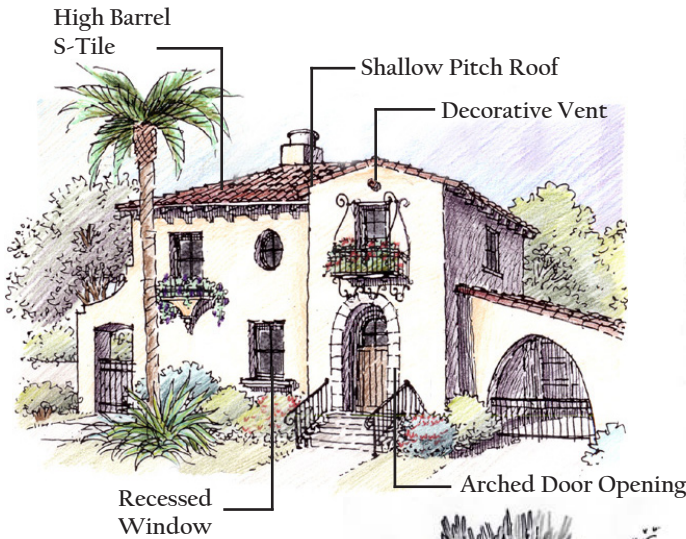
- Stucco exterior walls – smooth to sand finish with a handmade appearance
- Wood posts and stucco columns
- Chimneys are sculptured stucco
- Round arches
- Decorative columns and trim
- Stucco profiles at eaves and windowsill trims
- Ornate black wrought iron or metal railings, gates, grilles, etc.
- Shutters as occasional accents
- Wrought iron balcony (No tubular steel)
- Thick walls with deep recessed openings
- Covered patios/porches/loggias
- Detailing primarily at openings
- Stucco or tile decorative gable end vents
- Projected window and door balconies, open or roofed
- Round or square columns at one- and two-story porches
- Elaborate decorative hardware

Roofs:

- Low-pitched roofs, with minimal or no overhang
- Gable ends have tight rakes and overhangs
- Stucco eave details or wood corbeled rafter tails
- Gable end roof vents with clay pipe or decorative stucco grilles typical
- Gables and hip roofs typical
- Shallow sloped, concrete 'S' tile roofs in variegated colors (red clay is predominant color)

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SPANISH



Representative Images

BUNGALOW

History and Character

The Bungalow with its variations of the Craftsman style home evolved from the late 19th century American Arts and Crafts movement. These moderately detailed buildings are characterized by the use of hand-finished materials with a rusticated texture. Broad open porches, low sloping roofs with deep overhangs, multiple gables, asymmetrical compositions, oversized first floor windows, expressive trim, rafters, brackets, and porches characterize the Bungalow style.

General Attributes

Massing:

- Asymmetrical massing with horizontal proportions

Finishes and Details:

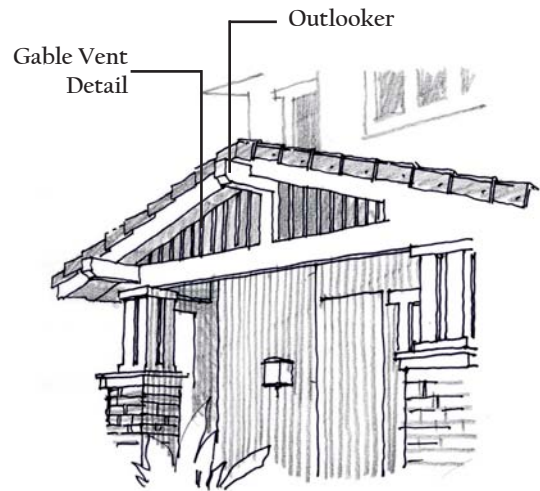
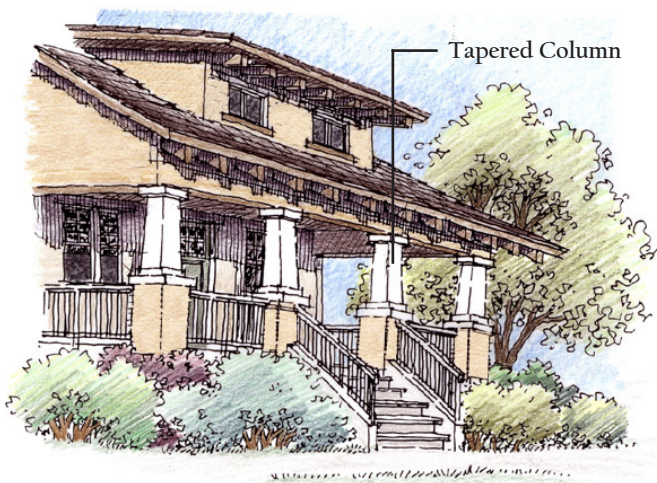
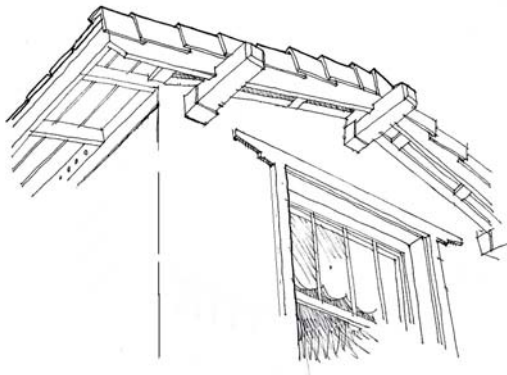
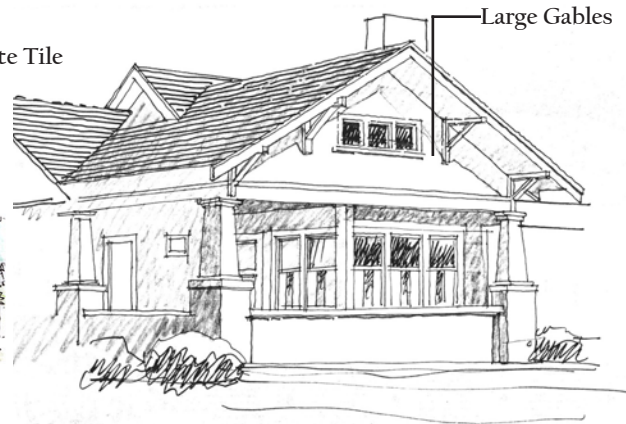
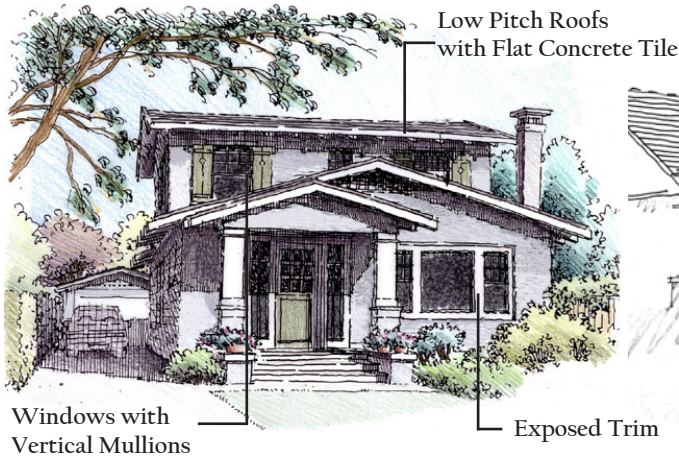
- Deep, broad porch elements with expressive structural components usually placed symmetrically
- Expressive structural elements such as rafters, brackets, and columns
- A mixture of materials such as stone, stucco siding
- Asymmetrical massing and window and door compositions
- Simple roof lines with wide projecting gables
- Stucco sand finish exterior walls, or wood or shingle siding
- Covered entry and surrounding stoop contained by a porch or roof covering
- Use of stone or brick at porch columns (typical)
- Variety of column and beam detailing at porches with stone or brick pilaster

Roofs:

- Deep overhangs
- Roof dormers
- Shallow-pitched roofs with deep overhangs
- Predominantly low-pitched gabled roofs, with the occasional hipped or shed roofs
- Flat concrete tile or architectural quality asphalt composition shingles, subject to City of Ontario Planning Department review and approval
- No rake tile

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BUNGALOW



Representative Images

COTTAGE

History and Character

The Cottage style is based upon early twentieth century American interpretations of English architecture. The design sources come from medieval English and French cottages, as well as country estates of Brittany and Normandy, larger manor homes, and rural village vernacular houses. The Cottage style captures a romantic and picturesque architecture. American interpretations include houses with simple volumes, most often with front-facing gables that have steeply-pitched roofs.

General Attributes

Massing:

- Asymmetrical massing
- Integral low site walls

Finishes and Details:

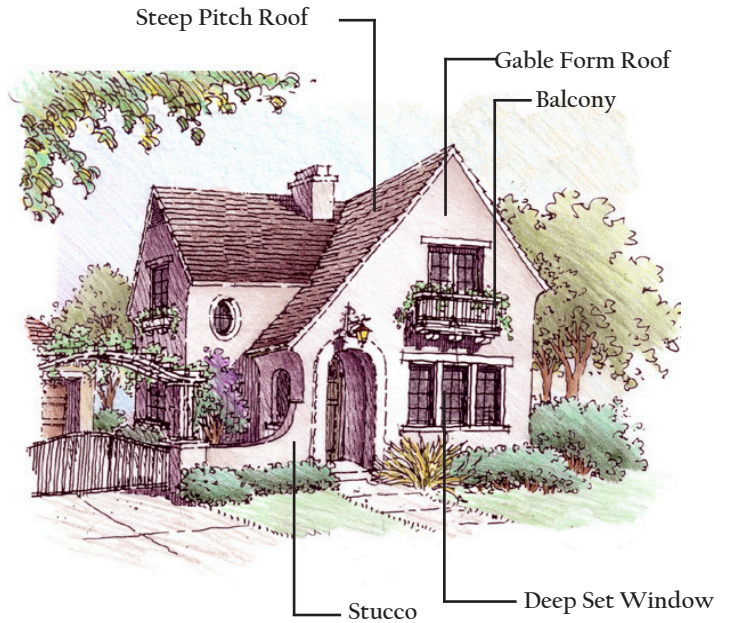
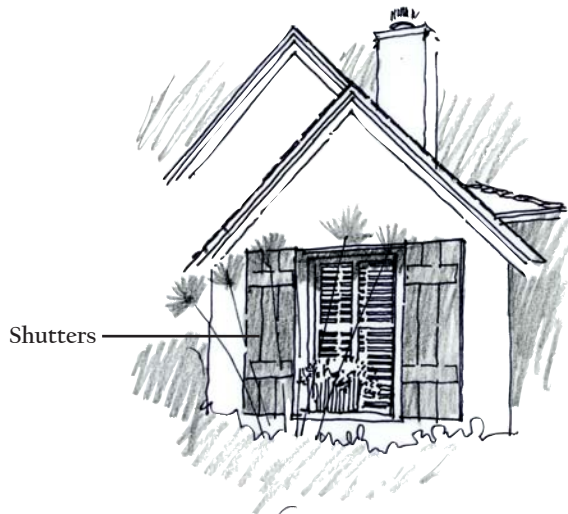
- Sculpted stucco sand finished walls
- Stucco recessed accents
- Vertical windows in groupings
- Large, simple roof planes
- Simple detailing
- Chimneys can be detailed with stucco above, and stone or brick veneer below with decorative chimney caps
- Half stucco chimneys with stone or brick on the lower portion
- The entry and surrounding raised stoop is covered and contained by a porch or roof covering
- The garage door can be a roll-up door with a variety of panel break-ups to correspond with the elements of this style

Roofs:

- Gable, hip and Dutch gable roof forms, accentuated with “bell-cast” or flared roof treatments at the eave
- Wide variety of roof dormer forms that break the fascia, continuing the wall plane below
- Stucco, brick or stone exterior material combinations
- Gable end venting in various styles
- Rooflines extending below window
- Shallow overhangs
- Steep roof pitches with dormers
- Roofs will be steep and simple with wide gables
- Slate look or flat concrete tile or architectural quality concrete shingles
- Standard medium overhangs
- Tight eaves
- No rake tiles

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COTTAGE



Representative Images

MONTEREY

History and Character

The Monterey style is a combination of Spanish Colonial construction methods and the basic two-story New England Colonial house. Architects in the 1920's began to reintroduce the style and modify the elements to suit the period preferences. The signature cantilevered balcony on the front of the house may be a prelude to the porch that often surrounds or defines a private courtyard in the back of the house. The original houses used adobe wall construction. Detailing on the porches and the cornice is extremely simple. Rafters are often exposed, gable or hipped roofs are used, chimneys often anchor one end of the house, and flat paneled doors are used both on the ground floor and on the balcony, in addition to a more solid entry door.

General Attributes

Massing:

- Simple, straightforward volumes sometimes with a gable wing facing the street and opposing cantilevered balcony from second floor

Roofs:

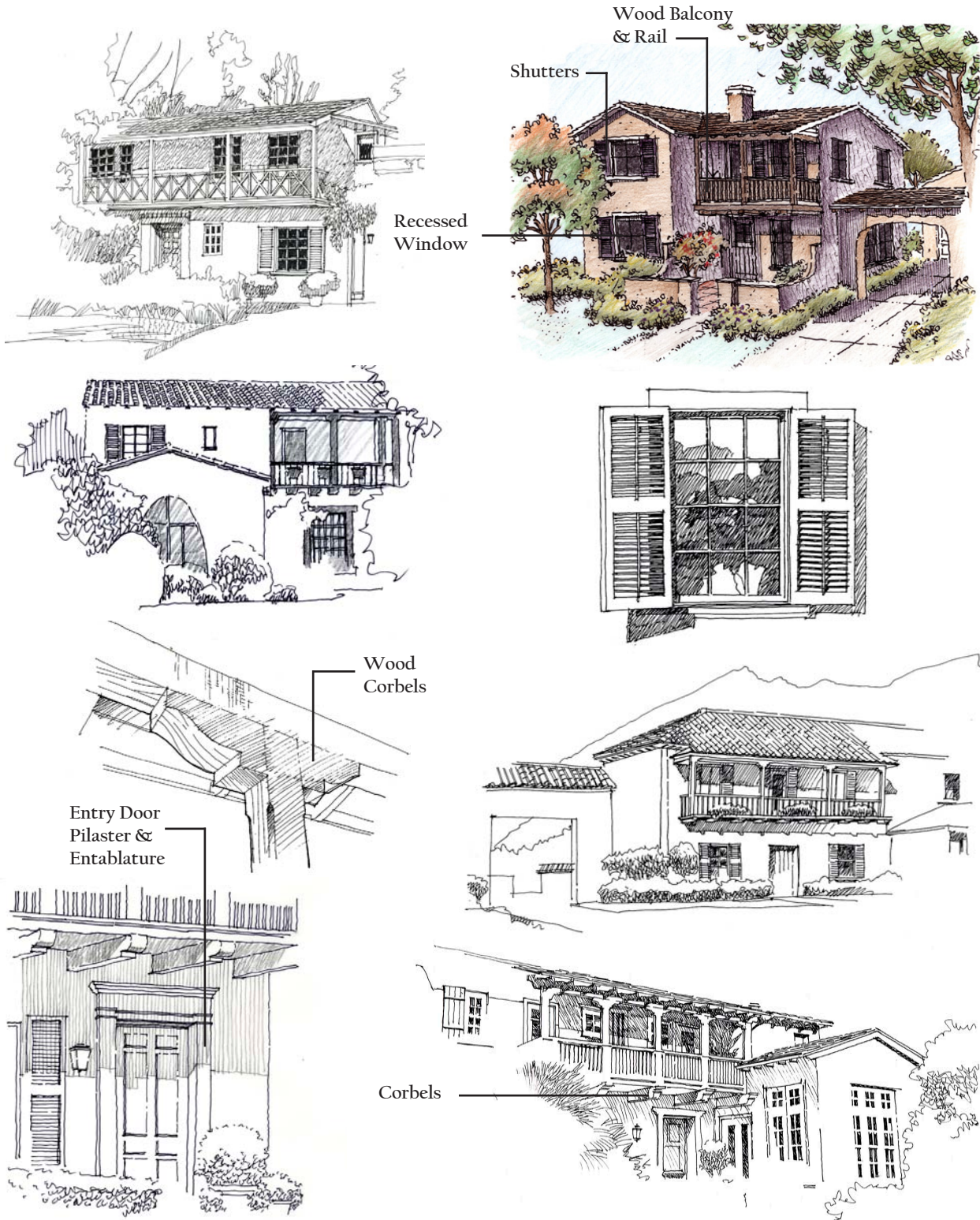
- Low pitch
- Flat concrete tile
- Gable, typically low-pitched
- Tight rake and extended eaves with exposed rafter tails

Finishes and Details:

- Cantilevered balconies
- Contrasting materials of stucco and siding between first and second floors
- Use of brick as a base for the elevation
- Shutter accents at doors and windows with wood or stucco trim surrounds
- Stucco as the predominant finish with brick and siding used as accent materials
- Enhanced front door surrounds with pediment trim above

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MONTEREY



Representative Images

TRADITIONAL

History and Character

The Traditional style is a picturesque country house based on classical design principles that were followed during the American Colonial period. Its interpretation, however, is regional in character. Massing is often more horizontal in appearance with special windows appearing in the center of the house over the front door. The houses are composed of simple forms with vertical proportioned windows and door surrounds. Front porches with a variety of columns and railings are common.

General Attributes

Massing:

- Symmetry
- Simple, straightforward, boxy volumes with one-story side wings and porches added make more complex shapes

Finishes and Details:

- Symmetrical and asymmetrical composition of doors and windows are common
- Simplified versions of Classical details and columns
- Siding will be used as an accent along with brick veneer
- Porches shall vary in size, either just around the area of the entry or the full width of the elevation for single family
- Stucco will be a sand finish and match the siding color
- Front porches with a variety of wood columns and railings
- Porches that cover the length of the front elevation
- Clapboard siding
- Stone veneer and brick used singularly or in combination with one another

Roofs:

- Pitched roof dormer
- Medium roof pitch
- Flat concrete roof tile or architectural quality composition shingle shall range in color from light brown to light gray
- Roof overhangs vary per interpretation
- Dormers and symmetrical elevations
- Roof ornamentation consists of cupolas, weather vanes and dovescotes
- Roof pitch over the porch breaking to a more shallow pitch
- Eave mouldings are typical for this style

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TRADITIONAL



Representative Images

TERRITORIAL RANCH

History and Character

Reminiscent of the early ranchers and farmers of Southern California, the Ranch Style was developed in response to their lifestyle, available materials and environmental considerations. The strong indoor/outdoor relationship is ideal for the temperate climate of the region and incorporates sliding glass doors, picture windows, terraces and secluded patios. These homes were influenced by Colonial, Spanish Colonial, Stick, Monterey, and Spanish Eclectic architecture; however, the detailing was simplified when adapted to the Ranch Style.

General Attributes

Massing:

- Simple rectilinear forms, horizontal massing and humble scale

Finishes and Details:

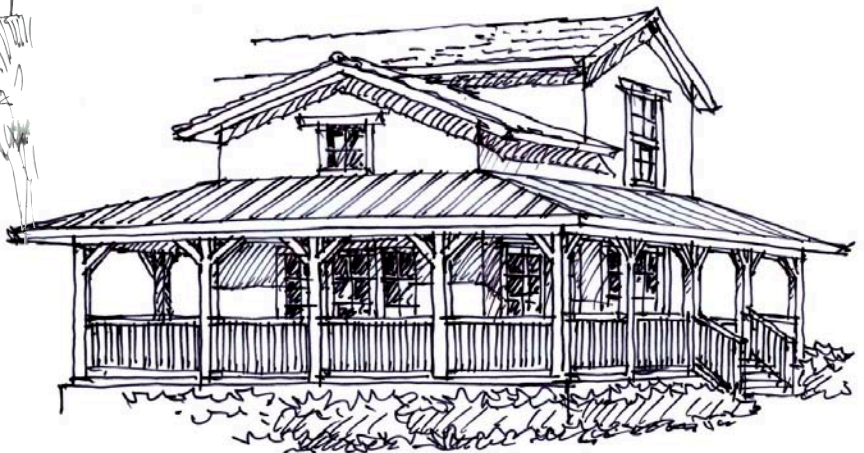
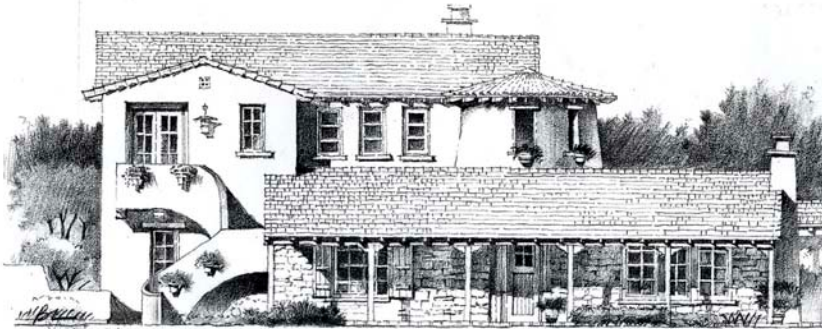
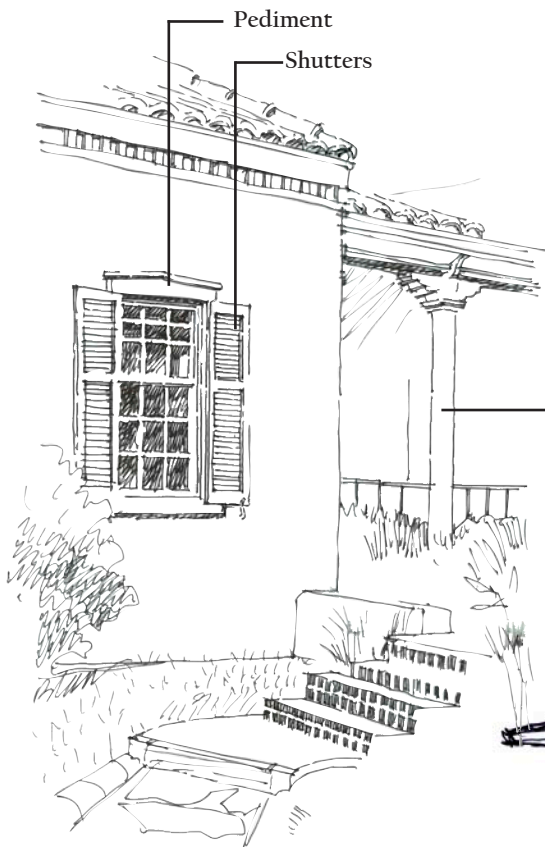
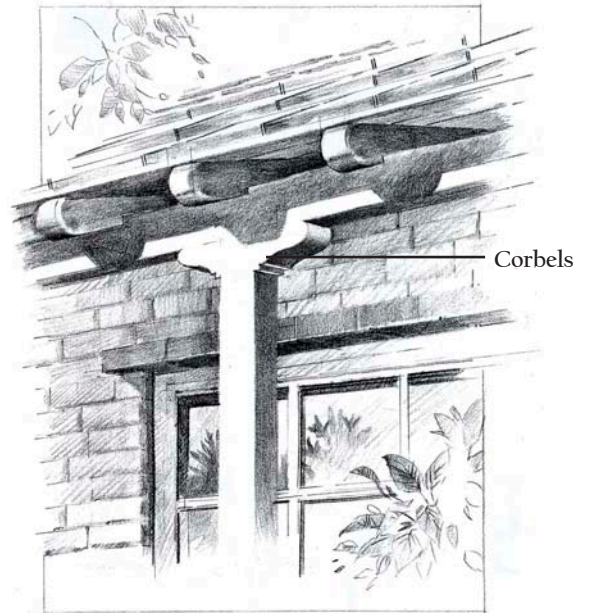
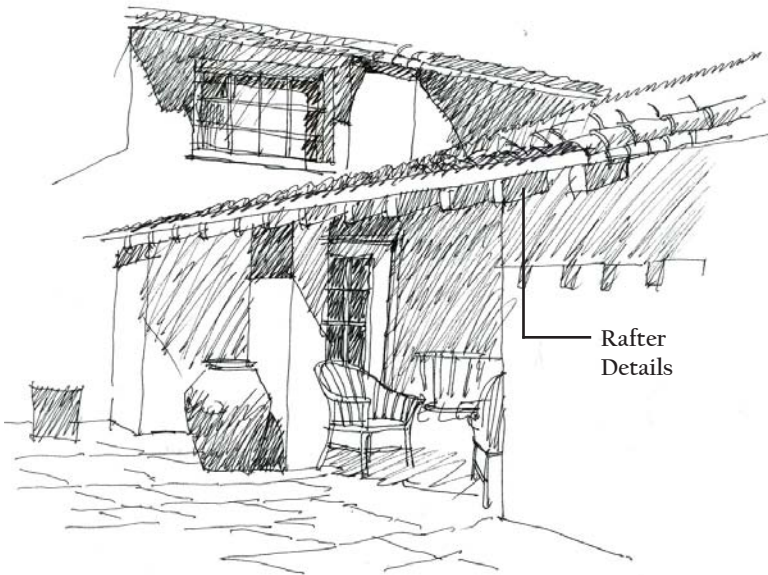
- Cladding materials of stucco, board and batten, and horizontal wood siding
- Porches along front and rear façades typically with a shallow roof breaking into the main roof plane
- Decorative shutters at windows with wood trim surrounds
- Simple column and railing detailing at porches
- Minimum 8"x8" post sizes for single wood columns

Roofs:

- Gabled dormers
- Long horizontal gable roofs of shallow to medium pitch
- Deep overhangs typical

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TERRITORIAL RANCH



Representative Images

7.3 MASSING

7.3.1 Introduction

The 'massing' section is intended to provide suggestions for creating neighborhoods and streetscenes that have a variety of building forms that are more proportionate to a human scale and more welcoming to the pedestrian.

Exterior massing of the home should reflect the general uses inside and be organized to create a positive street environment.

Objectives:

- Minimize visual impact of garages
- Give attention to composition of building mass
- Incorporate single-story elements in two-story buildings
- Vary setbacks at porches, living and garage areas
- Minimize two-story dominance of the streetscene, sidewalks and open spaces
- Design with sensitivity to corner lot conditions
- Use appropriate transition of scale
- Use four-sided elevation design



Varying single and two-story massing

7.3.2 General Elements

The general elements of building massing include:

- Front Articulation
- Roof Form
- Garage Placement
- Balconies and Projections
- Rear Articulation
- Variable Setbacks
- Corner Lots / Critical Edge Conditions



Architecture forward

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7.3.3 Front Articulation and Entry Scale

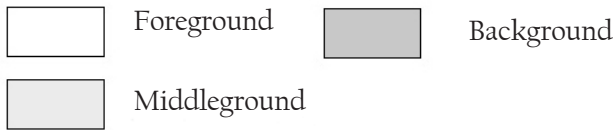
Intent:

The front elevation of the home is an important element in creating a quality community at Edenglen. Special attention will be placed on these elevations and how they address the public realm. Emphasis on location and design of entries, living areas and garages will be to provide a special element or “gift” to the street. Placing an emphasis on variety of building massing creates a diverse streetscene.

Criteria:

- Building massing should be appropriate to architectural style
- Building details such as doors and windows should be in proportion to the overall building massing
- All homes should have at least two planes (not counting the garage) of variation in front elevation massing
- Corner homes shall have single story elements at corner edge
- Porches and loggias shall be 7' minimum in depth and have an 8' plate height (70 SF minimum)
- Massing elements should project enough to avoid elevations that appear to be “pasted on”
- Building form is encouraged to reflect the interior uses of the home
- “Recessed” two-story elements are encouraged to create human scale buildings.
- Front elevations with a single-story element for two-story homes are encouraged
- Front elevations are encouraged to emphasize the placement of living areas, porches, covered terraces, entries, and windows to address the neighborhood street

Front Massing Legend



Covered entry door with porch



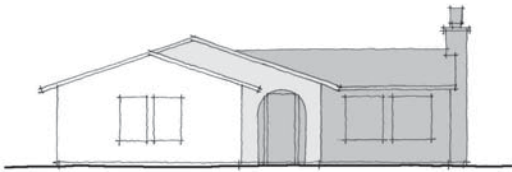
Covered entry door with porch



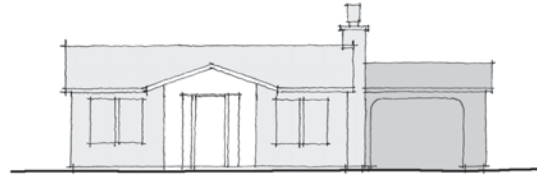
Recessed entry door with story massing



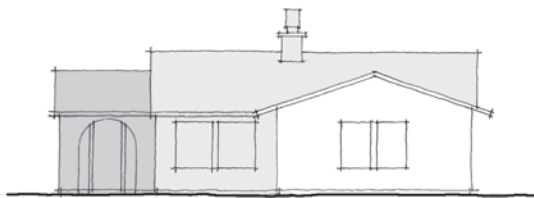
Covered entry door with porch



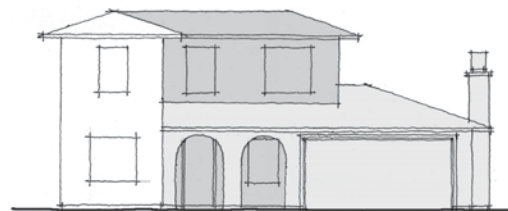
Covered entry door



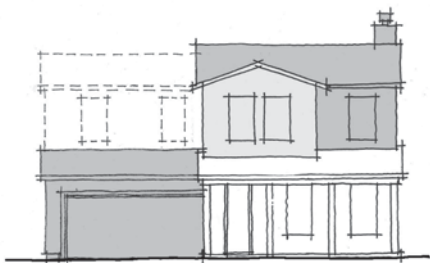
Covered entry door with porch and porte cochère



Recessed entry door



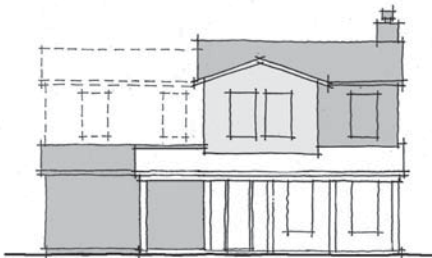
Covered entry with porch



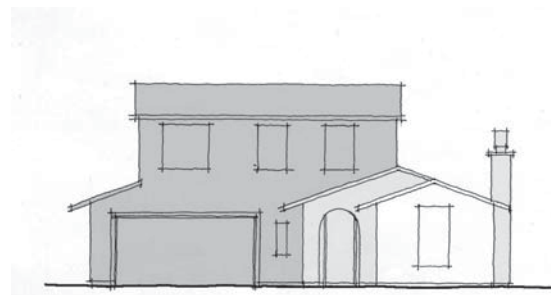
Covered entry door with porch



Corner lot entry door with porch



Corner lot entry door with porch



Covered entry door with one story massing

Front Massing and Articulation

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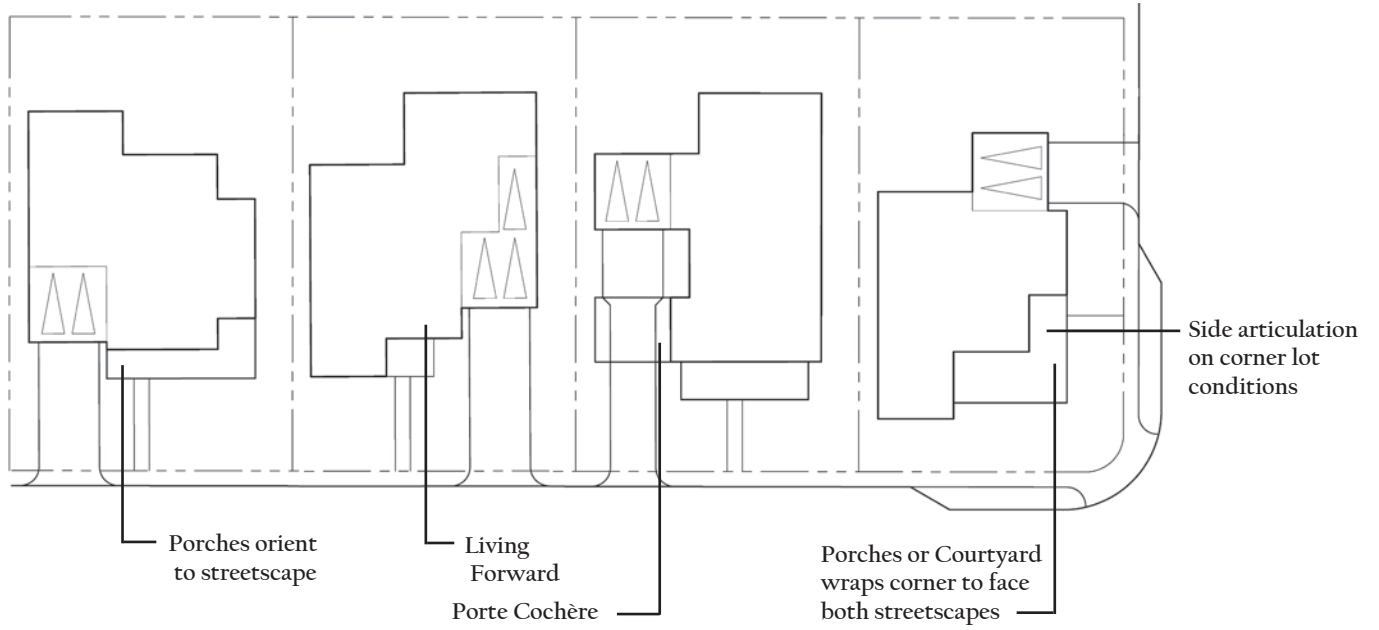



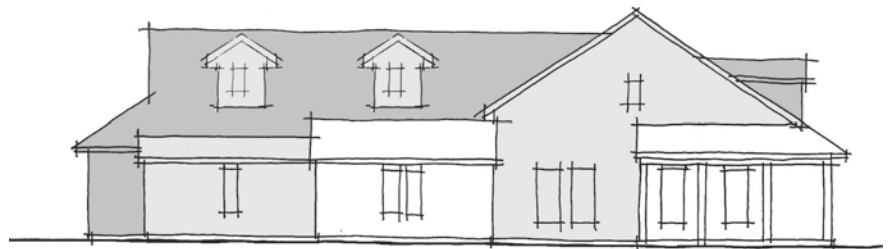


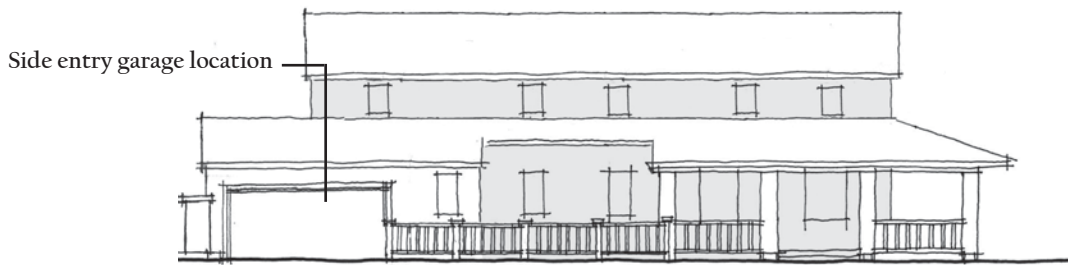
Diagram of Living Area Forward

Side Massing Legend

-  Foreground
-  Middleground
-  Background



Single-story porch wraps at corner condition



Single-story porch wraps at corner condition

Side Articulation

7.3.4 Roof Form

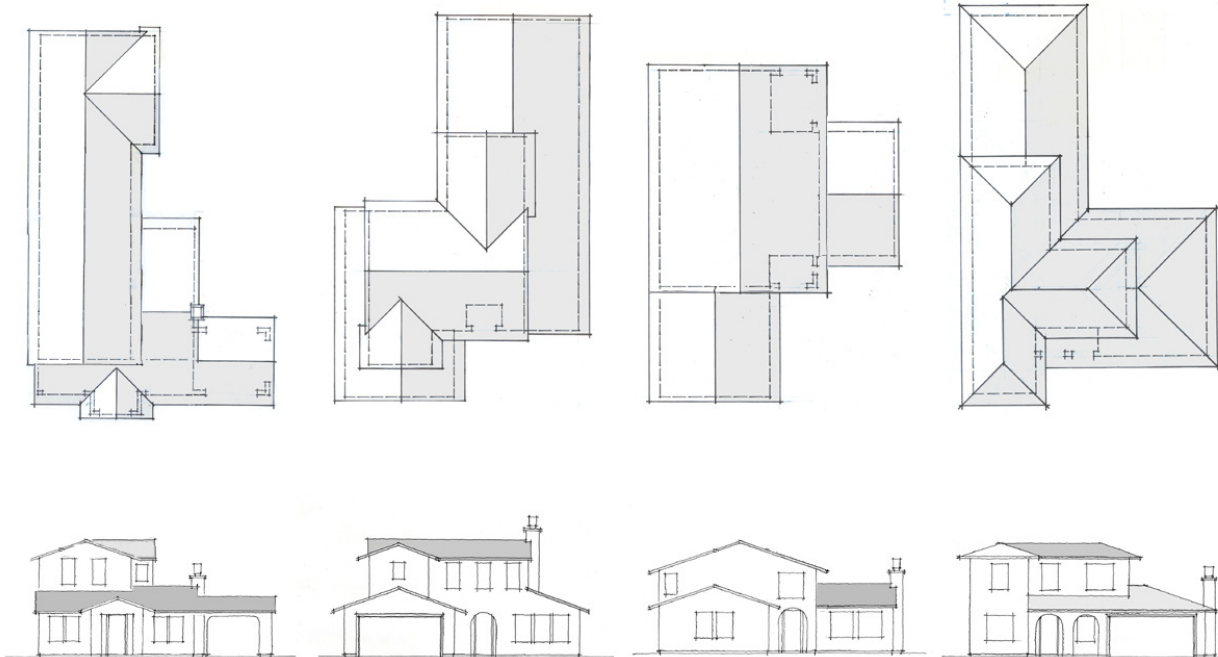
Intent:

Roof form is an important design element as it relates to the character of the community, observed from both the external edges and inside the neighborhood.

Variety of roof form along streets creates a positive visual edge to these public ways. Appropriate massing of roof forms help to create human scale architecture to the street.

Criteria:

- Roofs shall appear to be composed of a series of simple roof forms
- Gable ends shall be a minimum of 12' wide for lot sizes 50' and wider
- Roofs shall vary in massing along streetscene and open spaces
- No more than three of the same main span roof configurations (front to back or side to side framing) shall be adjacent to one another for variation in massing along the streetscene
- Roof forms are encouraged to reinforce the architectural style of the home
- Flat roof elements are encouraged only if appropriate to style
- Mainspan roof directional changes at narrower lots are encouraged



Roof Variation Along Streetscene

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7.3.5 Garage Placement

Intent:

The location, configuration and orientation of the garage on its lot are important design elements, both for the composition of the dwelling and its contribution to the streetscape.

De-emphasizing the garage is an important community design element. The goal is to emphasize the living areas of the home as they address the street.

Placing living areas forward encourages ‘eyes on the street’ for neighborhood safety and security while establishing neighborhood orientation to the pedestrian.

Criteria:

- Garage door patterns are encouraged to vary among elevation types and to reinforce the architectural theme of the dwelling
- A minimum of a 3’ offset is encouraged where garages are adjacent on common property lines except when garages are located at rear of lot
- 3-car garage configurations are discouraged
- Garage door recess is encouraged to be a minimum of 12”

The following alternative garage configurations are encouraged:

- Shallow Recessed Garage
- Mid-Recessed Garage
- Deep Recessed Garage
- Offset Garage
- Garage with Casita
- Tandem Garage
- Swing-in Garage
- Rear-Loaded Garage
- Corner Lot Garages



Deep Recessed Garage

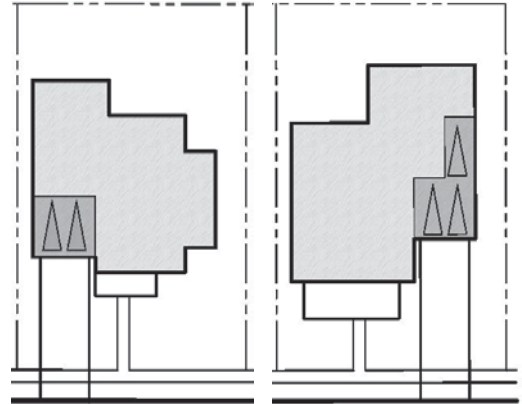
Examples of garage orientation types:

Shallow Recessed Garage

Set the garage back from the adjacent living space façade of the house (excluding porches). This setback strives to reduce the overall visual mass of the garage.

Mid-Recess Garage

Set the garage back at the mid-point of the home to allow maximum living space forward while the garage remains attached to the house.

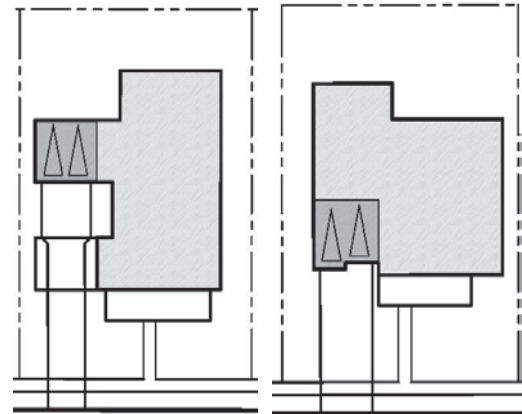


Deep Recessed Garage with Porte Cochère

Set the garage back to the home. This setback achieves more usable living space toward the street and creates additional usable side yard outdoor space.

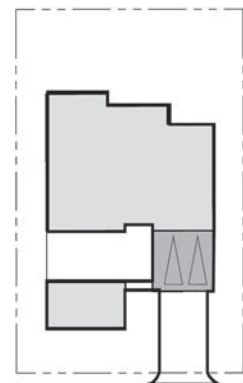
Offset Garage

This garage layout breaks up the massing of the two-car garage by offsetting two one-car garages from each other.



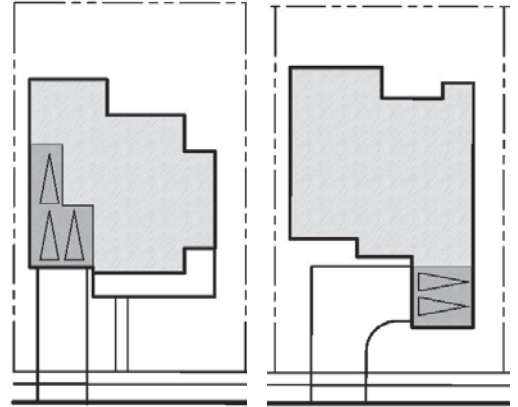
Garage with Casita

This garage configuration is offset from a detached casita which defines the front of the home.



Tandem Garage

This garage layout de-emphasizes a third garage space by concealing it behind a standard two-car garage condition. This garage configuration can be shallow, mid-recessed or deep recessed garage design.

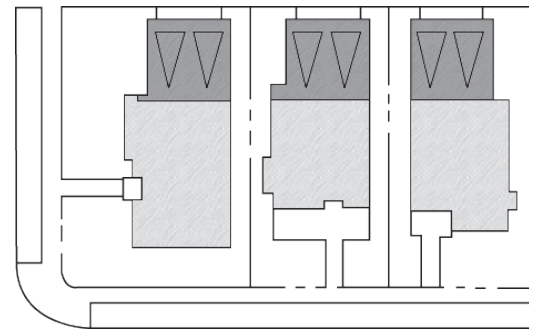


Swing-in Garage

A single or two-car swing-in garage may be used on a lot with a minimum width of 50'. A minimum of 28' back up space is required. The elevation facing the street shall have an architectural detail such as a window, reveal or pop-out.

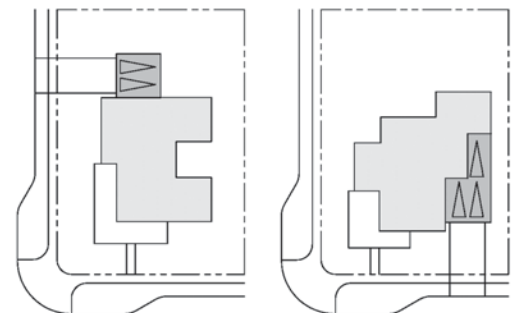
Rear Loaded Garage

Garages accessed from an alley create a more traditional streetscene, without garages visible at the front side of the home. Recess garage door a minimum of 8" on rear loaded garages.



Corner Lot Garages

Corner lot garages may be addressed two ways; plans may be designed for corner orientation or interior lot plans may be adjusted to address corner conditions. The purpose of either solution should be to create substantial streetscene variation while the architecture wraps the exterior lot frontage.



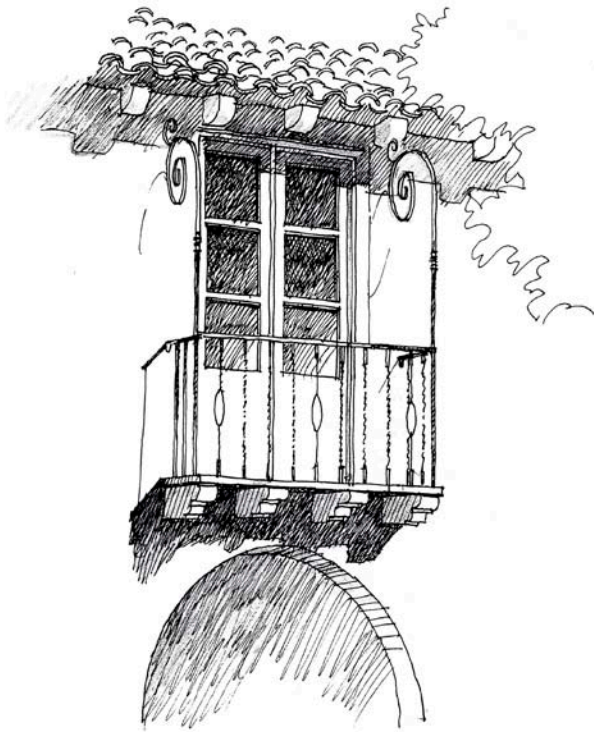
7.3.6 Balconies and Projections

Intent:

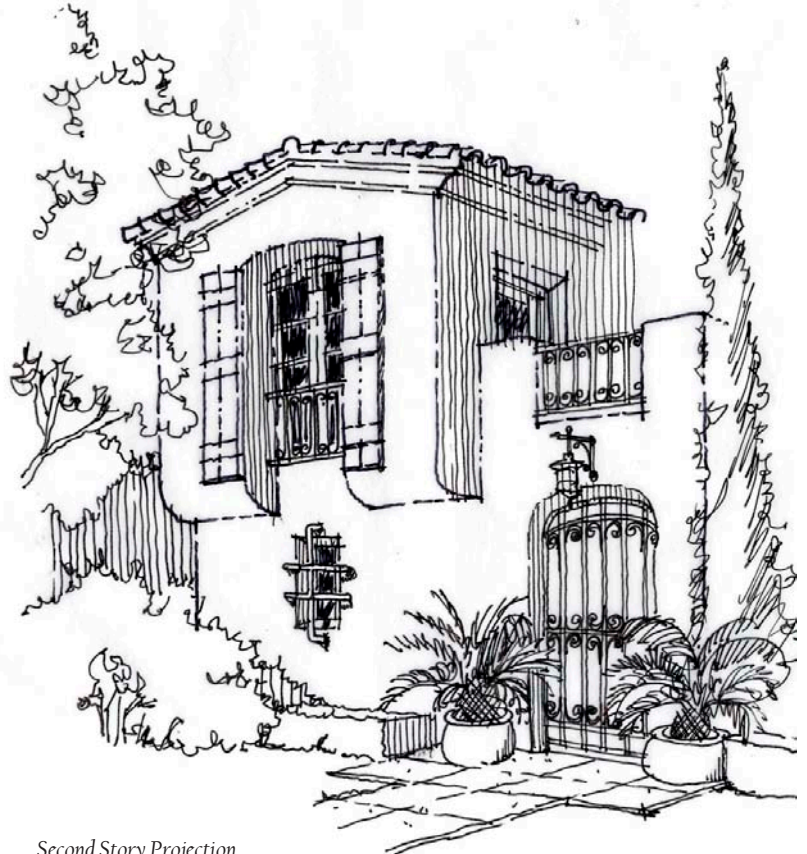
As part of the overall composition of a two-story dwelling, balconies or projections provide relief and interest at the second story. Additionally, these elements create ideal outdoor rooms.

Criteria:

- Balconies shall be roofed when they exceed 4' in depth
- Balconies and projections shall proportionally complement and be integrated into the overall massing of the home
- Balconies shall not be located at outside edges of homes where they can overlook private spaces of adjacent homes
- Balcony railings are encouraged to be consistent with the architectural style—no tubular steel railings
- Architectural projections such as media niches and chimneys are encouraged to be a maximum of 3'
- Covered balconies and living area cantilevers are encouraged to be appropriate to the architectural style
- Opportunities for creating shaded areas and usable outdoor spaces are encouraged



Balcony Detail



Second Story Projection

Note: Multiple options should be considered based on effective solar orientation.

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7.3.7 Rear Articulation

Intent:

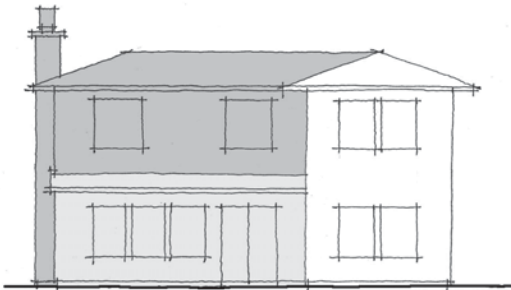
Particular attention will be placed on the design of those dwellings adjacent to or in close proximity of major community roadways, open spaces, or entry features. Whether viewed from distant or close range, massing requirements will be implemented to ensure positive community character in these conditions. Generally, repetitious elements such as continuous gable ends and similar building silhouettes shall be avoided.

Criteria:

- Plans shall utilize projections and/or offsets that extend from the main wall plane
- Plans shall have single-story living spaces that cover at least 30% of the rear façade
- The stepping or use of projections shall be encouraged to create the articulated massing important to the character of the community
- Homes directly adjacent to arterial roadways, collector roads, entry drives, and open spaces are encouraged to be given particular attention in their rear articulation, contributing positively to these edges
- Building forms that are assemblies of interlocking masses are encouraged
- Architectural massing and articulation appropriate to style is encouraged
- Vertical and horizontal plane breaks are encouraged



Two-Story Massing with Single-Story Projection



Two-Story Massing with Two-Story and Single-Story Projection






Single-Story Roof Shed with Two-Story Element



One- and Two-Story Massing

Rear Massing Legend

-  Foreground
-  Middleground
-  Background

7.3.8 Variable Setbacks

Intent:

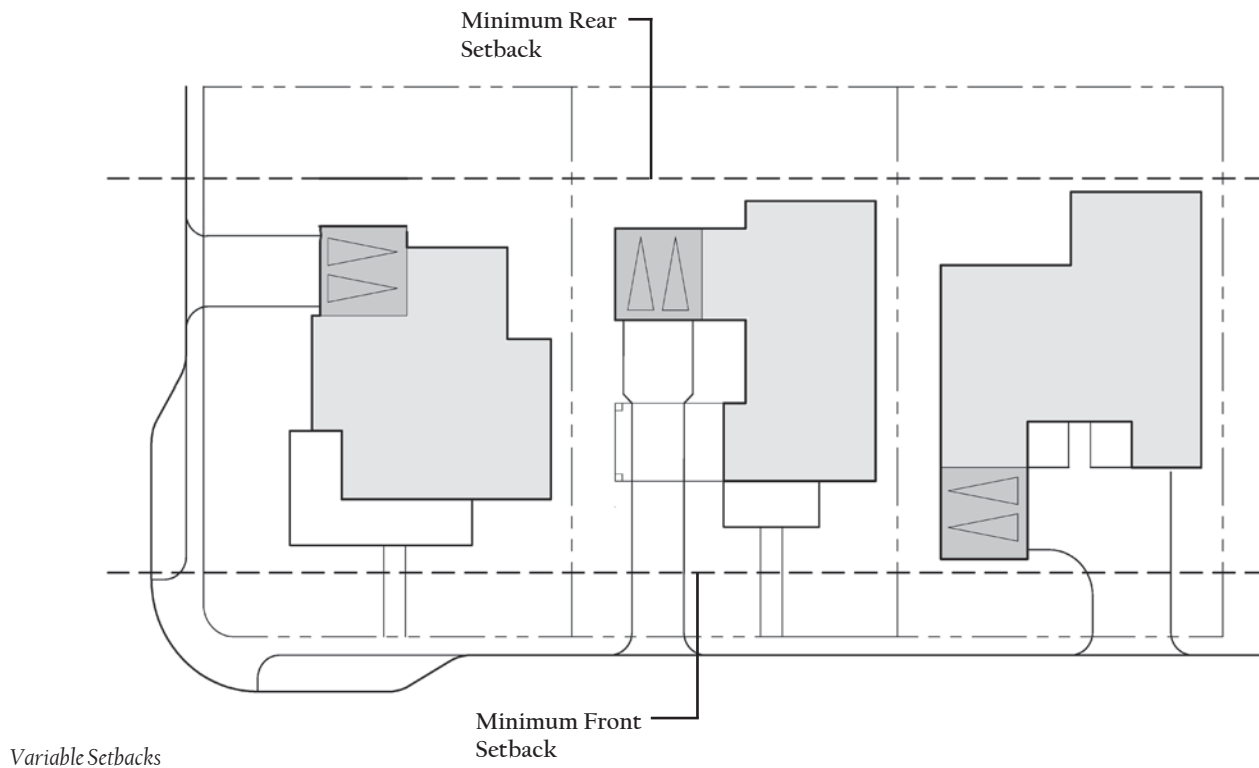
The key to quality neighborhood design is the emphasis on the 'living' areas of the home orienting towards the street. To encourage this, reduced setbacks are allowed for living areas as measured from the property line (generally, the back of the sidewalk).

Additionally, variable setbacks for both living and garages are encouraged to create diversity in streetscenes.

Criteria:

- Setbacks shall be appropriate and proportionate to the housing type and lot size
- Variable rear setbacks are encouraged to create a variety of edge conditions such as homes backing to collector roads and back to back homes

Refer to the preliminary and/or final plot for final setback requirements.



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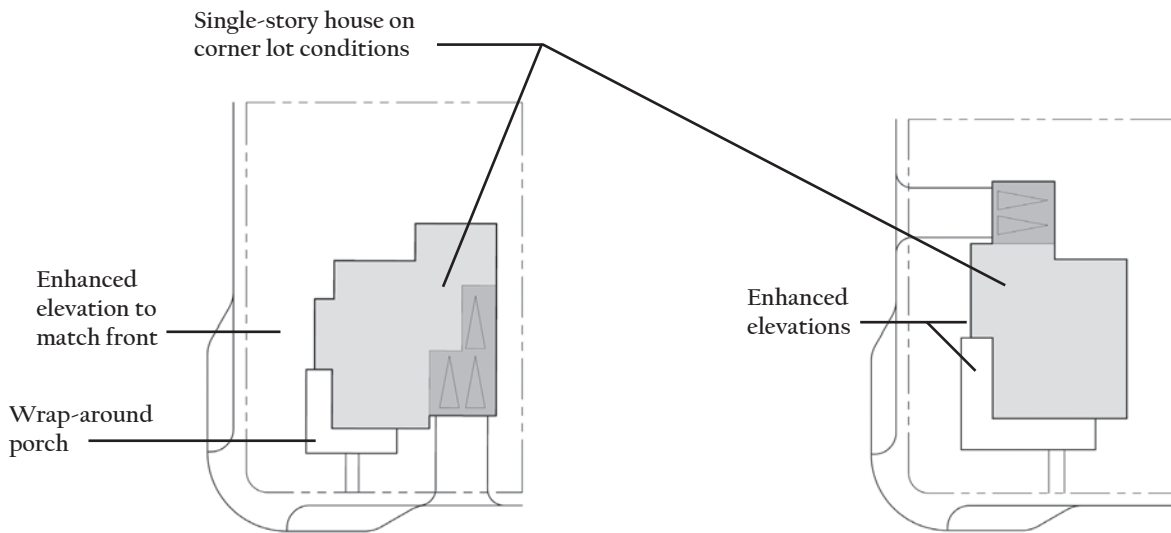
7.3.9 Corner Lots /Critical Edge Conditions

Intent:

Single-story elements at corner conditions should be considered in Edenglen. Creating a “human-scale” edge, utilizing single-story elements and other architectural details, provides optimal massing forms oriented to pedestrians. Porches that wrap around two sides of the house provide a transition from the public realm of the street to the private home.

Criteria:

- At least one plan type should be designed for corner lot plotting in order to be flexible
- Similar massing and detailing utilized on the front elevation shall be incorporated on the side elevation facing the street
- Homes on corner lots are encouraged to be designed for two-sided corner exposure



Corner Lot Garage Alternatives

7.4 MATERIALS AND DETAILS

7.4.1 Introduction

Strong architectural detailing is a key element to creating quality communities. During the design of Edenglen, special attention has been given to the details of the homes. Appropriate focus should also be given to the design of the secondary elements of the architecture.

General Elements

The following elements are primary:

- Wall Finish
- Accent Materials
- Doors
- Windows
- Exterior Lighting
- Roofing Materials
- Eaves and Rakes
- Color
- Chimney Shrouds

Other Elements:

Mechanical equipment

- Rooftop mechanical equipment is strictly prohibited
- Air conditioning/heating equipment shall be screened from the street and neighboring views
- Pool, spa, and water softening equipment shall be screened from the street and neighboring views

Meters

- Meters shall be screened from public view to the extent possible

Gutters and downspouts

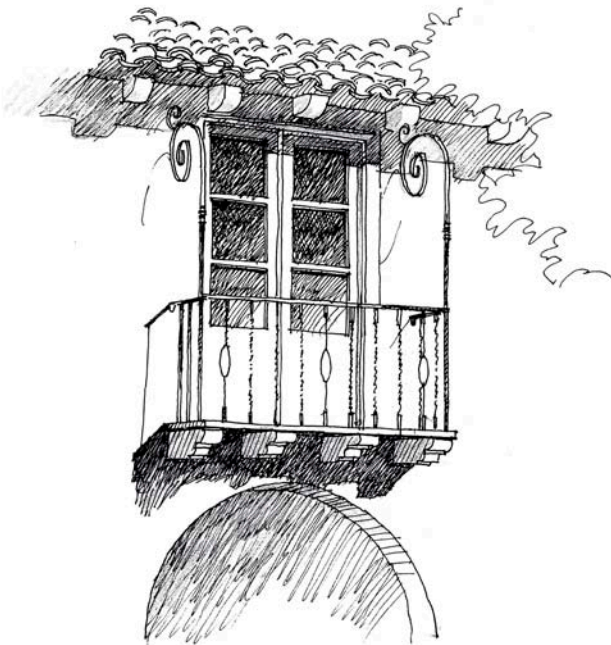
- 6" half round gutters required
- Exposed gutters shall match roof or wall color
- Faux copper patina is acceptable

Accessory structures

- Any detached living structure, such as casitas, associated with the single-family lot shall be designed to match the style, massing and detail criteria of the primary building

Chimney Shrouds

- Chimney shrouds shall be simple in form, appropriate to the architectural style, and not overly ornate



Wrought Iron Balcony Railing

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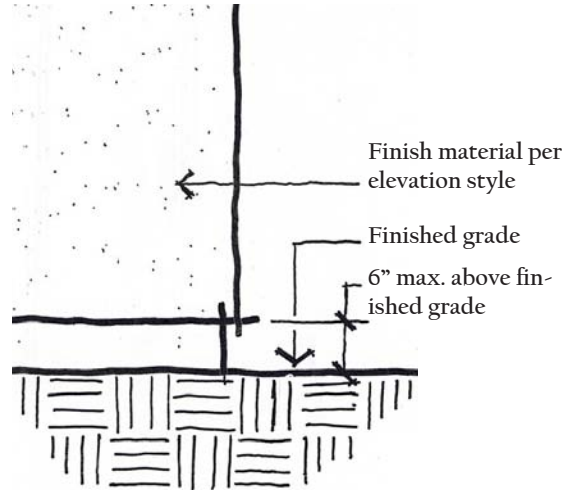
7.4.2 Wall Finishes

Allowed Finishes:

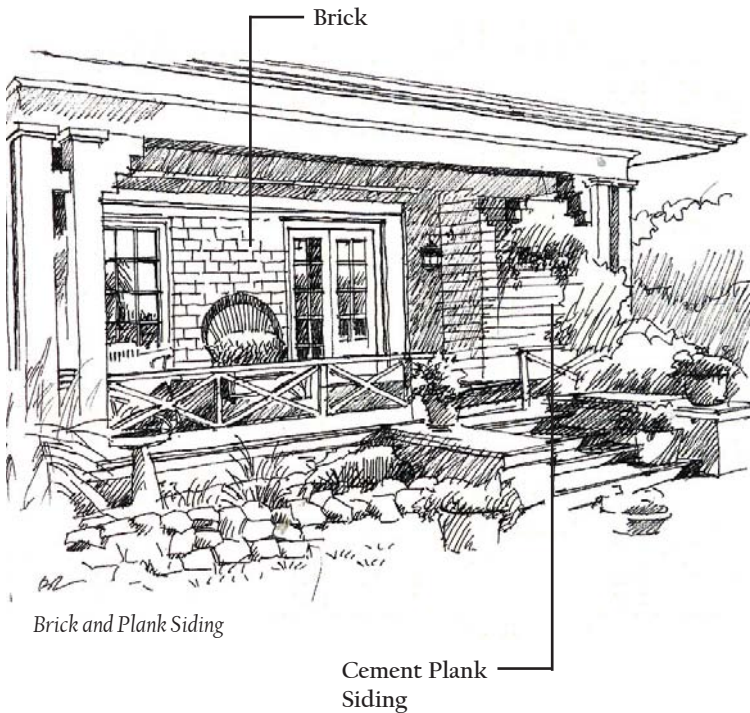
- Stucco
- Exposed masonry walls (brick, slump block, etc.)
- Stone, brick, adobe, brick veneers (accent materials)
- Cement plank siding
- Board and batten siding

Criteria:

- Footings shall be exposed no higher than 6" above finished grade
- A medium sand finish (30/30) for stucco is encouraged
- "Spanish Lace" stucco finish is discouraged
- The proposed stucco finishes must be approved by the City of Ontario Planning Department

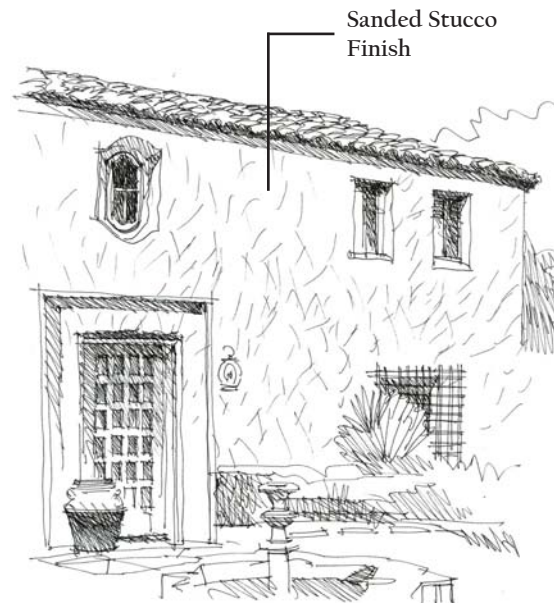


Exposed Footing Detail



Brick and Plank Siding

Cement Plank Siding



Stucco Finish

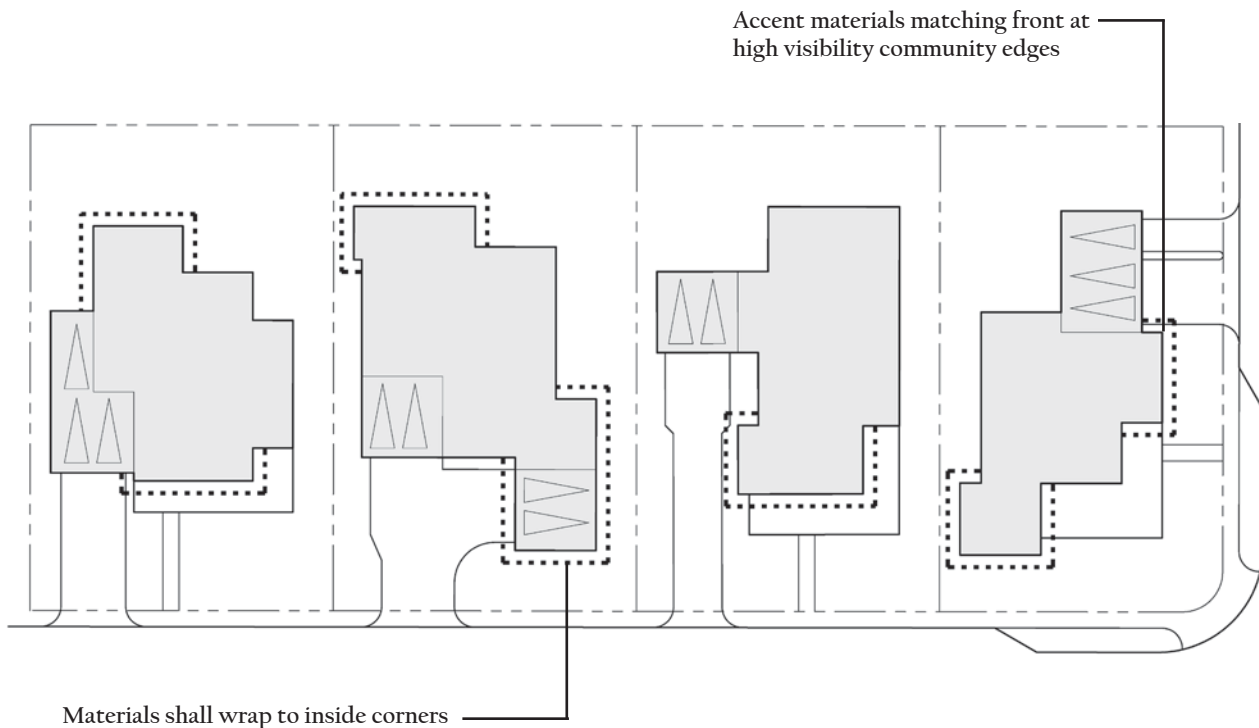
7.4.3 Accent Materials

Intent:

Accent materials reinforce the architectural theme of the home and ensure diversity in character within the neighborhood.

Criteria:

- Accent materials shall be wrapped to coincide with an architectural element, and terminate at inside corners
 Note: Accent materials may terminate at privacy wall conditions
- Natural stone, approved manufactured or cultured stone, painted or natural brick, precast concrete, ceramic tile, wrought iron, slump block, and horizontal or vertical wood siding (or approved manufactured siding, i.e. cementitious board) are encouraged
- Accent materials complementing the overall color and style of the home are encouraged
- Architectural trim applied to all elevations should be provided to be consistent with the front elevation and the architectural style

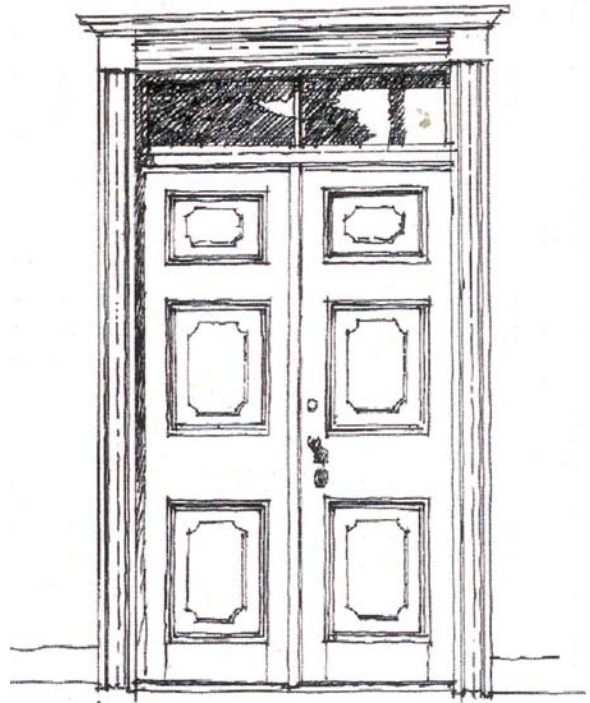


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7.4.4 Doors

Criteria:

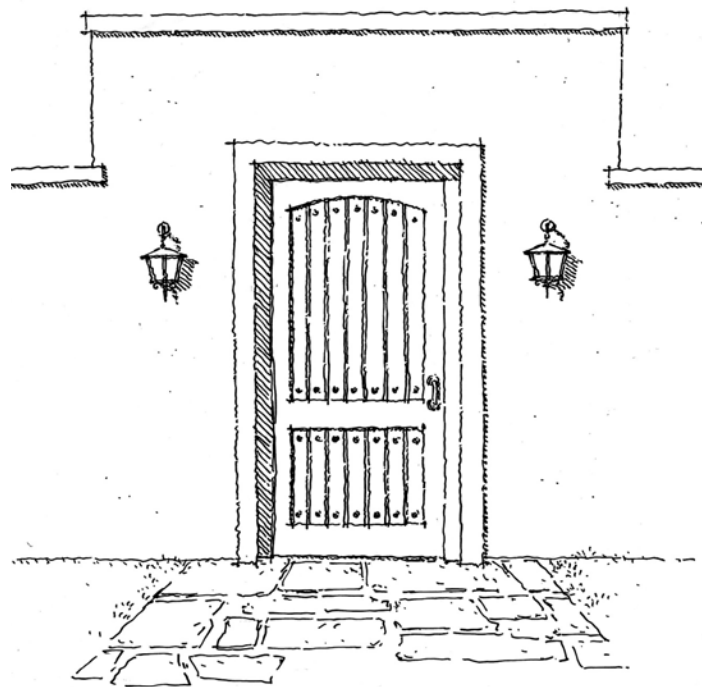
- Front entry doors shall be wood, composite fiberglass, or MDF
- Design of doors shall be consistent with the architectural style of the home
- Doors shall be protected by deep recess or porch elements
- Recessed doors are encouraged at two-story massing
- Entry and garage doors expressing a level of detail appropriate to the style of the dwelling are encouraged
- Maximum garage door height shall be 8'-0"
- Garage doors are encouraged to be recessed a minimum of 12"
- Garage door windows shall be consistent with the architectural style of the home



Front Door with Trim Detailing



Protected Door Under Balcony

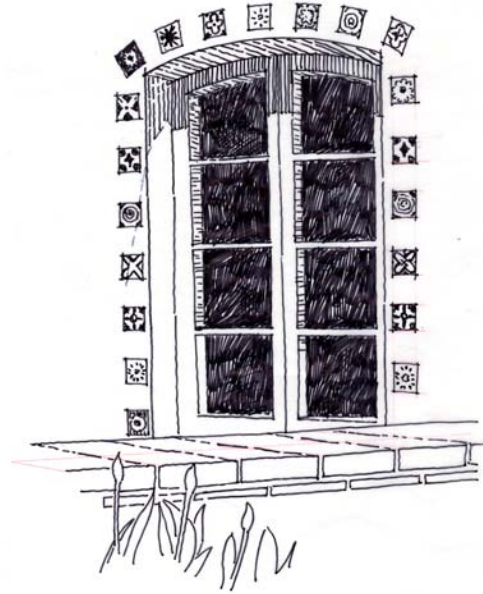


Door to Courtyard

7.4.5 Windows

Criteria

- Proportions and alignment shall be appropriate to style
- No highly reflective glazing shall be used.
- Windows shall be aluminum, wood or vinyl
- Grates, shutters and tile surrounds are encouraged as style dictates
- Inset windows are encouraged to be a minimum of 2" in depth at inset
- Recessed windows are encouraged to be a minimum of 18" in depth
- Full window trim is encouraged on all elevations (front, side, rear)
- Shutters shall be sized to match window width and have appropriate hardware

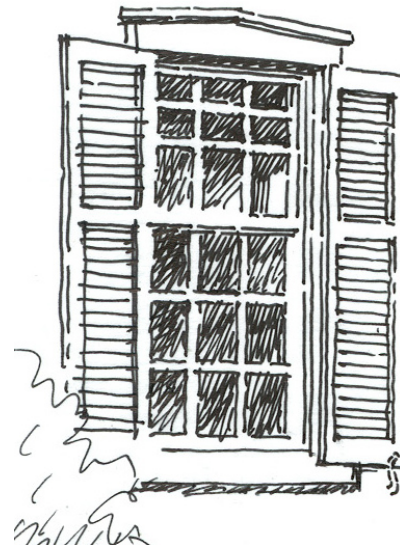


Tile Surrounds Window

Recessed Window



Window Recess



Shutter Detailing

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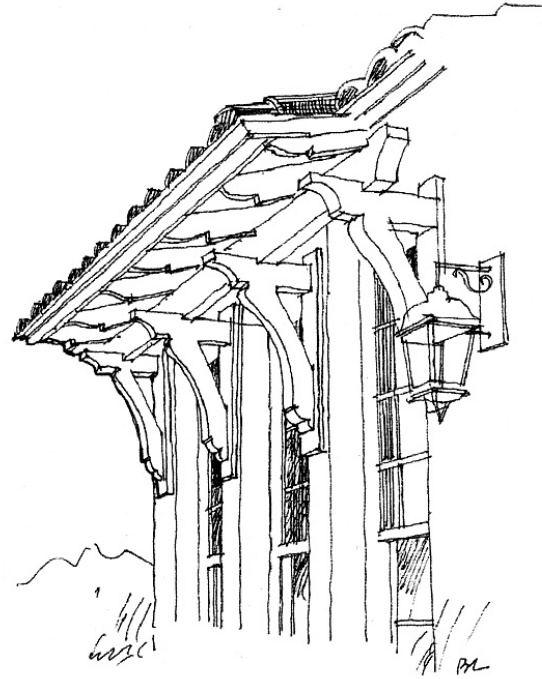
7.4.6 Exterior Lighting

Intent:

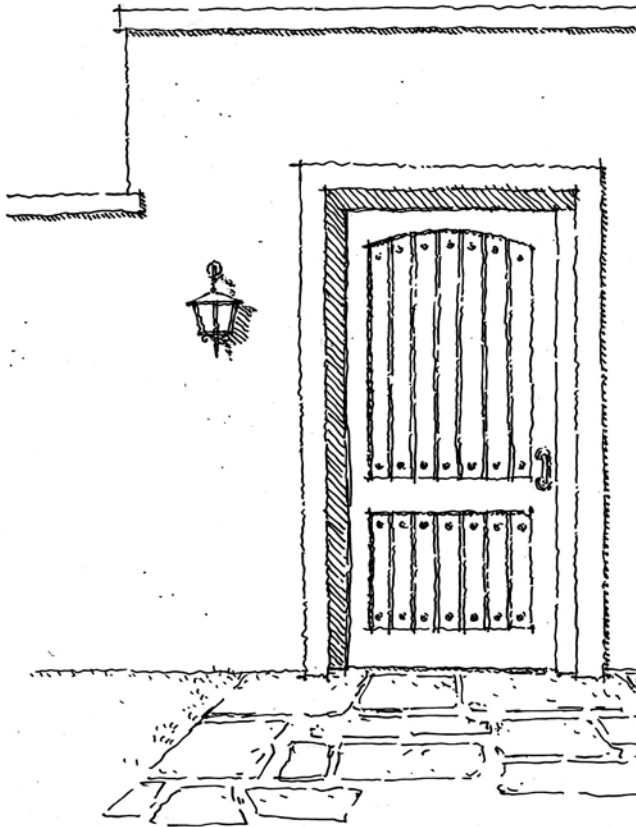
Emphasis will be placed in reducing ambient light at Edenglen.

Criteria:

- Lighting used on walls and walkways shall focus light down and provide appropriate downcasting hardware to minimize glare
- Surface mounted lights shall not be permitted in garage door soffits; lighting fixtures shall be appropriate to the selected style of the home; wallparks are prohibited
- Ambient light shall be cast downward to reduce impact
- Light design shall be included as part of the architecture review package



Lighting Detail Reinforcing Architectural Style



Entry Lighting

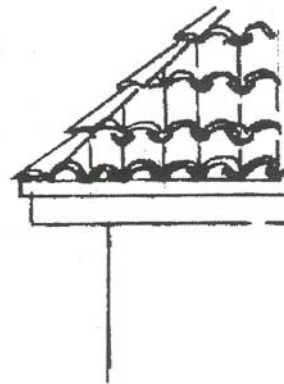
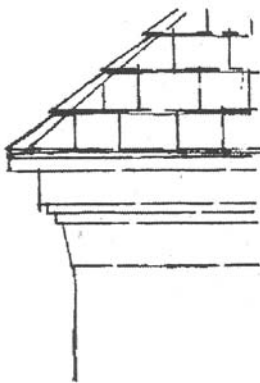
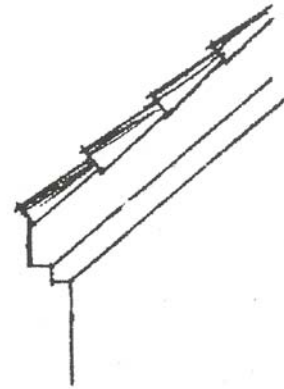
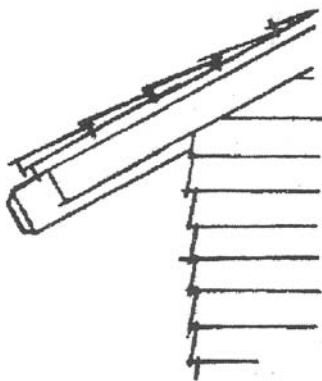


Accent Lighting

7.4.7 Roofing Materials

Criteria:

- Particular attention shall be given to avoid repetition in continuous gable-ends and similar ridge heights
- Concrete clay flat, S-tiles or barrel shall be used depending upon home style
- Skylights are not allowed on sloped roofs facing public streets
- Standing seam metal roofs painted in non-reflective neutral colors are allowed for all appropriate architectural styles (excluding Spanish and Monterey)



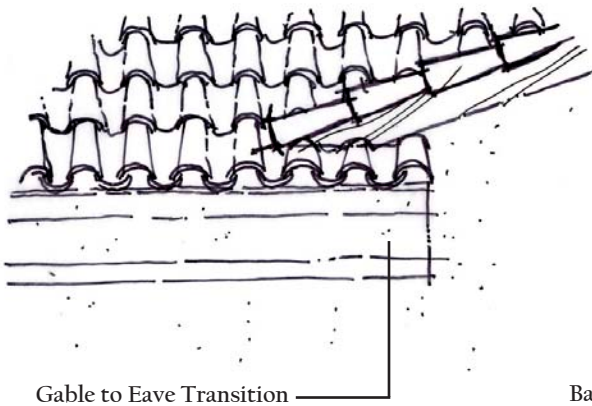
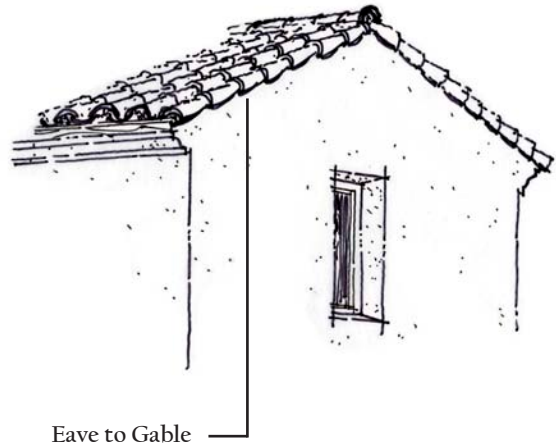
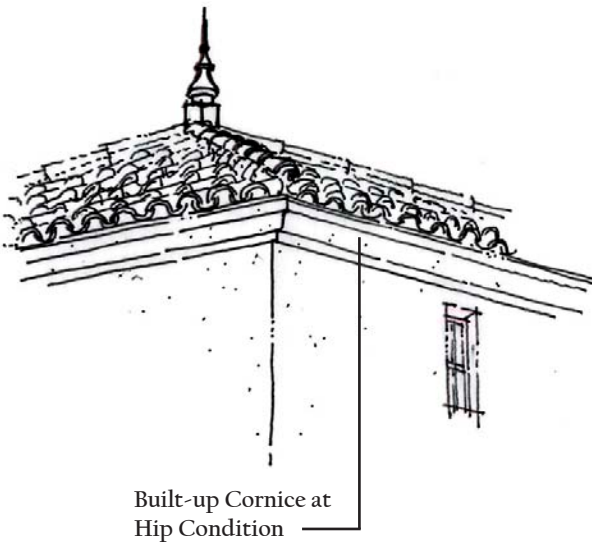
Roof Options

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7.4.8 Eaves and Rakes

Criteria:

- Rafter tails, when exposed, shall be a minimum of 4," painted or stained
- Attention related to the rake return detail is encouraged
- Eaves are encouraged to be constructed of simple built-up stucco cornices (wrapped eaves)
- Appropriate to the home's style, larger eave overhangs are encouraged to provide opportunities for shading
- Proportions of eaves and rakes shall be appropriate to the home style



7.4.9 Color

Intent:

Colors chosen for the homes of Edenglen are important to establishing a community that blends continuously, yet leaves the impression that each home was designed on its own. Appropriate color selections will make each home unique but still look naturally and not out of place in the neighborhood.

Criteria:

- Color shall contribute to distinguishing the overall architectural character of the dwelling
- Colors should reflect the natural hues found in Southern California while embracing the diversity of color found in this environment
- Generally, the main body of the dwelling shall emphasize hues that are warm in character and saturated in intensity
- Hue variation in adjacent homes shall be provided to create diversity within the neighborhood
- Soft earthen tones are encouraged at the stucco-finished portions of the dwelling
- Diversity of color is encouraged
- Saturated regional earth tone colors are encouraged
- The exterior color character for the residences at Edenglen shall draw from the site itself and the influences of Southern California
- Roof tile colors are encouraged to be consistent with architectural styles

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7.5 HOME TYPES

7.5.1 Introduction

A variety of housing types utilizing an architectural program composed of detached and attached housing is offered at Edenglen. This diversity in housing types ensures a range of choices and a mix of homes within each neighborhood. Residences ranging from greencourt-oriented townhomes to condominium style cottage homes to conventional single-family homes are articulated in traditional architectural styles. Providing a multitude of various housing programs will allow for a diverse array of family types and the opportunity for families to move up within the community as their lifestyles and needs change through time.

The siting of the various housing types included consideration of orientation to edge conditions, transitional land use areas, street and pathway types, and the heart of the community—the Central Park.

7.5.2 Home Type Criteria

The following pages reference the location of defined parcels, their appropriate housing type allocation, and a vignette showing a conceptual image of house orientation on a lot, as well as its relationship to other homes.

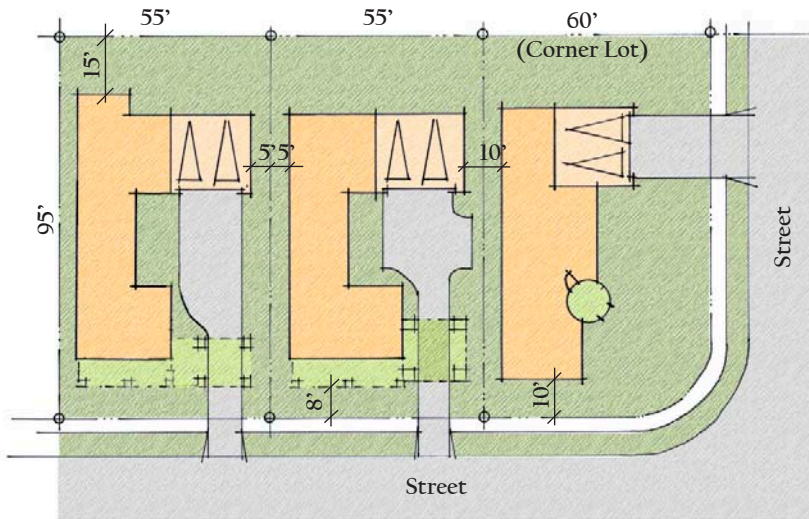
Home Type	Configuration	Product Acreage	Units	Density	Min. Lot Size
P-1	SFD	18.6 Acres	92	4.9 du/ac	55' x 95'
P-2	Alley-Loaded SFD	11.3 Acres	69	6.1 du/ac	50' x 85'
P-3	Cottage Home SFD	10.3 Acres	116	11.3 du/ac	31' x 63'
P-4	Triplex Court Home	12.4 Acres	151	12.1 du/ac	84' x 84'
P-5	Garden Court Townhome	9.3 Acres	156	16.7 du/ac	119' x 133'
	Roads, Parks and Open Space	15.2 Acres			
Total		77.1 Acres	584	7.6 du/ac	

Note: Lot counts, acreages and densities may be revised based on final plat maps.



Garden Court homes

P-1: SINGLE FAMILY DETACHED (SFD)

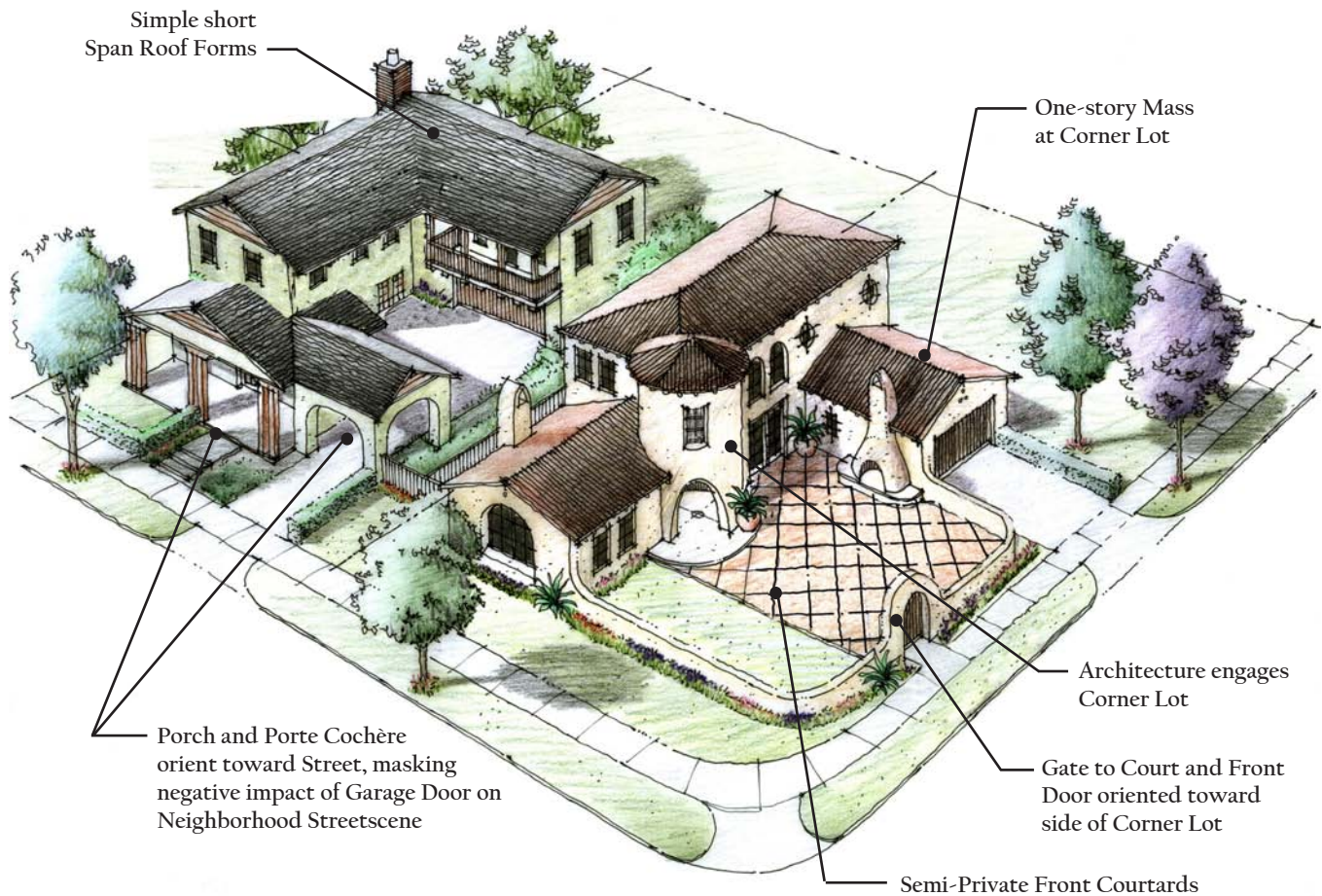


Characteristics:

- Variety of garage configurations
- Primary rooms orient towards street
- Front doors and walks face street
- Wider lot at corner
- Varied front setbacks

*Unless otherwise stated, all setback dimension lines are minimums.

Plotting Example

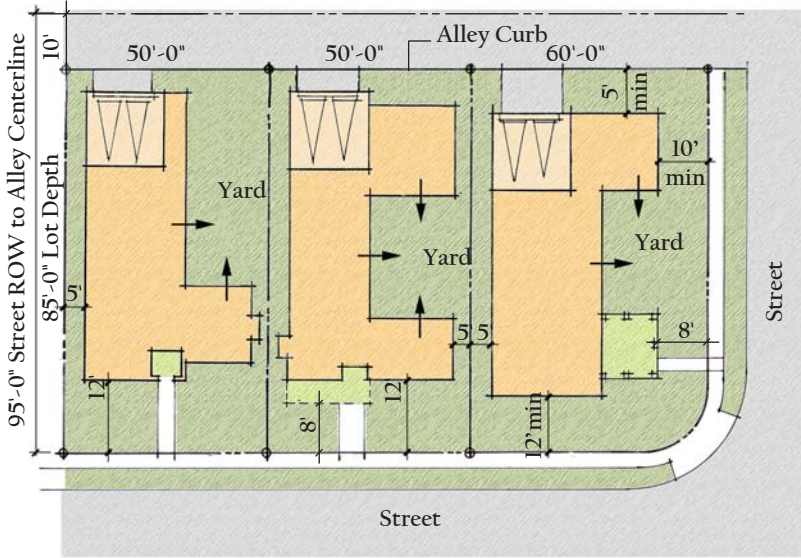


Axonometric

Note: Architectural styles may vary.

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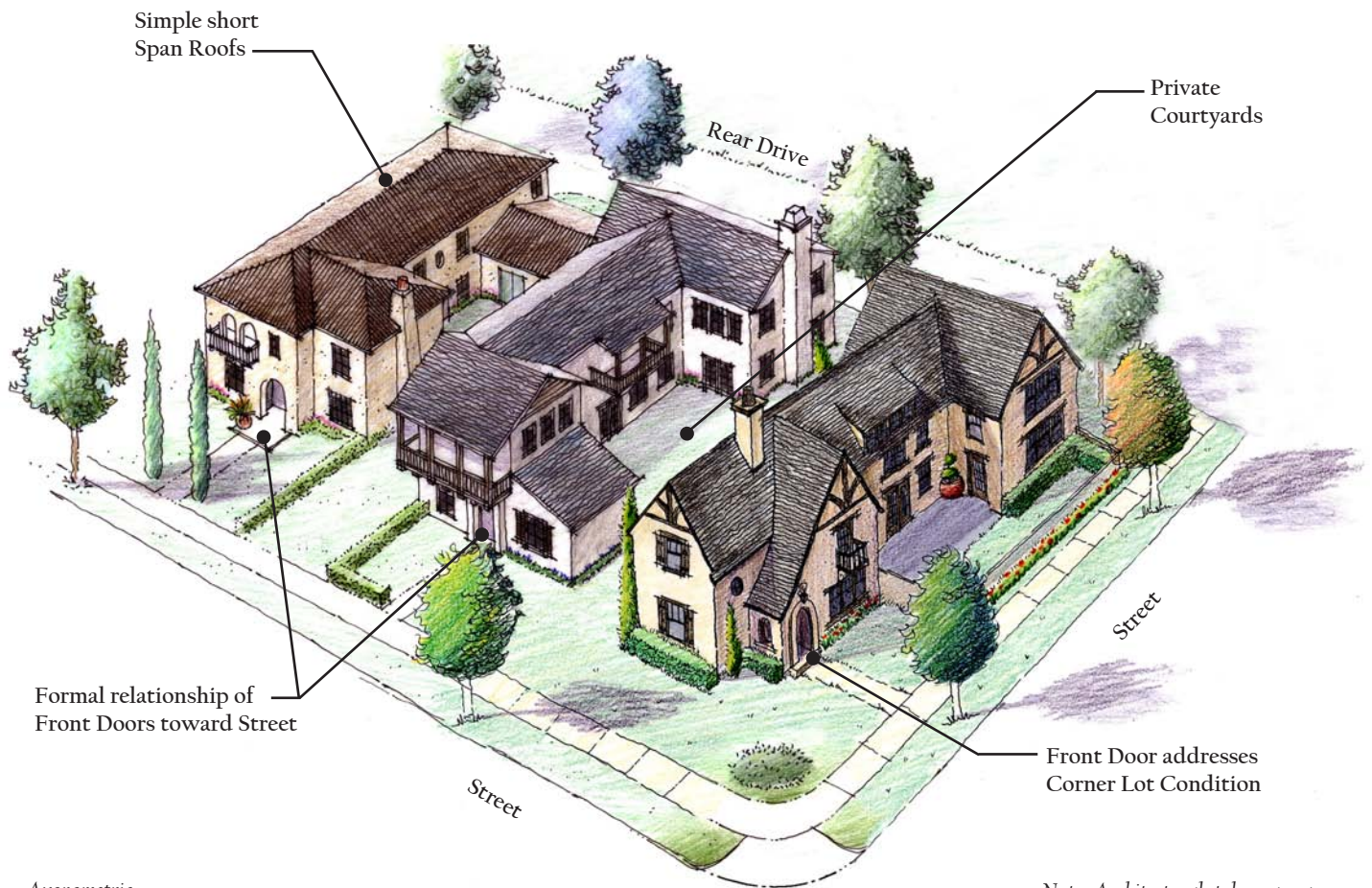
P-2: ALLEY-LOADED SFD



Characteristics:

- Rear-loaded garages from alleys
- Major rooms orient around courtyard
- Front doors and walks facing street
- Wider lot at corner
- Reciprocal use easements for expanded sideyards

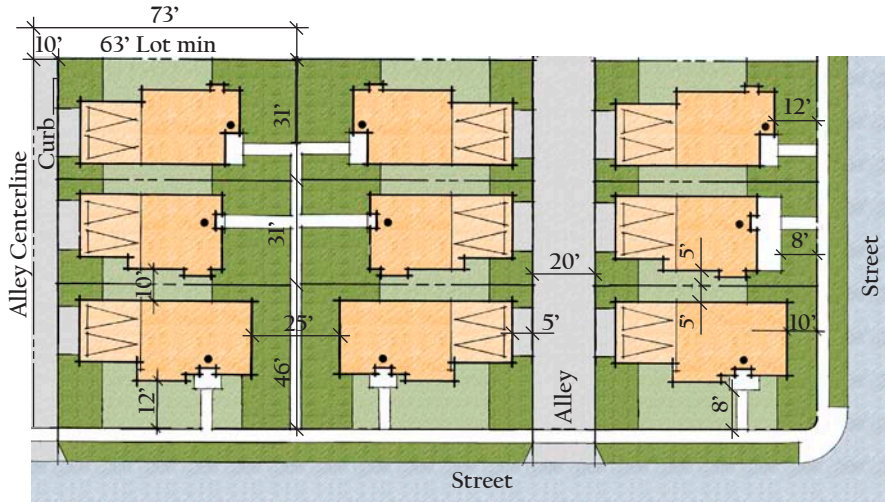
Plotting Example



Axonometric

Note: Architectural styles may vary.

P-3: COTTAGE HOME SFD

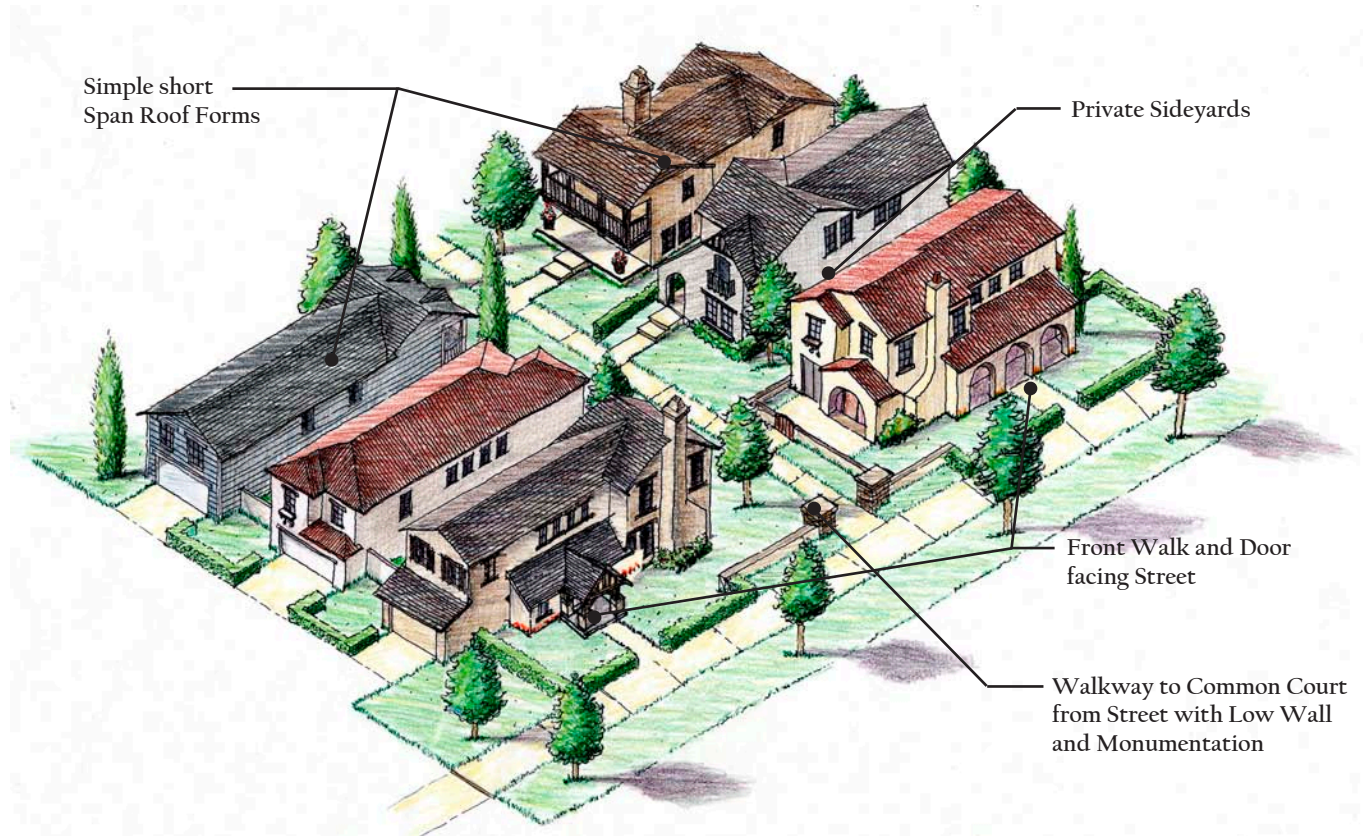


*Unless otherwise stated, all setback dimension lines are minimums.

Characteristics:

- Rear-loaded garages from alleys
- Primary rooms orient towards street or greencourt
- Front doors and walks facing street or greencourt
- Private side patio yard areas
- Reciprocal use easements

Plotting Example

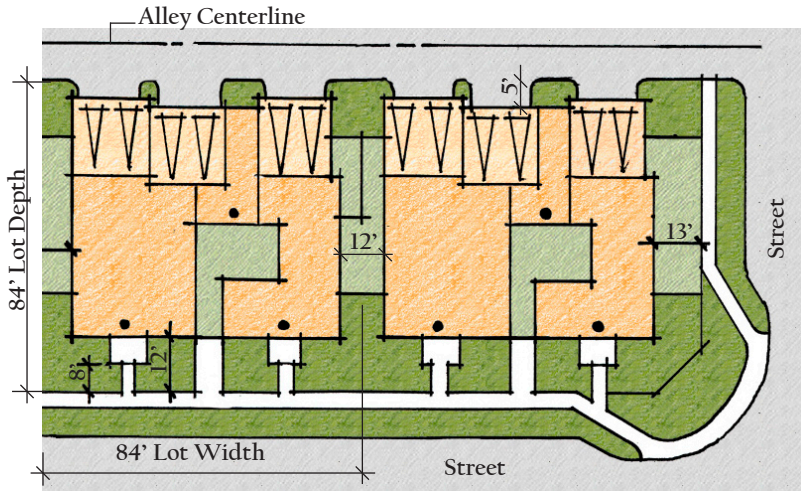


Axonometric

Note: Architectural styles may vary.

live the difference

P-4: TRIPLEX COURT HOMES

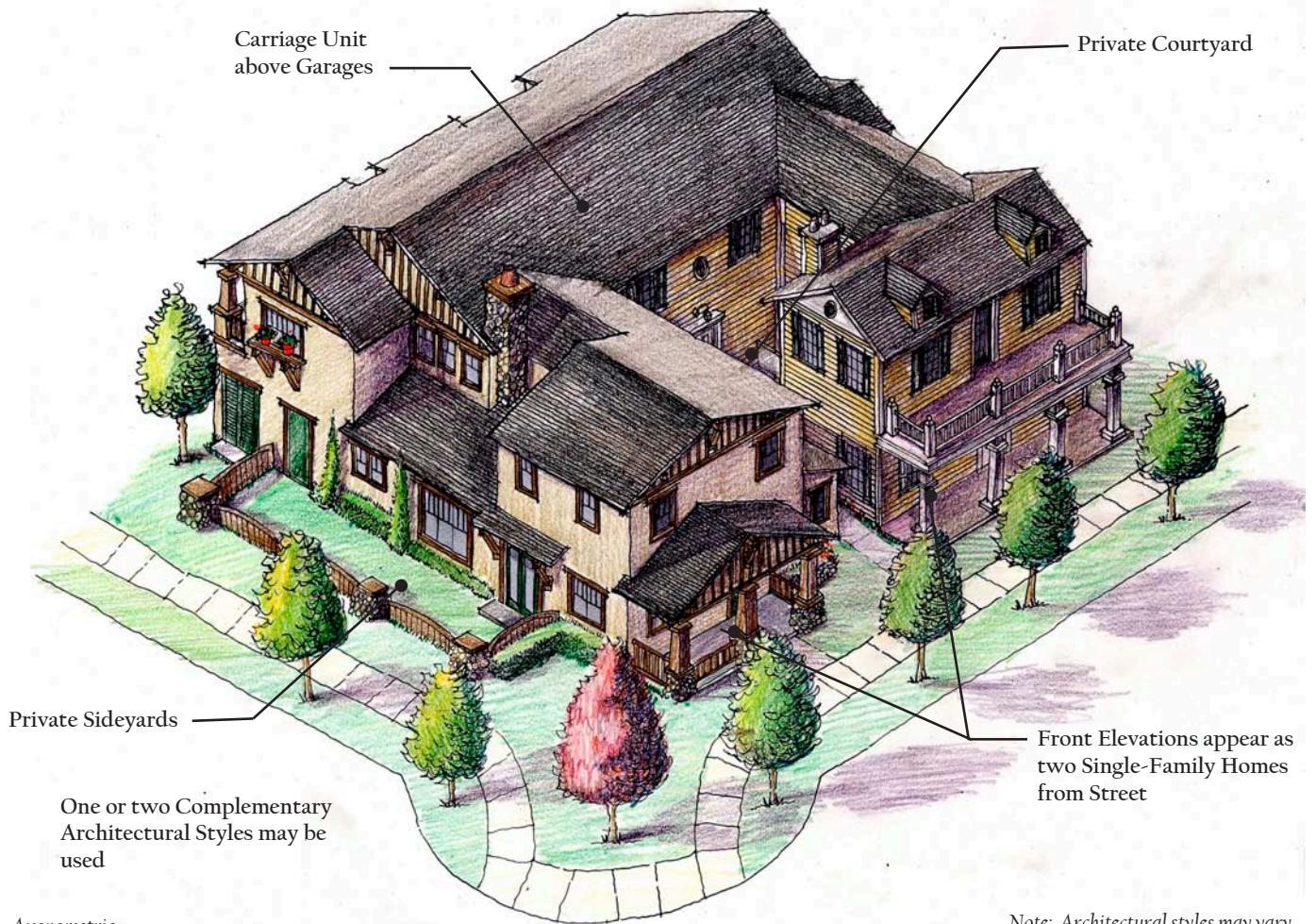


*Unless otherwise stated, all setback dimension lines are minimums.

Plotting Example

Characteristics:

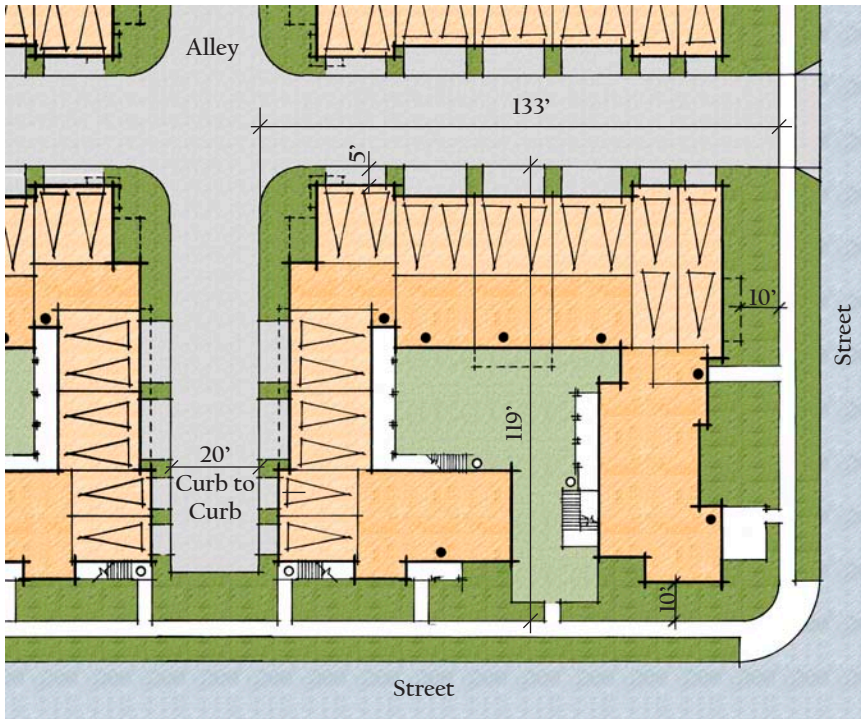
- Rear-loaded garages from alleys
- Primary rooms orient towards street
- Front doors and walks facing street
- Private side patio yard areas
- Private courtyard for carriage unit



Axonometric

Note: Architectural styles may vary.

P-5: GARDEN COURT TOWNHOMES



Characteristics:

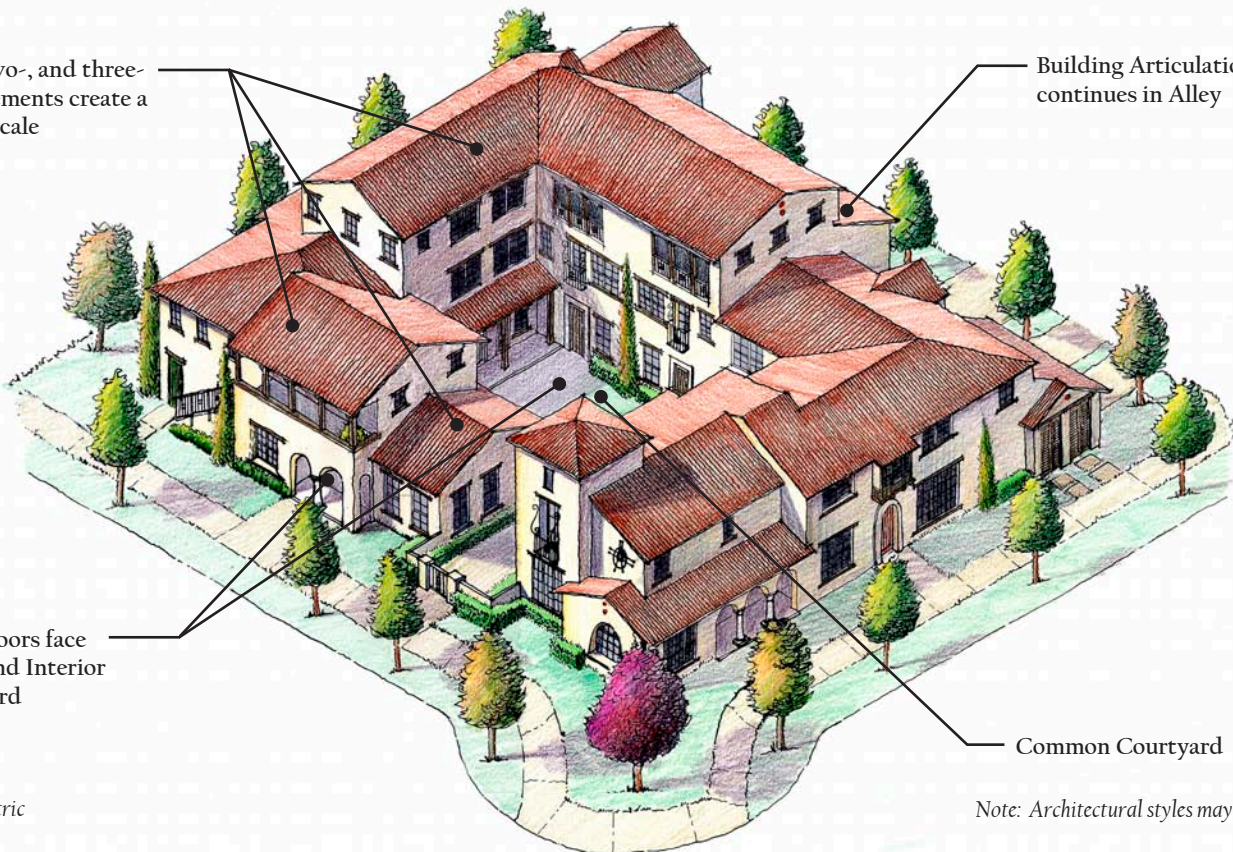
- Rear-loaded garages from alleys
- Primary rooms orient toward street or courtyard
- Front doors and walks facing street or courtyard
- Private side patio yard areas
- Common courtyard
- Varied street facing setbacks

*Unless otherwise stated, all setback dimension lines are minimums.

Plotting Example

One-, two-, and three-story elements create a human scale

Building Articulation continues in Alley



Front Doors face Street and Interior Courtyard

Common Courtyard

Axonometric

Note: Architectural styles may vary.

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7.6 LANDSCAPE DESIGN

7.6.1 Introduction

The Design Concept is directed towards the creation of traditional neighborhoods serving to integrate the project area into a unified village within the existing City of Ontario. As a result, Edenglen becomes a vital part of the City, rather than an inwardly oriented suburban project more typical of new developments. The creation of a traditional development plan establishes the framework in which diversity in design and development can be achieved while providing an integrated neighborhood within the existing City.

The key elements of Edenglen design include:

- Formal street pattern, with alternative routes to each destination
- A pedestrian-friendly circulation system
- Connectivity between residential and commercial, business park/light industrial areas
- Traditional landscape character
- Strong sense of neighborhood
- Strong visual and physical connection with open space amenities

The overall landscape guidelines focus on the integration of these elements into Edenglen. Together, the appropriate treatment of the ideas discussed will establish a distinctive image consistent throughout the neighborhoods.

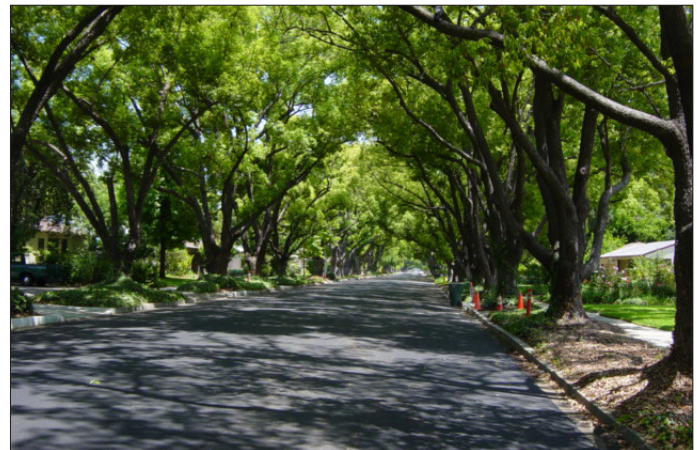


Central Park conceptual perspective

7.6.2 Overall Streetscapes and Entries

The following key landscape criteria are established for the overall streetscapes and entries within Edenglen.

- Provide a mix of deciduous and evergreen canopy trees within the parkways to create a continuous streetscene and a shaded walk on which people can stroll through their community.
- Lend an individual personality to each neighborhood with the use of plant material and tree species.
- Create “gateways” at the main entries that are reminiscent of a small town’s main street.
- Introduce elements at corner intersections along the main entry street and village loop road to enhance the community and add a sense of welcome to each neighborhood.
- Develop a series of parks, open spaces, and paseos throughout the neighborhoods with formal and informal uses, which help provide for a walkable community that intertwines the neighborhoods and allows for comfortable interaction between all residents.



Landscape creates welcoming and friendly neighborhood character

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Master Streetscape and Entries Plan

7.6.3 Entries

Entries to Edenglen residential areas will occur along Riverside Drive, Mill Creek Avenue, and Chino Avenue. The community's commercial entries will occur along Riverside Drive and Milliken Avenue. The business park/light industrial development access will occur along Milliken Avenue.

Residential entries may feature an informal setting of evergreen and deciduous trees, with a comfortable blend of vehicular and pedestrian scale improvements to provide a recognizable gateway and emphasize the traditional pedestrian-friendly character of Edenglen. Elements may be made with materials such as brick or stone designed to reflect an appearance of timeless strength and stability.

Primary Residential Entry

The primary residential entries off Riverside Drive and Chino Avenue will be composed of elements to act as gateways into the community. These components will be designed to have a small town appeal and be simple in design with an understated, welcoming character. These elements become the first impression of those coming to live and raise a family or to those just visiting. The intent is to create an impression that brings a smile and a feeling of being home.

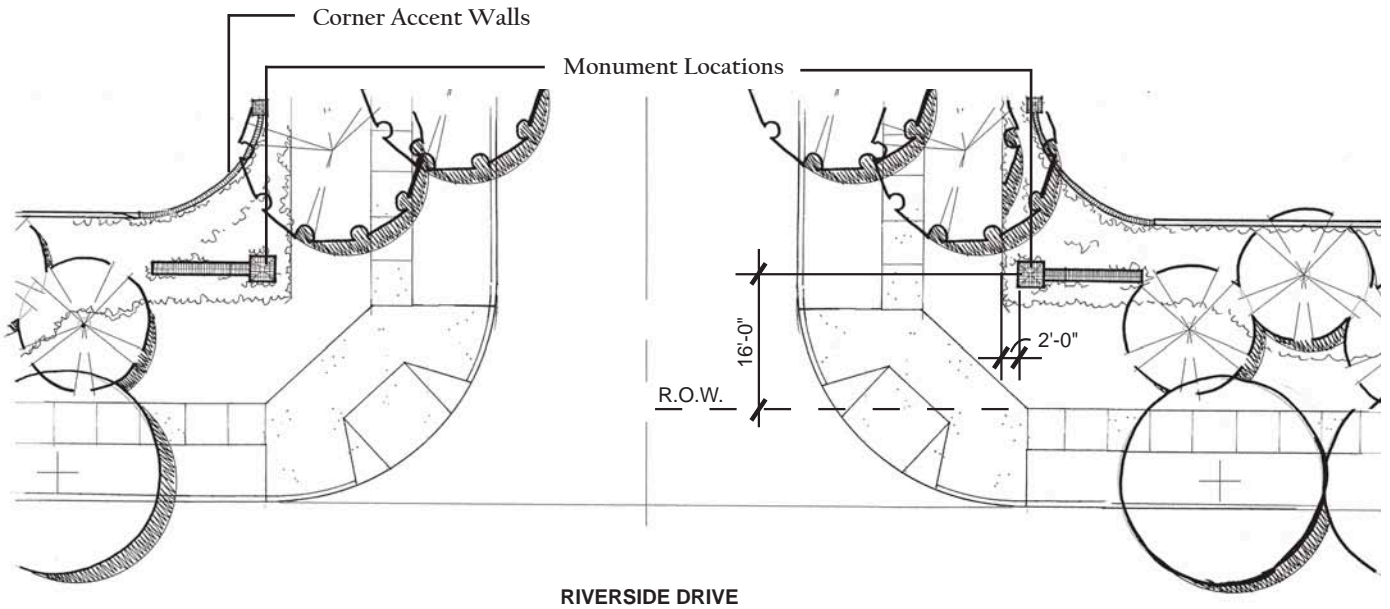
Secondary Residential Entry

The secondary entry on Mill Creek Avenue will carry the same character of the main entries, giving the impression of a small town and an appeal that will always leave a smile with those who come and go. The elements within this entry will be smaller in scale yet will keep the same warmth and friendliness of their counterparts on Chino Avenue and Riverside Drive.



Entry from Riverside Drive

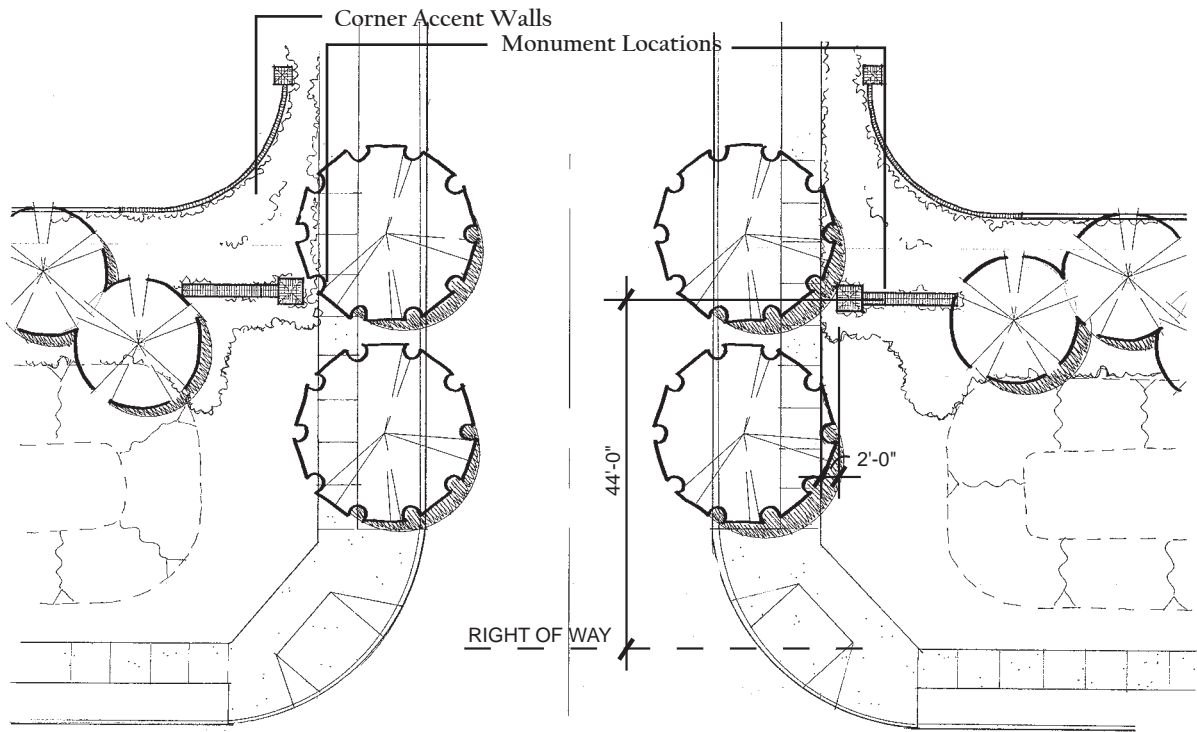
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Primary Entry at Riverside Drive

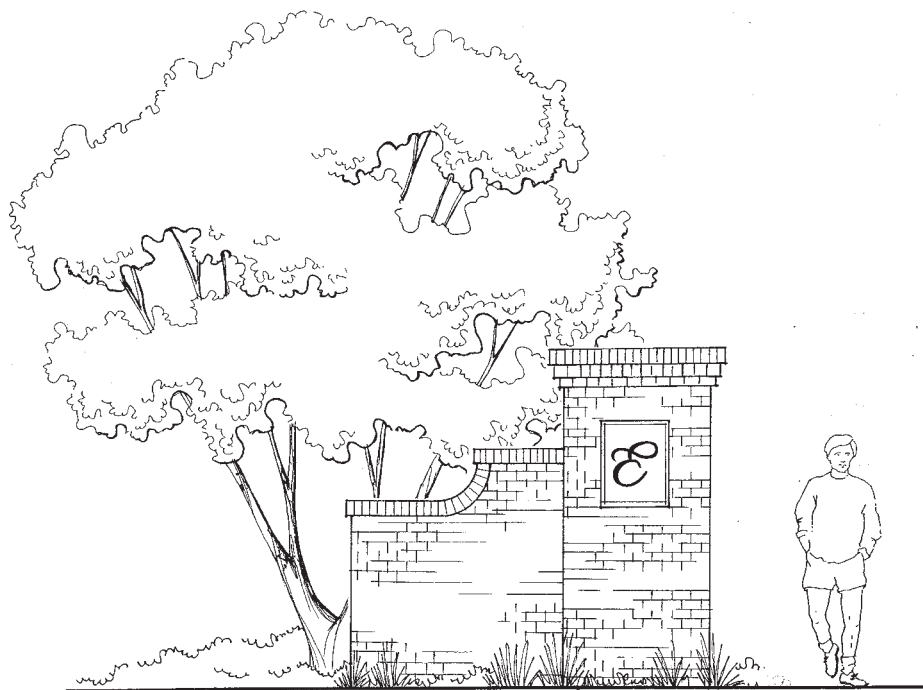


Entry Monumentation at Riverside Drive



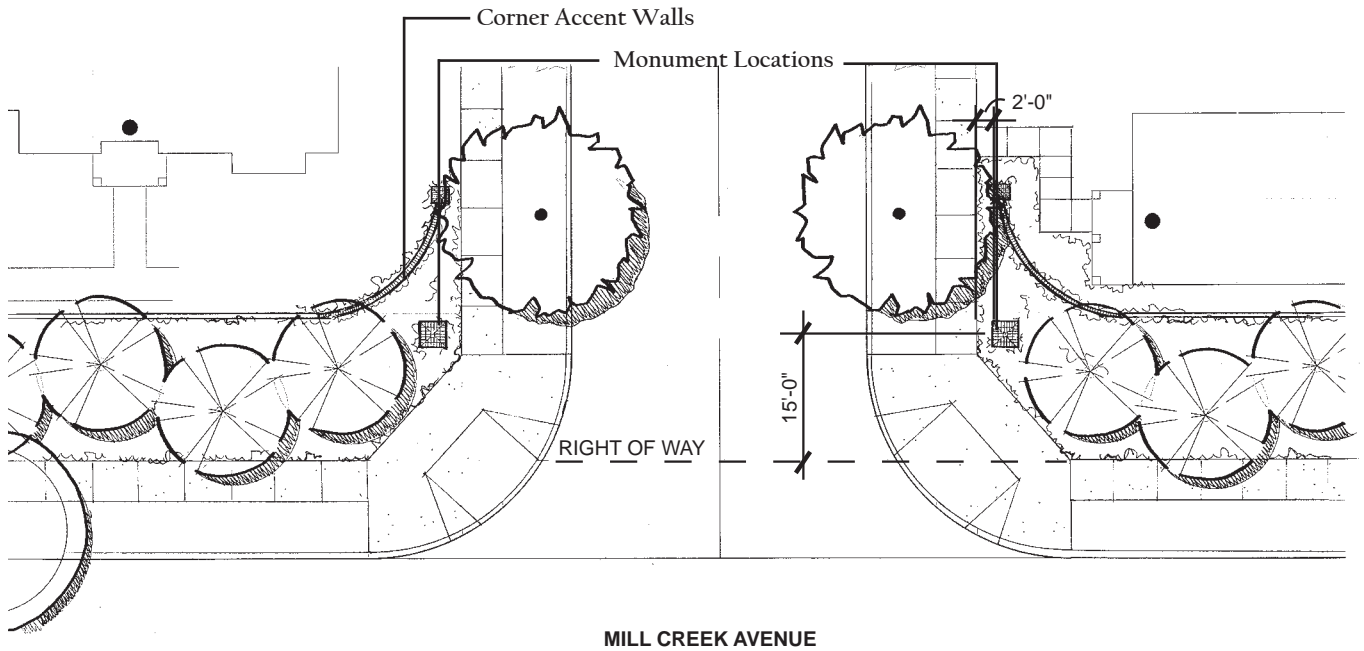
CHINO AVENUE

Secondary Entry at Chino Avenue

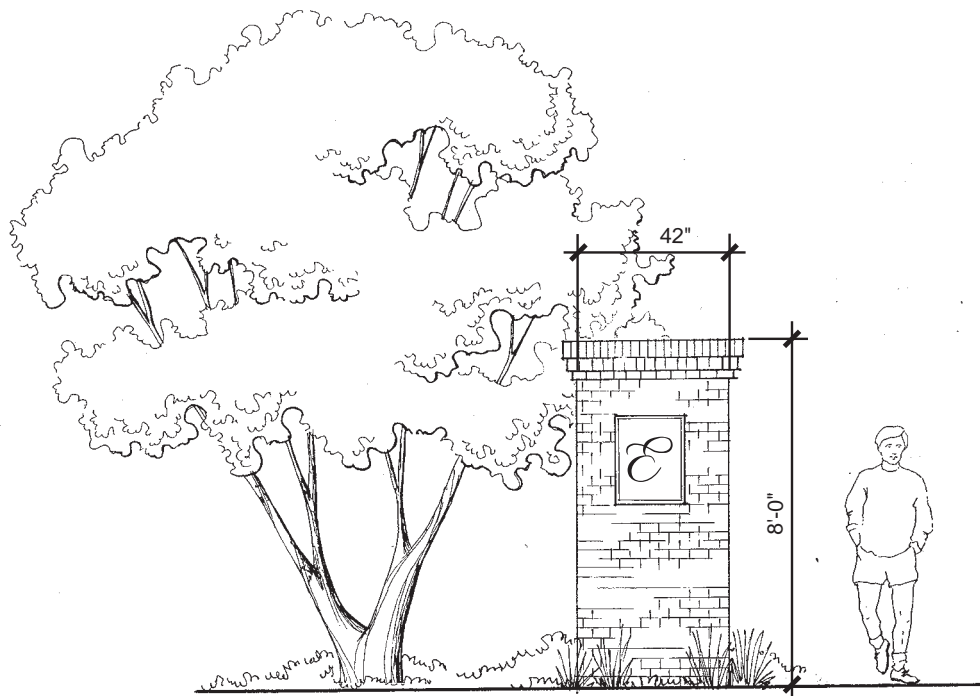


Entry Monumentation at Chino Avenue

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Secondary Entry at Mill Creek Avenue



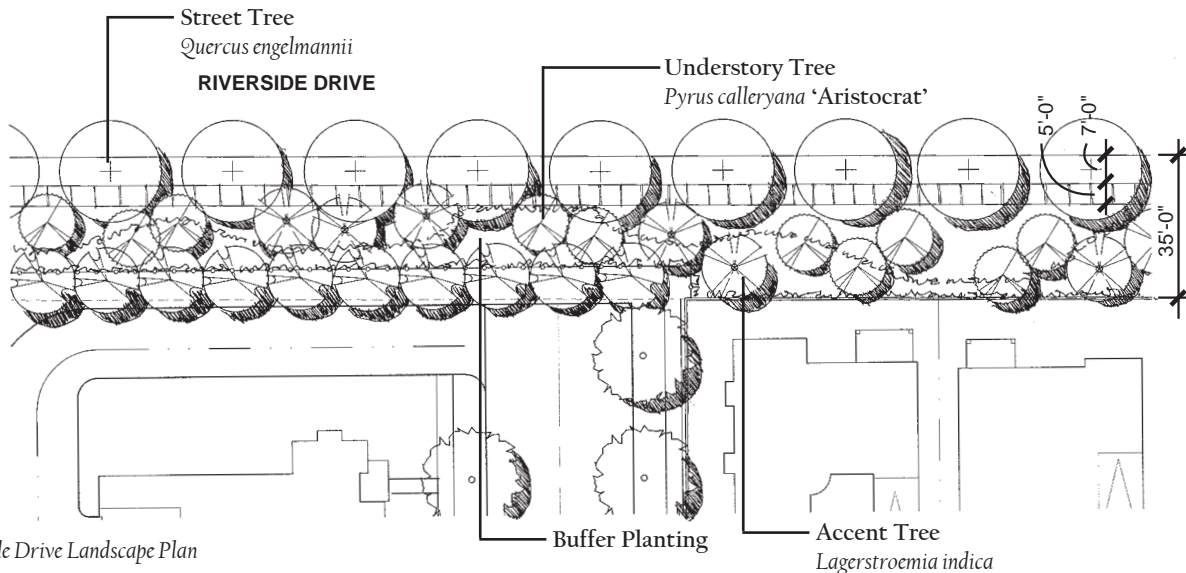
Entry Monumentation at Mill Creek Avenue

7.6.4 Streetscapes

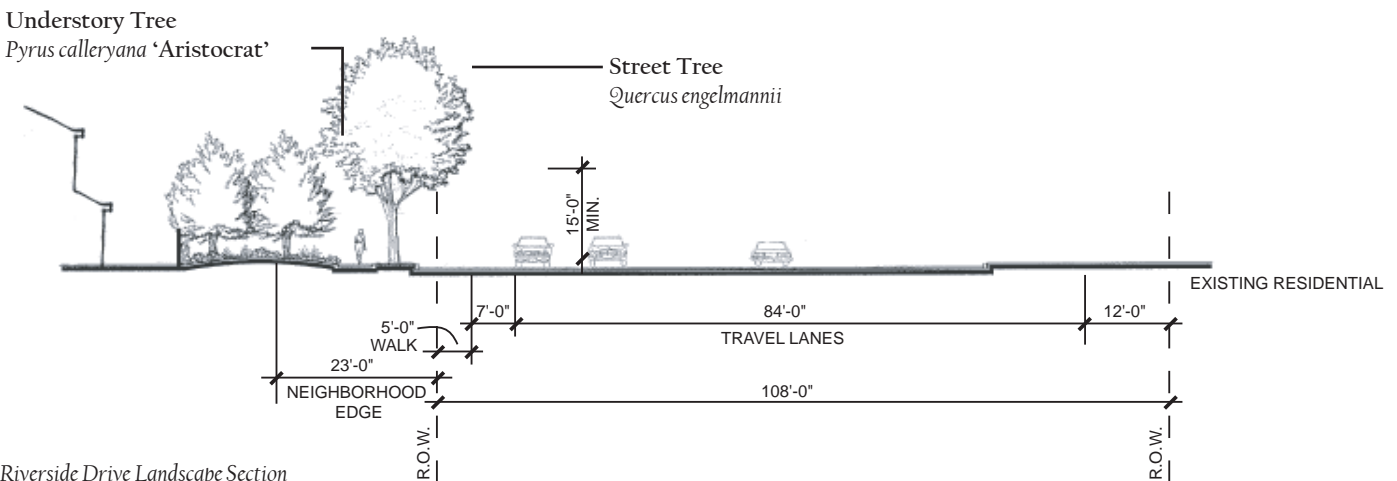
Arterial and Collector Streetscapes

Two City Master Plan arterial streets and two City Master Plan collector streets provide access into the project site. As key elements in the Edenglen Master Plan, these streets are designed with the following goals:

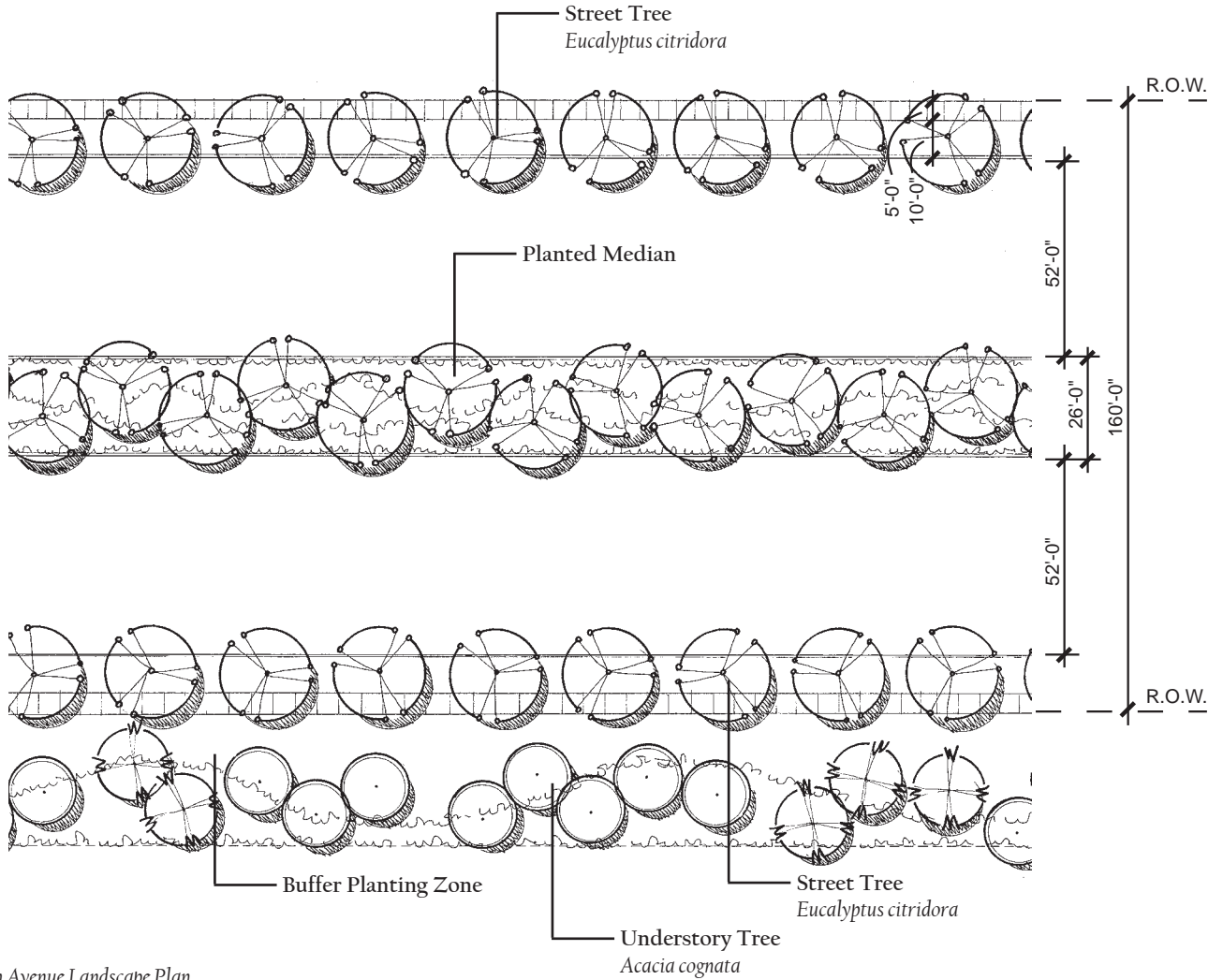
- To reinforce the traditional character of Edenglen through a formal landscape design of parkways,
- To establish a strong neighborhood identity utilizing theme trees which establish a special character for these important streets,
- To provide curb-separated sidewalks, on-street bicycle paths and off-street bicycle trails for a pleasant and safe pedestrian and bicycling environment,
- And, in spaces that will allow, to provide trees which will ultimately grow into a canopy cover for streets and sidewalks, thus enhancing sustainability and creating shade.



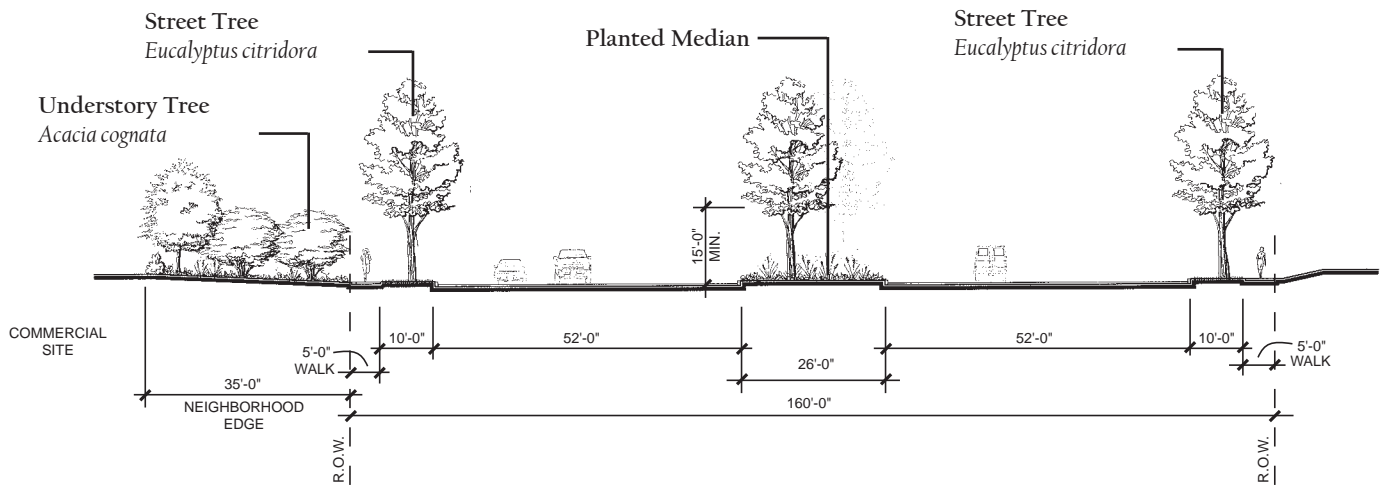
Riverside Drive Landscape Plan



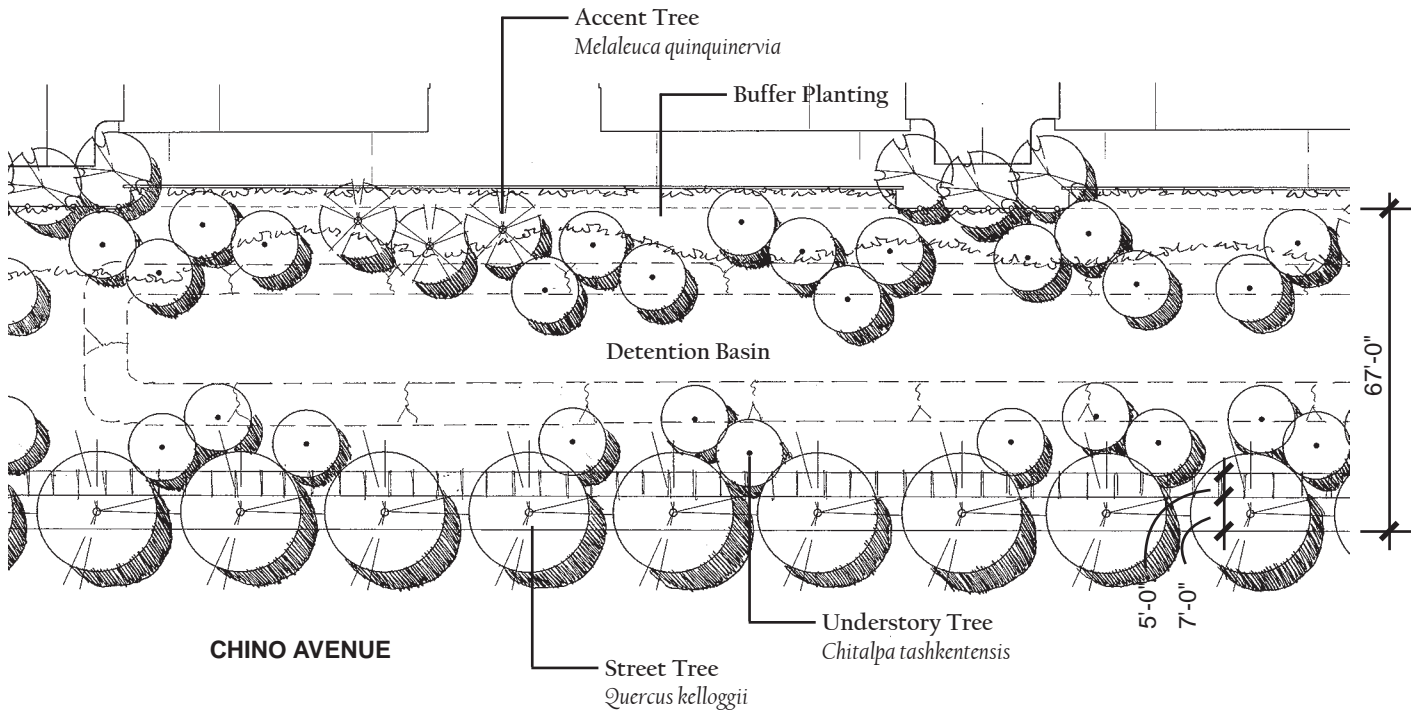
Riverside Drive Landscape Section



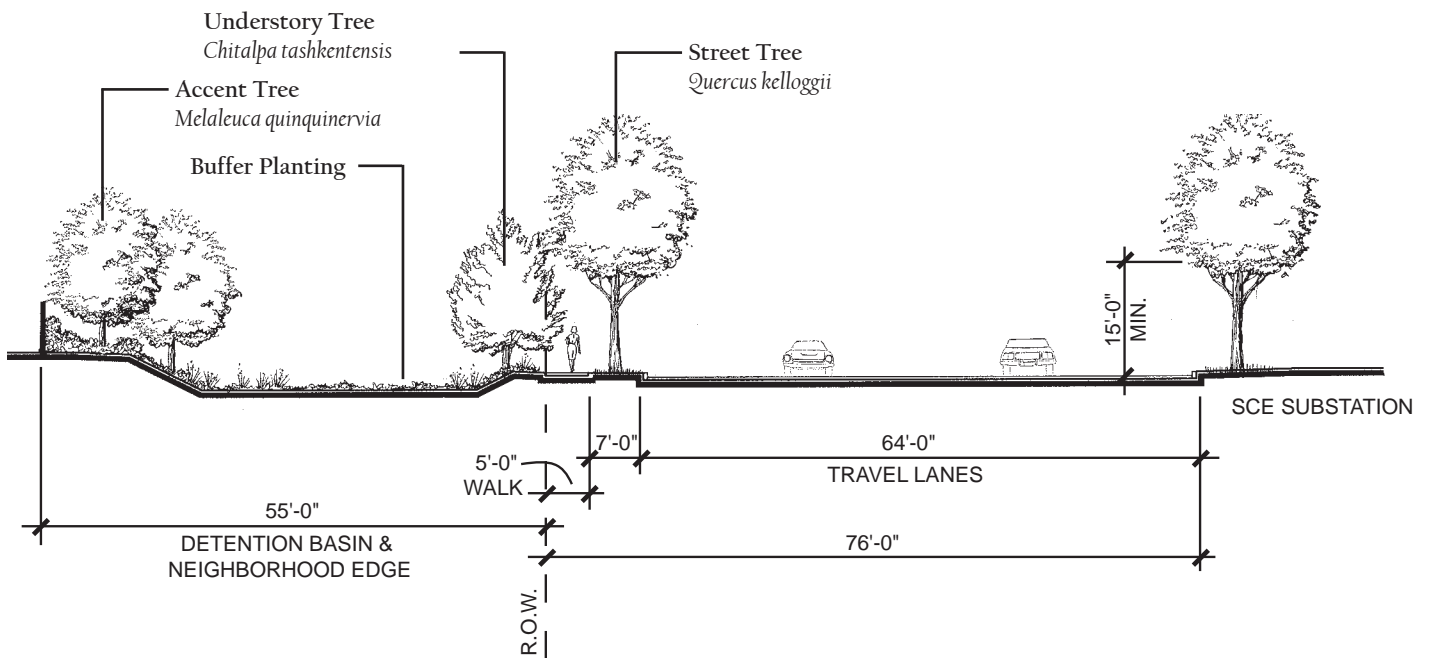
Milliken Avenue Landscape Plan



Milliken Avenue Landscape Section

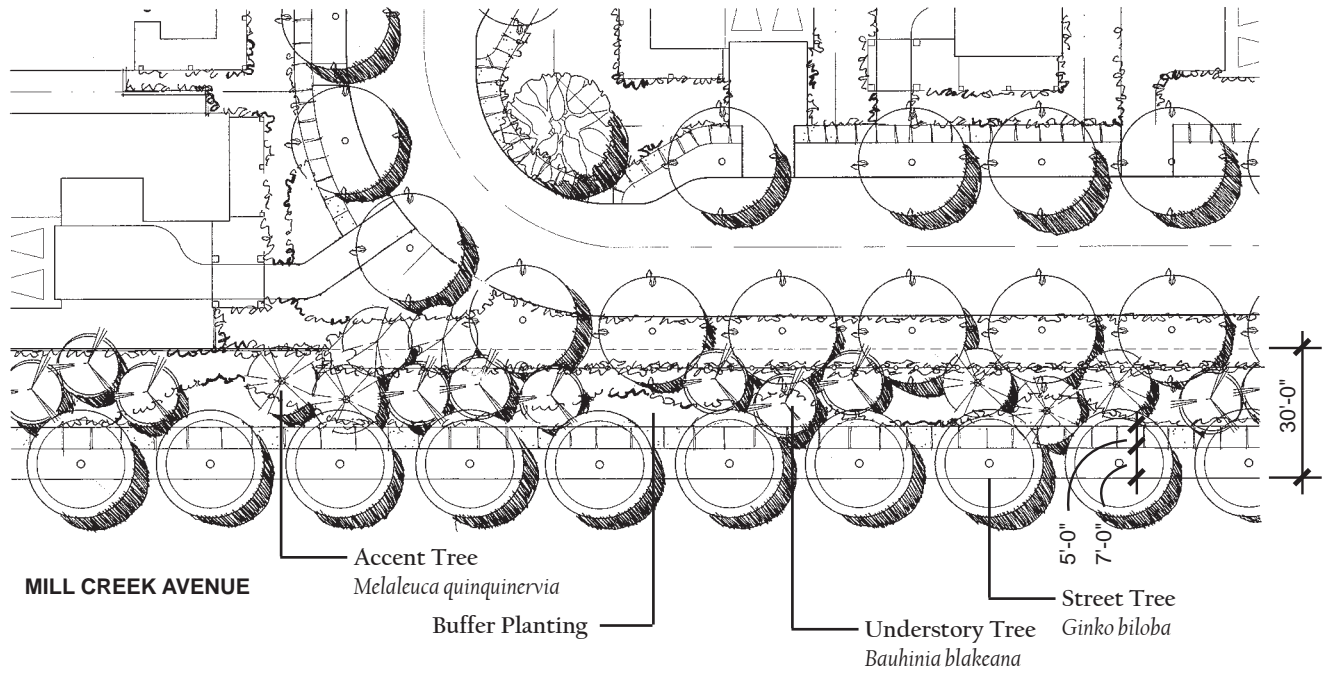


Chino Avenue Landscape Plan

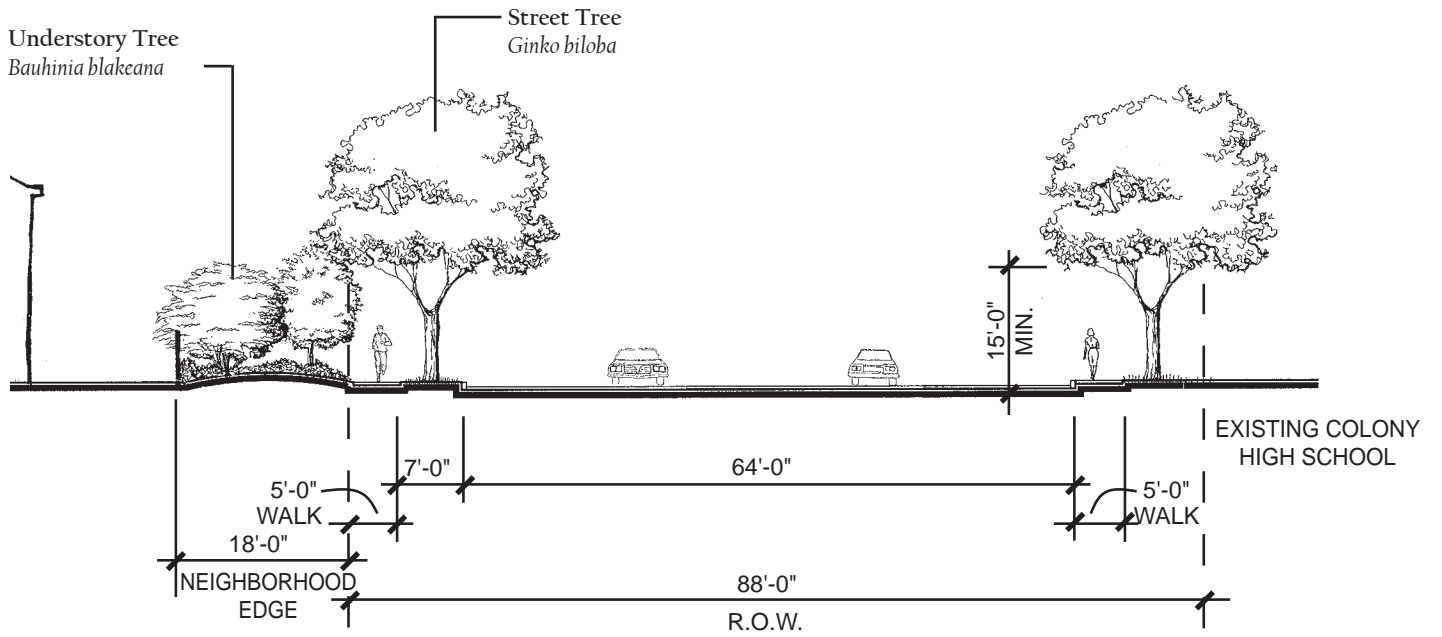


Chino Avenue Landscape Section

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Mill Creek Avenue Landscape Plan



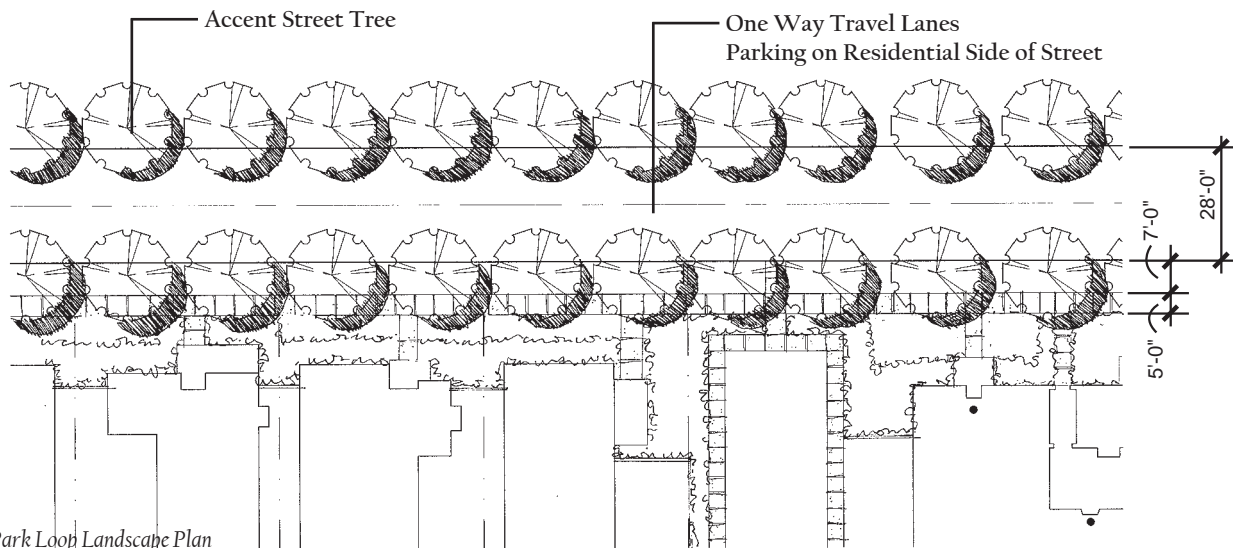
Mill Creek Avenue Landscape Section

7.6.5 Neighborhood Streetscapes

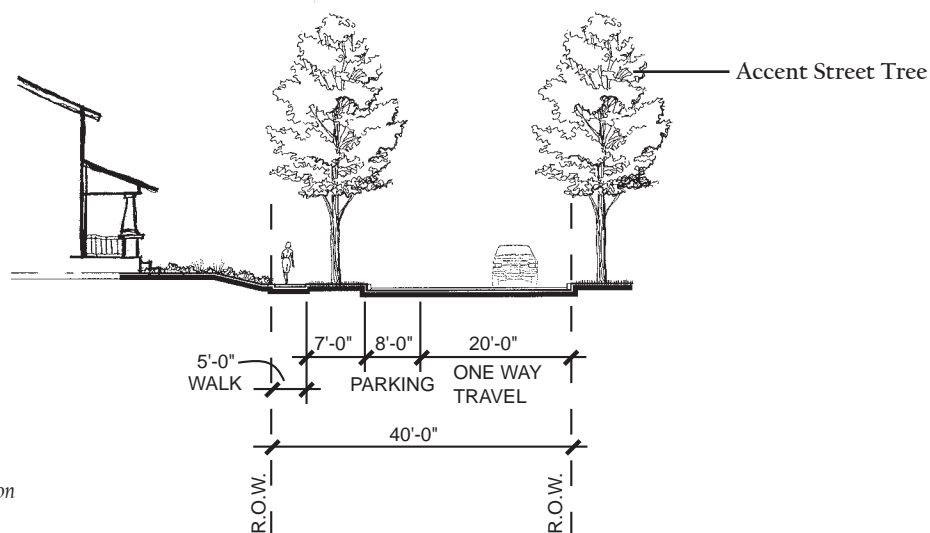
Park Loop Street

To help reinforce the traditional neighborhood feel of the community, the 4-acre Central Park is encircled by a tree-lined, one-way street. The Central Park Loop is located at the community core, and will include design elements such as:

- Street tapers at intersections to slow traffic within Edenglen and promote a pedestrian-friendly environment
- A Central Park with informal landscaping areas, and residences surrounding the park
- Parking on residential side of the street for park access
- Accent street trees that will provide fall color and create a shady streetscene throughout the summer months.
- A double row of trees that may be incorporated within the parkway and behind the walk at the Central Park to help reinforce the strength of the central gathering space within the community
- Corner elements at intersections that announce the entry into an individual neighborhood



Central Park Loop Landscape Plan



Central Park Loop Landscape Section

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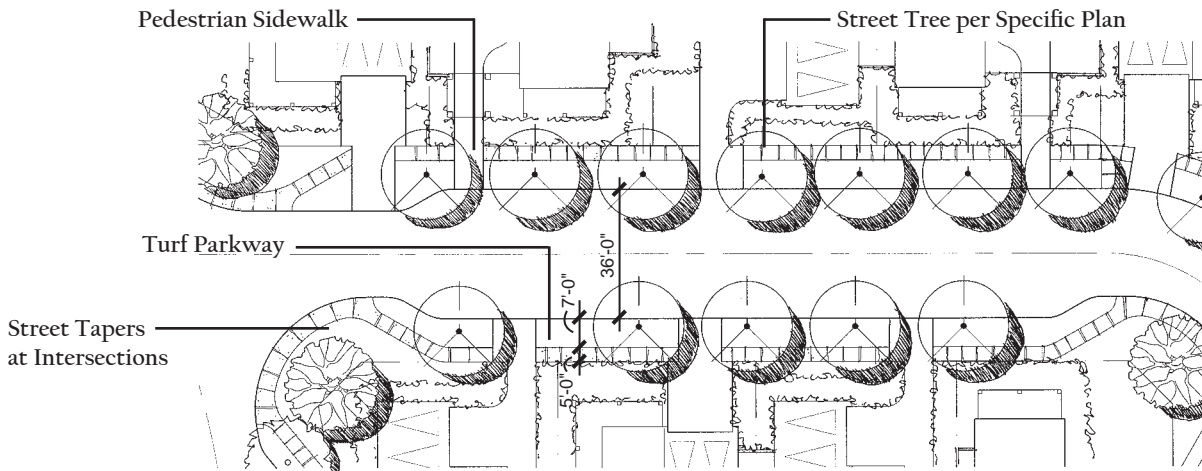
Typical Residential Streetscape

Consistent with traditional American town planning, one of the goals within the Edenglen Master Plan is to create walkable residential streets. Walkable streets encourage pedestrian activity by creating an atmosphere that is geared toward the pedestrian. Through simple design techniques, residential streets within Edenglen create the hometown appeal of a traditional neighborhood. Such traditional design techniques include:

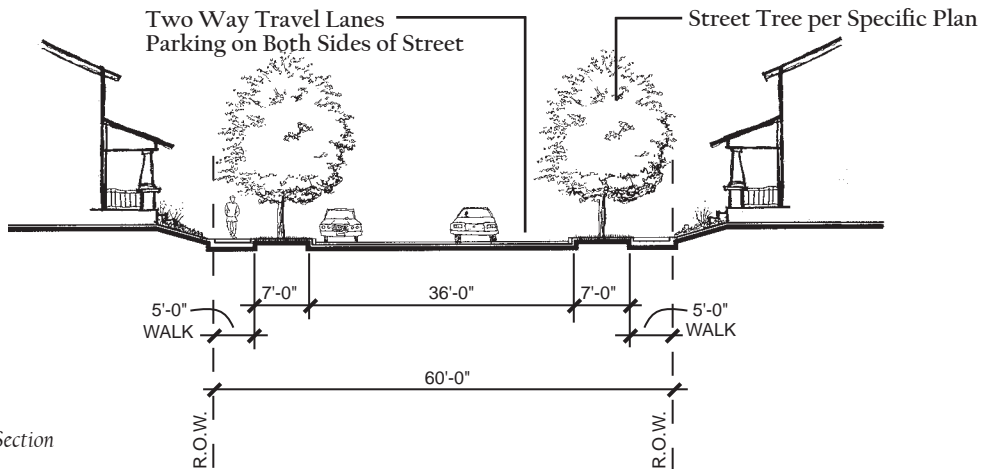
- Grid design to reinforce the traditional neighborhood development concept and provide connectivity among neighborhoods and with surrounding areas.
- Curb-separated sidewalks to encourage pedestrian activity and enhance pedestrian safety.
- Formal street tree patterns to reinforce the traditional character of the neighborhoods.
- Traditional streets with tapered intersections to reduce traffic speeds.
- Street fronting homes with porches to encourage friendly interaction between residents and passersby.

The landscape design concept for residential streets includes the following:

- Trees within the parkways should be a minimum of 24" box with larger sizes planted in focal areas such as street corners and within the tapers.
- Picket fences, arbors, gates, garden walls and clipped hedges are encouraged along residential streets to lend individuality to each home.



Neighborhood Street Landscape Plan

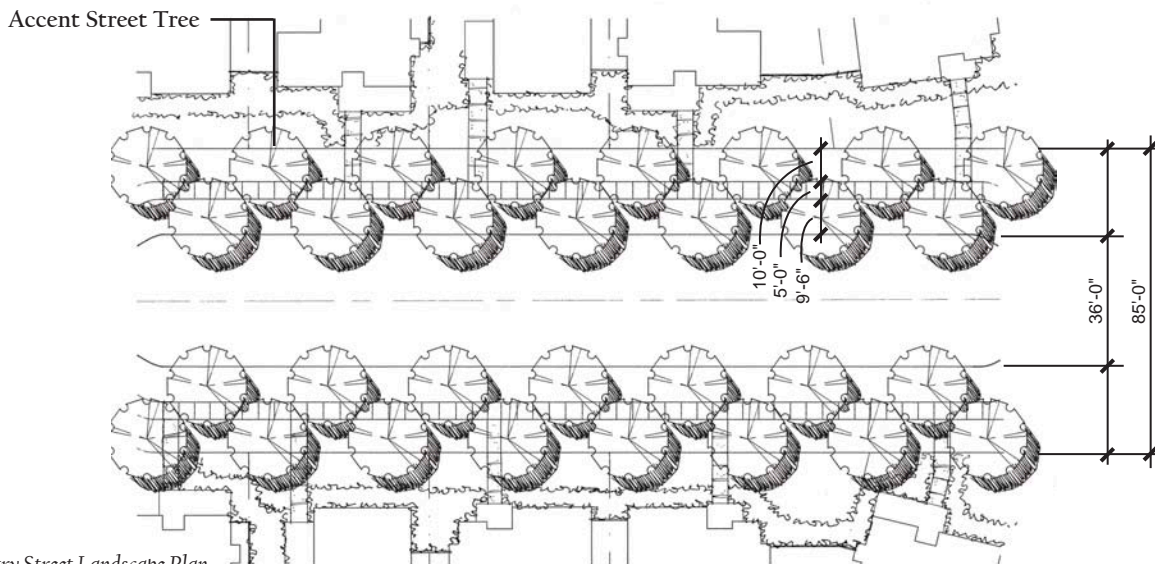


Neighborhood Street Landscape Section

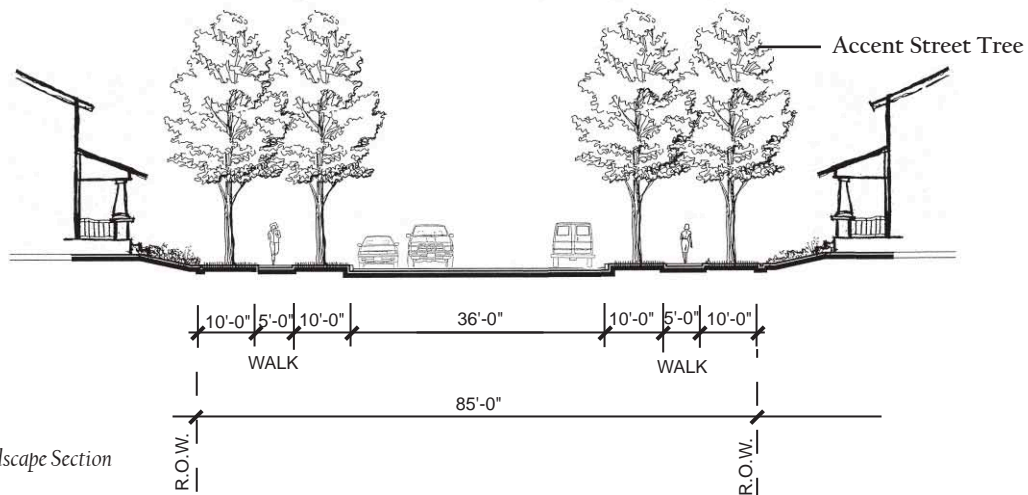
7.6.6 Primary and Secondary Entry Streets

The primary entry streets serving the Edenglen residential areas are from Riverside Drive and Chino Avenue. These are the initial portals establishing the traditional neighborhood character of the community. A secondary entry street serves Edenglen from Mill Creek Avenue. Homes will front on both sides of the primary and secondary entry streets, providing an inviting streetscene when combined with the landscape plan for the streets. Design criteria for the primary and secondary entry streetscapes incorporate several key elements in keeping with the traditional neighborhood theme and are as follows:

- Create a parkway between the curb and sidewalk to develop the key element of the streetscene and allow for the separation of vehicles and pedestrians making the community more walking-friendly
- Provide for a tree “promenade” with street trees equally spaced within the turf parkway where they occur. This will ultimately create a tree canopy and reinforce the traditional neighborhood character
- Introduce elements at street corner intersections that represent the individuality of the neighborhoods and reinforce the architectural character of the homes
- Bring a sense of anticipation to the experience with the Central Park as a focal or destination

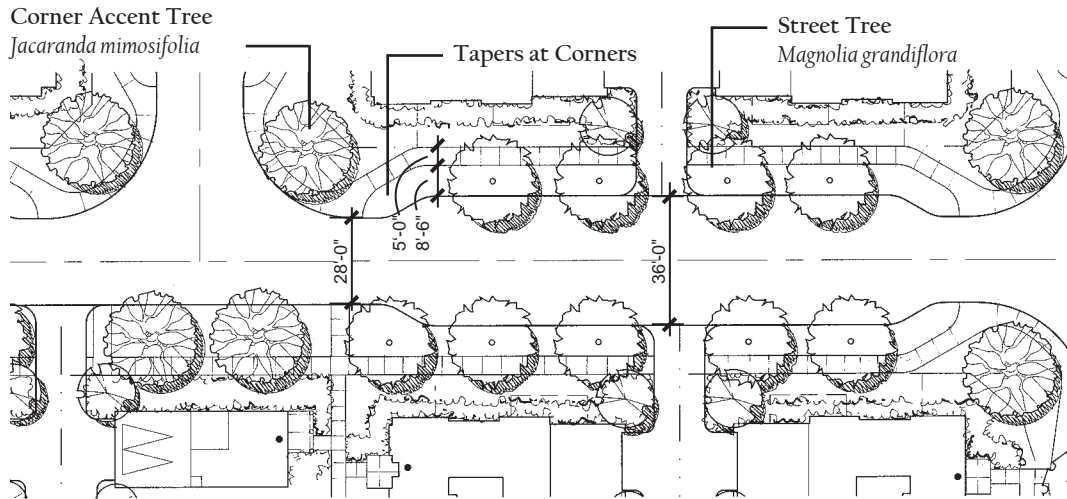


Primary Entry Street Landscape Plan

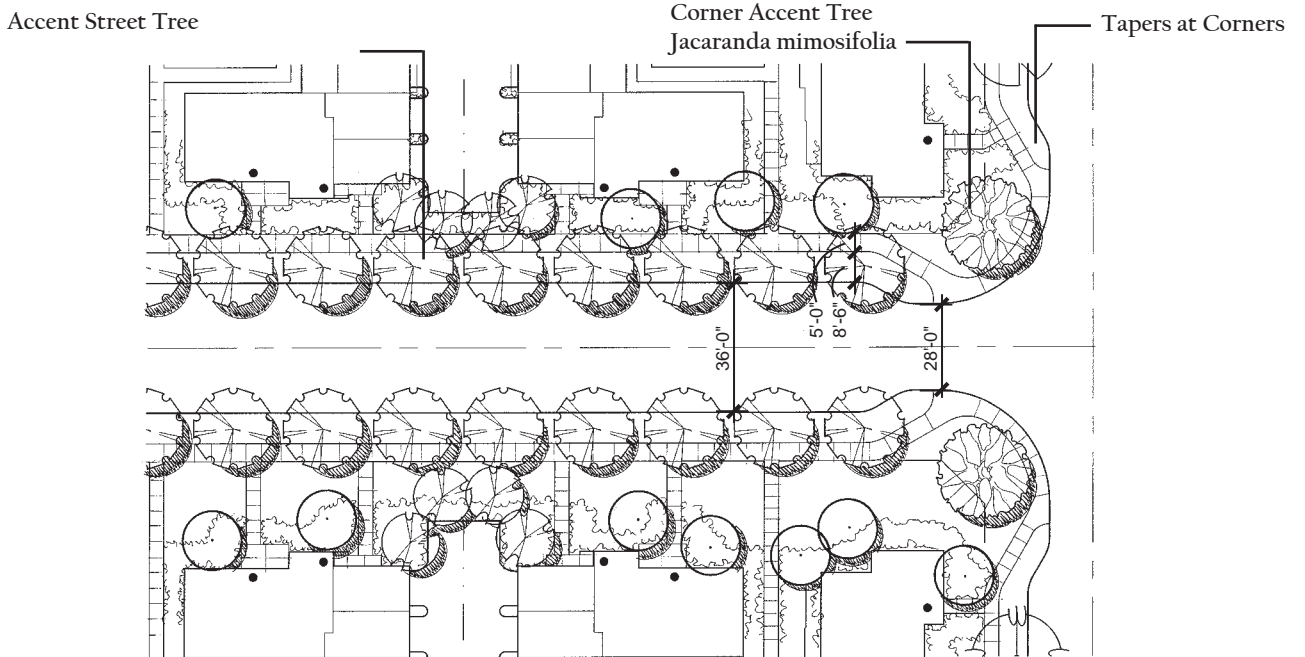


Primary Entry Street Landscape Section

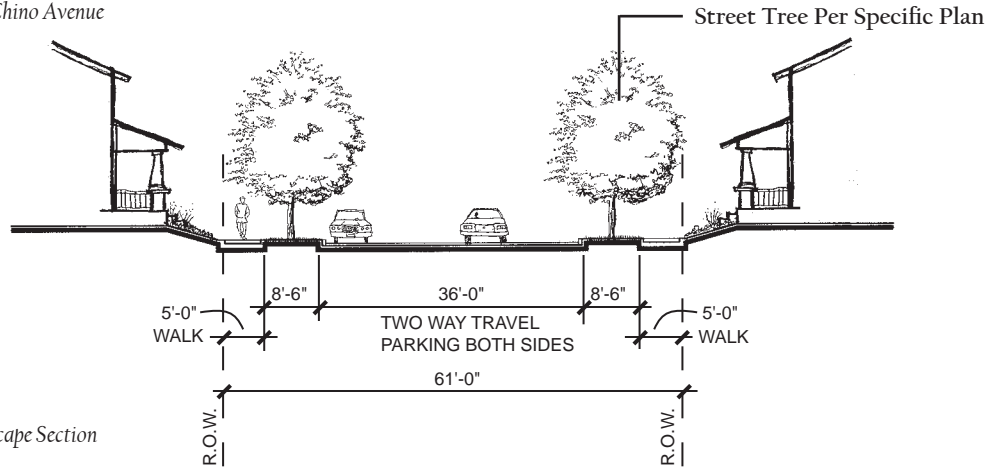
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Secondary Entry Street from Mill Creek Avenue



Secondary Entry Street from Chino Avenue



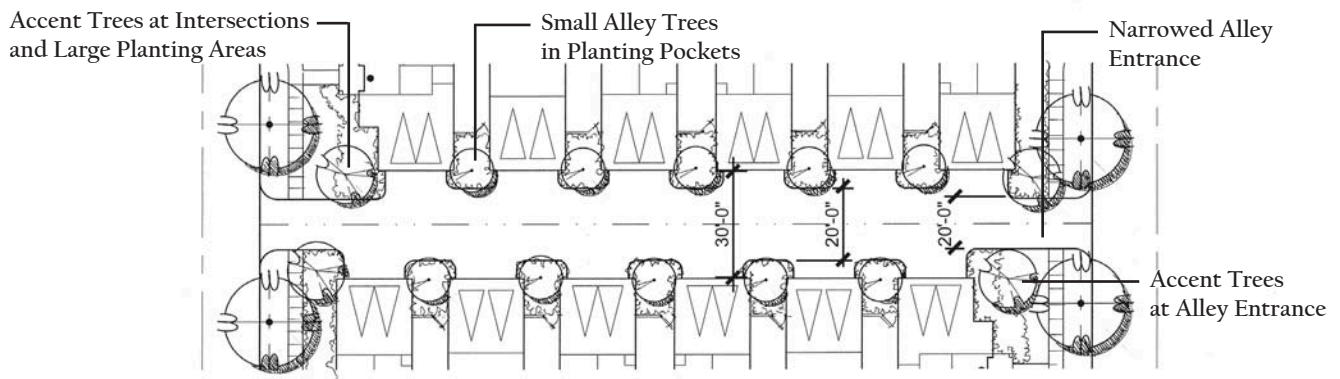
Secondary Entry Street Landscape Section

7.6.7 Alleys

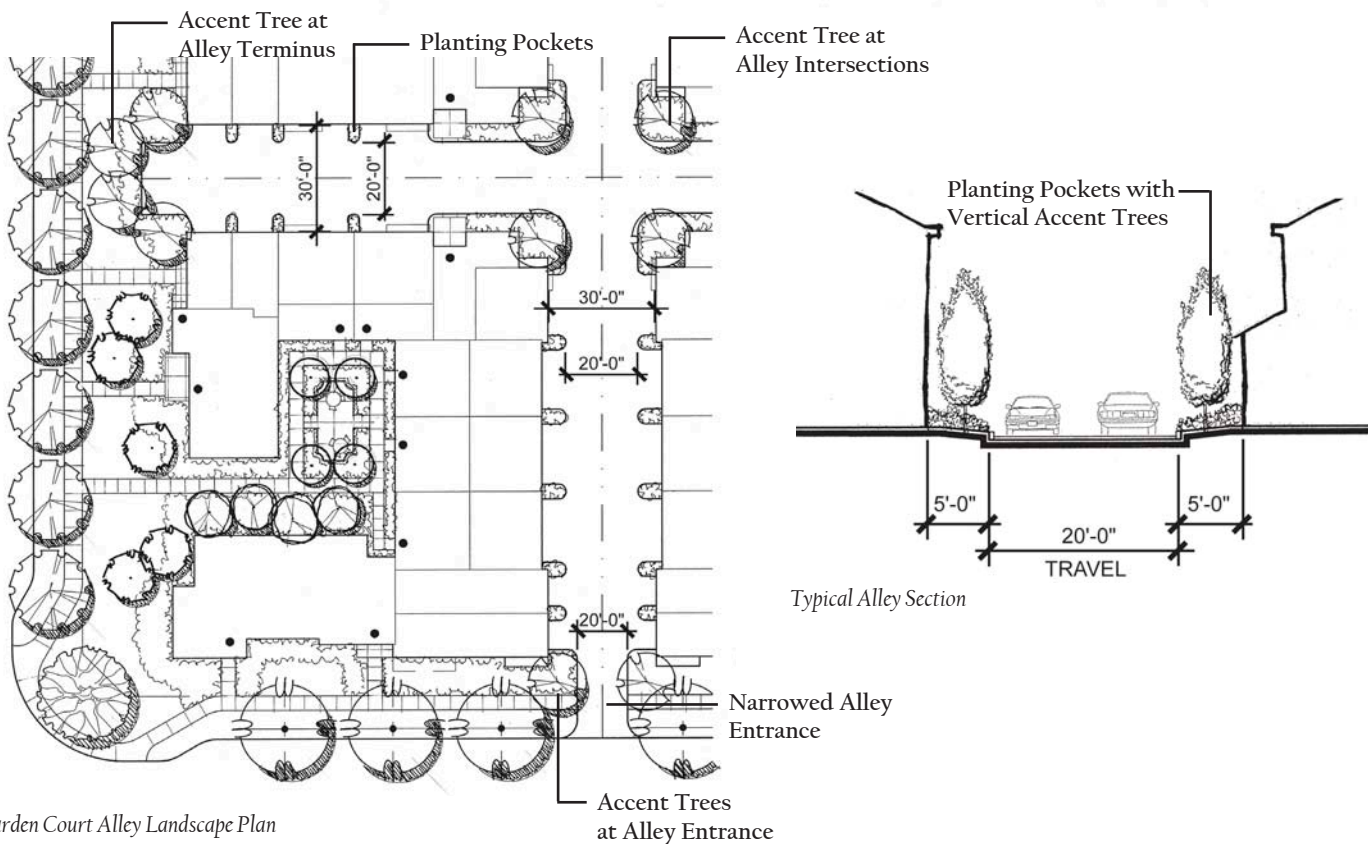
Alley drives are designed to provide a comfortable sense of function and character even though they provide the least enhanced access within the neighborhood. The alleys should optimize the sense of enclosure and function through use of good detail elements and take the best advantage of the limited space.

Alley drives should be enhanced with the following:

- Plant pockets that allow for the planting of vines for the purpose of framing architectural elements
- Planting of columnar trees to anchor the architecture
- Enhance the ends/entries to work with the overall neighborhood feel



SFD Alley Landscape Plan



Garden Court Alley Landscape Plan

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7.6.8 Open Space Amenities

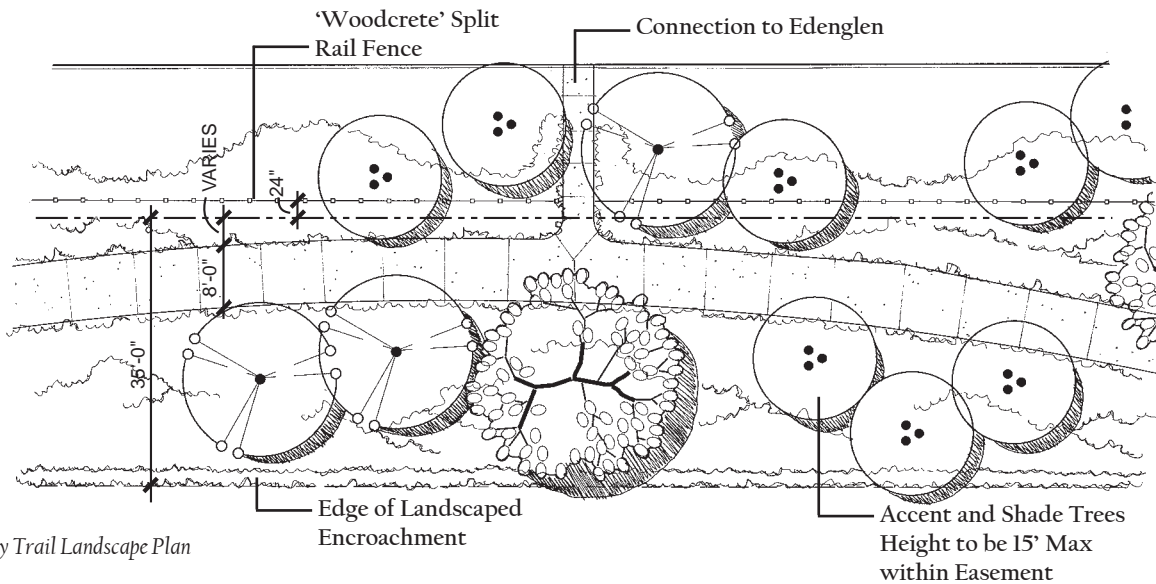
Community Trail

The Community Trail is a key component in the overall trail system for the New Model Colony. This trail will serve as a pedestrian and bicycle-friendly means of connecting the residents of Edenglen to their surrounding community. The main purposes of the Community Trail are to:

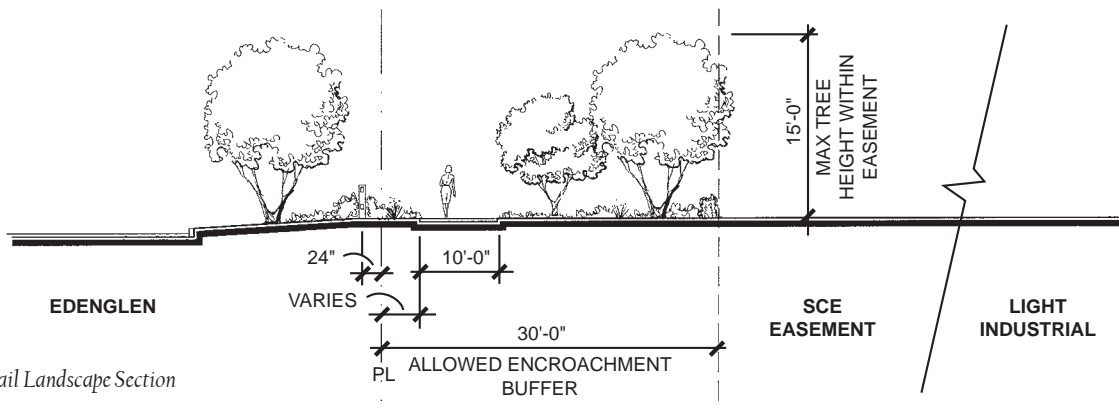
- Serve as one of the links in the City of Ontario Master Plan of Trails for SCE corridors and easements
- Serve as a link between residential uses and the commercial center adjacent to Edenglen

Improvements within the trail will include:

- A meandering walkway/bicycle trail that stretches from Riverside Drive to Chino Avenue
- A 30' wide area, which will be landscaped with deciduous and evergreen trees and flowering shrubs
- Links connecting it to Edenglen at several points as well as a secondary path that will lead to the commercial center
- A separation between the walk and the residential community with plant material and a rail-like fence



Community Trail Landscape Plan

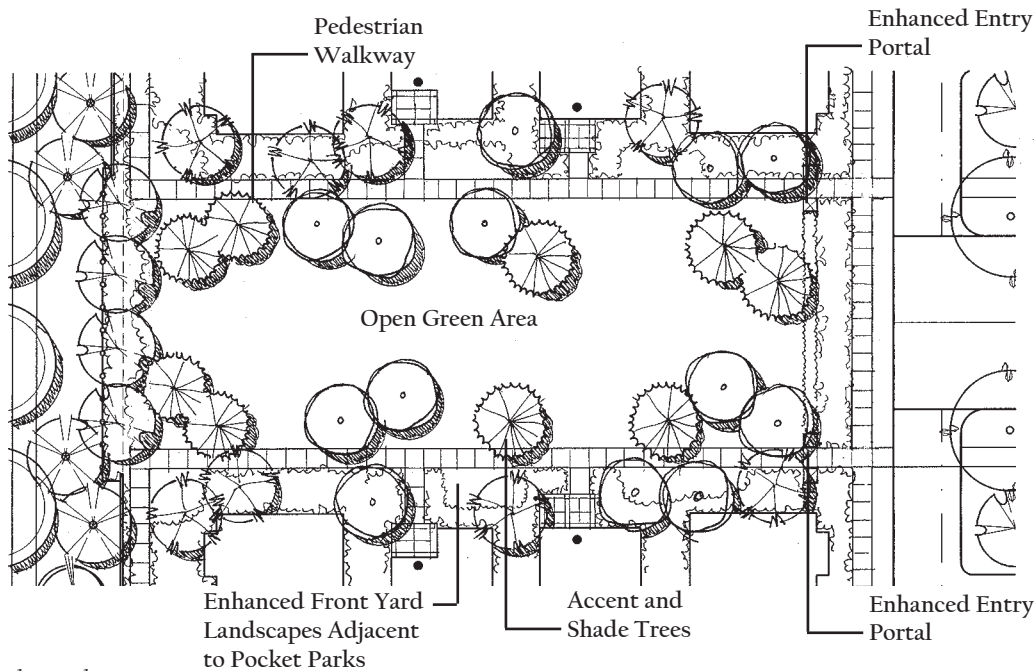


Community Trail Landscape Section

7.6.9 Pocket Parks

Pocket parks throughout the Edenglen community will serve as intimate neighborhood gathering spaces where families can get to know their neighbors and offer additional opportunities for open play. These parks will provide:

- Landscaping which would create these as focal spaces with the use of specimen trees, flowering shrubs, and sodded turf
- A design character reflective of adjacent architectural style
- Additional amenities such as benches, picnic tables and lighting, which would not interfere with the primary purpose of open play



Typical Pocket Park Landscape Plan

7.6.10 Central Park

The 4-acre Central Park will be the main gathering and activity area within Edenglen. Amenities to be incorporated into the Central Park may include:

- Picnic areas with tables and barbecues
- Tot lots for various ages
- Gazebo or bandstand for community gatherings
- Community Heritage Tree
- Rose garden with a centralized, lighted flagpole
- Open turf areas and possible amphitheatre
- A “country market” to provide conveniences such as coffee, juices and a newsstand for residents
- Recreation center including a swimming pool and spa

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Flag Pole and
Community Rose Garden

Gazebo

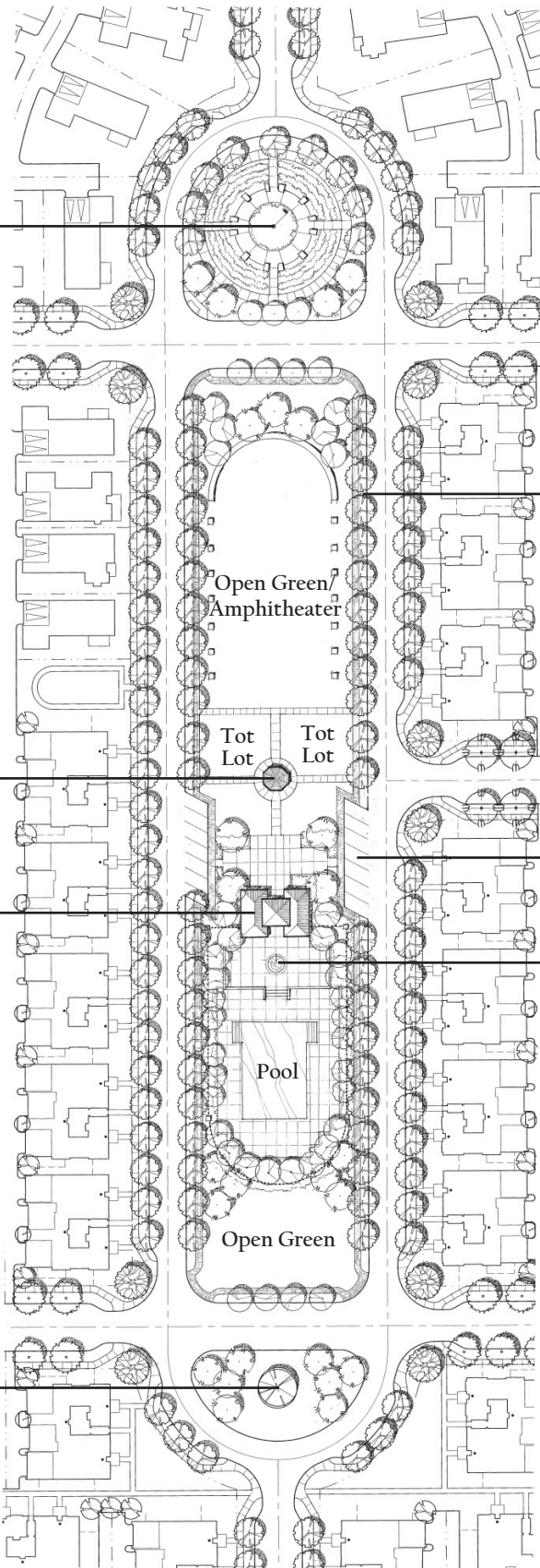
Rec Center Building
with Country Market

Heritage Tree

Brick "Heritage Walk"

Parking

Spa



Central Park Concept

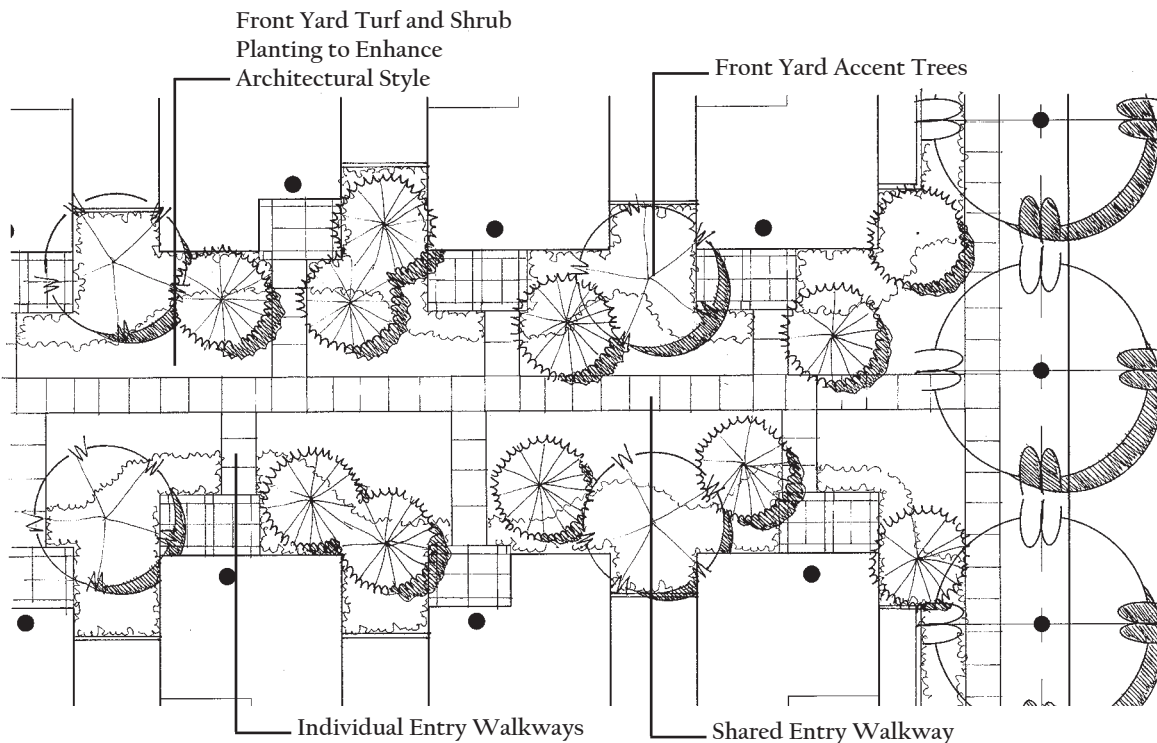
7.6.11 Residential Common Areas

P-3: Cottage Homes SFD

Common Front Entry Green

These areas are considered to be not only access into the individual houses but also an open space where children can play and people can gather. These spaces should be designed to blend with the architectural character of the surrounding homes and shall:

- Allow for easy access to the individual homes
- Include a “portal” or entry statement with the use of hedges, arbors, pilasters, or other elements that would create a sense of arrival
- Be landscaped with plant material that reflects the character of the individual architecture with the use of both evergreen and deciduous trees, flowering shrubs, and annual color
- Introduce benches, picnic tables, or other items that will bring people together
- Create open green space that is welcoming for neighbors to toss a ball, throw a Frisbee, or do other outdoor activities



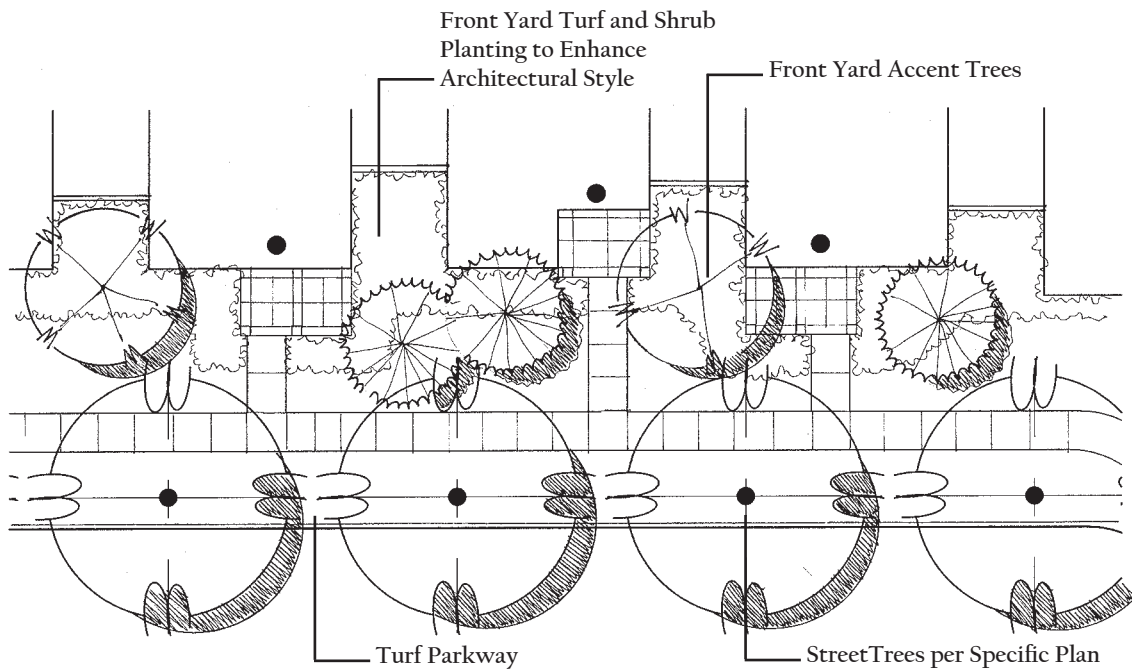
Cottage Homes Common Area

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Front Streetscape

The front streetscape of the Cottage Homes is a continuation of the overall streetscene within the community. This streetscene should flow from one house to the next and include:

- Parkway-separated sidewalks to encourage pedestrian activity and enhance pedestrian safety
- Formal street tree patterns to reinforce the traditional character of the neighborhoods
- Trees within the parkways should be a minimum of 24" box with larger sizes planted in focal areas such as street corners and within the tapers—the trees shall be per guidelines set forth by the City of Ontario
- Picket fences, arbors, gates, garden walls and clipped hedges are encouraged along residential streets to lend individuality to each home
- Plant material that complements the architectural styles of the individual homes that includes both evergreen and deciduous trees, flowering shrubs, and annual color

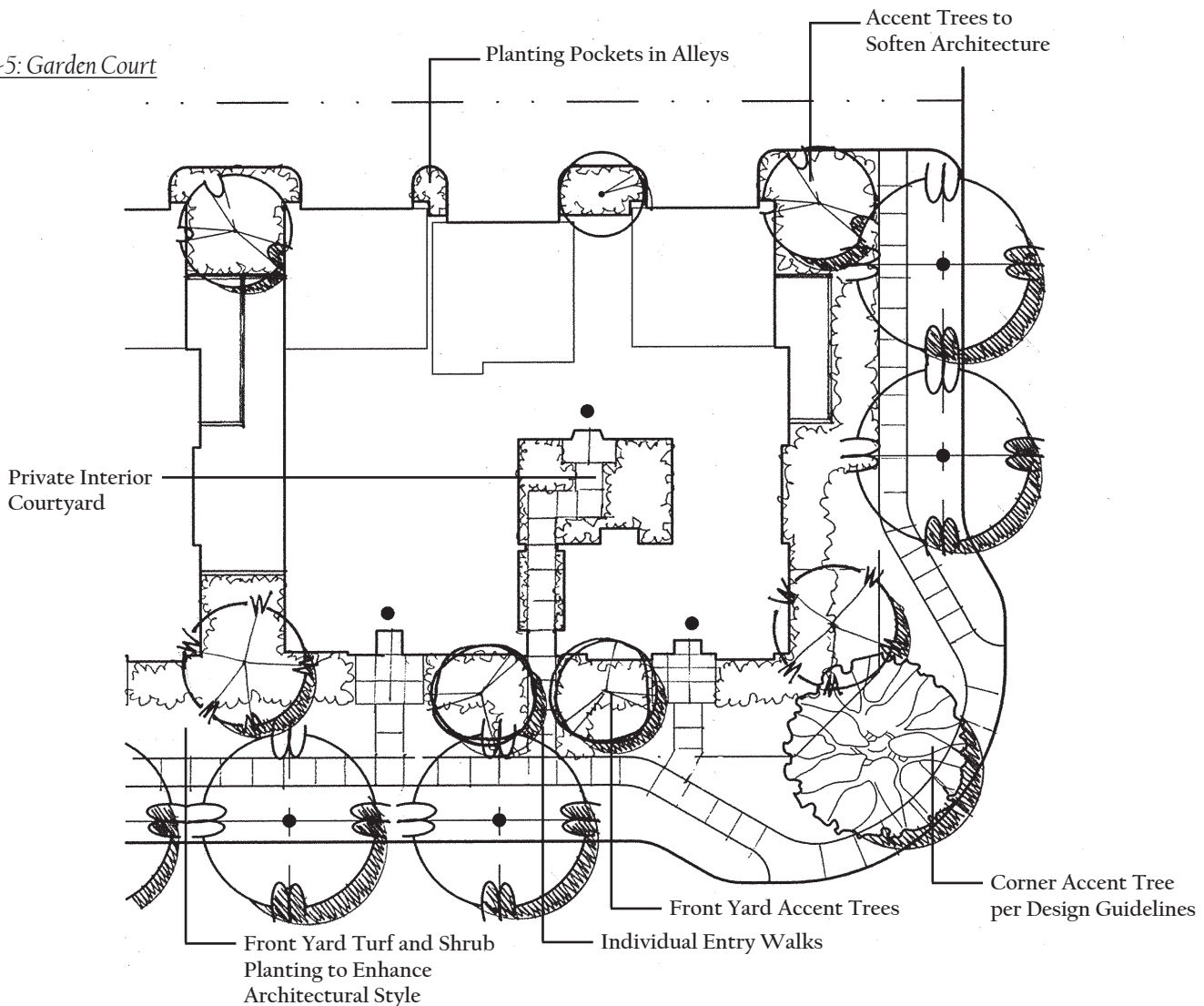


Cottage Homes Front Streetscape

P-4: Triplex Court

The landscape for these Triplex Court units should continue the overall streetscene concept and include:

- Parkway-separated sidewalks to encourage pedestrian activity and enhance pedestrian safety
- Formal street tree patterns to reinforce the traditional character of the neighborhoods
- Trees within the parkways should be a minimum of 24" box with larger sizes planted in focal areas such as street corners and within the tapers—the trees shall be per guidelines set forth by the City of Ontario
- Plant material that complements the architectural styles of the individual homes that includes both evergreen and deciduous trees, flowering shrubs, and annual color

P-5: Garden Court

Triplex Court Landscape Plan

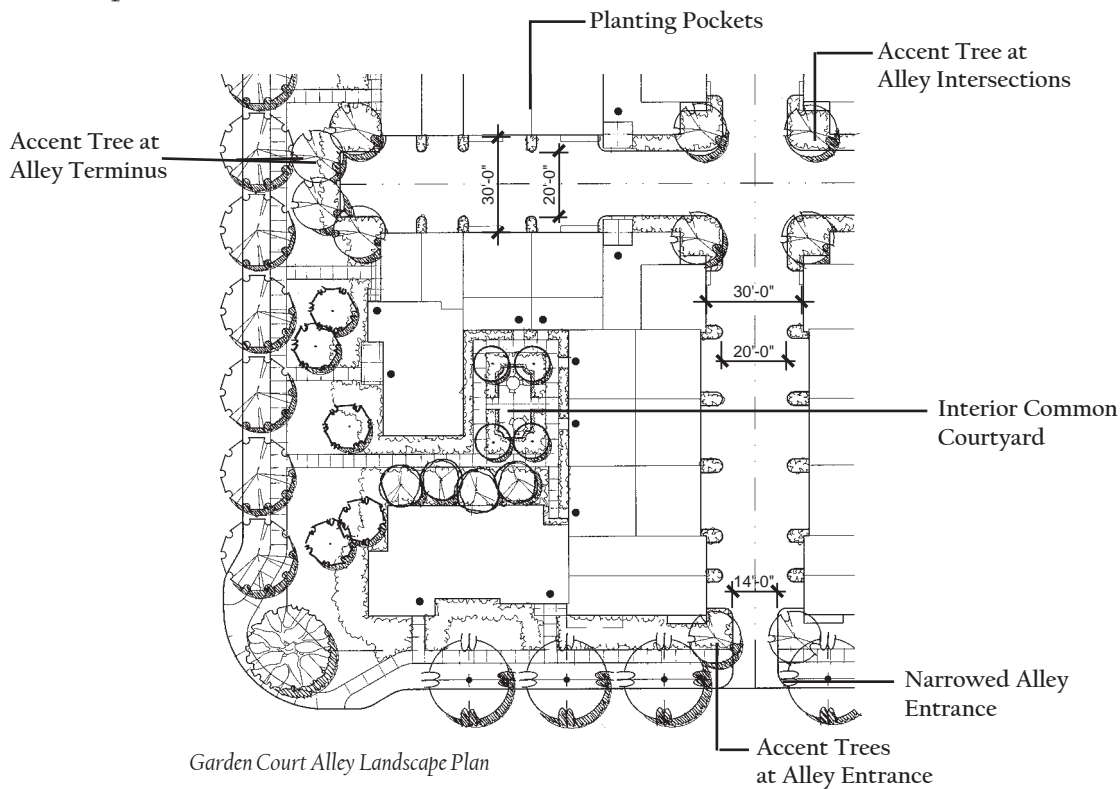
Interior Courtyard

The interior courtyard of the Garden Court Homes not only acts as an outdoor foyer to all of the homes, but also as an interactive common space designed to allow for quiet relaxation, neighborly chats, and group gatherings.

The interior courtyards should blend with the individual surroundings and may include:

- Tall, canopy trees to create a roof-like effect and bring a stronger sense of an outdoor room
- Fountain features to add ambient sound into the courtyard, quieting the noises from the street and allowing for a more relaxed feeling
- Large patio spaces that would allow for the use of tables and chairs for group activities
- Flowering shrubs and annual color that blends with the architecture and helps enforce the definition of the outdoor space

Front Streetscape



Garden Court Alley Landscape Plan

The landscape for the Garden Court homes should continue the overall streetscene concept and include:

- Parkway-separated sidewalks to encourage pedestrian activity and enhance pedestrian safety
- Formal street tree patterns to reinforce the traditional character of the neighborhoods
- Trees within the parkways should be a minimum of 24" box with larger sizes planted in focal areas such as street corners and within the tapers—the trees shall be per guidelines set forth by the City of Ontario
- Plant material that complements the architectural styles of the individual homes that includes both evergreen and deciduous trees, flowering shrubs, and annual color

7.6.12 Master Wall and Fence Plan

Consistent with the traditional development concept, the use of project perimeter walls is discouraged in favor of a more open neighborhood feel. However, in limited instances, walls are required for sound attenuation and/or privacy for individual residences. In such cases, walls should be masonry, landscaped, and covered with vines to soften the wall appearance and deter graffiti. The Edenglen plant palette suggests approved choices for wall vines and complementary shrubbery and can be found in the appendix of these Design Guidelines.

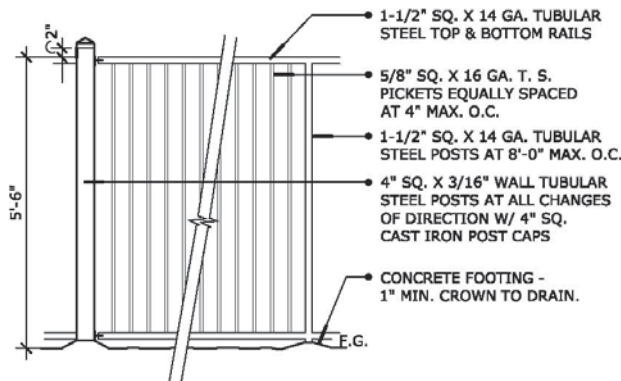
The Master Wall and Fence Plan for Edenglen is illustrated on the following page.

Perimeter Walls

Keeping the feel of a small town, the perimeter wall will incorporate the use of trees, vines, and shrubbery in order to soften the appearance of the wall and allow the streetscene to be less dominated by the block wall materials. Also, long expanses of wall will be avoided by jogging the wall at intermittent predetermined locations and by the use of various other wall and fence materials.

Tubular Steel Fence

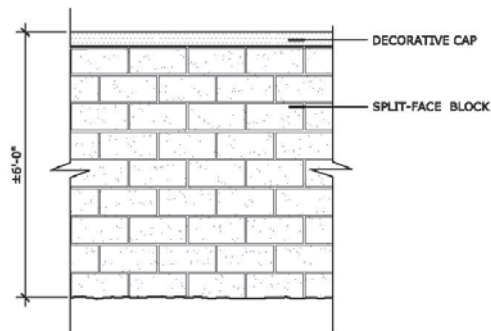
Tubular steel fencing will be utilized where the streetscene is directly adjacent to open space areas such as the pocket parks and paseos. The tubular steel perimeter fencing shall incorporate the use of pilaster designed to be consistent with the materials of the perimeter walls. The location and spacing of the pilasters shall be subject to Planning Department review and approval.



Tubular-Steel Fence Elevation

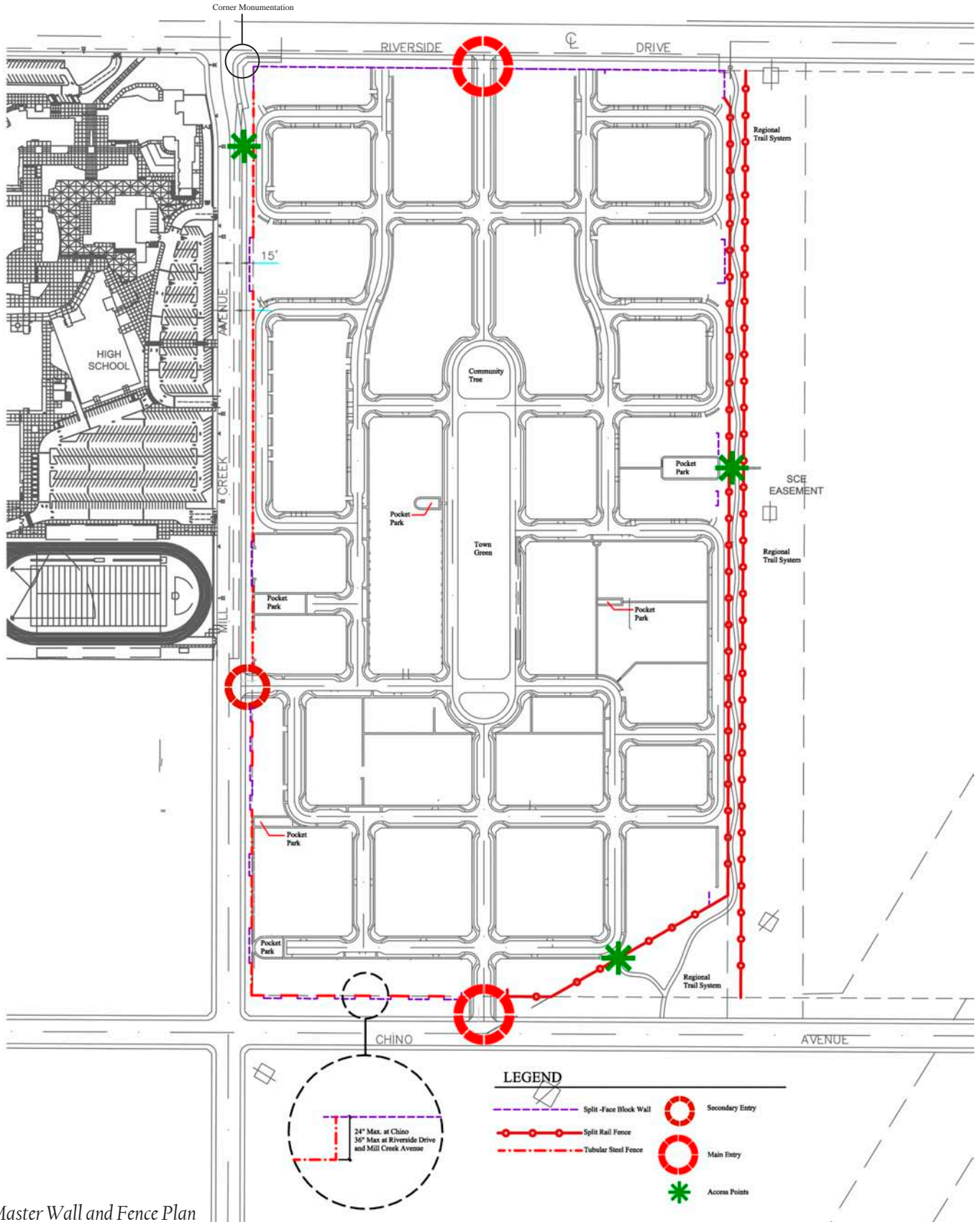
Split Face Wall

Split face block will be utilized on all wall faces exposed to public view.



Split Face Wall Elevation

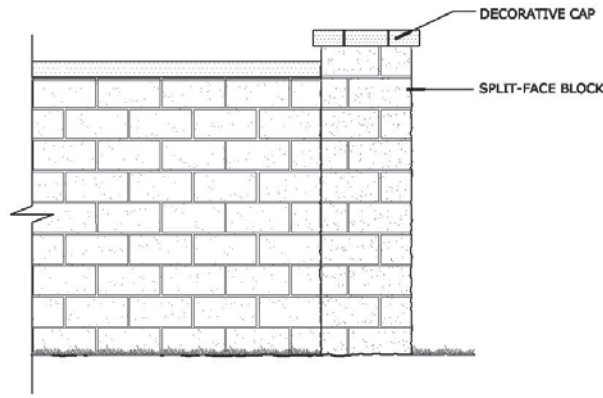
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Master Wall and Fence Plan

Split Face Pilasters

Pilasters will be utilized at each intersection of differing wall material and wall direction. The spacing of pilasters and wall offsets shall be subject to Planning Department review and approval.



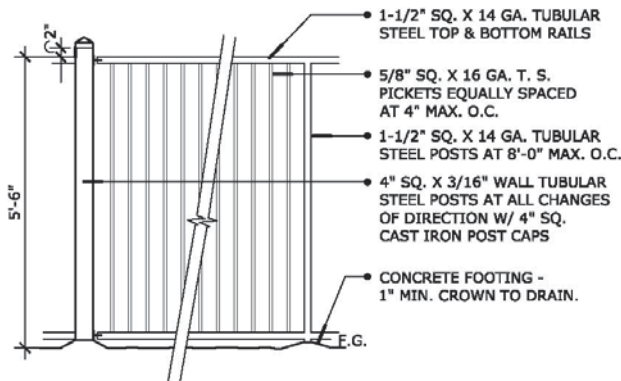
Split Face Pilaster Elevation

Interior Walls

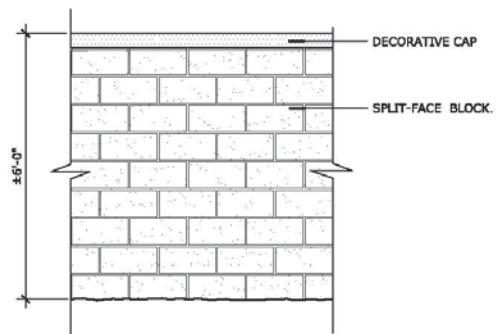
Front yard walls, side yard walls, fencing, and retaining walls shall be designed and constructed of materials that are compatible with the architecture.

Property Line Walls Exposed to View

All property line walls exposed to view will be either tubular steel, where views of open space are appropriate, or split face on both sides when adjacent to public spaces.



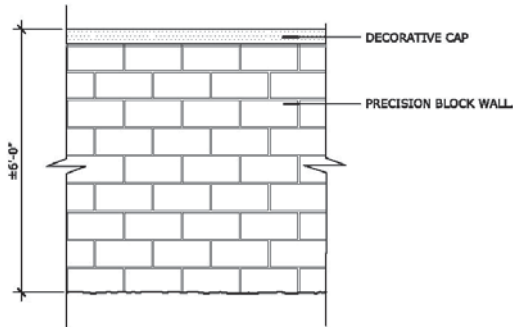
Tubular Steel Fence Elevation



Split Face Wall Elevation

Property Line Wall Not Exposed to View

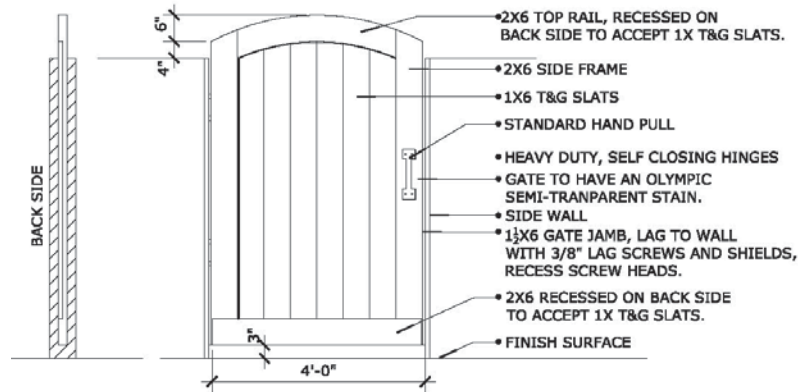
Any wall face that is not exposed to public view will be a precision face consistent in color with any adjacent walls.



Precision Block Wall Elevation

Gates

Gates will occur at the entrances to any exterior private spaces of residential units. Gates will be comprised of tubular steel or wood and fabricated in such a way as to disallow views into or out of private areas.



Wood Gate

Accent Walls

Accent walls will generally be positioned in front yards to create private entries and motor courts. These walls should be comprised of materials and colors that are compatible with the architecture. The height of these walls should be limited to 36" and should maintain the porch setback on the front yard and 3' from all corner side yards.

7.7 IMPLEMENTATION

7.7.1 Introduction

Edenglen is envisioned as a community where families will be proud to own a quality home in a lively and friendly environment. Important steps need to be taken to ensure that the enduring quality of Edenglen is maintained. Through Design Review, simplified construction techniques and landscape improvements and maintenance, the Edenglen Development Team will have the ability to continue to oversee that the implementation of Edenglen's vision becomes a reality.

7.7.2 Improvement Responsibility

Successful community and neighborhood design depends on an integrated planning approach that utilizes planning, site design, architecture, landscape design, and engineering. Strong placemaking can only occur with a unified effort and implementation commitment by the Community Developer and individual homebuilders.

With a diversity in product types and an elevated expectation of appearance, some elements will need to be installed by the Community Developer. The following exhibits detail the responsibilities of the Community Developer and the homebuilder. Maintenance responsibilities will also be defined between the City of Ontario, the Homeowner's Association and individual homeowners.

7.7.3 Homebuilder Landscape Requirement

Homebuilders shall develop a typical landscape plan for their products. Homebuilder landscape concepts are to be included early on in the development process. Typical designs will be reviewed by the Design Review Committee. The City of Ontario is required to review frontyard landscaping and to approve all concepts.

Submittal Requirements

- Overall project area plan indicating location, height and materials of theme walls
- Overall project area plan indicating location of utilities and irrigation tie-ins with master system
- Indicate recorded drainage easements
- Overall project street tree plan indicating conformance with the Ontario New Model Colony Plant Matrix and the Edenglen street sections
- Location and material of minor open space connectors to open space areas are to be indicated
- Typical lot landscape with minimum landscape criteria
- Turf, non-turf and partial turf options
- Where applicable, the rear drive landscape is to be submitted with the front yard landscape as one package
- All landscape submittals must include a completed landscape worksheet and review fees
- All submittals should include the materials and location of planting, irrigation and hardscape elements
- Additional documentation may be required to address special conditions as determined by the Design Review Committee and subject to further approval
- Plans should include architectural site plans with floor plan layouts, walks, driveways, retaining walls, steps, and auxiliary structures

Responsibility Requirements

- Homebuilder is responsible for front yard landscape for all products
- All front yard landscape must be installed prior to the close of escrow of residence
- All landscape plans are to be stamped by a registered landscape architect in the State of California
- Backyard landscape design must be submitted for view fence design

Specific improvement responsibilities are defined as follows:







	Community Developer	Homebuilder
Arterial Roadways ¹	●	
Collector Roadways ¹	●	
Neighborhood Streets ¹	●	
Central Park	●	
Pocket Parks		●
Linear Parks	●	
Front Yard Landscape ³		●
Rear Drives		●
Rear Drive Landscape		●
Community Theme Wall ²	●	
Entries/Gateways ²	●	
Street Trees on Local Streets		●

NOTES:

- 1 Includes all improvements within R.O.W. and adjacent landscape lots (sidewalks, parkways, street trees, lighting, etc.).*
- 2 Wall design and materials as specified by Community Developer.*
- 3 Improvements include all elements up to back of sidewalk.*

MAINTENANCE RESPONSIBILITY

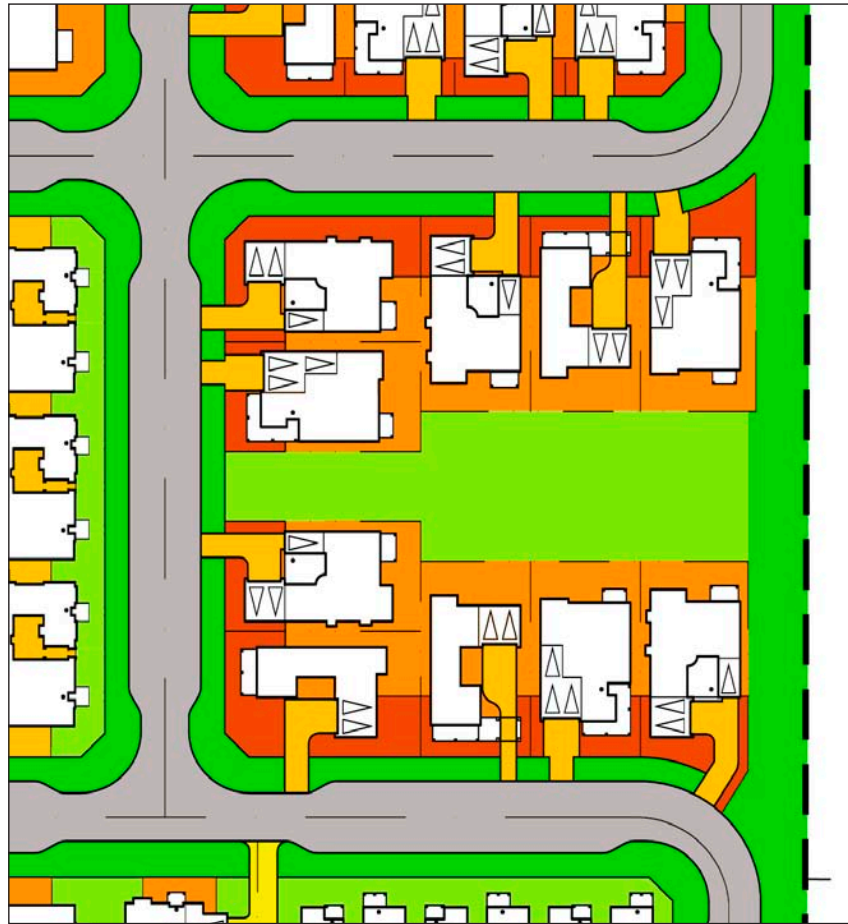
LEGEND

-  Developer Installed / City Maintained
-  Developer Installed / HOA Maintained
-  Builder Installed / HOA Maintained
-  Builder Installed / HOA Maintained - Alley
-  Builder Installed / Homeowner Maintained
-  Homeowner Installed and Maintained










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P-1 SINGLE FAMILY DETACHED (SFD)



LEGEND

-  Developer Installed / City Maintained
-  Developer Installed / HOA Maintained
-  Builder Installed / HOA Maintained
-  Builder Installed / HOA Maintained - Alley
-  Builder Installed / Homeowner Maintained
-  Homeowner Installed and Maintained
-  Developer Installed / Homeowner Maintained









Key Map

P-2 ALLEY-LOADED SFD



LEGEND

-  Developer Installed / City Maintained
-  Developer Installed / HOA Maintained
-  Builder Installed / HOA Maintained
-  Builder Installed / HOA Maintained - Alley
-  Builder Installed / Homeowner Maintained
-  Homeowner Installed and Maintained









Key Map

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P-3 COTTAGE HOME SFD



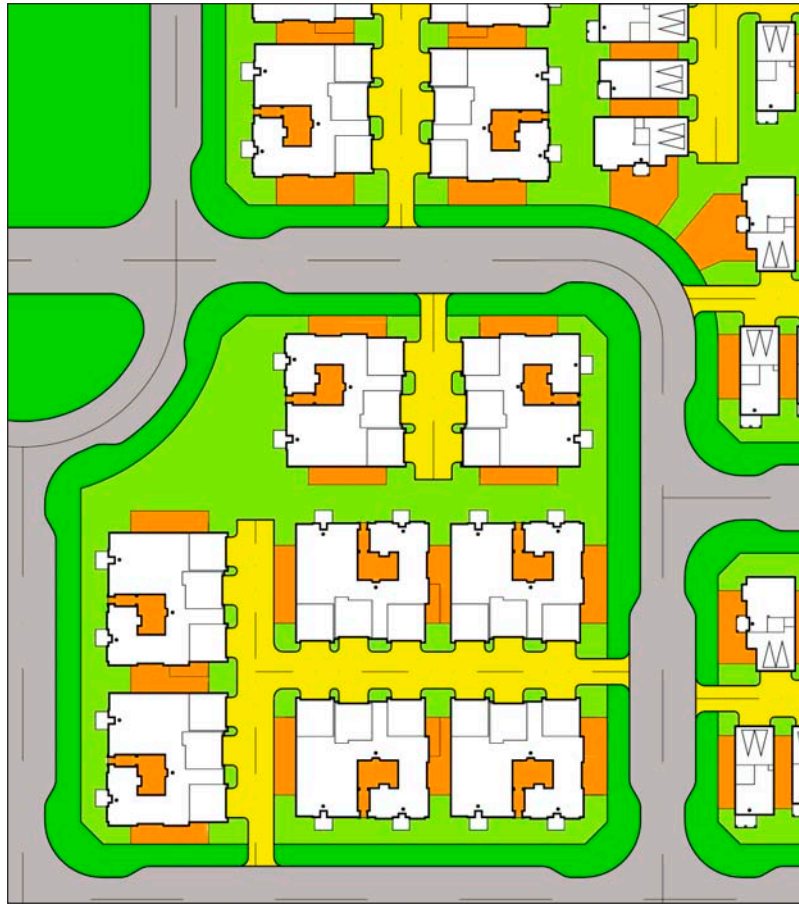
LEGEND

-  Developer Installed / City Maintained
-  Developer Installed / HOA Maintained
-  Builder Installed / HOA Maintained
-  Builder Installed / HOA Maintained - Alley
-  Builder Installed / Homeowner Maintained
-  Homeowner Installed and Maintained









Key Map

P-4 TRIPLEX COURT HOMES



LEGEND

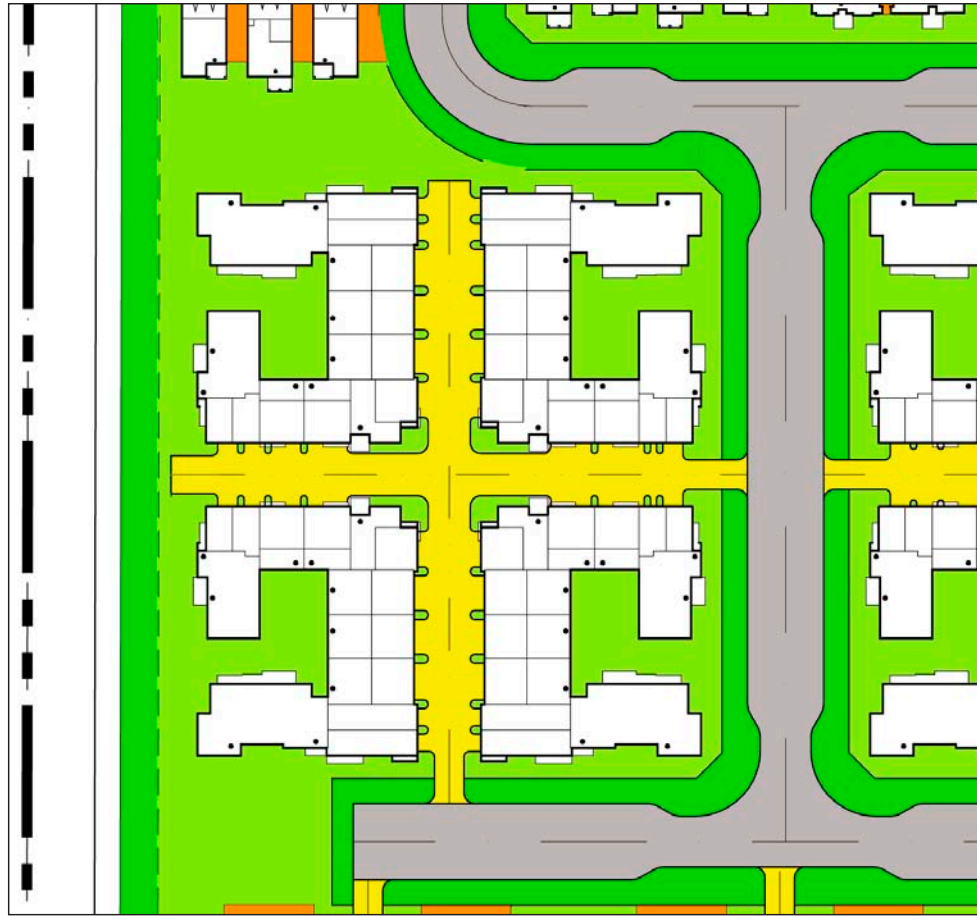
-  Developer Installed / City Maintained
-  Developer Installed / HOA Maintained
-  Builder Installed / HOA Maintained
-  Builder Installed / HOA Maintained - Alley
-  Builder Installed / Homeowner Maintained
-  Homeowner Installed and Maintained









Key Map

live the difference

P-5 GARDEN COURT TOWNHOMES



LEGEND

-  Developer Installed / City Maintained
-  Developer Installed / HOA Maintained
-  Builder Installed / HOA Maintained
-  Builder Installed / HOA Maintained - Alley
-  Builder Installed / Homeowner Maintained
-  Homeowner Installed and Maintained



Key Map

Ontario New Model Colony
Plant Matrix

Trees

Botanical Name	Common Name	Riverside Drive	Mill Creek Avenue	Chino Avenue	Community Trail	Primary Street	Secondary Access Street	Village Park Loop	Neighborhood Street	Alleys	Primary & Secondary Entries	Residential Entry	Commercial Entry	Tri-plex Court (RDA 12)	Garden Court (RDA 16)	SFD Alley Loaded (RD 10)	SFD Alley Loaded (RD 5000)	SFD Front Loaded (RD 5500)	Recreation Center	Village Park	Commercial Area	
<i>Aesculus californica</i>	California Buckeye																					
<i>Agonis flexuosa</i>	Peppermint Tree																					
<i>Arbutus unedo</i>	Strawberry Tree																					
<i>Archontophoenix cunninghamiana</i>	King Palm																					
<i>Bauhinia blakeana</i>	Hong Kong Orchid Tree																					
<i>Brachychiton populneus</i>	Bottle Tree																					
<i>Cedrus deodara</i>	Deodar Cedar																					
<i>Cercis canadensis 'Forest Pansy'</i>	Forest Pansy Redbud																					
<i>Cercis occidentalis</i>	Western Red Bud																					
<i>Chitalpa tashkentensis</i>	Chitalpa Tree																					
<i>Cinnamonum camphora</i>	Camphor Tree																					
<i>Cupaneopsis anacardioides</i>	Carrotwood																					
<i>Eriobotrya deflexa</i>	Loquat																					
<i>Ginkgo biloba</i>	Maidenhair Tree																					
<i>Geijera parviflora</i>	Austrailian Willow																					
<i>Harpephyllum caffra</i>	N.C.N.																					
<i>Hymenosporum flavum</i>	Sweet Shade																					
<i>Jacaranda mimosifolia</i>	Jacaranda																					
<i>Juniperus chinensis 'Torulosa'</i>	Hollywood Juniper																					
<i>Lagerstroemia indica</i>	Crape Myrtle																					
<i>Liriodendron tulipifera</i>	Tulip Tree																					
<i>Lyonothamnus floribundus</i>	Catalina Ironwood																					
<i>Magnolia grandiflora</i>	Southern Magnolia																					
<i>Melaleuca quinquinervia</i>	Cajuput Tree																					
<i>Olea europea</i>	Olive																					
<i>Phoenix dactylifera</i>	Canary Island Palm																					
<i>Pinus eldarica</i>	Afghan Pine																					
<i>Pistacia chinensis</i>	Chinese Pistache																					
<i>Pittosporum undulatum</i>	Victorian Box																					
<i>Plantanus acerifolia</i>	London Plane Tree																					
<i>Plantanus racemosa</i>	California Sycamore																					
<i>Podocarpus henkellii</i>	Yew Pine																					
<i>Prunus cerasifera 'Krauter Vesuvius'</i>	Purple Leaf Plum																					
<i>Pyrus calleryana 'Aristocrat'</i>	Aristocrat Pear																					
<i>Pyrus kawakamii</i>	Evergreen Pear																					
<i>Quercus agrifolia</i>	Coast Live Oak																					
<i>Quercus engelmannii</i>	Engleman Oak																					
<i>Quercus kelloggii</i>	California Black Oak																					
<i>Rhaphiolepis 'Magestic Beauty'</i>	N.C.N.																					
<i>Rhus lancea</i>	African Sumac																					
<i>Sapium sebiferum</i>	Chinese Tallow Tree																					
<i>Schinus molle</i>	California Pepper Tree																					
<i>Syagrus romanzoffianum</i>	Queen Palm																					
<i>Tabebuia impetiginosa</i>	Pink Trumpet Tree																					
<i>Tipuana tipu</i>	Tipu Tree																					

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Ontario New Model Colony
Plant Matrix

Trees

Botanical Name	Common Name	Riverside Drive	Mill Creek Avenue	Chino Avenue	Community Trail	Primary Street	Secondary Access Street	Village Park Loop	Neighborhood Street	Alleys	Primary & Secondary Entries	Residential Entry	Commercial Entry	Tri-plex Court (RDA 12)	Garden Court (RDA 16)	SFD Alley Loaded (RD 10)	SFD Alley Loaded (RD 5000)	SFD Front Loaded (RD 5500)	Recreation Center	Village Park	Commercial Area	
<i>Tristania laurina</i>	N.C.N.				•					•												
<i>Zelkova serrata</i>	Saw Leaf Zelkova																	•	•		•	•

Ontario New Model Colony
Plant Matrix

Shrubs

Botanical Name	Common Name	Riverside Drive	Mill Creek Avenue	Chino Avenue	Community Trail	Primary Street	Secondary Access Street	Village Park Loop	Neighborhood Streets	Alleys	Primary & Secondary Entries	Residential Entry	Commercial Entry	Tri-plex Court (RDA 12)	Garden Court (RDA 16)	SFD Alley Loaded (RD 10)	SFD Alley Loaded (RD 5000)	SFD Front Loaded (RD 5500)	Recreation Center	Village Park	Commercial Area	
<i>Acacia redolens</i>	Creeping Acacia																					
<i>Achillea species</i>	Yarrow	•			•																	
<i>Agave attenuata</i>	Foxtail Agave												•	•	•	•	•	•	•	•	•	•
<i>Aloe species</i>	Aloe				•								•									•
<i>Alyogene huegelii</i>	Blue Hibiscus				•					•	•	•		•	•	•	•	•	•	•	•	
<i>Anigozanthus flavidus</i>	Kangaroo Paw																					•
<i>Arctostaphylos edmundsii</i>	Little Sur Manzanita			•																		•
<i>Arctostaphylos species</i>	Manzanita				•								•			•	•	•	•	•	•	•
<i>Baccharis pilularis</i>	Coyote Brush			•	•																	•
<i>Bougainvillea species</i>	Bougainvillea		•								•	•	•	•		•	•	•	•	•	•	•
<i>Buxus m. japonica</i>	Japanese Boxwood						•		•					•	•	•	•	•	•	•	•	•
<i>Carpenteria californica</i>	Bush Anemone				•																	
<i>Ceanothus species</i>	California Lilac			•	•					•		•				•	•	•	•	•	•	•
<i>Cistus purpureus</i>	Rock Rose	•	•		•					•		•	•	•	•	•	•	•	•	•	•	•
<i>Cotoneaster horizontalis</i>	Cotoneaster		•																			•
<i>Dietes bicolor</i>	Morea Lilly	•	•			•	•		•	•	•	•	•	•	•	•	•	•	•	•	•	•
<i>Diplacus species</i>	Monkey Flower			•	•																	•
<i>Echium fastuosum</i>	Pride of Madiera	•			•												•	•	•	•	•	•
<i>Eleagnus pungens</i>	Silverberry										•	•										•
<i>Elymus condensatus</i>	Giant Wild Rye				•																	
<i>Encelia californica</i>	California Encelia				•																	•
<i>Eriogonum species</i>	Buckwheat				•																	
<i>Eschescholtzia californica</i>	California Poppy				•																	•
<i>Euryops pectinatus</i>	Grey-Leafed Euryops		•																			
<i>Fremontodendron californica</i>	Flannel Bush			•	•																	•
<i>Gardenia jasminoides</i>	Gardenia												•	•	•							•
<i>Gaura lindheimeri</i>	Gaura					•					•	•	•	•	•	•	•	•	•	•	•	•
<i>Grevillea species</i>	N.C.N.																•	•	•			
<i>Hemerocallis species</i>	Day Lily						•		•				•	•	•	•	•	•	•	•	•	•
<i>Heteromeles arbutifolia</i>	Toyon			•	•																	
<i>Ilex species</i>	Holly												•	•	•	•	•	•	•	•	•	•
<i>Juniperus chinensis & CVS</i>	Juniper										•	•	•	•	•	•	•	•	•	•	•	•
<i>Lantana montevidensis</i>	Lantana	•	•								•	•	•	•	•	•	•	•	•	•	•	•
<i>Lavandula species</i>	Lavender	•				•					•	•	•	•	•	•	•	•	•	•	•	•
<i>Lavatera bicolor</i>	N.C.N.	•	•														•	•	•	•	•	•
<i>Leptospermum scoparium 'Snow White'</i>	New Zeland Tea Tree		•									•	•									•
<i>Ligustrum japonicum 'Texanum'</i>	Glossy Privet					•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
<i>Limonium perezii</i>	Statice	•			•						•	•	•	•	•	•	•	•	•	•	•	•
<i>Liriope species</i>	Lily Turf						•		•				•	•	•	•	•	•	•	•	•	•
<i>Lonicera japonica 'Halliana'</i>	Hall's Honey Suckle													•								•
<i>Mahonia 'Golden Abundance'</i>	Oregon Grape			•																		•
<i>Muhlenbergia rigens</i>	Deer Grass			•	•																	•
<i>Myoporum parvifolium</i>	N.C.N.													•	•	•	•	•	•	•	•	•
<i>Myrtus communis</i>	True Myrtle		•								•	•										•
<i>Myrtus communis 'Compacta'</i>	Dwarf Myrtle									•	•	•	•	•	•	•	•	•	•	•	•	•
<i>Perovskia artiplicifolia</i>	Russian Sage	•																				•
<i>Phormium tenax & CVS</i>	New Zealand Flax										•	•	•	•	•	•	•	•	•	•	•	•

Ontario New Model Colony
Plant Matrix

Shrubs

Botanical Name	Common Name	Riverside Drive	Mill Creek Avenue	Chino Avenue	Community Trail	Primary Street	Secondary Access Street	Village Park Loop	Neighborhood Streets	Alleys	Primary & Secondary Entries	Residential Entry	Commercial Entry	Tri-plex Court (RDA 12)	Garden Court (RDA 16)	SFD Alley Loaded (RD 10)	SFD Alley Loaded (RD 5000)	SFD Front Loaded (RD 5500)	Recreation Center	Village Park	Commercial Area	
<i>Photinia fraseri</i>	Photinia						•		•												•	•
<i>Pittosporum tobira</i> & CVS	Mock Orange		•				•		•		•	•	•								•	•
<i>Pittosporum tobira</i> 'Turner's Variegated Dwarf'	Tobira Turner's Variegated					•				•		•				•	•	•	•			•
<i>Plumbago auriculata</i>	Cape Plumbago		•																			•
<i>Pyracantha species</i>	Fire Thorn		•								•	•										•
<i>Rhamnus crocea</i>	Red Berry			•																		•
<i>Raphiolepis indica</i>	India Hawthorne	•	•			•					•	•	•	•	•	•	•	•	•	•	•	•
<i>Rhus integrifolia</i>	Lemonade Berry	•		•	•																	•
<i>Rhus ovata</i>	Sugar Bush			•																		•
<i>Ribes speciosum</i>	Fushia Flowering Gooseberry	•																				•
<i>Ribes viburnifolium</i>	Evergreen Currant			•																		•
<i>Rosa species</i>	Rose										•	•	•	•	•	•	•	•	•	•	•	•
<i>Rosemarinus officinalis</i>	Rosemary	•				•	•		•	•	•	•	•	•	•	•	•	•	•	•	•	•
<i>Salvia clevelandii</i>	Cleveland Sage				•																	•
<i>Salvia leucantha</i>	Mexican Bush Sage	•	•								•	•										•
<i>Salvia species</i>	Sage						•		•				•	•	•	•	•	•	•			•
<i>Sisyrinchium bellum</i>	Blue Eyed Grass		•	•																		•
<i>Teucrium chamaedrys</i> 'Prostratum'	Bush Germander		•																			•
<i>Trachelospermum jasminoides</i>	Star Jasmine									•		•	•			•	•	•	•			•
<i>Viburnum tinus</i>	Laurustinus Viburnum					•		•						•	•							•
<i>Westringia fruticosa</i>	Westringia	•	•																			•
<i>Xylosma congestum</i>	Shiny Xylosma		•																			•

Ontario New Model Colony
Plant Matrix

Vines

Botanical Name	Common Name	Riverside Drive	Mill Creek Avenue	Chino Avenue	Community Trail	Primary Street	Secondary Access	Village Park Loop	Neighborhood Streets	Alleys	Primary & Secondary Entries	Residential Entry	Commercial Entry	Tri-plex Court (RDA 12)	Garden Court (RDA 16)	SFD Alley Loaded (RD 10)	SFD Alley Loaded (RD 5000)	SFD Front Loaded (RD 5500)	Recreation Center	Village Park	Commercial Area	
<i>Bougainvillea species</i>	Bougainvillea				•																	
<i>Clematis lingusticifolia</i>	Clematis	•	•											•	•	•	•	•				
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine								•	•	•	•	•	•	•	•	•	•	•	•	•	•
<i>Distictus buccinatoria</i>	Blood Red Trumpet Vine									•	•	•	•	•	•	•	•	•			•	•
<i>Ficus repens</i>	Creeping Fig	•	•	•																		•
<i>Gelsemium sempervirens</i>	Carolina Jessamine									•	•	•	•	•	•	•	•	•	•	•	•	•
<i>Hardenbergia violacea</i>	N.C.N.													•	•	•	•	•	•	•	•	•
<i>Jasminum polyanthum</i>	Pink Jasmine													•	•	•	•	•				
<i>Macfadyana unguis-cati</i>	Cat's Claw	•	•	•																		
<i>Pandorea jasminoides</i>	Bower Vine									•	•	•	•	•	•	•	•	•				
<i>Parthenocissus tricuspidata</i>	Boston Ivy		•							•	•	•	•								•	•
<i>Passiflora species</i>	Passion Flower									•												
<i>Rosa banksiae</i>	Lady Bank's Rose		•							•	•	•	•									
<i>Solanum jasminoides</i>	Potato Vine													•	•	•	•	•				•
<i>Stephanotis floribunda</i>	Madagascar Jasmine																					
<i>Wisteria sinensis</i>	Chinese Wisteria									•										•	•	