

Section 6 Development Regulations

6.1 INTRODUCTION

The provisions contained herein will regulate design and development within the Edenglen Specific Plan. The regulations contained herein provide for the development of all land use categories with development regulations established for residential uses, commercial uses, business park/light industrial uses, and landscaping.

6.2 DEFINITION OF TERMS

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in the City of Ontario Development Code Article 2, “Definitions”, unless otherwise specifically provided herein.

6.3 APPLICABILITY

The development regulations contained herein provide specific standards for land use development within the Edenglen Specific Plan. Regulations address residential, commercial and business park/light industrial land uses. General landscaping regulations are also provided. Application of the following regulations is intended to encourage the most appropriate use of the land, ensure the highest quality of development, and protect the public health, safety, and general welfare. The adoption of the Edenglen Specific Plan supersedes otherwise applicable City of Ontario zoning regulations, unless stated herein to the contrary. Whenever the provisions and development standards contained herein conflict with those contained in the City of Ontario Development Code, the provisions of the Edenglen Specific Plan shall take precedence. Where the Edenglen Specific Plan is silent, City codes shall apply. These regulations shall reinforce specific site planning, architectural design, and landscape design guidelines contained in *Section 7, “Residential Design Guidelines”* and *Section 8, “Commercial, Business Park and Light Industrial Design Guidelines”* of the Edenglen Specific Plan.

6.4 ADMINISTRATION

The Edenglen Specific Plan, upon adoption, will serve as the implementation tool for the General Plan as well as the zoning for the Project Site. The Edenglen Specific Plan Development Regulations address general provisions, permitted uses, and development standards for the Project Site.

6.5 METHODS AND INTERPRETATION

Development within the Edenglen Specific Plan shall be implemented through the approval by the City of Ontario of parcel maps, tract maps, and development permits. The administration process described herein provides for the mechanisms for review and approval of development projects within Edenglen, consistent with the Edenglen Specific Plan objectives.

6.6 GENERAL SITE DEVELOPMENT CRITERIA

The following general site development criteria shall apply to all land development proposed in Edenglen.

- a. Gross Acres - Except as otherwise indicated, gross acres for all development areas are measured to the centerline of streets.
- b. Grading - Development within the Project Site shall utilize grading techniques approved by the City of Ontario. Grading concepts shall respond to the design guidelines included in the Edenglen Specific Plan which guide the development of land use toward the goal of providing for a livable community with streets and entries designed for walking and resident interaction.
- c. Building Modification - Additions and/or alterations permitted by the Edenglen Specific Plan shall match the architectural style of the primary unit and shall be constructed of the same materials and colors as the primary unit.
- d. Utilities - All new public utility distribution lines of less than 66 kV shall be subsurface throughout the planned community.
- e. Technology - All homes and businesses shall accommodate the most modern technology for computer Internet access, phone, fax, and television. Broadband fiber optic cable will be installed to all the properties per the approved Fiber Optic Master Plan.
- f. Density - The Edenglen Land Use Plan allocates a total number of units to each residential neighborhood as indicated in *Table 2, "Land Use Summary"* in Section 4. Variations in the number and type of dwelling units within each residential neighborhood may occur at the time of final design of the neighborhood depending upon the residential product identified for development. A net change in allocation of residential units up to a maximum of fifteen percent (15%) is permitted among the residential areas within the Edenglen Specific Plan provided the total number of units established for the Edenglen Specific Plan area is not exceeded.

- g. Best Management Practices – Development of storm water runoff improvements, within the Edenglen Specific Plan, shall adhere to currently adopted Best Management Practices. The Site Design BMP's may include but not be limited to creating landscape strips and landscaped setback areas that can be swaled and depressed to retain and infiltrate irrigation water and runoff from smaller storm events, drain rooftops into rain gutters which would drain into an area of porous subgrade, and depressing the park areas to provide storm water infiltration and water quality treatment. Currently the City of Ontario is considering construction of a regional stormwater runoff treatment facility for the sub-watershed area that this project lies within. If the treatment facility is constructed, it may satisfy the requirement for onsite treatment facilities on this project.
- h. Maximum Number of Dwelling Units - The maximum number of residential dwelling units permitted within the Edenglen Specific Plan shall be 584 dwelling units.
- i. Commercial – The maximum commercial square footage permitted within the Edenglen Specific Plan shall be 217,520 square feet.
- j. Business Park/Light Industrial – The maximum business park/light industrial square footage permitted within the Edenglen Specific Plan shall be 550,000 square feet.

6.7 IMPLEMENTATION

- a. Development proposals within Edenglen shall be subject to the implementation procedures established herein and as established in Section 9-1.0425 of the City's Development Code. Whenever the provisions and development standards contained herein conflict with those contained in the City of Ontario Development Code, the provisions of the Edenglen Specific Plan shall take precedence.
- b. Severability - If any portion of these regulations is declared to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The legislative body hereby declares that they would have enacted these regulations and each portion thereof irrespective of the fact that any one or more portions be declared invalid or ineffective.
- c. Unless otherwise provided, any ambiguity concerning the content or application of the Edenglen Specific Plan shall be resolved by the Planning Director or his/her designee, hereinafter referred to as Director, in a manner consistent with the goals, policies, purpose and intent established in the Edenglen Specific Plan.
- d. Any major deviation from the design guidelines within the Edenglen Specific Plan shall require a Specific Plan Amendment. The Director shall determine whether a proposed change constitutes a major deviation.

6.8 DEVELOPMENT PERMIT

All development projects within Edenglen shall be subject to the Development Plan Review Process as established in Article 8 of the City's Development Code. Development Plans will be submitted in conjunction with the Tentative Tract Map for P-3, P-4 and P-5 products. Adoption of the Edenglen Specific Plan by the City includes adoption of the design guidelines contained within the Edenglen Specific Plan, providing direction for the design of development projects within Edenglen. Where the Edenglen design guidelines are silent, the applicable design guidelines contained within the City's Development Code shall apply. The design guidelines are intended to be flexible in nature while establishing basic evaluation criteria for the review of developer projects during design review by the City.

Pursuant to these provisions, the Development Plan process constitutes a design review of project architecture, site plans, and landscape plans. All development project applications shall include a landscape and irrigation plan describing plant materials and their growth habits, plant size and spacing, methods of irrigation and landscaping maintenance, site plans, architectural elevations, floor plans, grading plans, and other requirements as specified by the City. Development Plans are approved with conditions of approval.

6.9 SUBDIVISION MAPS

Approval of the Edenglen Tentative Maps will create legal lots for development. All Tentative Maps will be reviewed and approved pursuant to applicable provisions of the City of Ontario Subdivision Ordinance and consistent with the applicable provisions contained within the Edenglen Specific Plan.

6.10 SPECIFIC PLAN MODIFICATIONS AND AMENDMENTS

6.10.1 Minor Modifications

The following constitute minor modifications to the Edenglen Specific Plan, not requiring a Specific Plan Amendment, and/or update of the Specific Plan, and are subject to review and approval by the Zoning Administrator. The Zoning Administrator shall have the discretion to refer any such request for modification to the Planning Commission or the City Council.

- a) Change in utility and/or public service provider.
- b) A net change of not more than fifteen percent (15%) to the number of units within an individual residential area, provided the total number of units for the entire Edenglen Specific Plan area does not exceed that established in the Edenglen Specific Plan.

- c) Adjustment of a residential planning area boundary provided the total acreage of the affected area does not increase or decrease by more than 15% the total acreage stated in the approved Edenglen Specific Plan.
- d) Minor changes to landscape materials, wall materials, wall alignment, entry design, and streetscape design which are consistent with the conceptual design set forth in the design guidelines contained within the Edenglen Specific Plan.
- e) Minor changes to the design guidelines, which are intended to be conceptual in nature only, and are intended to be flexible in implementation.
- f) Other modifications of a similar nature to those listed above, which are deemed minor by the Zoning Administrator, which are in keeping with the purpose and intent of the approved Edenglen Specific Plan and which are in conformance with the General Plan.
- g) Changes in street alignments and dimensions per the direction of and approval by the City Engineer.

6.10.2 Specific Plan Amendments

Amendments to the Edenglen Specific Plan may be requested by an applicant or by the City at any time pursuant to Section 65453(a) of the Government Code. Amendments shall be processed pursuant to the provisions of the Government Code and the City of Ontario Development Code for Specific Plan Amendments. In the event the proposed amendment requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) will be responsible for preparing the necessary CEQA documentation.

6.11 APPEALS

Appeals from any determination of the City (Planning Director, Zoning Administrator or the Planning Commission), may be made by any applicant(s) or other aggrieved party filing an application, on forms provided by the City of Ontario, and accompanied by the appropriate filing fee, where applicable, within ten (10) days following the final date of action for which an appeal is made. Appeals shall be processed consistent with the provisions of Article 5, "Appeals" of the City of Ontario Development Code.

6.12 PROJECT FINANCING

The financing of construction, operation and maintenance of public improvements and facilities [the "facilities"], and public services will include funding through a combination of financing mechanisms. Final determination as to the facilities to be constructed and as to maintenance responsibilities – whether publicly or privately maintained, will be

made prior to recordation of the final maps. In order for the project to be fiscally self-sufficient, the following financing options can be considered for implementation:

Facilities and Services

- Private capital investment for the construction of facilities.
- Community Facilities District (CFD) established pursuant to the Mello-Roos Community Facilities District Act of 1982, or other special district, to provide funding for the construction of a variety of public facilities and the provision of public services.

Operation and Maintenance

- By individual private property owner.
- By private, Property Owners or Home Owners Association.
- By Community Facilities District (CFD) established pursuant to the Mello-Roos Community Facilities District Act of 1982, or other special district.

City Council approval is a prerequisite for the implementation of any and all special district financing mechanisms. The use of the Mello-Ross Community Facilities District Act of 1982 [the “Act”] to finance public facilities and services will be at the City’s sole discretion. Moreover, the use of the Act must be consistent with the City’s adopted goals and policies concerning the use of the act.

6.13 MAINTENANCE RESPONSIBILITIES

The public and private improvements constructed within Edenglen will be maintained through a combination of public and private entities as described below and in *Table 4, “Maintenance Responsibilities”*.

6.13.1 Public Maintenance

1. All streets within the residential development areas will be dedicated as public streets to the City of Ontario and will be maintained by the City.
2. All alleys within the residential development areas will be private and maintained by a Homeowners Association (HOA).

3. All drives and on-site circulation within the commercial and business park/light industrial development areas will be private and maintained by the property owner of each respective development area.
4. The community trail within the SCE-owned property will be maintained by the City.
5. Landscape improvements within the public right-of-way of arterial, primary and secondary entry streets, community and neighborhood entries and public street lights within Edenglen shall be maintained through a landscape and lighting district or other special maintenance district established by the City for the New Model Colony. Parkway improvements within the right-of-way of residential areas along interior streets and alleys, parks and other common open space areas shall be maintained by a Homeowners Association. Parkway improvements along interior streets and driveways within the commercial center and business park/light industrial center shall be maintained by the property owners of each respective center.
6. All on-site water, sewer, and storm drains within the public streets or easements dedicated to the City shall be constructed by the developer and, upon acceptance, shall be maintained by the City.
7. Off-site infrastructure improvements such as water, sewer and storm drain facilities will be maintained by the City. The City intends to participate in a Regional Water Quality Basin. In the event permanent onsite basins are developed within Edenglen as an alternative to City Basins, storm water pollution treatment detention basins or other water treatment facilities will be maintained by the HOA.
8. Operation and Maintenance (O&M) requirements for all NPDES stormwater runoff source control and treatment control Best Management Practices (BMPs) shall be identified in the approved Water Quality Management Plan for the project. An O&M Plan shall be created to ensure ongoing long-term maintenance of all structural and non-structure BMP's.

6.13.2 Homeowner Association

A Master Homeowner association will be established for the maintenance of common area landscape improvements within the residential portion of Edenglen. Private improvements to be maintained by the homeowner association include:

- Designated private alleys and adjacent landscaping.
- Courts, parkways and landscaping within the residential areas.
- Walkways and common areas distinct to individual residential types and neighborhoods.
- Recreational facilities including the country market.
- Internal slopes fronting streets and slope areas in the rear of homes.
- All internal open spaces, parks, and common areas.

Table 4 – Maintenance Responsibilities

	City/and or Special District	Private Homeowners Association (HOA) Or Sub-Association	Private (Homeowner, Commercial/ Business Park/Industrial Property Owners	Utility Entity
Master Plan Roadways (<i>curb-to-curb Riverside Drive, Milliken Avenue, Mill Creek Avenue, Chino Avenue</i>)	×			
Interior Project Streets (<i>curb-to-curb Primary Entry Street, Secondary Entry Street, Neighborhood Streets, street lights</i>)	×			
Parkways of Master Plan Roadways (<i>curb to perimeter walls including landscape, sidewalk, street lights</i>)	×			
Parkways of Interior Project Streets (<i>landscaping, sidewalks</i>)		×		
Traffic Signals	×			
Traffic Control Signs	×			
Alleys		×		
Driveways and Parking Areas Serving Commercial/Business Park Light Industrial			×	
Community Trail	×			
Off-site and on site water, sewer, and storm drain improvements (<i>excluding laterals</i>) ¹	×			
Central Park ²		×		
Pocket Parks		×		
Linear Parks		×		
Front Yard Landscaping Areas P-1			×	
Landscaped Common Areas P-2 through P-5		×		
Private Exclusive Use Landscaped Areas P-2 through P-5			×	
Community Theme Wall (<i>graffiti removal only on the street side face</i>)	×			
Community Theme Wall and Entry Monuments (<i>structural integrity and face repairs</i>)		×		
Alley Landscaping		×		
Electricity				×
Natural Gas				×
Communication Systems	×			×
NPDS Facilities (Onsite) / W.Q.M.P. ¹	×			
NPDS Facilities on Private Property/Interim Detention Basin		×		
P-6 Front Landscape			×	
P-7 Front Landscape			×	
P-8 Front Landscape		×		

¹ Only those Facilities in Public Roads and/or Easements.

² Including Community Center and Country Market.

6.14 RESIDENTIAL DEVELOPMENT STANDARDS

6.14.1 Residential Detached (P-1, P-2, P-3, P-6 and P-7)

a. General

This category includes the development of single-family detached dwelling units. The purpose of the residential standards for single-family detached housing is to establish the minimum criteria for the development of these product types on individual lots within the neighborhoods specified within Edenglen.

b. Permitted Uses

1. Single family detached dwellings and their accessory uses.
2. Public or private parks; club house buildings with the potential for a small market, not to exceed 200 square feet in area, providing commercial services limited to residents, including but not limited to, newsstands, coffee concessions, and sales of grocery items; greenbelts; or open space.
3. Accessory uses to include the following:
 - a. Garages.
 - b. Granny Flats (i.e. Second Dwelling Units, in accordance the City's Development Code).
 - c. Home occupations.
 - d. Swimming pools, spas, sports courts, and other similar outdoor recreational amenities.
 - e. Patios and patio covers.
 - f. Storage, garden structures, cabanas, and greenhouses.
 - g. Monument signage.
 - h. Temporary uses such as model home and subdivision sales trailers; temporary construction parking, offices, and facilities; real estate signs, signage indicating future development and directional signage in accordance with the City's Development Code.
 - i. Second story additions to existing single story dwelling units.
 - j. Childcare/day care facilities (serving up to 7 children), in accordance with the City's Development Code.

c. Conditionally Permitted Uses

1. Places of worship including but not limited to churches and synagogues.
2. Childcare facilities/Day care facilities (serving 8 to 14 children).

d. Temporary uses shall be permitted pursuant to Article 13 of the City of Ontario Development Code.

e. Free Standing Satellite Dishes/Antennas

1. Free standing satellite dishes and/or antennas are permitted pursuant to Article 32, Section 9.1.3289 of the City of Ontario Development Code.

Table 5 A- P-1: Site Development Standards Single Family Detached

Total maximum number of Dwelling Units	21
Maximum Density (Net)	3.7 DU/AC

Lot Criteria

- Min. Lot Width at Front PL for Standard Lot 55'
- Min. Lot Width on Corner 60'
- Min. Lot Depth on Standard Lot 95'
- Min. Lot Depth on Corner Lot 95'
- Min. Lot Size 5,225 S.F.

Minimum Setbacks ¹

- All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

- Living Area 15'
- Porch with Single Story Plate Line ² 8'
- Front Entry Garage ³ 20'
- Turn In Garage with Single Story Plate Line 10'

Side Setbacks ⁴

- From Interior PL ¹ 5'
- From Residential Street - First Story ^{5,7} 10'
- Side for Garages (Min. 10' Between Garages) 3'
- Accessory Structures (Per City Code 5.1.5)

Rear Setbacks ⁵

- Main Structure 15'
- Garage (Single Story Plate Line) 5'
- Patio Cover 5'
- Second Story Deck 10'
- Accessory Structure 3'

Lot Coverage

- Maximum Coverage 50%

Maximum Building Height

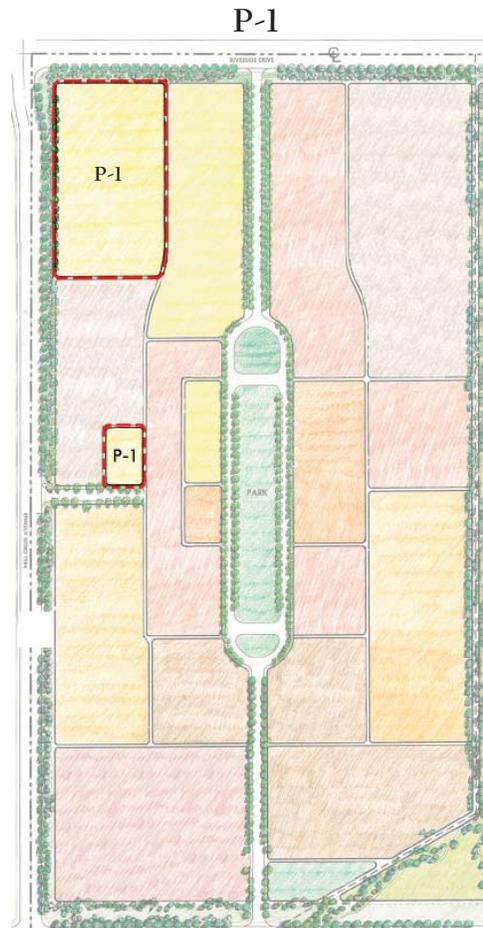
- Main Structure 35'
- Accessory Structures 14'

Walls, Fences and Hedges

- Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback 3'
- Maximum Height at all other Locations 6'
- Maximum Height at Retaining Walls 3'
- Maximum Height Solid Rear Yard property Walls adjacent to Pocket Parks 3'

Parking

- Minimum Number of Parking Spaces Required 2 Garage Spaces
- Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street Parking, over 72 hours, is prohibited.



Footnotes

Please Refer to Page 6-15 for a complete list of all related footnotes.

Table 5 B - P-7: Site Development Standards Single Family Detached - Variable Plot

Total maximum number of Dwelling Units	67
Maximum Density (Net)	6.8 DU/AC

Lot Criteria

- Min. Lot Width at Front PL for Standard Lot 42' (Variable Lot Width Allowed)
- Min. Lot Width on Corner 50'
- Min. Lot Depth on Standard Lot 84'
- Min. Lot Depth on Corner Lot 84'
- Min. Lot Size 3,528 S.F.

Minimum Setbacks ¹

- All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

- Living Area 12'
- Porch with Single Story Plate Line ² 8'
- Front Entry Garage ³ 18'

Side Setbacks ⁴

- From Interior PL ¹ 5'
- From Residential Street - First Story ^{5,7} 10'
- Side for Garages (Min. 10' Between Garages) 35'
- Accessory Structures (Per City Code 5.1.5)

Rear Setbacks ⁵

- Main Structure 15'
- Garage (Single Story Plate Line) 5'
- Patio Cover 5'
- Second Story Deck 10'
- Accessory Structure 3'

Lot Coverage

- Maximum Coverage 55%

Maximum Building Height

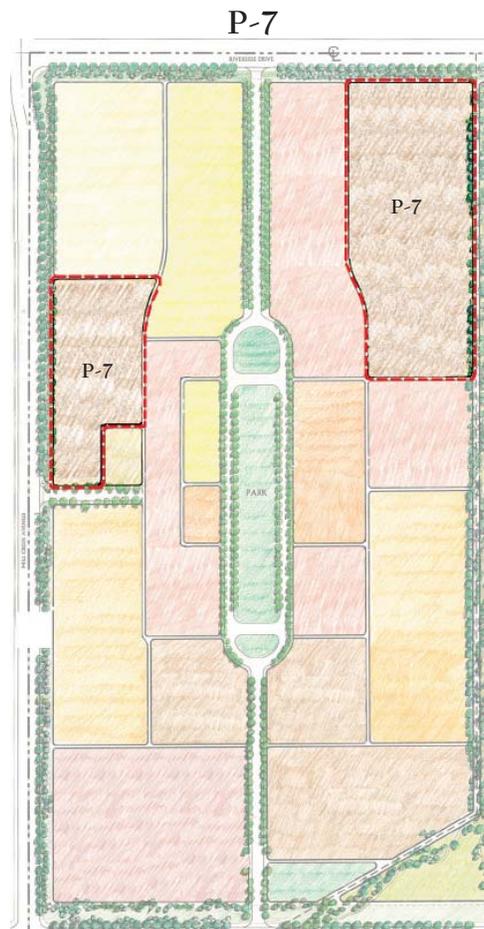
- Main Structure 35'
- Accessory Structures 14'

Walls, Fences and Hedges

- Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback 3'
- Maximum Height at all other Locations 6'
- Maximum Height at Retaining Walls 3'
- Maximum Height Solid Rear Yard property Walls adjacent to Pocket Parks 3'

Parking

- Minimum Number of Parking Spaces Required 2 Garage Spaces
- Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street Parking, over 72 hours, is prohibited.



Footnotes

Please Refer to Page 6-15 for a complete list of all related footnotes.

Table 6 A- P-2: Site Development Standards Single Family Detached - Alley-Loaded

Total maximum number of Dwelling Units	29
Maximum Density (Net)	5.0 DU/AC

Lot Criteria

- Min. Lot Width at Front PL for Standard Lot 50'
- Min. Lot Width on Corner 60'
- Min. Lot Depth on Standard Lot 85'
- Min. Lot Depth on Corner Lot 85'
- Min. Lot Size 4,250 S.F.

Minimum Setbacks ¹

- All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

- Living Area 12'
- Porch with Single Story Plate Line ² 8'
- Front Entry Garage ³ NA
- Turn In Garage with Single Story Plate Line NA

Side Setbacks ⁴

- From Interior PL ¹ 5'
- From Residential Street - First Story ^{5,7} 10'
- Side for Garages (Min. 10' Between Garages) 5'
- Accessory Structures (Per City Code 5.1.5)

Rear Setbacks ⁵

- Main Structure (from Alley R/W) 5'
- Garage (Single Story Plate Line) (from Alley R/W) 5'
- Patio Cover 5'
- Accessory Structure 3'

Lot Coverage

- Maximum Coverage 50%

Maximum Building Height

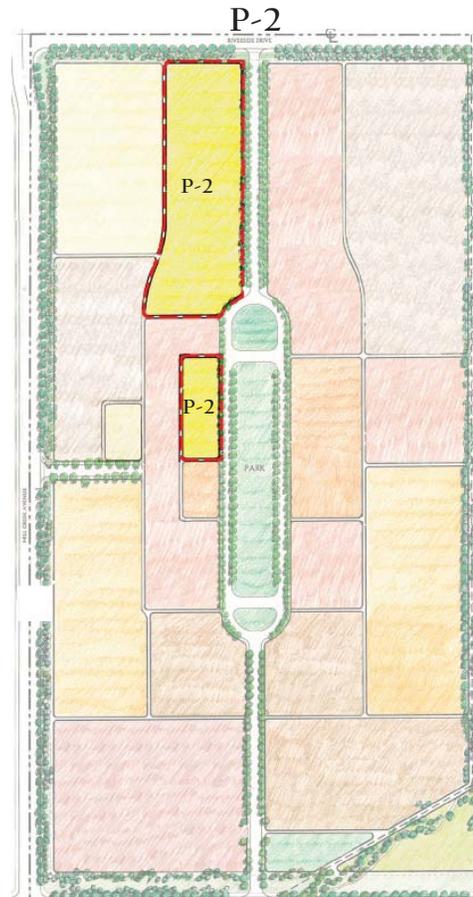
- Main Structure 35'
- Accessory Structures 14'

Walls, Fences and Hedges

- Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback 3'
- Maximum Height at all other Locations 6'
- Maximum Height at Retaining Walls 3'

Parking

- Minimum Number of Parking Spaces Required 2 Garage Spaces
- Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street Parking, over 72 hours, is prohibited.



Footnotes

Please Refer to Page 6-15 for a complete list of all related footnotes.

Table 6 B - P-6: Site Development Standards Single Family Detached - Alley-Loaded

Total maximum number of Dwelling Units	87
Maximum Density (Net)	8.3 DU/AC

Lot Criteria

▪ Min. Lot Width at Front PL for Standard Lot	35'
▪ Min. Lot Width on Corner	40'
▪ Min. Lot Depth on Standard Lot	84'
▪ Min. Lot Depth on Corner Lot	84'
▪ Min. Lot Size	2,940 S.F.

Minimum Setbacks ¹

- All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

▪ Living Area	12'
▪ Porch with Single Story Plate Line ²	8'
▪ Front Entry Garage ³	NA
▪ Turn In Garage with Single Story Plate Line	NA

Side Setbacks ⁴

▪ From Interior PL ¹	5'
▪ From Residential Street - First Story ^{5,7}	10'
▪ Side for Garages (Min. 10' Between Garages)	5'
▪ Accessory Structures (Per City Code 5.1.5)	

Rear Setbacks ⁵

▪ Main Structure (from Alley R/W)	5'
▪ Garage (Single Story Plate Line) (from Alley R/W)	3'
▪ Patio Cover	5'
▪ Accessory Structure	3'

Lot Coverage

▪ Maximum Coverage	60%
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Maximum Building Height

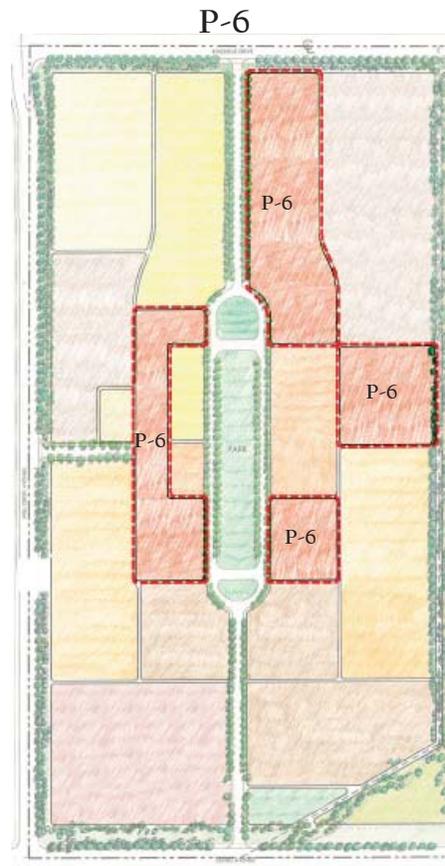
▪ Main Structure	35'
▪ Accessory Structures	14'

Walls, Fences and Hedges

▪ Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback	3'
▪ Maximum Height at all other Locations	6'
▪ Maximum Height at Retaining Walls	3'

Parking

▪ Minimum Number of Parking Spaces Required	2 Garage Spaces
▪ Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street Parking, over 72 hours, is prohibited.	



Footnotes

Please Refer to Page 6-15 for a complete list of all related footnotes.

Table 7 - P-3: Site Development Standards Single Family Detached Cottages - Alley-Loaded

Total maximum number of Dwelling Units	106
Maximum Density (Net)	9.8 DU/AC

Lot Criteria

- Min. Lot Width at Front PL for Standard Lot 31'
- Min. Lot Width on Corner 46'
- Min. Lot Depth on Standard Lot 63'
- Min. Lot Depth on Corner Lot 63'
- Min. Lot Size 1,953 S.F.

Minimum Setbacks ¹

- All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

- Living Area 12'
- Porch with Single Story Plate Line ² 8'
- Front Entry Garage ³ NA
- Turn In Garage with Single Story Plate Line NA

Side Setbacks ⁴

- From Interior PL ^{1,6} 5'
- From Residential Street - First Story ⁵ 10'
- Side for Garages (Min. 10' Between Garages) 5'
- Accessory Structures (Per City Code 5.1.5)

Rear Setbacks ⁸

- Main Structure (from Alley R/W) 5'
- Garage (Single Story Plate Line) (from Alley R/W) 5'
- Patio Cover 5'

Lot Coverage

- Maximum Coverage 60%

Minimum Building Separation

- Between Main Structure Rear to Rear 30'
- Between Main Structure Front to Front 25'
- Between Main Structure Side to Side ¹ 10'
- Between Main Structure Front to Side 20'

Maximum Building Height

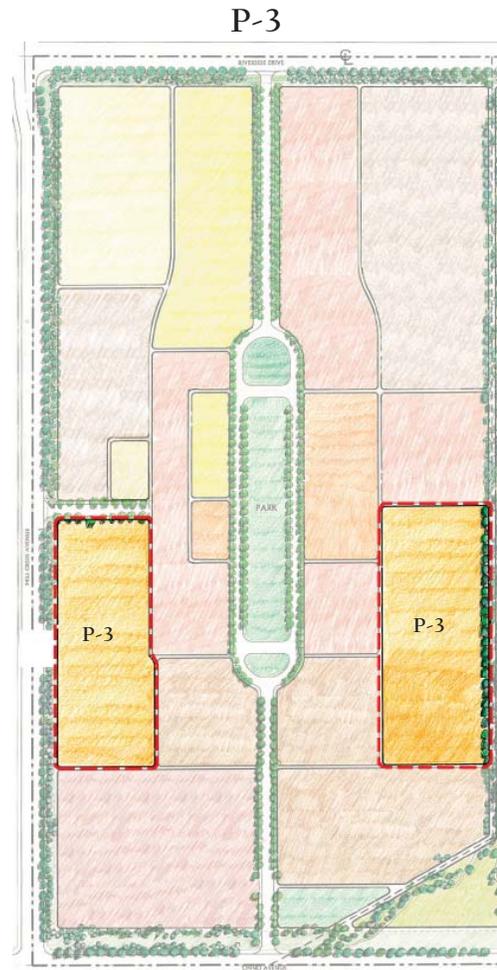
- Main Structure 35'

Walls, Fences and Hedges

- Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback 3'
- Maximum Height at all other Locations 6'
- Maximum Height at Retaining Walls 3'

Parking

- Minimum Number of Parking Spaces Required 2 Garage Spaces
- Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street Parking, over 72 hours, is prohibited.



Footnotes

1. Architectural projections may project a maximum of 3 feet into required front, rear or side setback areas; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements.
2. The minimum depth of a porch shall be 7 feet, with an area of 70 square feet of clear space. The porch depth may be reduced to 5 feet, where appropriate to the mass and scale of the building, subject to Planning Department review and approval.
3. When front entry garages are plotted adjacent to one another on adjoining lots, the front plane of one garage must be offset a minimum of three feet from the garage on the adjacent lot.
4. Side yard slopes may not encroach more than 50% into side yard setback areas.
5. Porch elements with single story plate lines may project into required corner side yard setback along residential streets; in no case shall such projection be closer than 8' from the back of sidewalk.
6. P-3 with shared-use easement sideyards.
7. Second story on corner lots to be setback an average of 15 feet.
8. Articulation is required on rear elevations of alley-loaded product. Articulation shall be approved by the Planning Department.

6.14.2 Residential Attached (P-4, P-5 and P-8)

a. General

This category includes the development of attached type dwelling units such as row court homes, and garden court units.

b. Permitted Uses

1. Single family attached town home, paired homes, row town homes, stacked flats, duplex, triplex court homes, garden court homes and their accessory uses.
2. Public or private parks and clubhouse buildings with potential for a small market are not to exceed 200 square feet in area, providing commercial services limited to residents, including but not limited to newsstands, coffee concessions, and sales of grocery items; greenbelts; or open space.
3. Accessory uses to include the following:
 - Garages.
 - Home occupations in accordance with the City's Development Code.
 - Swimming pools, spas, tennis courts, sports courts, and other similar outdoor recreational amenities.
 - Patios and patio covers.
 - Mailboxes.
 - Community center buildings.
 - Maintenance storage buildings.
 - Monument signage.
 - Temporary uses such as model units, sales offices, and subdivision sales trailers, temporary construction offices and facilities, real estate signs, signage indicating future development and directional signage in accordance with the City's Development Code.
 - Childcare facilities/day care facilities serving up to 7 children.

c. Conditionally Permitted Uses

- Places of worship including but not limited to churches and synagogues.
- Childcare facilities/Day care facilities serving 8 to 14 children.

d. Temporary Uses

- Temporary uses shall be permitted pursuant to Article 13 of the City of Ontario Development Code.

e. Free Standing Satellite Dishes/Antennas

- Satellite dishes shall be provided in the common areas by the builder.

Table 8 - P-4: Site Development Standards Triplex

Total maximum number of Dwelling Units	36
Maximum Density (Net)	9.5 DU/AC
Lot Criteria	
▪ Minimum Building Lot Area (Lot Size)	7,056 S.F.

Minimum Setbacks¹

▪ All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

- | | |
|---|-----|
| ▪ Living Area | 12' |
| ▪ Porch with Single Story Plate Line ² | 8' |

Side Setbacks

- | | |
|-----------------------------------|-----|
| ▪ From Residential Street | 13' |
| ▪ From Any Exterior Property Line | 13' |

Rear Setbacks⁵

- | | |
|------------------|----|
| ▪ From Alley R/W | 3' |
|------------------|----|

Minimum Building Separation

- | | |
|----------------|-----|
| ▪ Side / Side | 12' |
| ▪ Front / Side | 30' |
| ▪ Rear / Rear | 30' |

Lot Coverage

- | | |
|---------------------------------------|-----|
| ▪ Maximum Coverage | 65% |
| ▪ Maximum Dwelling Units Per Building | 6 |

Maximum Building Height

- | | |
|------------------|-----|
| ▪ Main Structure | 35' |
|------------------|-----|

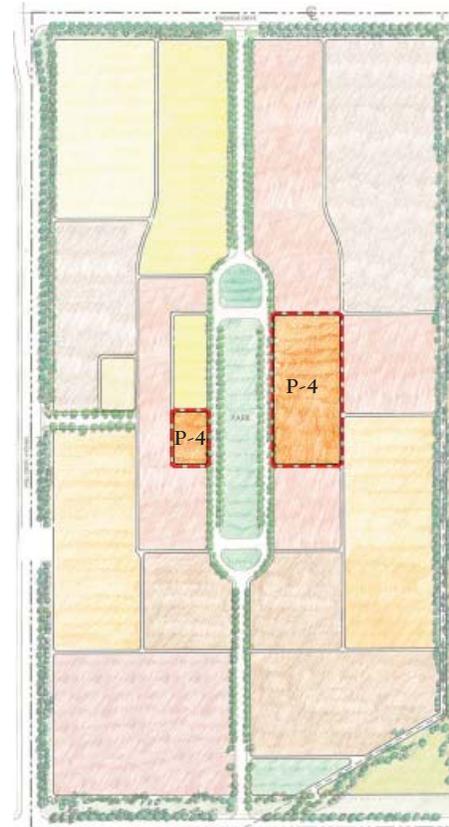
Walls, Fences and Hedges

- | | |
|--|----|
| ▪ Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback | 3' |
| ▪ Maximum Height at all other Locations | 6' |
| ▪ Maximum Height at Retaining Walls ³ | 3' |

Parking

- | | |
|--|--|
| ▪ Minimum Resident Parking Required | 2 Spaces within a Garage |
| ▪ Minimum Guest Parking Required | 1 Space for each 4 units under 50 on the building lot. 1 Space for every 5 units between 51-100 units on the building lot. Public on-street parking may be counted toward guest parking. |
| ▪ Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street parking, over 72 hours, is prohibited | |

P-4



Footnotes

Please Refer to Page 6-20 for a complete list of all related footnotes

Table 9 A - P-5: Site Development Standards Garden Court

Total maximum number of Dwelling Units	139
Maximum Density (Net)	16.6 DU/AC
Lot Criteria	
▪ Minimum Building Lot Area for 10-plex	15,827 S.F.
▪ Minimum Building Lot Area for 6-plex	10,000 S.F.

Minimum Setbacks¹

- All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

- Living Area 10'
- Porch with Single Story Plate Line ² 8'

Side Setbacks

- From Residential Street 10'
- From Any Exterior Property Line 10'

Rear Setbacks⁵

- From Alley R/W 5'

Minimum Building Separation

- Side / Side 20'
- Front / Side 25'
- Rear / Rear 30'

Lot Coverage

- Maximum Coverage 60%
- Maximum Dwelling Units Per Building 10

Maximum Building Height

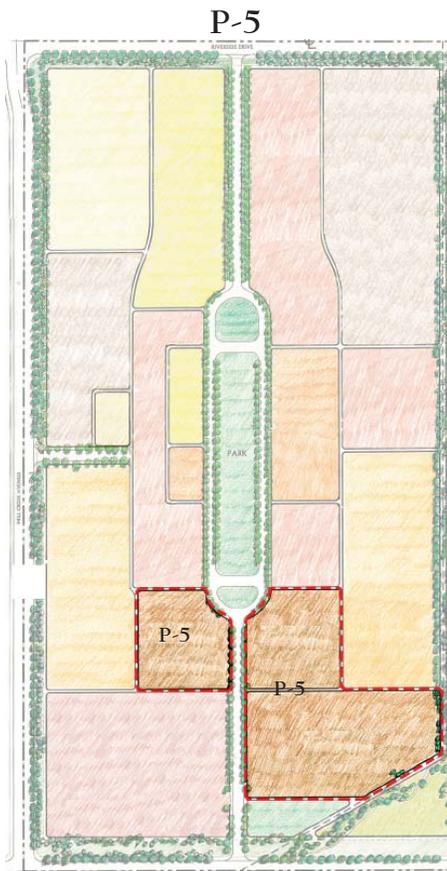
- Main Structure 35'

Walls, Fences and Hedges

- Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback 3'
- Maximum Height at all other Locations 6'
- Maximum Height at Retaining Walls ³ 3'

Parking

- Minimum Resident Parking Required 1.75 Spaces per one-bedroom, unit including 1 in a garage, 2 spaces per two-bedroom unit including 1 in garage and 2.5 spaces per three or more bedroom unit including 2 in a garage
- Minimum Guest Parking Required 1 Space for each 4 units under 50 on the building lot. 1 Space for every 5 units between 51-100 units on the building lot. Public on-street parking may be counted toward guest requirement
- Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street parking, over 72 hours, is prohibited



Footnotes

Please Refer to Page 6-20 for a complete list of all related footnotes

Table 9 B - P-8: Site Development Standards Garden Court / Row Town

Total maximum number of Dwelling Units	99
Maximum Density (Net)	15.7 DU/AC

Lot Criteria

- Minimum Building Lot Area (Lot Size) 8,000 S.F.

Minimum Setbacks ¹

- All front and corner setbacks are measured at property line at back of sidewalk. All other setbacks area measured from property line unless otherwise noted.

Front Setbacks

- Living Area 10'
- Porch with Single Story Plate Line ² 8'

Side Setbacks

- From Residential Street 10'
- From Any Exterior Property Line 10'

Rear Setbacks ⁵

- From Alley R/W 5'
- From Curb 3'

Minimum Building Separation

- Side / Side 20'
- Front / Side 25'
- Rear / Rear 30'
- Front / Front 30'

Lot Coverage

- Maximum Coverage 60%
- Maximum Dwelling Units Per Building 12

Maximum Building Height

- Main Structure 35'

Walls, Fences and Hedges

- Maximum Height in Traffic Safety-Site Areas and/or Required Street Setback 3'
- Maximum Height at all other Locations 6'
- Maximum Height at Retaining Walls ³ 3'

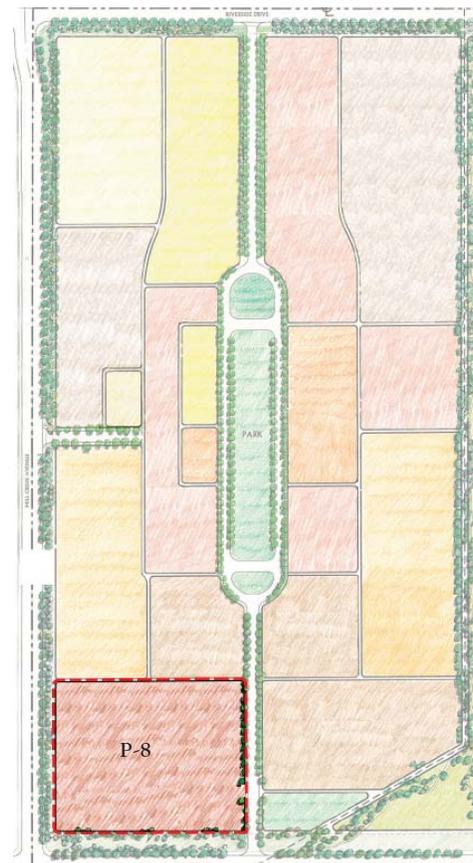
Parking

- Minimum Resident Parking Required
- Minimum Guest Parking Required

- Recreational Vehicle (RV) storage is prohibited in front or corner side yards. RV Street parking, over 72 hours, is prohibited

1.75 Spaces per one-bedroom, unit including 1 in a garage, 2 spaces per two-bedroom unit including 1 in garage and 2.5 spaces per three or more bedroom unit including 2 in a garage
1 Space for each 4 units under 50 on the building lot. 1 Space for every 5 units between 51-100 units on the building lot. Public on-street parking may be counted toward guest requirement

P-8



Footnotes

Please Refer to Page 6-20 for a complete list of all related footnotes

Footnotes

1. Architectural projections may project a maximum of 3 feet into required front, rear or side setback areas; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements.
2. The minimum depth of a porch shall be 7 feet, with an area of 70 square feet of clear space. The porch depth may be reduced to 5 feet, where appropriate to the mass and scale of the building, subject to Planning Department review and approval.
3. Stepped walls allowed.
4. Patios can encroach 10 feet.
5. Articulation is required on rear elevations of alley-loaded product. Articulation shall be approved by the Planning Department.

6.15 COMMUNITY COMMERCIAL/COMMERCIAL-BUSINESS PARK FLEX ZONE LAND USE DEVELOPMENT STANDARDS

a. General

This section sets forth the development regulations for development of commercial land uses within Edenglen.

b. Permitted Uses

Refer to Table 12.

c. Conditionally Permitted Uses

Refer to Table 12.

d. Determination of Use

Uses not specifically listed may be deemed permitted subject to a “Determination of Use” as provided for in Section 9-1.1310 of the City of Ontario Development Code.

e. Design Guidelines

Prior to the approval of the first site development permit and/or parcel map within the Community Commercial land use area, a detailed set of design guidelines for the area shall be submitted by the developer and approved by the City.

Table 10 - Community Commercial Site Development Standards

MINIMUM PARCEL AREA	NA
MAXIMUM DEVELOPMENT FLOOR AREA RATIO	.35
MINIMUM BUILDING SETBACKS ^{1,2}	
From Riverside Drive Right-Of-Way	23 ft
From Milliken Avenue Right-Of-Way	35 ft
From Private Street Property Lines	15 ft
From Interior Property Lines	0 ft
From SCE Property Line	15 ft
PARKING AND DRIVE AISLE SETBACKS	
From Riverside Drive Right-Of-Way	23 ft
From Milliken Avenue Right-Of-Way	35 ft
From Private Streets and Drive Aisles to Buildings	10 ft
From Interior Property Line	5 ft
From Rear Property Line	5 ft
MINIMUM LANDSCAPE COVERAGE	15%
MAXIMUM BUILDING HEIGHT	
Main Structure	35 ft
Architectural Projections and Focal Elements such as Towers, Cupolas, and other Appurtenances ³	55 ft
Porte-Cochères ⁴	1 story

Table 10 - Community Commercial Site Development Standards *(continued)*

OTHER DEVELOPMENT REGULATIONS	Per Article 16, City of Ontario Development Code
WALLS, FENCES, AND HEDGES	Per Article 16, City of Ontario Development Code
PARKING	Per Article 30, City of Ontario Development Code
SCREENING	All loading areas shall be screened from adjacent public streets, residential, and open space uses through the use of landscaping, earthen berms, and/or decorative walls or fencing. All storage, including cartons, containers, materials or trash shall be shielded from view within a building or area enclosed by a solid fence or wall not less than six feet in height.
LIGHTING	All roof-mounted equipment, including but not limited to, mechanical equipment, satellite dishes, tanks, ducts, and towers, and all equipment appurtenant thereto, shall be screened on all sides from public view from the street, adjoining properties, and neighboring residential units, by a parapet wall, decorative enclosure, or other architectural element. Equipment screening shall appear as an integral part of the building architecture.
LIGHTING	All interior and exterior lighting shall be directed away from residential and open spaces uses.

FOOTNOTES

1. All setback areas shall be landscaped
2. All setbacks are measured to habitable area not architectural appurtenance or projection. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies, pedestrian colonnades and other similar elements. Such elements may project a maximum of 3 feet into setback areas.
3. Architectural element only not to be used for signage, subject to Planning Director approval.
4. Porte-Cochères shall be open on three sides.

6.16 BUSINESS PARK/LIGHT INDUSTRIAL LAND USE DEVELOPMENT STANDARDS

a. General

This section sets forth the development regulations for development of business park/light industrial land uses within Edenglen.

b. Permitted Uses

Refer to Table 12.

c. Conditionally Permitted Uses

Refer to Table 12.

d. Determination of Use

Uses not specifically listed may be deemed permitted subject to a “Determination of Use” as provided for in Section 9-1.1310 of the City of Ontario Development Code.

e. Design Guidelines

Prior to the approval of the first site development permit and/or parcel map within the Business Park/Light Industrial land use area, a detailed set of design guidelines for the area shall be submitted by the developer and approved by the City.

**Table 11 – Business Park/Light Industrial Site
Development Standards**

	Business Park/Light Industrial
MINIMUM LOT AREA	<u>NA</u>
MAXIMUM DEVELOPMENT FLOOR AREA RATIO	.55
MINIMUM BUILDING SETBACKS ^{1,2}	
From Milliken Avenue Right-Of-Way	35 ft
From Chino Avenue Right-Of-Way	55 ft
From Interior Property Lines	0 ft
From SCE Property Line	15 ft
PARKING & DRIVE AISLE SETBACKS	
From Milliken Avenue Right-Of-Way	35 ft
From Chino Avenue Right-Of-Way	55 ft
From Private Streets and Drive Aisles to Buildings	10 ft
From Interior Property Line	5 ft
From Rear Property Line	5 ft
MINIMUM LANDSCAPE COVERAGE	15%
MAXIMUM BUILDING HEIGHT	
Main Structure	35 ft
Architectural Projections and Focal Elements Such as Towers, Cupolas, and Other Appurtenances ³	45 ft
Porte-Cochères ⁴	1 story
WALLS, FENCES, AND HEDGES	Per Article 17, City of Ontario Development Code
OTHER DEVELOPMENT REGULATIONS	Per Article 17, City of Ontario Development Code
PARKING	Per Article 30, City of Ontario Development Code

Table 11 – Business Park/Light Industrial Site
Development Standards (*continued*)

SCREENING

All loading areas shall be screened from adjacent public streets, residential and open space uses through the use of landscaping, earthen berms, and/or decorative walls or fencing. All storage, including cartons, containers, materials or trash shall be shielded from view within a building or area enclosed by a solid wall not less than six feet in height.

LIGHTING

All roof-mounted equipment, including but not limited to, mechanical equipment, satellite dishes, tanks, ducts, and towers, and all equipment appurtenant thereto, shall be screened on all sides from public view from the street, adjoining properties, and neighboring residential units, by a parapet wall, decorative enclosure, or other architectural element. Equipment screening shall appear as an integral part of the building architecture.

All interior and exterior lighting shall be directed away from residential and open spaces uses.

FOOTNOTES

1. All setback areas shall be landscaped.
2. All setbacks are measured to habitable area not architectural appurtenance or projection. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies, pedestrian colonnades and other similar elements. Such elements may project a maximum of 3 feet into setback areas.
3. Architectural element only - not to be used for signage, subject to Planning Director approval. Towers and vertical projections are limited in size to 10% of the total building square footage.
4. Porte-Cochères shall be open on three sides.

Table 12 – Edenglen Land Use Table
Land Use Area

USE	COMMUNITY COMMERCIAL	BUSINESS PARK/LIGHT INDUSTRIAL
EDUCATIONAL		
Vocational/Trade Schools	C	C
MEDICAL		
Animal Hospital/Veterinarian	P	P
Ambulance Service (Office Only – No Storage of Vehicles)	C	
Assisted Living/Congregate Care	C	
Substance Abuse Clinics/Facilities	C	
Convalescent Care Facility (w/ Continuous Skilled Nursing Care)	C	
Medical Office	C	
MEDICAL OFFICE/FAMILY CLINIC		
Pharmacies and Drug Stores w/o Drive-thru Facilities	P	
Pharmacies and Drug Stores with Drive-thru Facilities	C	
Industrial Clinic		C
PUBLIC FACILITIES		
Government Offices	P	
Library	P	
Police / Fire Station	P	P
Police Storefront / Substation	P	P
RELIGIOUS		
Church	C	C
NON-PROFIT/SERVICE ORGANIZATIONS 501 (C) (3) (PER DEVELOPMENT CODE SECTION 9-101305 N)		
Campaign Offices	P	
Charitable, Philanthropic, Service and Other Non-Profit Organization Offices	P	
Charitable Distribution Services (i.e. Food Banks, etc.)	C	C
TRANSPORTATION		
Limousine		C

Table 12 – Edenglen Land Use Table (*continued*)
Land Use Area

USE	COMMUNITY COMMERCIAL	BUSINESS PARK/LIGHT INDUSTRIAL
ALCOHOL		
Alcoholic Beverage Sales	C	C
Liquor Store	C	
AUTOMOBILE RELATED SERVICES		
Automotive Parts and Accessories Stores (Retail Sales Only)	P	
Automotive Services (i.e. Tune-Up, Emission Tests, Batteries, etc. No use of impact wrenches or other equipment that could create noise impacts.)	P	P
Minor Repair (i.e. Brakes, tires, radiators, electrical, etc)	P	P
Gas Stations (per Section 9-1.1305 G)	C	C
Tire Stores	P	
Towing Service (With Tow Truck Parking – No Auto Storage)		P
Major Repair (i.e. Engine and Transmission Repair/Rebuild, Customization, etc.)		C
Body, Paint, and Upholstery Shops (Vehicle Customization)		C
Car Wash – Full	C	C
Car Wash Self Service (Ancillary)	C	C
MOTOR VEHICLE STORAGE		
Indoor		C
Outdoor – Operable Vehicles (w/ Screening)		C
COMMUNICATIONS		
Refer to Development Code Section 9-1.3289	P	P
DAY CARE FACILITIES		
Commercial Daycare	C	
EATING DRINKING PLACES AND FOOD SERVICES		
Catering establishments	P	P
Restaurants (Sit Down / Full Service)	P	P
Banquet Facilities	C	C
Bar/Cocktail Lounge	C	
Fast Food	P	
Fast Food with Drive-through (per Development Code, Section 9-10305D)	C	C

Table 12 – Edenglen Land Use Table (*continued*)
Land Use Area

USE	COMMUNITY COMMERCIAL	BUSINESS PARK/LIGHT INDUSTRIAL
ENTERTAINMENT AND RECREATION		
Auditoriums and Other Public Assembly Facilities	P	
Batting Cages – Indoor		P
Batting Cages – Outdoor		P
Dance / Studio (Instructional)	P	
Billiard Parlor / Pool Hall	C	
Bowling Alley	P	
Live Entertainment	C	C
Simulated Shooting Games (Indoor)	C	
Skating Rink	C	C
ENTERTAINMENT AND RECREATION		
Theater	P	
Video/Electronic Game Arcades (per Development Code Section 9-101305V)	C	
Health Club / Gymnasium – less than 2,000 square feet	P	P
Health Club Gymnasium – over 2,000 square feet	C	C
OFFICES		
Administrative, Professional, and Other Offices	P	P
RETAIL		
Antique Stores	P	
Art Galleries and Art Supply Store	P	
Beauty Supply Store	P	
Book Stores	P	
Building Materials and Garden Supply	P	
With Outdoor Storage	C	
With Garden Supply/Nursery	P	
Hardware Store		
Camera and Photographic Supply Store	P	
Cigar and other Tobacco Products Store	P	
Clothing and Accessory Stores	P	
Computer and Home Electronic Stores	P	
Florist	P	
Furniture Stores	P	

Table 12 – Edenglen Land Use Table (*continued*)
Land Use Area

USE	COMMUNITY COMMERCIAL	BUSINESS PARK/LIGHT INDUSTRIAL
RETAIL (<i>continued</i>)		
General Merchandise Stores	P	
Department Store	P	
Discount Variety Store	P	
Warehouse Club Stores *	P	
Guns and Ammunition Stores	P	
Hobby, Toy and Game Store	P	
Home Appliance Store	P	
Jewelry Store	P	
Luggage and Leather Goods	P	
Music and Video Stores	P	
Office Supply, Stationery & Gift Stores	P	
Pawnshop / Pawnbroker	C	
Pet and Pet Supply Store	P	
Shoe Store	P	
Sporting Goods Store	P	
Thrift and Second Hand Store	P	
FOOD AND BEVERAGE STORES		
Bakery	P	
Delicatessen	P	P
Convenience Market (per Development Code Section 9-1.1305)	P	P
Grocery Store / Supermarket	P	
Specialty Food Stores	P	
SERVICES		
Business Services		
Advertising Agency	P	
Data Processing Services		P
Exterminating Service (per Development Ordinance Section 9-1.1305 E)	C	C
Equipment Sales and Rentals		C
Photography Studio	P	
Photocopying and Duplicating Services	P	P

Table 12 – Edenglen Land Use Table (*continued*)
Land Use Area

USE	COMMUNITY COMMERCIAL	BUSINESS PARK/LIGHT INDUSTRIAL
SERVICES (<i>continued</i>)		
Financial Services		
Banks, Credit Unions and other Depository Institutions	P	
Banks, Credit Unions and other Depository Institutions with Drive-thru (See Development Ordinance Section 9-101305 D)	C	
Check Cashing	C	
Check / Payday Advance	C	
Money Transmitting	P	
Other Financial Services	P	
Personal Services		
Barber Shop and Beauty / Nail Salon	P	
Dry Cleaners	P	
Funeral Parlor, Mortuary	P	
Laundry - Commercial		P
Laundry Self-serve	P	
Pet Grooming - Commercial	P	
Tailor	P	
Travel Agency	P	
Repair Services		
Computer, Home Electronics, and Small Home Appliances (when ancillary to another use)	P	P
Electrical Equipment		P
Furniture Refinishing		P
Furniture Re-upholstery		P
Home Appliances – Large		P
Jewelry and Watches / Clocks	P	
Lawnmower and Garden Equipment		P
Locksmith / Key Shop	P	
Shoe Repair	P	
INDUSTRIAL		
Construction		
Contract Construction Service Office		P
Research and Development Services / Laboratories		P

Table 12 – Edenglen Land Use Table *(continued)*
 Land Use Area

USE	COMMUNITY COMMERCIAL	BUSINESS PARK/LIGHT INDUSTRIAL
MANUFACTURING		
Apparel Manufacturing		P
Computer and Home Electronic Manufacturing		P
Electrical Equipment Manufacturing		P
Food Manufacturing / Bakery (Industrial) / Bottling Plant		P
Machine Shop		P
Furniture and Related Products Assembly		P
Instrument Manufacturing		P
Leather Product Manufacturing (Excluding tanning and finishing)		P
Miscellaneous Manufacturing (jewelry, office supplies, sporting goods, toys, etc.) – Small Items		P
Printing and Related Activities		P
WAREHOUSING/STORAGE & TRANSPORTATION		
BULK POSTAL SERVICE		
Warehouse / Distribution Facility of 60,000 square feet or less		P
Wholesale / Retail		
Industrial Retail Sales (Max 15% of building floor area or 8,000 sq.ft. whichever is less) when accessory to a main use.		P
Industrial Retail Sales over 15% of building floor area or over 8,000 sq.ft.		C
Wholesale Distribution Establishment with or without Outdoor Storage		P
Temporary and Interim Uses (per Development Code Article 11- Temporary Uses) Amusement (i.e. circuses, carnivals, etc.)		P

6.17 LANDSCAPE STANDARDS

6.17.1 General Provisions

- a) All landscape plans, streetscape plans and graphic designs with regard to the identity of Edenglen, neighborhood identity or entry monuments shall conform to the design guidelines and regulations as set forth herein and shall be subject to review and approval by the City of Ontario.
- b) The Landscape/Streetscape improvements for the Edenglen Specific Plan shall establish a landscape theme reminiscent of the regional landscape character of the surrounding area.
- c) Landscaping within the P-1 residential areas will be installed and maintained by the individual homeowners.
- d) Installation of landscaping and irrigation within the front yards of P-2 residential areas of Edenglen will be provided by the homebuilder and maintained by the homeowner.
- e) Installation of landscaping and irrigation with the front yards of P-3 through P-5 residential areas will be installed by the developer/homebuilder and maintained by the Homeowner Association.
- f) At a minimum, the developer will install turf in the front yards of homes within residential areas.
- g) Installation of landscaping within the commercial and business park/light industrial areas of Edenglen will be provided by the developer/builder.

6.17.2 Landscape Standards

- a) Landscaping within the Edenglen Specific Plan shall be provided in accordance with the Design Guidelines for Streetscapes and Entries utilizing plant materials specified on the Plant Matrix included in Section 7, “Residential Design Guidelines” and Section 8, “Commercial, Business Park and Light Industrial Design Guidelines” established for the Edenglen Specific Plan.
- b) Boundary landscaping will be required adjacent to residential, commercial, and business park/light industrial areas. Landscaping shall generally be placed along the entire property line.
- c) Landscaping and automatic irrigation systems within the public rights of way of the Edenglen Specific Plan area shall be installed by the developer.
- d) Freestanding perimeter walls and view fencing shall be provided within and at the perimeter of the Project Site as specified in the Wall and Fence Master Plan, Section 7, “Residential Design Guidelines”. Such walls and fences will be constructed concurrently with the construction of improvements required for development of the neighborhoods of the Specific Plan.
- e) Perimeter walls shall be constructed in locations and of a design consistent with the Residential Design Guidelines. The “Wall Master Plan” and “Wall Details” Exhibits are located within Section 7, “Design Guidelines”. Perimeter walls shall not exceed six feet in height from finished grade. If required for sound attenuation,

Residential side and rear yard walls and fencing shall not exceed six feet in height from highest adjacent finished grade. Walls and fencing within the residential front yard setback area shall not exceed three feet in height. Walls shall be of masonry construction or other permanent low maintenance materials approved by the City. Front yard fences may be constructed of either wood, or any other durable materials with a wood like appearance, subject to approval by the City. View fencing may be of a decorative wrought iron, tubular steel/aluminum glass panels, or other durable material approved by the City.

- f) All perimeter wall and fence materials throughout Edenglen will be of uniform manufacture with colors specified for the overall design theme.
- g) The developer will provide site inspection of all construction and installation of open space areas in accordance with City of Ontario requirements.
- h) Parking lot landscaping within commercial areas shall be required in accordance with Section 9-1.3040 of the City's Development Code.
- i) Non-toxic vegetation shall be utilized adjacent to all public open space areas.
- j) Wherever feasible water conserving plant material will be utilized in all public open space areas.
- k) All neighborhood edges, parks, open space/common areas, shall utilize reclaimed water, if available and where appropriate. Commercial and industrial areas shall utilize reclaimed water to the maximum extent possible.
- l) Illumination Maintenance.

6.18 SIGNAGE

A Master Sign Program shall be submitted by the developer(s) of each land use component for Edenglen and approved by the City of Ontario, pursuant to Article 31 of the City's Development Code, to address residential project entries, residential neighborhood identification signs, commercial center identification, business and light industrial center identification, tenant signage, and way finding signs within Edenglen. No project signs shall be permitted in the public right-of-way. All other signs shall be subject to the approval of a sign permit pursuant to the City's Development Code.

6.18.1 Master Sign Program Contents

All sign programs shall address, at a minimum, the following:

- a) Permitted signs
- b) Prohibited signs
- c) The hierarchy of signage.
- d) Definition of types of signs.
- e) Locations and dimensions for monument signs, neighborhood identification signs, and public facilities signs.
- f) Locations and dimensions of directional signage.
- g) Provisions for size, location, and duration of display of temporary signs should be consistent with Development Code.

- h) Permitted sign types, styles, construction materials, colors, and lettering styles.
- i) Requirements for a sign permit application.
- j) Procedures for obtaining approval of a sign permit.
- k) Procedures for amendments to the sign program.
- l) Illumination.
- m) Maintenance.

6.19 LIGHTING

6.19.1 Street Lights along Public Streets

Streetlights along public streets, within the Edenglen Specific Plan, shall be high-pressure sodium vapor “Nostalgic”, standard per Southern California Edison Specifications.

6.19.2 Alley Lighting Fixtures

Alley lighting fixtures shall be on sensors for automatic nighttime lighting. Style and specifications of alley lights shall be approved by the City as part of the City’s Development Plan Review.

6.19.3 Lighting within Parks, Paseos, Tot Lots and Other Recreational Areas

Lighting within parks, paseos, tot lots and other recreational areas shall be approved by the City as part of the City’s Development Plan Review of these facilities.

6.19.4 Lighting within Driveways, Parking Lots, Plazas and Other Areas

Lighting with driveways, parking lots, plazas and other areas within the Community Commercial Business Park/Flex Zone and Industrial Business Park area of Edenglen shall be approved by the City as part of the City’s Development Plan Review of proposed projects in these areas.

6.20 PARK FURNITURE

Park furniture, including but not limited to, benches, barbecues and picnic tables, shall be approved by the City as part of the City’s Development Plan Review of parks, paseos and other public gathering places.

6.21 BUS SHELTERS

Bus shelters shall be installed in a number of locations designated by OmniTrans and shall be of a design compatible with the architecture character established at the project entries to Edenglen.

6.22 MAILBOXES

Mailboxes shall be clustered and installed in locations approved by the City as part of the City’s Development Plan Review of each resident project within Edenglen.