

Section 8 Commercial, Business Park and Light Industrial Design Guidelines

8.1 INTRODUCTION

The Edenglen Specific Plan area will include commercial and business park/light industrial areas in the area east of the Southern California Edison easement to Milliken Avenue between Riverside Drive and Chino Drive. These non-residential uses will allow the homeowners of Edenglen to have shopping and employment opportunities conveniently located nearby. Residents will have the ability to access services by foot or ride their bicycles to work via a pedestrian trail connecting their community to the commercial center and business park.

Throughout the commercial development and business park, appropriate landscaping, site planning and architectural design should be considered to create friendly and welcoming places to shop and work. These non-residential uses shall continue the vision established in the residential community, including integrating pedestrian-friendly design.

In order to maintain the character of Edenglen’s residential community, the commercial and business park is expected to be developed with a compatible and harmonious quality. The Edenglen Commercial, Business Park and Light Industrial Design Guidelines will help direct the development of the area to enhance the pedestrian experience with innovative design that positively contributes to the character of the Edenglen Specific Plan area. These guidelines are not intended to be strictly enforced rules, but a tool in aiding the design process. Additionally, these guidelines have been generalized for the Edenglen Specific Plan. Potential developers will be required to submit their own supplemental design guidelines for the Commercial and Business Park / Light Industrial development areas to the City of Ontario for approval.



Pedestrian-friendly Commercial Retail

These guidelines are separated into two sections; the Commercial Section and the Business Park/Light Industrial Section. Each of these sections are organized into the following:

- Site Planning
- Building Design
- Architectural Details
- Open Space and Landscaping

8.1.1 Guiding Principles

Guiding Principles for commercial, business park, and light industrial design for Edenglen:

Buildings should contribute to a qualitative nature of the overall neighborhood.

- Proper scale and proportions in massing and details should be used
- Pedestrian open spaces should be provided
- Massing and articulation should be varied
- Buildings shall be designed at a human-scale

Buildings should have an enduring quality.

- Design should draw inspiration from the rich and diverse Southern California architectural heritage
- Materials and colors typical to Southern California should be used
- Details and ornamentation should be authentic
- Design shall create an inviting place to shop and work



Design shall create an inviting place to shop and work

8.1.2 Review Process

The Commercial / Business Park Design Guidelines are to be used as a general tool to guide the development of the eastern portion of Edenglen. Final designs will be subject to the City of Ontario's approval. Additionally, more detailed design guidelines for each development will be required by the City prior to final approval. Refer to the City of Ontario Development Code or the Planning Department for further information regarding the review process.

8.2 COMMERCIAL DESIGN GUIDELINES

8.2.1 Introduction

Commercial development within Edenglen will continue the pedestrian-friendly character established in the residential community. By reducing the impact of the automobile to the appearance of the commercial development, appropriate site planning can de-emphasize the vehicle, creating a safe outdoor environment without ignoring the necessary needs of vehicular traffic. Through well executed planning, architecture, and landscape design, the commercial uses within Edenglen will complement and, to some extent, integrate the residential community rather than turn its back completely to the Edenglen residents.

8.2.2 Site Planning

Orientation

Buildings should be oriented for best visibility from the street. Windows and entries should face the street avoiding blank walls dominating public views. Stores with entries not visible from the street may be oriented towards pedestrian open space.

All primary entries should face onto a street or a connecting walkway.

Building clusterings are recommended to help define parking lot areas and encourage walking between stores. Building entries and storefronts should be positioned close to one another to reduce walking distances between them.



Retail Orientation to Vehicular Travel Lanes and Parking

Driveways and Sidewalks

The site shall be provided with an adequate number of driveways to facilitate circulation and also reduce the traffic impact along Riverside Drive and Milliken Avenue. Pedestrian crossing distances should be minimized at driveways. To increase safety for pedestrians, a raised median, as a pedestrian island, should be provided between travel lanes, especially those entries with more than one lane in any direction. Entry driveways should be paved with enhanced paving material such as brick, colored concrete, etc.

Street Frontage and Buildings

Streetside buildings, or those with no parking separating them from the street, should use windows and entry features to soften the building's appearance to the street. These buildings should not be more than 100-feet long without a pedestrian plaza or walkway breaking up the mass and connecting the parking lot with the street. On corners, buildings should utilize massing elements as an anchor.

Streetside Setbacks and Buildings

The sides of buildings along street edges shall be landscaped within the setback to soften the building's appearance as well as designed with windows or design elements. Refer to the City of Ontario Development Code for specific setback requirements.

Street Frontage and Parking Lots

Parking lots should generally be placed away from streets. Street frontages shall be broken up with buildings, landscaping, plazas, and other pedestrian features. Continuous parking lots along the street frontage should be avoided. Any parking along street edges shall be setback with a landscaped buffer to minimize the dominant feeling of the automobile along the street. Continuous parking stalls may be interrupted by landscaped islands no more than 10 stalls apart.

Parking lots are encouraged to be interconnected rather than separated for each building. Separated parking lots encourage customers to drive from store to store.

Service and Storage Areas

Loading docks, garages and storage areas are to be located behind or to the side of buildings siting onto secondary access and not primary streets. These features must be screened with walls and landscaping as much as possible from public view of streets, residences, pedestrians walkways and connecting trails. Loading docks and storage areas should not conflict with pedestrian walkways.

Refuse Containers, Utility and Mechanical Equipment

Refuse containers and equipment shall be easily accessed by service vehicles. They shall be screened from view of the streets, parking lots, and connecting walkways through roof forms, walls and/or landscaping. Screening details should incorporate elements that are compatible to the architecture style of the building. Proper landscaping, including trellises, may also help to screen these elements. Equipment and enclosures shall not be located near pedestrian walkways. Roof-mounted equipment shall be screened by the roof/parapet.

Sidewalks

Sidewalks shall be located along natural pedestrian travel paths. Sidewalks should be a minimum of 6' wide along pedestrian pathways and a minimum of 8' width along more heavily traveled commercial areas.

8.2.3 Building Design

Massing

With larger buildings, appropriate massing becomes more important to maintain the human-scale of the development and create a visually pleasing environment. Bay windows, stepped buildings, height changes and setback variations between stores help to break up large buildings as well as indicate entries and store locations to customers. Tower elements or monumental features are encouraged at focal points, such as corners, plazas, major entrances, or where walkways meet streets.

Varying setbacks along the front façade of buildings will create small outdoor public spaces for pedestrians to gather and sit.

Roof Forms

Hipped and gable roofs are encouraged. Roof pitches shall be compatible to the architectural style of the building. Flat roofs should vary in height and be accompanied by cornice, trim or other accent features.

Entry Design

Building entries shall be prominent and easily identified. Various elements can be used to enhance the entry features including massing variation, materials and color change, change in roof form, and awnings. For smaller retail buildings, part of a cluster or strip, arcades, awnings and simple signage may be acceptable as entries.

Arcades and Awnings

Outdoor arcades along store fronts are encouraged over pedestrian walkways. Arcades may be used to connect separate buildings providing a more pleasing experience for pedestrians. Trellises or awnings may also be used to create a covered walkway to protect pedestrians from the sun and rain.



Commercial Retail Massing, Material Change, and Entry Design

Design Flexibility

Retail spaces exceeding 30,000 SF should be designed with the ability to be divisible into smaller retail spaces if so required by future market demand.

8.2.4 Architectural Details

Architectural Styles

A consistent architectural style should be used throughout the commercial development to create a sense of continuity between the buildings. Related elements, such as trellises, planters, light-standards, windows, doors, etc. shall also adopt detailing that is compatible to the selected architectural style. The selected style of the commercial development does not necessarily need to be of any one of those available for the residential community but shall be compatible to them.

Architectural styles shall derive from Southern California and Ontario’s history. Modern and “high-tech” styles are not acceptable style choices. Acceptable styles generally respond to the region’s climate including such features as outdoor circulation, outdoor courtyards or plazas, recessed window frames, awnings, arcades, loggias, and trellises.

Building Wall Treatment

No wall should have a blank, uninterrupted length exceeding 20 feet without including one of the following:

- Change in texture
- Change in material
- Change in plane
- Lattice
- A tree or equivalent element

Façades that are visible from adjacent streets or walkways should display even greater visual interest by using architectural elements that break up the massing of large buildings, such as windows, arcades, awnings, porticos, and other architectural features.

Base And Top Treatments

Base and top treatments help to balance the “weight” of the building visually. Bases should appear to “ground” the building, while tops create a defined edge to the roofline. Possible treatment techniques are as follows:



Architectural Massing and Materials

Base

- Thicker walls
- Natural materials
- Enriched landscaping with a mature height of at least 18”
- Precast materials
- Other decorative, durable materials as approved by the City

Special materials, such as ceramic tile, granite and marble are encouraged at major entries.

Tops

- Cornice treatments
- Roof overhangs with brackets
- Stepped parapets
- Textured materials

Colored “stripes” are not acceptable as the only treatment.

Exterior Materials

Recommended materials include stucco, exterior plaster, brick, wood siding, tile, precast concrete or stone. Exterior materials that appear pre-fabricated are not recommended. Selected materials and detailing should have an enduring appearance. Foam products should be avoided at the pedestrian level.

Roof Materials

Roofing materials that are generally acceptable include metal standing seam, concrete tile, ceramic tile and slate or slate-like materials. Asphalt or wood shingles are prohibited.

Colors

Color selection shall be consistent with the selected architecture style.

8.2.5 Open Space and Landscaping

Site Accessories

Site accessories, such as recycling bins, bike racks, litter cans, planters, benches and transit shelters, should use materials and have an architectural character consistent with the overall project. These accessories should be graffiti-resistant with materials that are easy to clean and paint.

Connecting Walkways

Walkways throughout Edenglen’s commercial development shall connect the various buildings to each other and to the sidewalks along Riverside Drive and Milliken Avenue. Use of trellises, landscaping, sitting areas and building placement adjacent to one another will encourage pedestrian activity within the commercial area. A typical walkway shall be a minimum of 6’ wide. In large parking lots, pedestrian walkways shall be provided within the median of at least two parking aisles for every three aisles of 20 stalls or more.

Pedestrian walkways that may also be used for emergency access must allow minimum clearance of 26’ wide and 14’ vertical clearance.

Off-site Connections

Off-site connections will be provided from the commercial area to Edenglen’s residential development and the business park. Access to the residential community will be available by a trail crossing the SCE easement. The trail crossing connects into a regional trail system. The trail will separate the commercial from the business park and provide pedestrian access between the two uses.

Plazas

Plazas are encouraged to emphasize a pedestrian-friendly environment by creating locations within the commercial development that allow for people to gather. Plazas create a more inviting feeling for pedestrians, allowing them to feel safe from the vehicular-dominated parking lot. These outdoor places may include water features, landscaping, and other elements to create a comfortable place to sit. Plazas are encouraged where high levels of pedestrian activity are expected. Major entrances and nearby uses that allow for more interactivity with the plaza such as delis, cafes, restaurants, bakeries and other food services are a few key examples.



Connecting Walkway with Trellis

Landscaping

Landscaping helps to soften the feel of the buildings and parking lot while enhancing the visual aspect of the site. The following landscaping techniques may be used:

1. Provide special landscaping treatment at all project and building entries.
2. Provide shade/canopy trees within parking areas.
3. Use plants to define outdoor spaces such as along edges, outdoor plazas, or pathways between parking and building entrances.
4. Plantings shall provide a continuity of form across the entire project.



Pedestrian Pathway Connecting Retail and Business Park

Outdoor Storage Areas

Outdoor storage areas should be incorporated into the design of a project to avoid visual impacts on the site.

Outdoor storage areas shall be located away from the street, behind or to the side of buildings. Walls and landscaping shall be used to screen stored materials.

The only storage envisioned for the Commercial area is for garden supply and shopping carts. Shopping cart areas should be screened from public view with a low wall. Any garden supply area should be integrated into the design of the building. Materials placed on palettes in front of buildings are not permitted.

Transit Shelters

Transit shelters should be incorporated into the design of commercial project. The structure design shall be integrated architecturally with the project through its color, materials and architectural style.

Walkways shall be provided for easy accessibility by pedestrians moving to and from the transit stop to the commercial development.

Fence and Wall Design

Chainlink fencing, barbed wire, corrugated metal fencing and "tennis windscreens" are not permitted. Fences and walls should be built with attractive, durable materials, including (but not limited to) wrought iron, textured concrete block, or formed concrete with reveals. Fences or walls should be consistent with architectural style, materials and designs used throughout the project. Walls and fences should not exceed a height of six feet (6') without being made of textured concrete block, interlocking "diamond" blocks, formed concrete with reveals, or similar materials to a maximum of eight feet (8') from grade.



Retail Plaza

Along streets, walls and fences should not exceed 36" in height. Avoid long expanses of uninterrupted fences and walls. Use of an opening, planter box, material change, pilaster or post is acceptable. Openings shall be provided to connect walkways directly to the street avoiding long, inconvenient walking paths. These pedestrian portals should be announced by pilasters, trellis, special landscaping, or other upgraded features.

Lighting

Lighting standards shall provide adequate illumination throughout the site during the nighttime hours. Lighting fixtures shall be designed to be compatible with the architectural styles selected for the project. All light standards should have an attractive base and top; overhead "cobrahead" standards are not permitted. Buildings and landscaping can be illuminated indirectly to create a strong positive image.

Along pedestrian walks, lighting fixtures should not exceed 12' in height and may include lighting with bollards. Pedestrian lighting shall provide appropriate illumination at a human scale without too much glare. Lighting within larger parking lots shall not exceed 25' in height providing enough visibility for customers and employees to walk safely to their vehicles. The same bulb type shall be used for all parking lot and pedestrian lighting fixtures within the development.

Service area lighting should be positioned as to not be seen from public view.

8.3 BUSINESS PARK AND LIGHT INDUSTRIAL DESIGN GUIDELINES

8.3.1 Introduction

The Business Park and Light Industrial component to the Edenglen Specific Plan will allow for employment opportunities to be created for the City of Ontario and the surrounding region. Residents of Edenglen will have the ability to access employment not only by automobile but also via pedestrian trails leading from the residential area to the business park area. Employees of the business park will also be able to enjoy outdoor plazas and courtyards, as well as landscaped pedestrian walkways connecting them to the commercial area to the north. Within the business park, services and some eating establishments would also be available to the employees within a close distance to their workplaces.

Due to the potentially negative affects that this land use can have on Edenglen's residential community, the business park/light industrial component will be expected to continue the quality of design that will be established by the residential and commercial areas of Edenglen. This quality can be achieved by continuing the pedestrian-friendly character and implementing appropriate site planning and architectural design techniques.

8.3.2 Site Planning

Orientation

Special attention should be placed on the public view with façades and entries facing the street. Parking is encouraged to be located predominantly to the sides and rear of buildings. When possible, buildings with larger square footage in excess of 30,000 square feet should be located further away from Milliken Avenue and closer to the SCE easement while smaller buildings should be located closer to Milliken Avenue to preserve a human scale to the street frontage.



Transitional Office and Commercial

The northern portion of the business park is encouraged to engage the retail land-use using pedestrian walkways and integrate a more transitional building and site design. Buildings in this area should blur the seam between the commercial retail and business park

Street Frontage and Parking Lots

Smaller buildings along Milliken Avenue are preferred, however, small parking lots enhanced with landscaping and a buffer from the Milliken right-of-way are also acceptable. Building frontages along Milliken Avenue and local streets should be designed with windows, entries and architectural features to soften their appearance to the public view.

Parking lots should be designed to minimize impact to pedestrian walkways and service access. Large parking lots should be avoided, however, if necessary, a landscaped pedestrian walkway should be provided for safe access to buildings.

Loading and Storage Areas

Loading docks and storage areas should not face any street. Any visual impact to public views should be screened through the use of walls, trellises, tall landscaping, and/or equivalent features. Adequate room should be provided for trucks maneuvering or waiting to unload. Attractive and durable materials shall be used when designing loading areas. Loading areas facing the SCE easement shall be screened by a wall or landscaping to minimize the visual impact to the residential community. Loading areas are encouraged to have lower grade to minimize the need for high walls or fencing.

Refuse Containers, Utility and Mechanical Equipment

Refuse containers and equipment shall be easily accessed by service vehicles but screened from view of the streets, parking lots, and connecting walkways through roof forms, walls and/or landscaping. Screening details should incorporate elements that are compatible with the architecture style of the building. Proper landscaping, including trellises, may also help to screen these elements. Equipment and enclosures shall not be located near pedestrian walkways. Roof-mounted equipment shall be screened by the roof/parapet.

8.3.3 Building Design

Massing

To maintain a human-scale to buildings, appropriate massing techniques shall be employed. Height variations, architectural projections, building pop-outs, stepping of floors, accent detailing, material change and color variety are some of the methods that may be used. Massing elements shall relate to the architecture style of the building and should be proportional and visually pleasing.

For larger buildings, the following guidelines shall be exercised:

1. Building elevations of less than 700 lineal feet should not exceed a height: width ratio of 1:5 without a substantial architectural element that projects up or away from the building, such as towers, bays, lattices, or other architectural features.
2. Buildings greater than 700 lineal feet should not exceed a height:width ratio of 1:6 without massing variations.
3. A ratio of 1:10 may be considered for façades greater than 700 lineal feet with external treatment detached from the building to help break the mass of the structure between massing breaks, including columns, colonnades, trellises, or enhanced landscape treatment.



Business Park Entry Massing

Roof Form

Roof forms should be simple and avoid a massive appearance. Buildings along Milliken Avenue are encouraged to use pitches rather than flat roofs when reasonable. Buildings shall use height variations to break up the roofline and create a more interesting visual appearance.

Entry Design

Entries and windows are encouraged to face streets and pedestrian walkways. Primary building entries shall be easily identified through the massing of the building. Greater height can be used to highlight and accentuate entries in the form of tower elements, tall voids, a central mass or an entry plaza. Secondary entries may use smaller building masses to communicate their locations. Smaller buildings with few employees should attempt to place entries and the most active areas near the street to avoid long, “unguarded” walkways.

Design Flexibility

Building design should be flexible in order to adjust to various future market demands. Parcel sizes should be flexible and vary in size to accommodate a variety of building types.

8.3.4 Architectural Details

Architectural Style

Buildings shall use an architectural style consistent with the styles used throughout the Edenglen Specific Plan area. Architectural styles selected for the Edenglen residential community include Spanish, Monterey, Bungalow, Cottage, Traditional and Territorial Ranch; however, acceptable styles are not dictated in these guidelines and those chosen for development are subject to approval by the City of Ontario. Within the business park/light industrial development area, a variety of compatible styles may be used together. Designs should reflect authentic materials and elements appropriate to the selected style.

Building Wall Treatment

Blank walls between massing breaks should be avoided, especially along façades immediately visible from adjacent streets, nearby buildings or walkways. One or more of the following techniques may be used:

1. Change in texture/material
2. Revealed pilaster
3. Change in plane
4. Vertical variation of roof line
5. Windows
6. Lattice, accent tree or equivalent



Spanish Architectural Style Example

Base And Top Treatments

Base and top treatments help to balance the “weight” of the building visually. Bases should appear to “ground” the building, while tops create a defined edge to the roofline. Possible treatment techniques are as follows:

Base

- Textured materials
- Different colored materials
- Enriched landscaping with a mature height of at least 18”
- Precast Materials

Special materials, such as ceramic tile, granite and marble, are encouraged on the base of buildings that face streets or connecting walkways, especially adjacent to major entries.

Tops

- Cornice treatments
- Roof overhangs with brackets
- Textured materials
- Differently colored materials

Colored “stripes” are not acceptable as the only treatment.

Roof Materials

Roofing materials should be durable yet compatible to the building’s architectural style. Where visible from the street, acceptable roofing materials include metal standing seam and concrete tile.

Material Changes

Avoid the false appearance of lightweight veneers by hiding material changes through careful detailing. Material changes should not occur at external corners, but may occur at “reverse” or interior corners or as a “return.”

Color

For larger building surfaces colors, should be muted and softer colors used. Accent colors may include brighter and darker colors.

8.3.5 Open Space and Landscaping

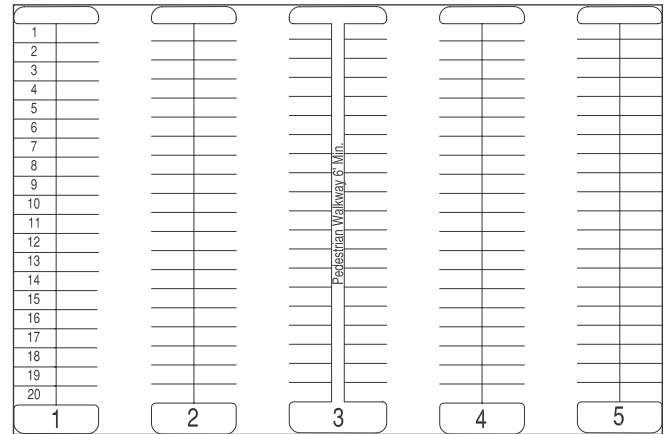
Site Accessories

Site accessories, such as recycling bins, bike racks, litter cans, planters, benches and transit shelters, should use approved materials and have an architectural character consistent with the overall project. These accessories should be graffiti-resistant, utilizing materials that are easy to clean and paint.

Connecting Walkways

Ideally, pedestrian walkways should be adjacent to buildings and be overlooked by frequent entries or windows. Walkways should provide a direct route without conflicting with parking and loading areas, and vehicular ingress and egress points to the parking areas.

Walkways throughout Edenglen’s business park/light industrial development shall connect the various buildings to each other, easily accessible parking, the commercial development, the trail leading to the residential community and to the sidewalks along Chino Drive and Milliken Avenue. Use of trellises, landscaping and sitting areas and building placement adjacent to one another will encourage pedestrian activity within the development area. A typical walkway shall be 6’ wide. In large parking lots, pedestrian walkways shall be provided within the median of at least one row of parking for every three parking aisles side by side of more than 20 parking stalls.



Connecting Walkways

Pedestrian walkways that may also be used for emergency access must allow minimum clearance of 26’ wide and 14’ vertical clearance.

Off-site Connections

Off-site connections will be provided to Edenglen’s residential and commercial areas. Access to the residential community will be available by a trail crossing the SCE easement. The trail crossing connects into a regional trail system. A trail buffer will separate the commercial from the business park and provide pedestrian access between the two uses. This connection will allow employees to easily access the commercial uses without the need to drive a car.



Business Park Courtyard

Plazas

Plazas, courtyards, gardens and outdoor lunch areas for employees are encouraged to be incorporated in building designs and site planning as much as possible to emphasize a pedestrian-friendly environment. Plazas create interesting architectural elements as well as provide a relaxing place for people to gather. These outdoor places may include water features, landscaping, and other elements to create a comfortable place to sit.

Plazas are encouraged where high levels of pedestrian activity are expected, such as adjacent to major entrances and food services (delis, restaurants and bakeries) or between building clusters in a business park development. Building entries and windows should look onto plazas to enhance activity and security. Locate outdoor employee break areas preferably away from loading areas or other high-traffic areas.

Site Entries

Major entries to the Edenglen Business Park should be marked by textured pavement, accent trees, fountains, gateway signage, and other landscape features. Pedestrian plazas are encouraged where site entries are adjacent to building entries.

Outdoor Storage Areas

Outdoor storage of material is permitted provided the storage is completely screened from public view. Outdoor storage areas should be incorporated into the design of a project to avoid visual impacts on the site.

Storage shall be located away from the street, behind or to the side of buildings. Walls and landscaping shall be used to screen stored materials. Stored materials shall not extend above the height of the screen wall.

Transit

Developments within the business park are encouraged to take advantage of mass transit opportunities from transit stops or shelters to be determined by the transit provider for the City of Ontario. Pedestrian walkways shall be designed to include access to any transit stops located near the site.

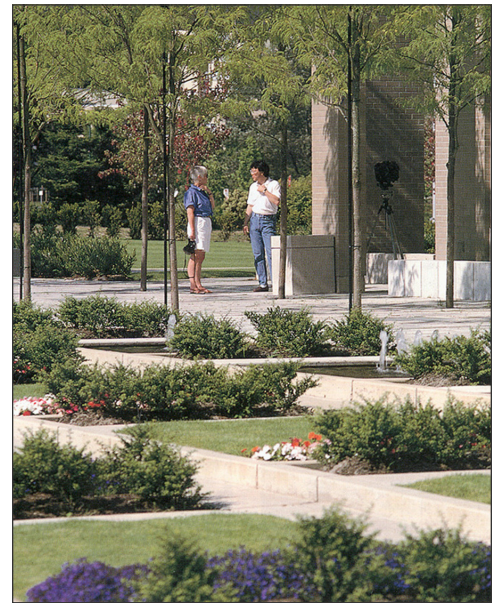
Developers should coordinate with the transit provider and the City to determine a suitable location for a transit shelter on-site. Freestanding shelters should be integrated architecturally with the project with respect to color, materials and architectural style.

Fence and Wall Design

Fences and walls should be built with attractive, durable materials, including (but not limited to) tubular steel, textured concrete block, or formed concrete with reveals. Chainlink fencing, barbed wire, corrugated metal fencing and “tennis windscreens” are not permitted. Gates to service and private access shall be out of public view as much as possible and constructed of tubular steel or perforated metal painted to match surrounding wall.

Fences or walls should be consistent with architectural style, materials and designs used throughout the project. Walls and fences should not exceed a height of six feet (6’) without being made of textured concrete block, interlocking “diamond” blocks, formed concrete with reveals, or similar materials to a maximum of twelve feet (12’) from grade. Appropriate landscaping shall be used whenever possible to alleviate the wall edge.

Where industrial and non-industrial uses are adjacent, buffering techniques shall be used to mitigate the view to the industrial use.



Pedestrian-oriented Business Park Landscaping

Along streets, walls and fences are preferred to not exceed 36” in height. In situations where a rear or side property edges a street, taller walls may be necessary but should use various techniques to limit the harsh affects to the streetscape. Avoid long expanses of uninterrupted fences and walls. Use of an opening, planter box, material change, pilaster or post is acceptable. Openings shall be provided to connect walkways directly to the street and to allow pedestrians to avoid long, inconvenient walking paths. These pedestrian portals should be announced by pilasters, trellis, special landscaping, or other special features.

Lighting

Lighting standards shall provide adequate illumination throughout the site during the nighttime hours. Lighting fixtures shall be designed to be compatible with the architectural styles selected for the project. All light standards should have an attractive base and top; overhead “cobrahead” standards are not permitted. Buildings and landscaping can be illuminated indirectly to create a strong positive image.

Along pedestrian walks, lighting fixtures should not exceed 15’ in height and may include lighting with bollards. Pedestrian lighting shall provide appropriate illumination at a human scale without too much glare. Lighting within larger parking lots shall not exceed 25’ in height providing enough visibility for employees to walk safely to their vehicles. The same bulb type shall be used for all parking lot and pedestrian lighting fixtures within the development.

Service area lighting should be positioned as to not be seen from public view.