

IV. LAND USE PLAN & DEVELOPMENT REGULATIONS

The permitted land uses within the Crossroads Business Park Specific Plan shall include exclusively those incorporated within the Light industrial category as discussed herein.



As shown on the Land Use and Phasing Plan, Figure 15, Phase I construction commenced upon final Specific Plan approval, and it incorporates the western-most 159.5 acres of development. Based upon the maximum overall site coverage permitted by this specific plan (45%), Phase I development could theoretically accommodate 3,126,519 square feet of light industrial structure area.

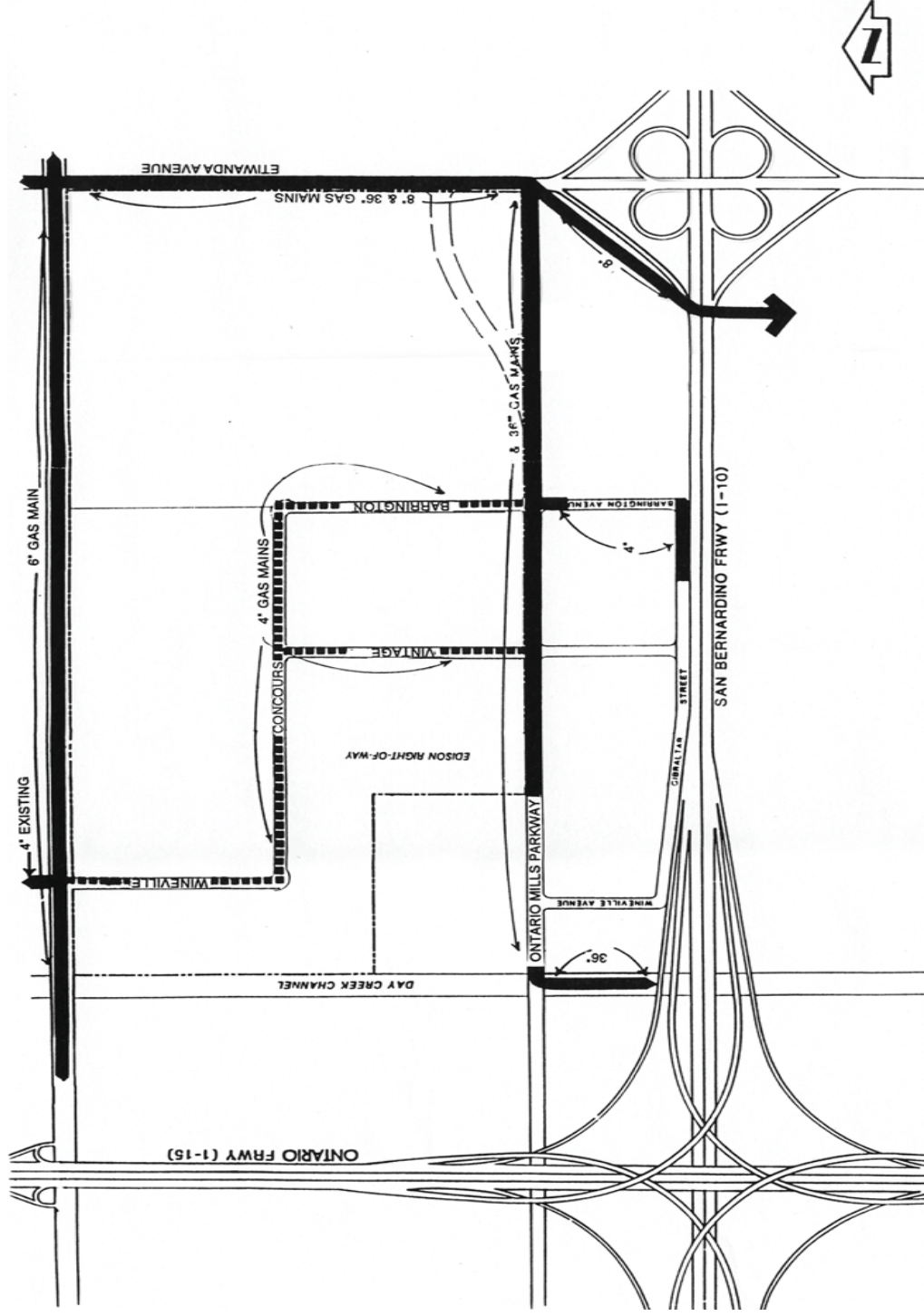
Phase IIa and IIb contains the easterly 145.8 acres of the subject site. At the maximum 45% overall site coverage, future development may yield up to 2,395,364 square feet of building area. However, upstream drainage improvements to the San Sevaine Flood Control facility are required prior to development of Phase IIb. Until such improvements are completed, the Phase IIb portion will serve as flood control/drainage for the area as discussed in the Hydrology section (Section III.D.4). When the necessary San Sevaine improvements have been completed, Phase IIb will be available for development.

NATURAL GAS FACILITIES PLAN (EXISTING AND PROPOSED)

FIGURE
13

LEGEND

-  EXISTING NATURAL GAS
-  EXISTING PHASE I NATURAL GAS








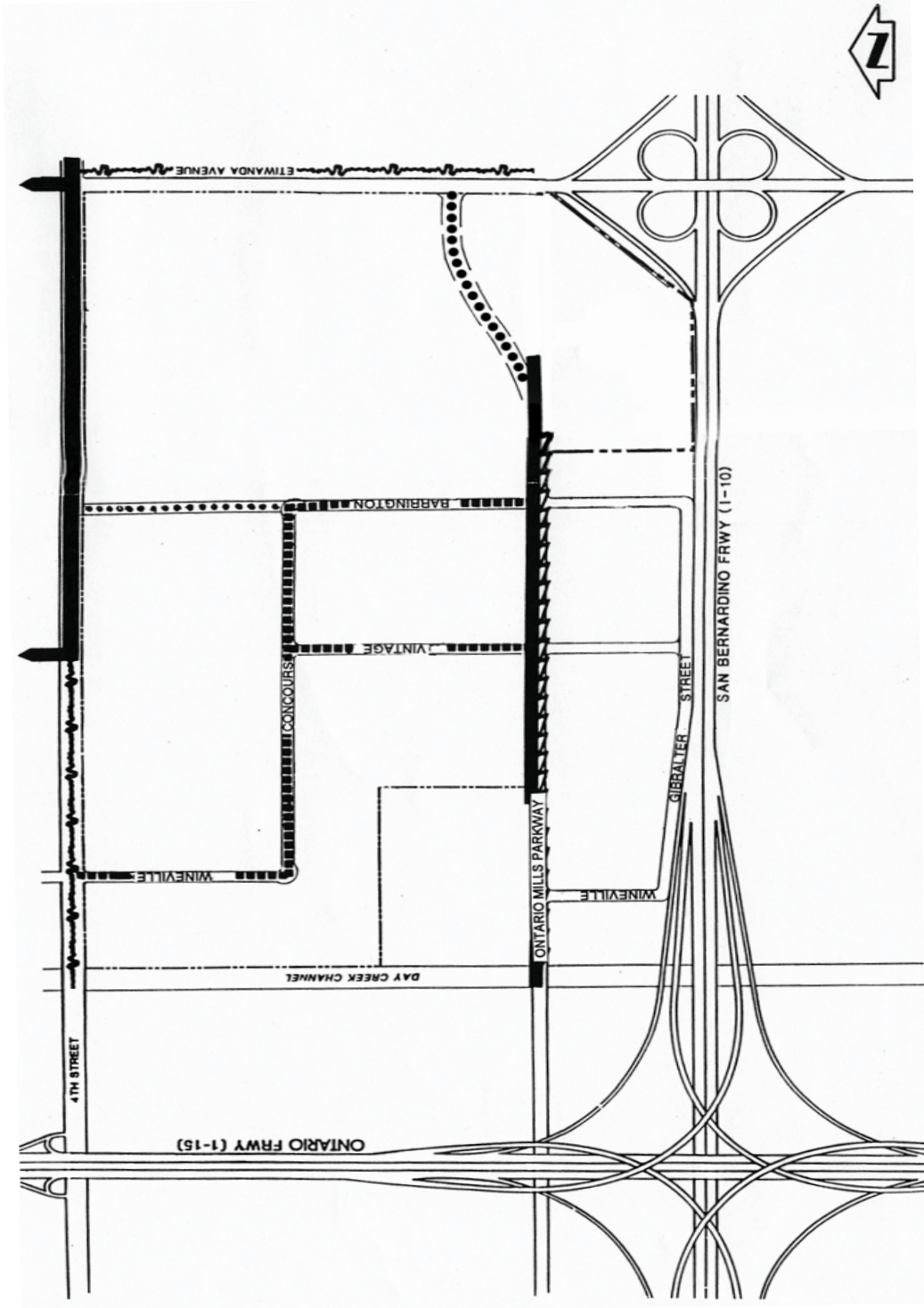
CROSSROADS BUSINESS PARK SPECIFIC PLAN

ELECTRICAL AND COMMUNICATIONS FACILITIES PLAN

FIGURE 14

LEGEND

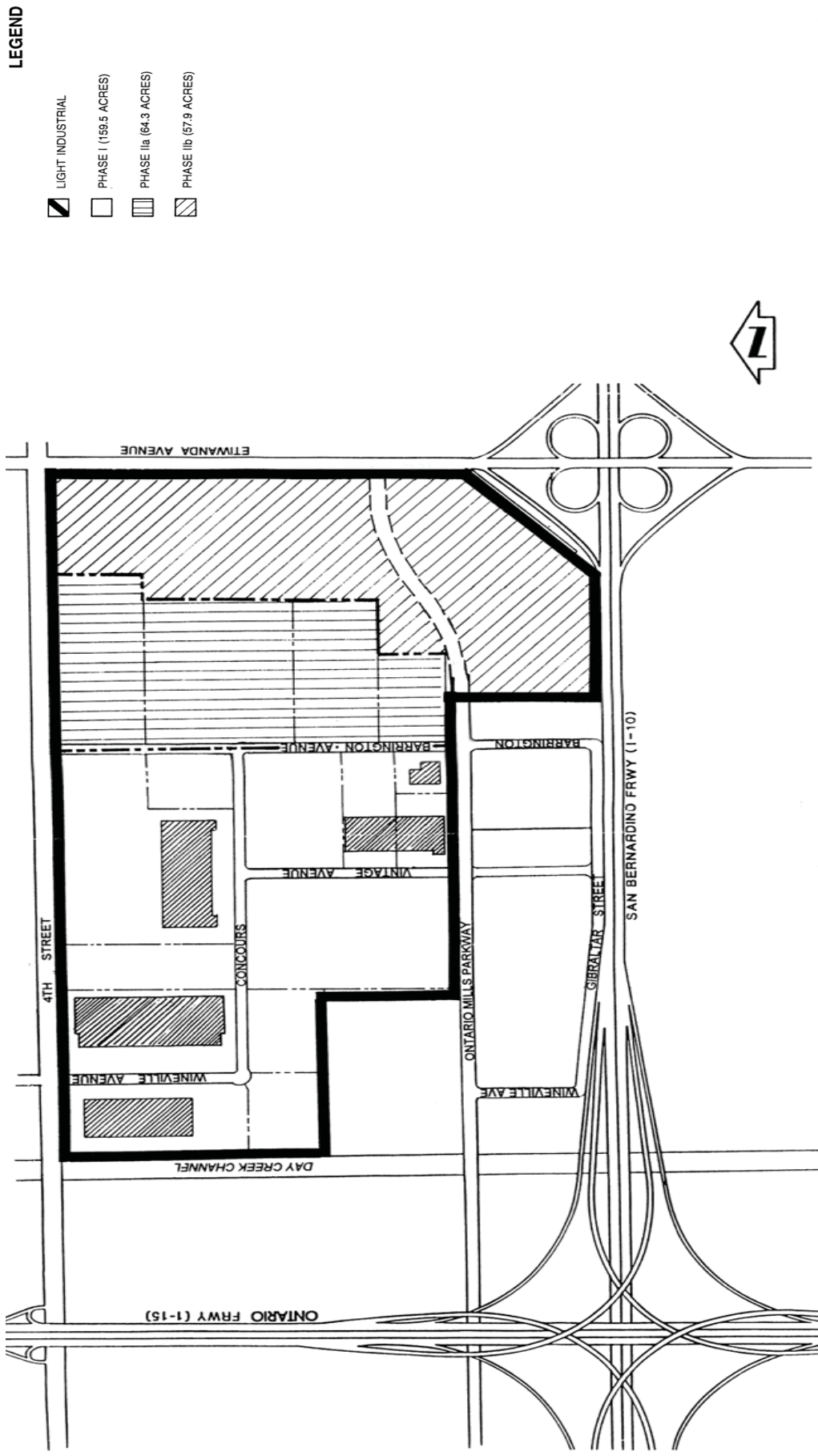
-  EXISTING TELEPHONE
-  EXISTING EDISON
-  EXISTING PHASE I EDISON AND TELEPHONE
-  EXISTING OVERHEAD EDISON
-  PROPOSED PHASE II EDISON AND TELEPHONE



CROSSROADS BUSINESS PARK SPECIFIC PLAN

LAND USE AND PHASING PLAN

FIGURE
15



CROSSROADS BUSINESS PARK SPECIFIC PLAN

A. LIGHT INDUSTRIAL LAND USE CATEGORY

1. PURPOSE

The purpose of the Light Industrial land use category is to provide for the development of one to two story light industrial buildings incorporating such use types as corporate manufacturing, research and development, and multi-tenant industrial, As this area is designated Industrial by the General Plan, a minimum of 51% of the site shall be developed as an industrial use.

However, this Specific Plan's Light Industrial category also includes various administrative business offices and commercial developments, either as permitted uses or as conditional uses, These uses must be determined as incidental to the primary industrial uses permitted, or as conditional uses subject to the review criteria discussed below.

2. PERMITTED AND CONDITIONAL USES

The following uses designated by "P" are permitted within the Specific Plan. Those uses designated by "C" are Conditional Uses which shall be subject to a conditional use permit prior to site plan approval or issuance of a business license to ensure that parking, access, and/or any other factors associated with the proposed use or location are adequately addressed, and that any potential problems associated with same are adequately resolved. Land uses are defined in Section IV-B.

USE TYPE	STATUS
MANUFACTURING AND ASSEMBLY	
Auto and light truck repair – minor	P
Auto and light truck repair – major	P
Custom manufacturing and assembly	P
Light manufacturing and assembly	P
General manufacturing and assembly	P
WHOLESALE, STORAGE, AND DISTRIBUTION	
Light wholesale, storage, and distribution	P
General wholesale, storage, and distribution	P
COMMERCIAL USES	
Administrative & professional office (incidental to an otherwise permitted use maximum 15% of floor area)	P
Administrative & professional office	C
Building maintenance services	P
Building supplies and sales	P
Communication services	P
Durable goods sales, wholesale	P
Fast food sales (incidental to an otherwise permitted use)	P
Fast food sales	C
Financial services (incidental to an otherwise permitted use)	P
Financial institutions	C
Health clubs and spas	C
Laundry services	P
Repair services	P
Retail sales of good produced onsite (maximum 15% of floor area)	P
Restaurant uses (incidental to an otherwise permitted use)	P
Travel plaza	C
PUBLIC FACILITIES AND UTILITIES	P
CARETAKER’S RESIDENCE, WHERE 24 HOUR SURVEILLANCE IS NECESSARY (Maximum 1,000 square feet)	C

3. PROHIBITED USES

Uses other than those specifically listed above shall be prohibited, unless it is determined by the Planning Commission that the use is similar to, and of no greater intensity than, the permitted or conditional uses listed herein.

B. DEFINITIONS OF LAND USE TYPES

Permitted and Conditional uses identified above are defined as follows (All uses are to be conducted within enclosed buildings, and no outdoor storage is permitted):

1. MANUFACTURING AND ASSEMBLY USE TYPES

Automotive and Light Truck Repair - Minor:

Activities include, but are not limited to, automotive and light truck repair, the retail sale of goods and services for automotive vehicles and light trucks (less than 6000 lbs.), and the cleaning and washing of automotive vehicles. Uses typically include, but are not limited to, brake, muffler and tire shops and automotive drive-through car washes. Heavier automobile repair such as transmission and engine repair and auto body shops are not included.

Automotive and Light Truck Repair - Major:

Activities typically include, but are not limited to, automotive and light truck repair, heavy automobile and truck repair, such as transmission and engine repair, automotive painting and body work, and the installation of major accessories.

Custom Manufacturing and Assembly:

Activities typically include, but are not limited to, manufacturing, processing, assembling, packaging, treatment, or fabrication of custom-made products such as jewelry, furniture, art objects, clothing, instruments, and the onsite wholesale, not to exceed 15% of floor area, of the goods produced. The uses do not produce odors, noise, vibration, or particulates which would adversely affect uses in the same structure or on the same site,

Light Manufacturing and Assembly:

Activities typically include, but are not limited to, research and development (including laboratories), labor intensive manufacturing, assembly, or repair processes which do not involve frequent truck trips (more than 8 truck trips daily) or the transport of large scale products. The activities do not produce odors, noise, vibration, or particulates which would adversely affect uses within the same structure or on the same site.

General Manufacturing and Assembly:

Activities typically include, but are not limited to, manufacturing, compounding of materials, processing, assembly, packaging, treatment, or fabrication activities which may have frequent truck traffic or the transportation of large scale products. Not permitted within this area are uses which require massive structures outside of buildings such as cranes or conveyor systems, or unscreened open air storage of large quantities of raw, semi-refined, or finished products.

2. WHOLESALE, STORAGE, AND DISTRIBUTION USES

Light Wholesale, Storage, and Distribution:

Activities typically include, but are not limited to, wholesaling, storage, and warehousing services within enclosed buildings; storage and wholesale to retailers of finished goods from the premises. Excluded are trucking services and terminals; storage and wholesaling from the premises of unfinished, raw, semi-refined products requiring further processing, fabrication, or manufacturing; and outdoor storage.

General Wholesale, Storage, and Distribution:

Activities typically include, but are not limited to, warehousing, storage, freight handling, shipping, trucking services and terminals; storage and wholesaling from the premises of unfinished, raw, semi-refined products requiring further processing, fabrication, or manufacturing. Outdoor storage is permitted subject to applicable screening and height requirements. Storage areas shall not conflict with required parking areas, drive aisles, and truck maneuvering areas.

3. COMMERCIAL USE TYPES

Administrative and Professional Offices:

Activities typically include, but are not limited to, executive management, administrative, or clerical uses of private and public utility firms. Additional activities include the provision of advice or design, information or consultation of a professional nature. Uses typically include, but are not limited to, corporate headquarters, branch offices, data storage center, architect's, lawyer's, insurance sales, financial planner's and accountant's offices.

Automotive Fleet Storage:

Activities typically include, but are not limited to, the storage of vehicles used regularly in business operations and not available for sale on site. Such uses typically include, but are not limited to, overnight storage of rental cars, mobile catering trucks, and taxi cabs.

Building Maintenance Services:

Activities typically include, but are not limited to, maintenance and custodial services, window cleaning services, disinfecting and exterminating services, and janitorial services.

Building Supplies and Sales:

Activities typically include, but are not limited to, the retail sale or rental from the premises of goods and equipment, including paint, gloss, hardware, fixtures, electrical supplies, and lumber and hardware stores. Outdoor storage may be permitted subject to screening requirements.

Communication Services:

Activities typically include, but are not limited to, broadcasting and other information relay services accomplished primarily through use of electronic and telephonic mechanisms. Uses typically include, but are not limited to, television and radio studios and telegraph offices.

Durable Goods Sales:

Activities typically include, but are not limited to, the retail sales from premises of durable goods which are purchased infrequently. Uses typically include, but are not limited to, furniture, piano and organ, major appliance (e.g., refrigerators), and carpet and flooring stores.

Fast Food Sales:

Activities which may include, but are not limited to, the retail sale from the premises of easily prepared foods and beverages such as: hamburgers, hot dogs, chicken, and tacos for either on-site or off-site consumption. Uses may include, but are not limited to, drive-in type restaurants.

Financial Institutions:

Uses typically include, but are not limited to, banks, savings and loans, and credit unions, Financial services incidental to a primary use involve items such as on-site credit unions for large corporations, automated bank machines, and other similar services.

Health Clubs and Spas:

Activities typically include, but are not limited to, sport and health-related activities performed either indoors or outdoors. Uses typically include, but are not limited to, health clubs, spas, gyms, and tennis clubs.

Laundry Services:

Activities typically include, but are not limited to, institutional or commercial linen supply and laundry services, dry cleaning plants, rug cleaning, and diaper service laundries.

Repair Services:

Activities typically include, but are not limited to, the storage and sale from the premises and/or dismantling of used or waste materials except when such activities are part of a manufacturing operation.

Travel Plaza:

A commercial enterprise providing services to truck and RV customers. Such services may include any or all of the following: retail sales of gasoline and diesel fuel; a full service restaurant; fast food restaurant use(s); a retail convenience store; a drivers' rest or lounge area with private showers; a reading/TV room; an RV dump site; short-term truck parking (up to 8-hours average, 12-hours maximum); minor truck servicing and repair; truck washing; and related travel services.

B. DEVELOPMENT STANDARDS

The regulations and criteria included in this Section establish minimum development standards for the land uses proposed within the Crossroads Business Park Specific Plan. These regulations are intended to govern the development of all property within the Crossroads Business Park Specific Plan area, and shall supersede applicable provisions of the City of Ontario Zoning Ordinance.

1. GENERAL DEVELOPMENT STANDARDS

The following general provisions shall apply to all developments within the Crossroads Business Park Specific Plan area:

a. General Plan Consistency

Implementation of the Specific Plan development is intended to carry out the goals and policies contained in the City of Ontario General Plan in a functional and aesthetic manner. All development within the Specific Plan area shall, therefore, be consistent with the provisions of the Ontario General Plan.

b. Relationship of Specific Plan Development Standards and Criteria to the Ontario Zoning Ordinance

Development standards and criteria contained in this document will supplement and replace those of the City of Ontario's Zoning Ordinance. Any standards or land use proposals not specifically covered herein shall be subject to the regulations, standards, and specifications of the City of Ontario Zoning Ordinance. Unless otherwise specifically approved as part of this Specific Plan, all off-site improvements shall be subject to the City of Ontario's policies and standards in effect at the time improvement plans are submitted. If any provision of this document conflicts with the regulations of the Ontario Zoning Ordinance, the provisions of this document shall take precedence.

c. Conformance to Uniform Building and Fire Codes

All construction within the Crossroads Business Park Specific Plan area shall be in compliance with the Uniform Building Code, Uniform Fire Code, and all other ordinances adopted by the City pertaining to construction and safety features. All other City standards and policies shall apply at the time of submittal.

d. Minor Adjustments

Minor adjustments to the design guidelines and criteria contained herein may be approved administratively in order to achieve superior design solutions. Minor adjustments shall be defined as site specific modifications including, but not limited to, granting of reciprocal sideyards, location of parking and loading areas, and the substitution of building materials. Such adjustments will require approval by the City of Ontario Planning Director and Building Official.

e. Landscaping

In addition to City's standard landscape requirements and specifications, and the landscape provisions of this document, the following shall apply:

- (1) Permanent automatic irrigation facilities shall be provided in all landscaped areas.
- (2) Prior to the issuance of building permits, a landscape and irrigation plan in conformance with the Crossroads Business Park Specific Plan shall be submitted to the Public Facilities Development Coordinator for review and approval.

f. Traffic/Parking

All streets that will serve the site are shown to be in conformance with the Specific Plan. While the Specific Plan envisions a wide range of industrial uses for the site, it may be necessary during the site plan review process to prepare traffic impact data for a particular project which has the potential to impact traffic in an unusually significant manner.

As part of the first Specific Plan Amendment prior to development of Phase IIa, a traffic study analysis was prepared. The Traffic recommended mitigation measures for the buildout of Phase IIa and Phase IIb. Those recommendations have been incorporated into the specific plan document and Figure 6.

A second Specific Plan Amendment, to add approximately 24 acres in the southeast section of the Specific Plan and to include a "Travel

Plaza” as a Permitted use, required another traffic analysis. This Traffic Study also recommended mitigation measures. However, these mitigation measures are specific to the Travel Plaza and will, therefore, be incorporated into the conditions of approval and mitigation measures for the Travel Plaza.

All development will be required to meet the off-street parking standards of the Ontario Municipal Code included within the Appendix of this document.

g. Safety Regulations

(1) Fire Protection

Fire protection and paramedic services will be provided by the City of Ontario Fire Department. The project is within the response area of Station Five (Fourth Street and I-15 freeway), and the new Station Seven (Jurupa Street and I-15 Freeway). Estimated response time is five minutes.

Fire flow water to the site will be provided by two connections to the Fourth Street water line to be built by phase one. Two additional connections during subsequent phases will result in three internal and one external water lines between Fourth Street and Ontario Mills Parkway. The project sponsor shall pay assessments for fire facilities, if required.

(2) Police Protection

Police protection will be provided by the Ontario Police Department and will include air surveillance by City Police Department helicopter patrols.

In addition to the requirements of the Ontario Municipal Code and public safety-related guidelines contained elsewhere in this document, all individual developments within Crossroads Business Park Specific Plan area shall meet the requirements of the City of Ontario Fire and Police Departments including, but not limited to, adequate access for emergency vehicles, provision of security hardware, onsite fire suppression systems, and lighting.

2. LIGHT INDUSTRIAL DEVELOPMENT STANDARDS

- | | | |
|----|---------------------------|-----------|
| a. | Minimum Parcel Size | 1.0 acres |
| b. | Without PC or CC approval | .45 FAR |

- (1) Projects over .45 FAR may be approved by Planning Commission and City Council

- (2) Project shall not exceed .55 FAR
- c. Maximum Building Height Fifty-five (55) feet
- d. Minimum Building Setbacks Refer to Table IV-C-1, Building Setback Summary
- e. Minimum Parking Setbacks Refer to Table IV-C-2, Parking Setback Summary
- f. Parking Requirements (Per City of Ontario Parking Standards) (See Appendix)
- g. Landscaping

Landscaping Requirements:

- (1) Minimum landscape 10% of the individual lot area coverage.
- (2) Front and exterior side parking setbacks (See Table IV-C-2). 100% (excluding drive aisles, etc.)
- (3) Interior side parking setback (in front of concrete screenwall). 100% (excluding drive aisles, etc.)
- (4) All parking visible from any public street must be shielded by bermed mounding planted with trees, shrubs and groundcover per appropriate Streetscape Plan, or by a solid screenwall, or combinations thereof.
- (5) To soften building elevations, a minimum ten (10) foot wide landscape area shall be provided adjacent to front building elevations and side elevations where visible from a public area.
- (6) Maximum ten (10) parking spaces between finger type planters. Each a minimum of five (5) feet wide. No finger planters shall be required in parking areas behind screenwalls.
- (7) All landscape areas are to be delineated with a minimum six (6) inch concrete mowstrip.

**Table IV-C-1
BUILDING SETBACK SUMMARY**

STREET	LANDSCAPED RIGHT-OF-WAY	BUILDING SETBACK	TOTAL BUILDING SETBACK AREA FROM CURB FACE
<u>Ontario Mills Parkway, Fourth Street</u>			
Front	12'	23'*	35'
Exterior Side (corner parcels)	Per front setback requirement for street classification		
Interior Side (one side only)		0'	
Interior Side (other side)		10'	
Rear		0'	
<u>Etiwanda Avenue</u>			
Front	18'	17'*	35'
Exterior Side (corner parcels)	Per front setback requirement for street classification		
Interior Side (one side only)		0'	
Interior Side (other side)		10'	
Rear		0'	
<u>All Other Streets</u>			
Front	1'	25'*	25'
Exterior Side (corner parcels)	Per setback requirement for street classification		
Interior Side (one side only)		0'	
Interior Side (other side)		10'	
Rear		0'	

*Setbacks for long expanses of walls or fences may be averaged per Section IV, Fence and Wall Design (see page 45).

Table IV-C-1
BUILDING SETBACK SUMMARY (CONT'D)

All Buildings Over 35' In Height	1' additional front and exterior side setback per 1' of height above 35'.
All Buildings Over 150' In Length	1' additional front and exterior side setback per 10' of length over 150' to a maximum setback of 50'.

NOTES:

1. All setbacks are measured from the property line. (See Figures 17 and 18 - Conceptual Plans)
 2. Rear and interior side building setbacks shall be subject to the following requirements pursuant to Section 506 lb) of the California Uniform Building Code
 - [i] Either maintain a minimum of 60 feet building setback when adjacent parcels are undeveloped; or
 - [ii] Maintain an overall 60 feet building separation between the proposed building and existing buildings on adjacent parcels: or
 - [iii] Maintain a minimum of 30 feet building setback when buildings on adjacent parcels are setback a minimum of 30 feet.
 - [iv] Any other Rear and Interior side setbacks may be as indicated in the Specific Plan Standards so long as proposed buildings meet all other Uniform Building Code Standards.
 3. For buildings which are both in excess of 35' in height and 150' in length, additional setback areas to be calculated on a cumulative basis as provided above, with total aggregate setback area not to exceed 70'
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Table IV-C-2
PARKING SETBACK SUMMARY

STREET	LANDSCAPED RIGHT-OF-WAY	PARKING SETBACK	PARKING SETBACK FROM AREA CURB FACE
<u>Fourth Street</u>			
<u>Ontario Mills Parkway</u>			
Front	12'	13'	25'
Exterior Side (corner parcels)	Per front setback requirements for street classification		
Interior Side		10'	
Rear		0'	
<u>Etiwanda Avenue</u>			
Front	18'	7'	25'
Exterior Side (corner parcels)	Per front setback requirements for street classification		
Interior Side		10'	
Rear		0'	
<u>All Other Streets</u>			
Front	1'	19'	20'
Exterior Side (corner parcels)	Per front setback requirements for street classification		
Interior Sides		10'	
Rear		0'	

Note: All setbacks are measured from the property line.
 (See Figures 17 and 18 - Conceptual Plans)
 † Parking setback not required behind screenwall.

h. Loading Areas

- (1) Loading areas shall be designed to provide adequate area for backing and maneuvering on-site and not onto or from a public street.
- (2) Loading areas should not conflict with connecting walkways or required parking areas.
- (3) Loading areas shall not encroach into building setbacks.
- (4) All loading areas shall be screened from public rights-of-way.
- (5) Buildings should be designed with loading areas located to the side or rear of the buildings, when feasible.
- (6) Where loading doors front a public street, roll-up doors and openings in the screen wall shall be positioned such that the doors are screened from the street.
- (7) All loading areas fronting a public street shall be screened by a combination of screen walls, ornamental landscaping, and/or portions of the building such that the roll-up doors are not visible from the public street.
- (8) Loading areas and doors not fronting a public street shall be screened from the view of the public street by concrete wing walls.
- (9) Loading areas, including rail, that will ultimately be screened by future projects, shall be provided with interim temporary screening. Appropriate method of screening will be determined during project review.
- (10) Loading doors fronting a public street shall be positioned to allow for a minimum 120' paved maneuvering area between the door and the property line (parking setback line in frontage or exterior side).
- (11) A sight-line analysis shall be required with all development applications, and shall show that all roll-up doors are screened from view from public streets. (See Figure 16).

i. Outdoor Storage

- (1) No outdoor storage shall be permitted unless adequately screened by an opaque material, as approved by the City

Planner.

- (2) All storage screening shall be a minimum of 8 feet in height. No materials shall be stored higher than screening.
- (3) All storage areas fronting a public street shall be screened by a concrete screen wall and ornamental landscaping.
- (4) Location of outdoor storage areas shall be shown on the development site plan, and shall be subject to approval by the City of Ontario Development Advisory Board.
- (5) No outdoor storage shall be permitted in the front setback.

j. Fence and Wall Design

- (1) Along street frontages, long expanses of uninterrupted fences and walls shall be avoided. Long expanses of wall surfaces shall be offset and architecturally treated to prevent monotony. Techniques to accomplish this may include, but are not limited to the following: raised planters, openings, material changes, pilasters and posts, and staggered sections. Staggered sections of walls and fences may encroach up to 3' into the building setback area, provided the average setback of the wall or fence complies with the building setback requirement of the street on which the wall or fence fronts. Wall and fence height shall be reduced in areas where the wall or fence encroaches into the required building setback area.
- (2) Landscape berms or planters should be provided to minimize the height impact of screen walls.

k. Exterior Building Materials

- (1) All building improvements, with the exception of trim and minor architectural features, shall be constructed of masonry, concrete, glass, or other material approved by the City (no precision block).
- (2) All exterior walls shall be painted or suitably treated.

l. Roofing and Rooftop Equipment

- (1) Opaque screening shall be provided to conceal all rooftop equipment.
- (2) Unless roofing materials are a part of the design element

(shingles, tile, etc.) the ridge line elevation shall not exceed the parapet elevation.

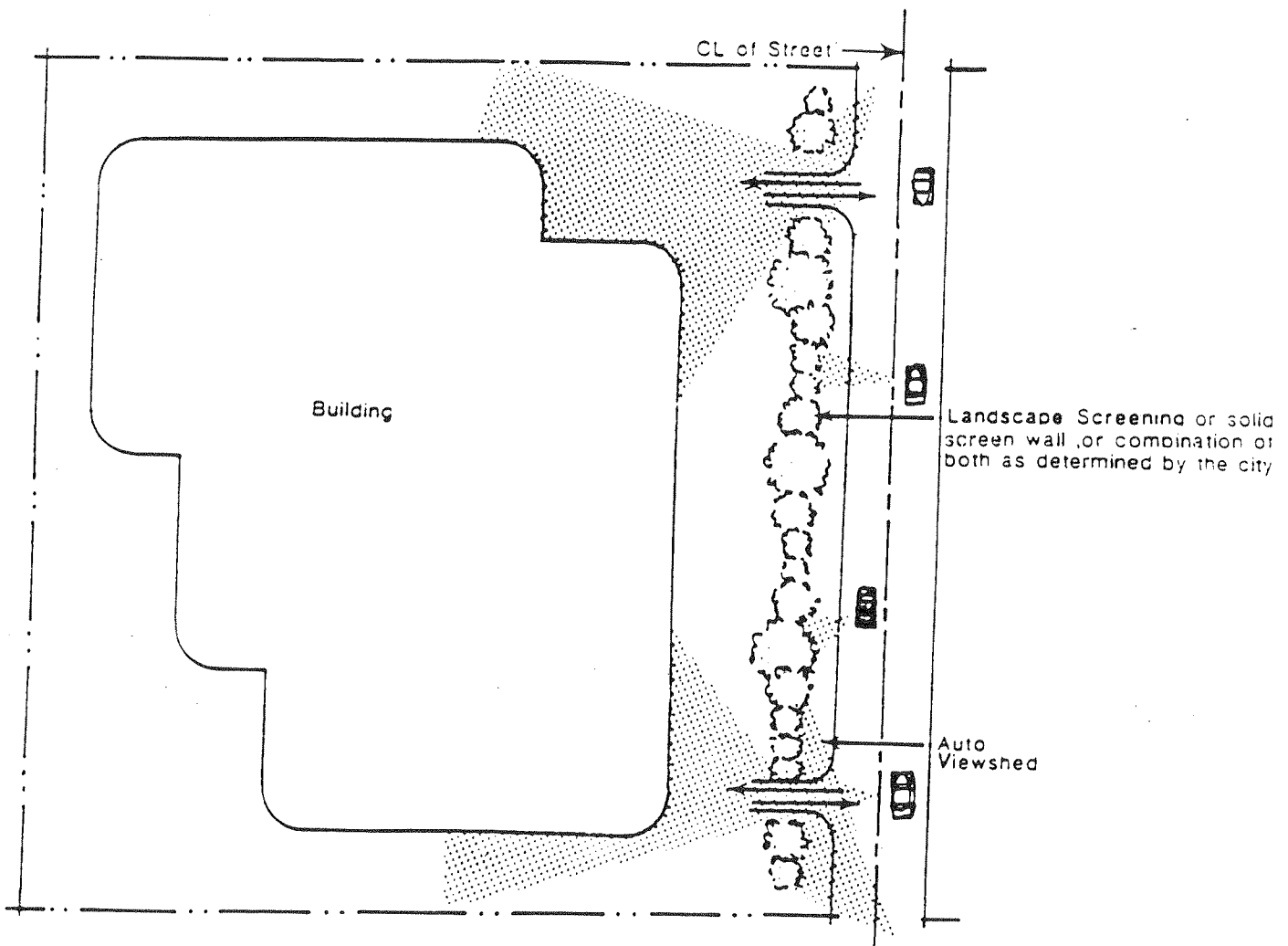
- (3) All mechanical equipment on top of the roof shall be painted to blend with the building and roofing materials.
- (4) Rooftop equipment shall not be visible from adjacent streets, properties, or from the Ontario Freeway (I-15) or San Bernardino Freeway (I-10).

m. Signage

All signs shall be subject to the provisions of the Master Signage Plan and will require the approval of the City of Ontario (see Table VI-A-1).

SIGHT LINE ANALYSIS

FIGURE
16

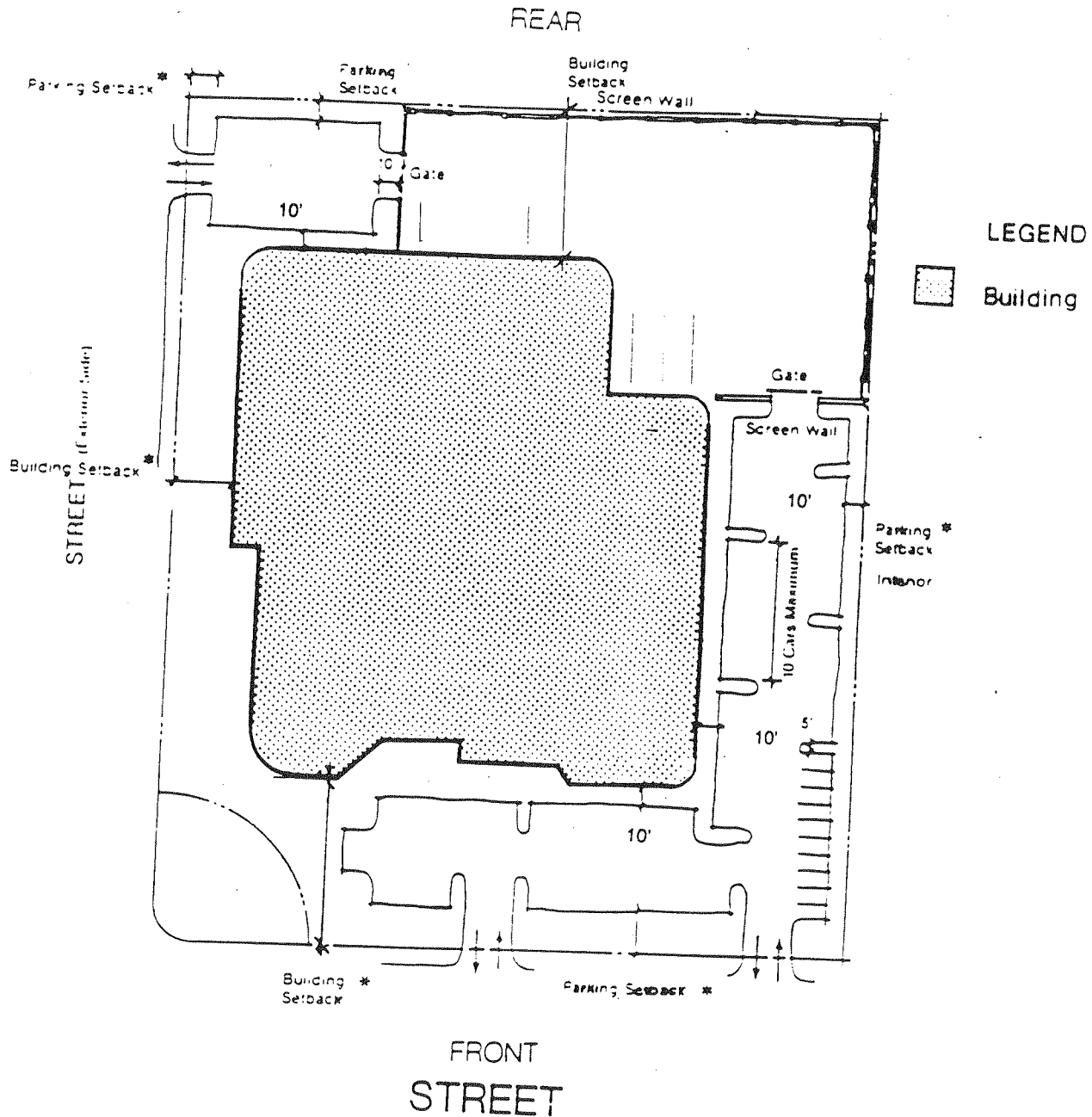


TYPICAL BUILDING AND PARKING SETBACKS

(CORNER PARCEL)

FIGURE

17



Refer to Tables IV-C-1 and IV-C-2 for required setbacks

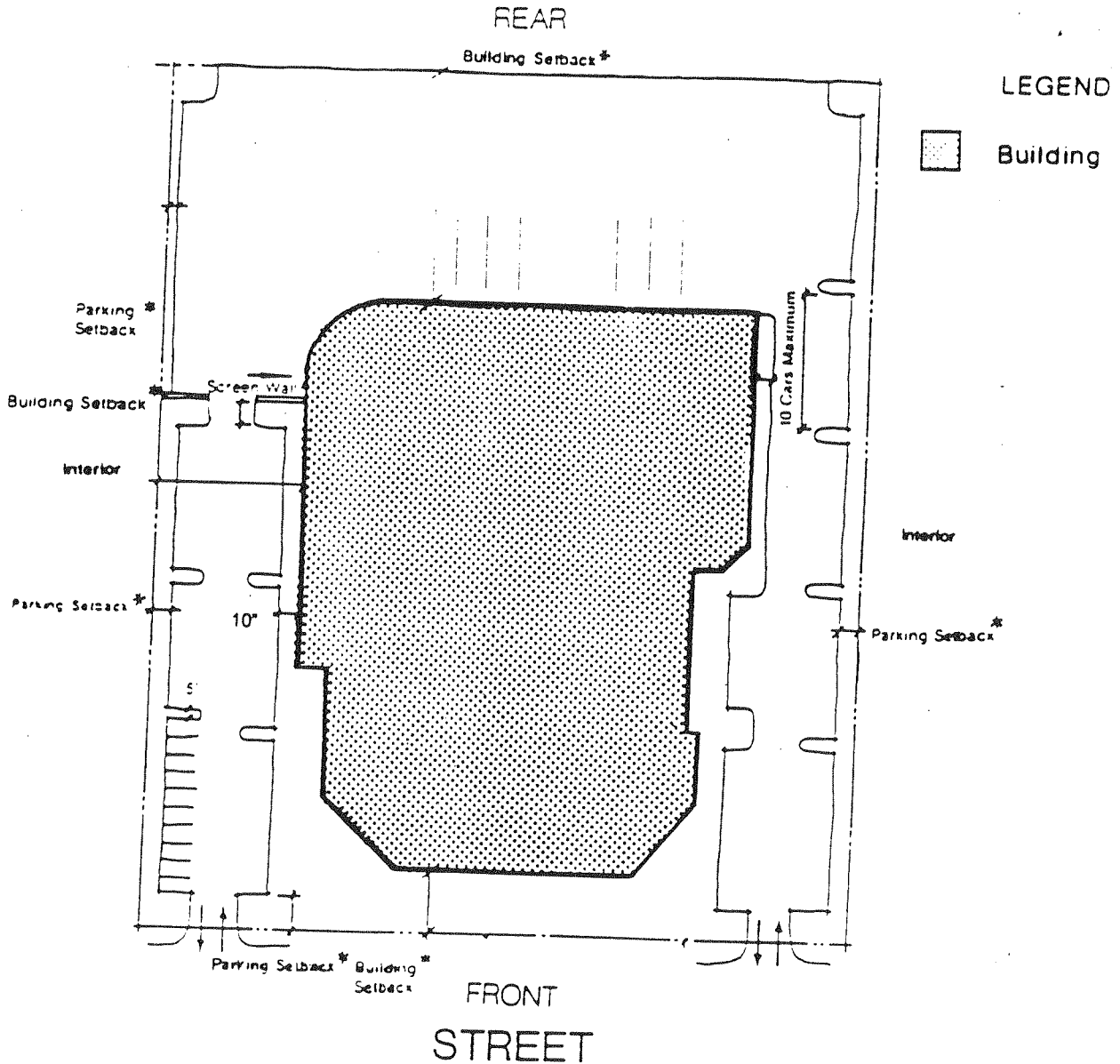
Conceptual graphics for illustrative purposes only

TYPICAL BUILDING AND PARKING SETBACKS

(INTERIOR PARCEL)

FIGURE

18



Refer to Tables IV-C-1 and IV-C-2 for required setbacks

Conceptual graphics for illustrative purposes only

D. SOUND ATTENUATION CRITERIA

The City of Ontario has adopted within their General Plan maximum interior sound levels from the State of California Department of Health, Office of Noise Control. (Noise Element Guidelines, Feb. 1976). The following is a table reflecting those sound levels.

Table IV-D-1

**MAXIMUM INTERIOR NOISE LEVELS,
NON-RESIDENTIAL CONSTRUCTION**

Noise levels during the hours from 7 a.m. to 7 p.m., which shall not be exceeded for the interior of the project, are as follows:

USE	SOUND LEVEL, LEQ
Private Offices	40-50 dBA
General Offices, Reception, Typing, Clerical	45-55
Other Uses and Areas for Manufacturing, Assembly Testing, etc.	55-65

(Where LEQ is the Energy Equivalent Sound Level during the hours 7 a.m. to 7 p.m.)