

3

Development Standards

SECTION 1 - PURPOSE AND INTENT

These regulations are the standards for the development of each Planning Unit. They will insure a coordinated, comprehensive project which results from large scale community planning and development.

These PRD-Specific Plan regulations supplement the City of Ontario Zoning Ordinance, and are intended to allow a diversity of uses, heights of buildings, and open space in planned relationships, while ensuring compliance with the spirit, intent and provisions of the City of Ontario Zoning Ordinance. These land uses shall include: single-family detached residential development and attached residential development, multi-family residential development, commercial facilities and open space-recreational activities and uses in compliance with the development standards set forth herein.

SECTION II - RESIDENTIAL

Single-Family Detached (SFD)

1. Purpose and Description

The land designated for this type of residential land use is designed for the development of detached single-family homes. For this category the average net residential density will be 6.2 dwelling units per net residential acre. This land use is arranged so as to maintain a harmonious balance with adjacent development and open space.

2. Permitted Uses

- a. Conventional detached single-family residences
- b. Patio homes: allowed only within areas F,H,I,J,N,S-V,X, AND CC.

3. Permitted Temporary Uses

- a. Model Homes, Temporary Real Estate Offices, and Subdivision Signs
- b. Temporary onsite construction offices-facilities
- c. Continued use of an existing building during construction of a new building on the same

building site

- d. Real Estate Signs, Future Development Signs, and Subdivision Directory Signs subject to the provisions of the Ontario Zoning Ordinance
- e. Temporary growing fields for project-related landscaping
- 4. Permitted Accessory Uses
 - a. Garages and carports
 - b. Swimming Pools
 - c. Signs, mailboxes, and fences will be constructed as shown in exhibits 26, 27, 28, and 29
 - d. Garden structures and greenhouse with the approval of the Master Homeowners Association
 - e. Other incidental and accessory uses for the exclusive use of residents on the site
 - f. Home occupation in compliance with Section 9-3.510 of the City of Ontario Zoning Code
- 5. Site Development Standards
 - a. Average Net Density: 6.2 DU per net residential acre.
 - b. Minimum Lot Area: 3600 square feet (allowed only in planning areas F, H, I, J, N, S-V, X and CC). 5000 square feet on all other SFD lots.
 - c. Minimum Lot Width: 40 feet. (Allowed only with 3600 minimum square foot lots) 100' with 5000 square foot lots.
 - d. Minimum Lot Depth: 90 feet. (Allowed only with 3600 minimum square foot lots) 100' with 5000 square foot lots.
 - e. Flag lots will be permitted on knuckles and cul-de-sacs with a minimum 12' frontage.

- f. Minimum Building Setbacks:
 - (1) Front Yard
 - (a) (from back of sidewalk):
Average 20'-5000 square foot lots

(b) Front Yard (from back of sidewalk):
Average 20' but no less than 5' (8 on cul-de-sacs)--3600 square foot lots. Where setback is 5' or 8' garage door openers are required.

(c) Minimum 10' to a side entry garage, however, provision shall be made for a 20' clear parking area to the rear of the property line adjoining the street for onsite parking.

- (2) Rear Yard: 15' (5000 square foot lots)
13' (3600 square foot lots)

- (3) Side Yard:

(a) Abutting Street: 10'

(b) Not abutting Street

- Minimum of 5' from property line in conventional subdivision.

- Minimum of 10' between dwelling units in zero lot line subdivisions.

- g. Maximum Building Height 2-1/2 stories or 37 feet.

- h. Parking: two covered spaces per dwelling unit.

- i. Patio Covers: Patio covers shall not extend closer than 5' to the rear property line nor cover more than 50 percent of the rear yard area.

- j. Lake edge setbacks and wall heights will be maintained as specified in the Lake Edge Condition EXHIBITS 29 and 20.

- k. All front yard landscaping will be designed and constructed in Planning Area CC.

- l. Patio homes shall be permitted only in SFD planning Areas F, H, I, N, S-V, X, AND CC.

Single-Family Attached

- 1. Purpose and Description

The single-family attached residential areas of the Creekside PRD are established to provide for development of medium density residences which are slightly more intense than single-family detached residences. This residential category permits a net average density range of between 6.0 and 15.1 dwelling units per net acre, and is characterized by duplexes, triplexes, and townhome and patio home developments.

2. Permitted Uses

- a. Conventional detached single-family residences on minimum 5,000 square foot lots.

- b. Patio homes, on minimum 3,600 square foot lots.

- c. Townhomes - see definitions section

- d. Duplexes - Triplexes

3. Permitted Temporary Uses

- a. Model Homes, Temporary Real Estate Offices and Subdivisions signs.

- b. Temporary onsite construction offices-facilities.

- c. Continued use of an existing building during construction of a new building on the same building site.

- d. Real Estate Signs, Future Development Signs and Subdivision Directory Signs.

- e. Temporary growing fields for project-related landscaping.

4. Permitted Accessory Uses

- a. Garages and carports

- b. Signs, mailboxes, and fences will be constructed as shown in exhibits 26, 27, 28, and 29.

- c. Other uses clearly incidental and accessory to permitted uses.

- d. Home occupation in compliance with Section 9-3.510 of the City of Ontario Zoning Code.

- e. Common open space areas and facilities within a planning unit. (4) From property lines abutting Single-Family Detached Planning Units: 15 feet.
 - 5. Site Development Standards (5) From landscaped buffers: 5 feet.
 - a. Average Net Density: 6.0 to 15.1 per net residential acre. (6) From Drainage Swales: 10 feet.
 - b. Minimum Lot Area: (7) From existing Edison and Southern California Gas Easement: 10 feet.
 - (1) Detached single-family residences 3600 square feet. (This option is permitted only in Planning Areas: F, H, I, J, N, S-V, X, and CC. (8) Lake edge setbacks and wall heights will be maintained as specified in the Lake Edge Condition EXHIBITS 19 and 20.
 - (2) Attached single-family residences. None. e. Maximum Building Height: 2-1/2 stories or 37 feet.
 - c. Minimum Lot Width: None. f. Parking: Resident Two (2) spaces per unit, at least one of which is located in a garage or carport. Automatic garage door openers will be provided on those single-family attached units provided with enclosed garages where the setback from the garage opening to a public or private street is less than 10'.
 - d. Minimum Building Setbacks: g. Patio Covers: Patio covers shall not extend closer than 5' to the rear property line not cover more than 50 percent of the rear yard areas.
 - (1) From property lines abutting public streets: h. Duplexes and Triplexes shall be side or rear loading only. The front shall not show more than one doorway. Architectural treatment shall be approved by the Planning Commission.
 - (a) Where the building site abuts the loop road the setback distance from the right-of-way shall average 25' and be a minimum distance of 20'.
 - (b) Where the building site abuts a public local street the setback for all buildings shall be an average 20' (measured from back of sidewalk) except garages and carports which shall be either 5' or greater than 20'. Those garages setback 5' shall be equipped with garage door openers. The minimum front yard setback for 5,000 square foot lot shall average 20', for a 3,600 square foot lot it shall be 5' (8' on a cul-de-sac). The minimum rearyard setback for a 5,000 square foot lot shall be 15'; for a 3,600 square foot lot is shall be 13'.
 - (2) From the property lines abutting neighborhood commercial land use: 20 feet.
 - (3) From private streets (C1 and C1a): minimum of 10' from C1 and C1a ROW edge to dwelling unit (5' minimum to carports or garages).
- Multiple Family (MF)
- 1. Purpose and Intent

The Multiple Family Residential category is intended to establish a development character that is higher in density than single-family and will provide the regulation for development. The maximum permissible average net density for this category is 28.2 dwelling units per net acre.
 - 2. Permitted Uses
 - a. Conventional detached single-family residences (SFD)
 - b. Cluster single-family residences
 - c. Patio Homes

- d. Townhomes: see definitions section
 - e. Duplexes
 - f. Condominiums
 - g. Apartments
3. Permitted Temporary Uses
- a. Model Homes, Temporary Real Estate Offices, and Subdivision Signs
 - b. Temporary onsite construction offices-facilities
 - c. Continued use of an existing building during construction of a new building on the same building site
 - d. Real Estate Signs, Future Development Signs, and Subdivision Directory Signs
 - e. Temporary growing fields for project-related landscaping
4. Permitted Accessory Uses
- a. Garages and Carports
 - b. Signs, mailboxes, and fences will be constructed as shown on EXHIBIT 29
 - c. Other uses clearly incidental and accessory to permitted uses
 - d. Home occupation in compliance with Section 9-3.510(a) of the City of Ontario Zoning Code
 - e. Common open space areas and facilities within a planning unit
5. Site Development Standards
- a. Average Net Density: 28.2 D.U. per net residential acre maximum.
 - b. Minimum Lot Area: None
 - c. Minimum Lot Width: None
 - d. Minimum Building Setbacks:
 - (1) From property lines abutting public streets:
 - (a) Where the building site abuts an arterial highway, the setback distance from the right-of-way shall be a minimum distance of 25'.
 - (b) Where the building site abuts a public local street the setback for all buildings shall be a minimum of 15'.
 - (2) From property lines abutting neighborhood commercial land use: 20 feet
 - (3) From private streets (C1 and C1a): minimum of 10' from C1 and C1a ROW edge to dwelling unit (5' minimum to carports or garages)
 - (4) From property lines abutting Single-Family Units (Detached and Attached): 20 feet
 - (5) From landscaped areas: 5'
 - (6) From property lines abutting Single-Family Units (Detached and Attached): 20 feet
 - (7) From Landscaped Areas: 5 feet
 - (8) From drainage swales: 10 feet
 - (9) From existing Edison and Southern California Gas Easement: 10 feet
 - e. Maximum Building Height: 37 feet
 - f. Parking: Resident

	<u>Bedroom</u>	<u>Covered</u>	<u>Uncovered</u>
1	1	1	.5
2	1	1	1
3	1	1	1
4	1	1	1
- Parking: Guest
- One space per 4 dwelling units for first 50 units; 1 space per 5 dwelling units for up to 100 units; 1 space per 6 dwelling units for over 100 units

SECTION III - COMMERCIAL

A. Purpose and Intent

This land use category should provide for convenience facilities, and services which meet the needs of the general PRD community.

B. Permitted Uses

The specific locations of the proposed commercial uses are shown on the land use exhibit. The uses include:

1. Recreational Vehicle Storage Area
2. Day Care Centers
3. Maintenance facilities for use by Creekside PRD Homeowners' Associations
4. Fire Station - temporary use
5. Cable television receiving and distribution equipment
6. Temporary home finders information center

C. Site Development Standards

All of the permanent facilities have been built, as shown on the land use plan.

SECTION IV - OPEN SPACE

A. Purpose and Intent

The open space land use designation is intended to provide for recreation and social opportunities within the Creekside PRD. As such, the open space network provides linkage opportunities of the activity nodes, linked throughout the PRD via open space corridors which extend into all residential planning units.

B. Permitted Uses

1. Lake
2. Neighborhood and community activity centers
3. Greenbelts (pedestrian-bike paths and drainage swales)
4. Landscaped buffers (pedestrian-bike paths and landscaping)
5. Parks, playgrounds, golf course, etc.
6. Tennis and swimming facilities and other similar activities.
7. Other uses familiar in character to those listed above, which the Planning Commission find to be compatible with surrounding permitted uses.

C. Site Development Standards

Development Plan approval shall be required for all recreation-activity centers prior to issuance of building permits.

Landscape and irrigation plans for all open space uses shall be approved by the City prior to issuance of building permits. Use of drought tolerant plant materials and water efficient irrigation systems are required.

SECTION V - SIGNAGE, MAILBOX, LIGHTING AND FENCING PLAN

Design standards for signs, mailboxes, lights, and fences are specified on EXHIBITS 26, 27, 28, and 29. construction of these community improvements will follow the designs shown with the following exceptions and/or provisions.

Signs - Street sign and stop sign color modification may be made upon approval of the Master developer and the City of Ontario.

Mailboxes - Minor modification of mailboxes design and/or colors may be made upon approval of the Master Developer. See EXHIBIT 29.

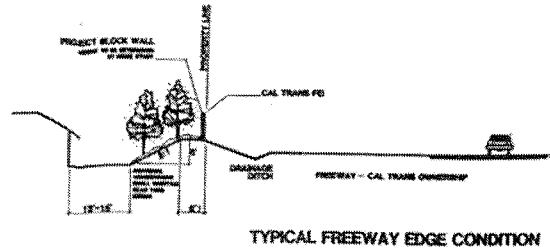
Flexibility shall be allowed for the above modifications provided that the intent for the modifications is to bring signs or mailboxes into greater conformity or harmony with the architectural style of the proposed development. This intent shall be the criteria used by the Master Developer in considering such changes.

Lights - EXHIBIT 29 provides design standards only for community wide lights at locations such as activity centers and on the interior loop collection roads.

Standards for private street lights within interior portions of single family attached and multiple family planning units are not provided in order to encourage design variety in these areas. Designs are encouraged which compliment the architectural style of the accompanying development.

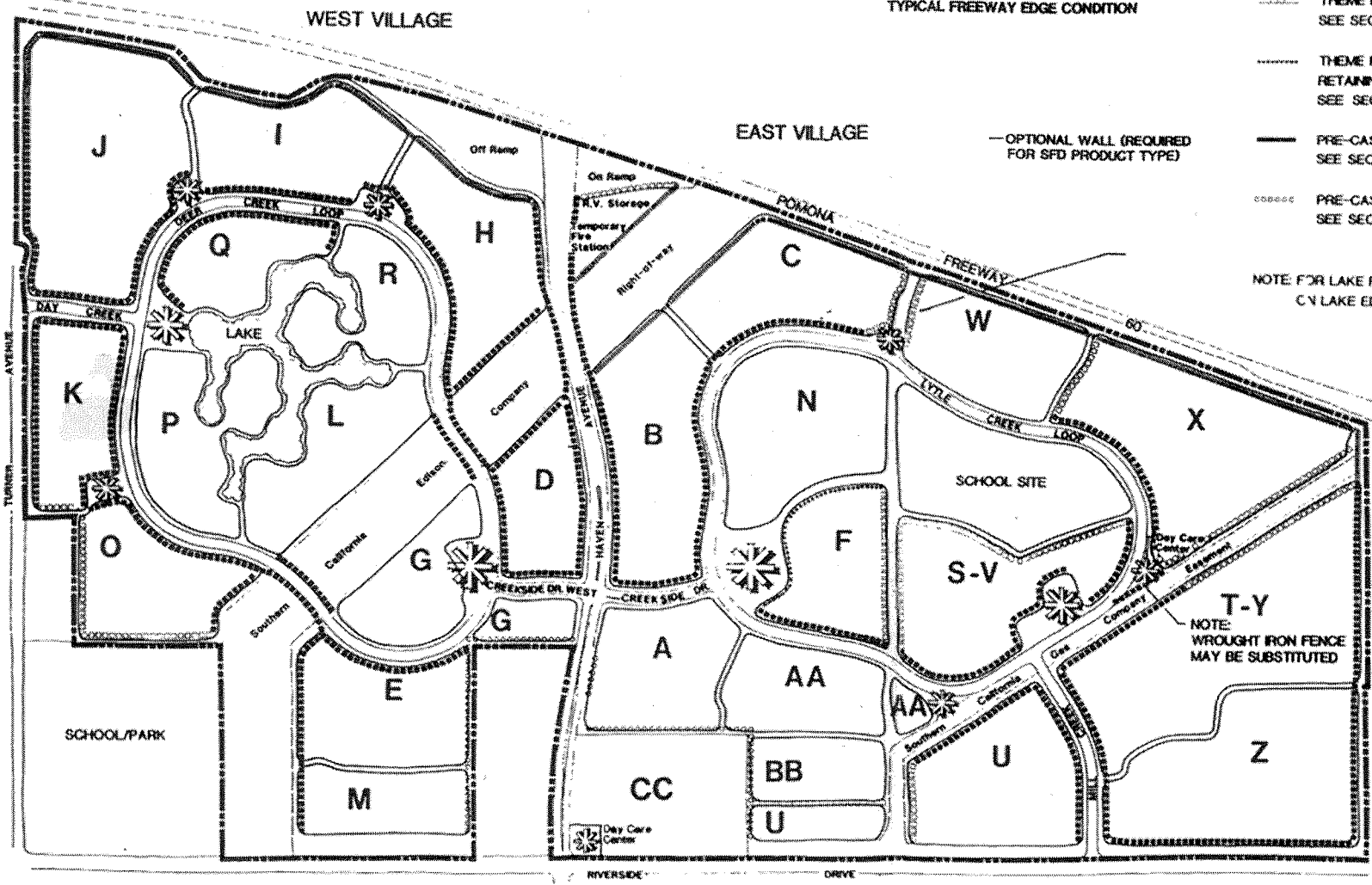
Street lights along Turner Avenue and Riverside Drive shall conform to City Standards.

The placement of signs for the purpose of advertising and marketing of the master development, and housing products within the master development, shall be approved by the Planning Development.

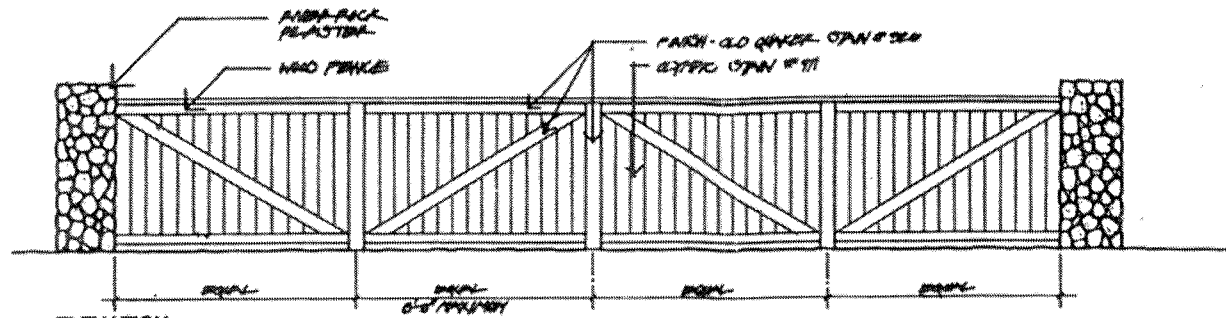
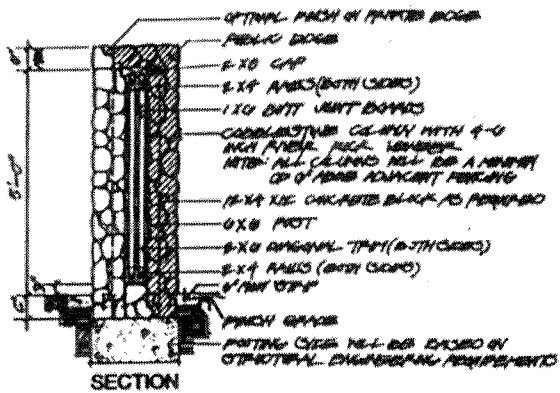


- THEME FENCE WITH PILASTER
SEE SECTION A, EXHIBIT 27
- THEME FENCE WITH PILASTER WITH RETAINING FOOTING
SEE SECTION E, EXHIBIT 28
- THEME FENCE WITHOUT PILASTER
SEE SECTION B, EXHIBIT 27
- THEME FENCE WITHOUT PILASTER WITH RETAINING FOOTING
SEE SECTION F, EXHIBIT 28
- OPTIONAL WALL (REQUIRED FOR SFD PRODUCT TYPE)
- PRE-CAST PANEL WALL
SEE SECTION D, EXHIBIT 28
- PRE-CAST PANEL WALL
SEE SECTION C, EXHIBIT 27

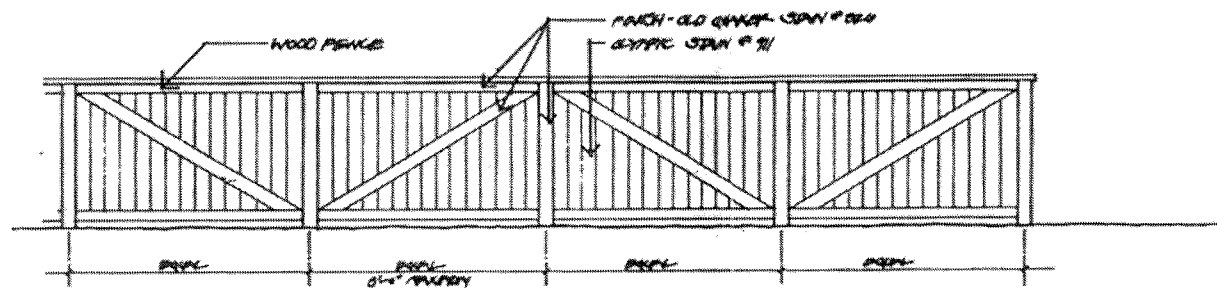
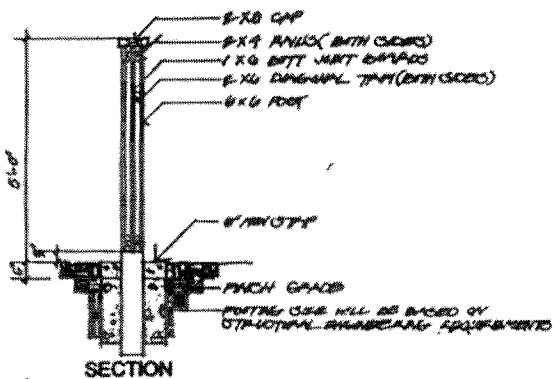
NOTE: FOR LAKE FENCING, SEE SECTIONS C.V. LAKE EDGE CONDITIONS (EXHIBITS 19 & 20).



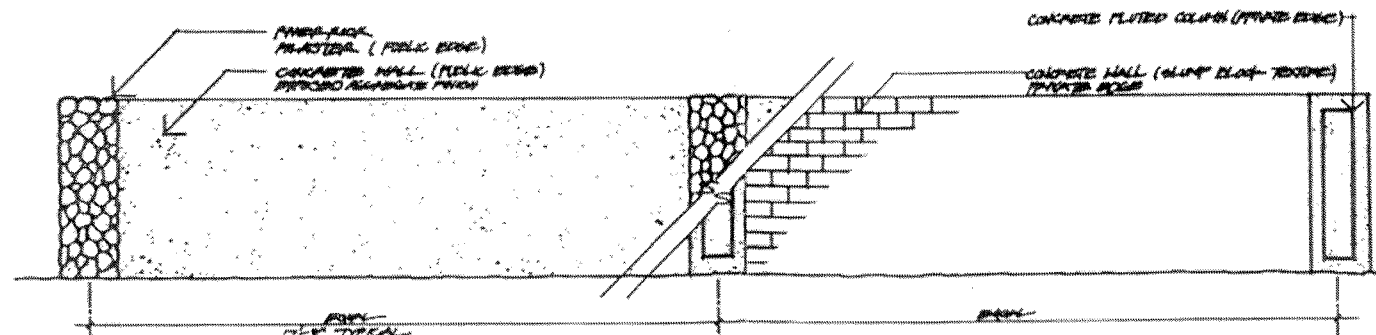
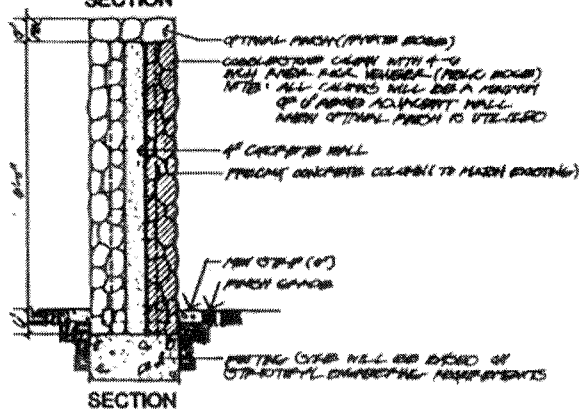
FENCING PLAN
Exhibit 26



A. THEME FENCE WITH PILASTER



B. THEME FENCE WITHOUT PILASTER



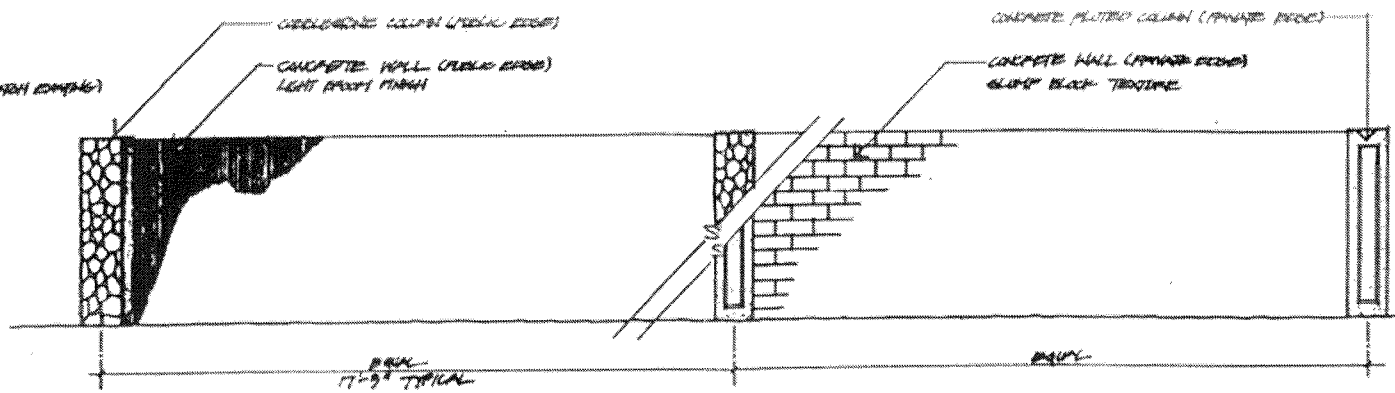
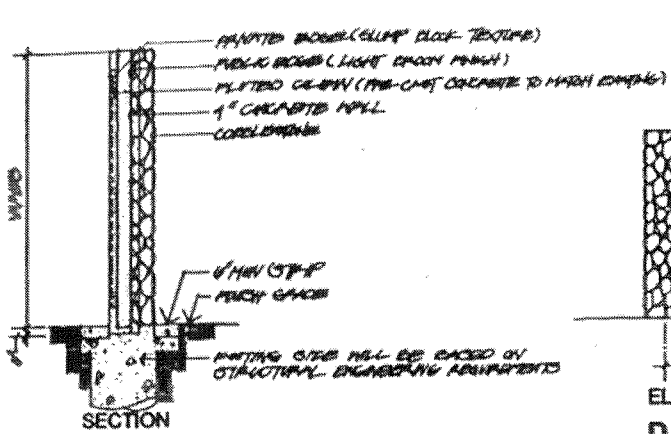
C. PRE-CAST PANEL WALL

NOTE : 1. ALL FENCES AND WALLS WITH COBBLSTONE PLASTERS TO END WITH A FULL COBBLSTONE PILASTER ALL AROUND

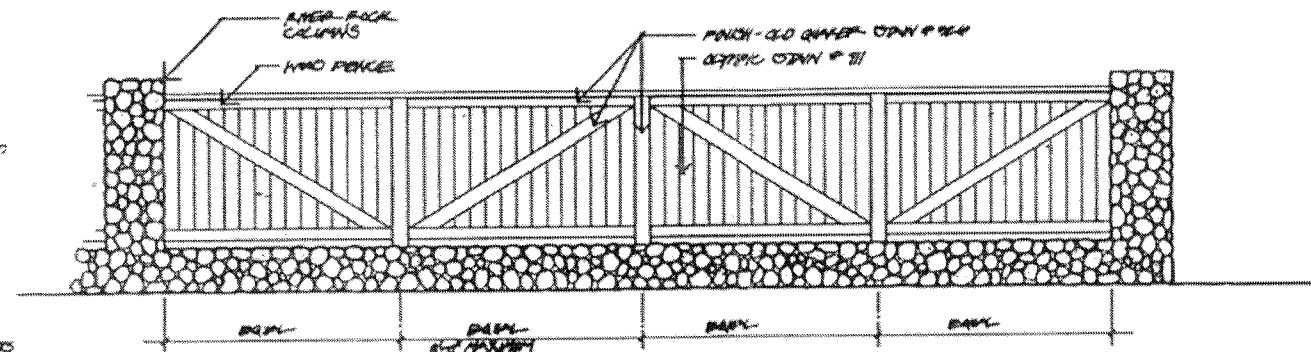
2. ALL FENCE PLOTTING WILL BE SUBMITTED AS SHOP DRAWINGS TO THE MASTER BUILDER FOR APPROVAL.

FENCING DETAILS

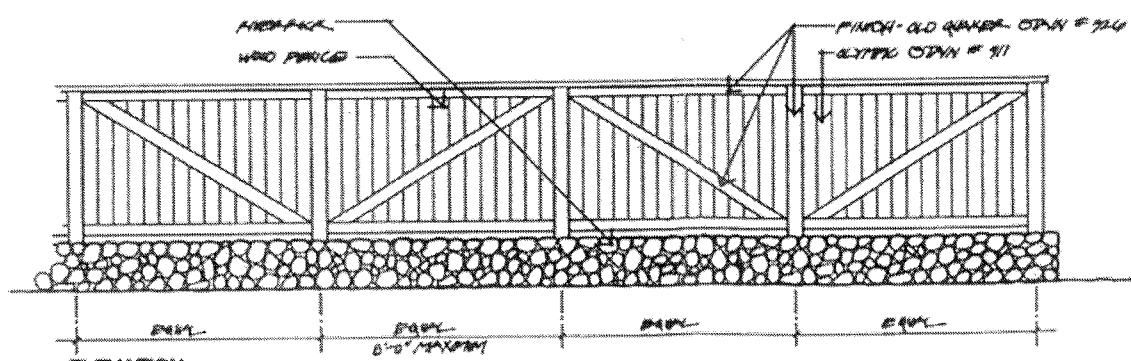
Exhibit 27



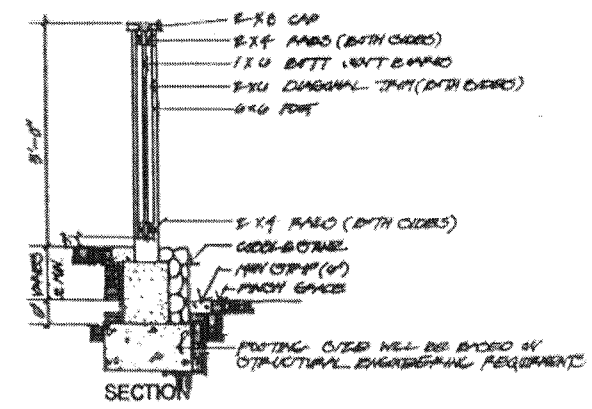
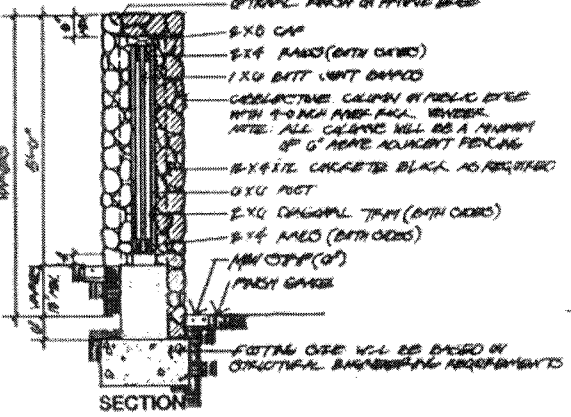
D. PRE-CAST PANEL WALL



E. THEME FENCE WITH PILASTER WITH RETAINING FOOTING

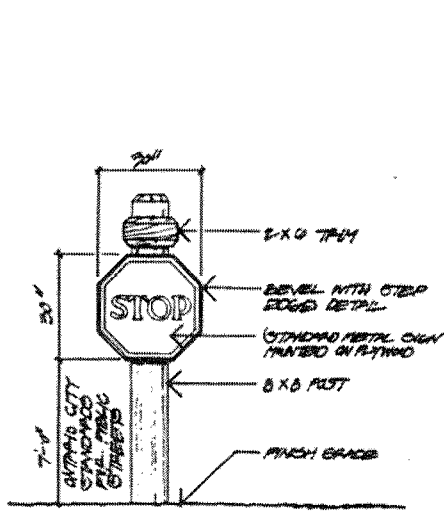


F. THEME FENCE WITHOUT PILASTER WITH RETAINING FOOTING

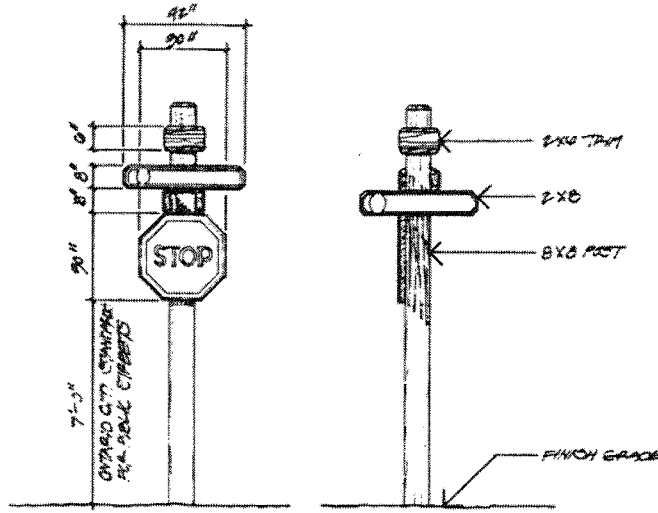


NOTE : 1. ALL FENCES AND WALLS WITH COBBLSTONE PILASTERS TO END WITH A FULL COBBLSTONE PILASTER ALL AROUND

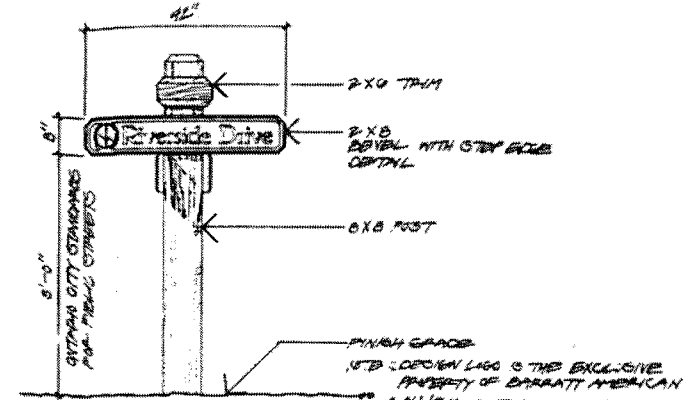
2. ALL FENCE PLOTTING WILL BE SUBMITTED AS SHOP DRAWINGS TO THE MASTER BUILDER FOR APPROVAL



TYPICAL STOP SIGN



TYPICAL STOP SIGN/STREET IDENTIFICATION SIGN



TYPICAL STREET IDENTIFICATION SIGN

SIGNAGE

DESIGNED BY SERVICE PLUS
200 EAST DIXIE AVE. SUITE P
GAINESVA, GA 771201602

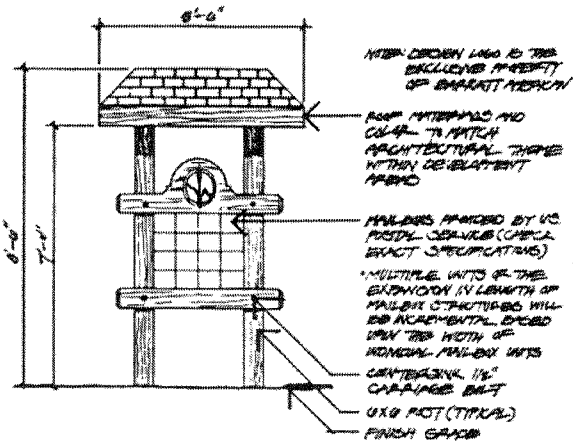
PAVED STREETS WILL BE IDENTIFIED
BY A GRAY TAG MARKED "PAVED"

NOTE : ALL SIGNAGE, MAILBOX, AND LIGHTING DETAILS,
INCLUDING MATERIALS AND FINISHES, WILL BE
SUBMITTED AS SHOP DRAWINGS TO THE
MASTER BUILDER FOR APPROVAL

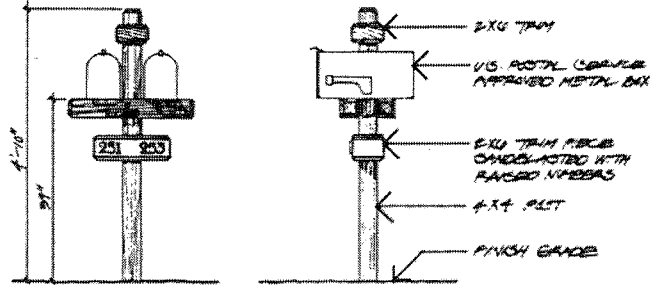
SIGNAGE / MAILBOX / LIGHTING DETAILS

Exhibit 29

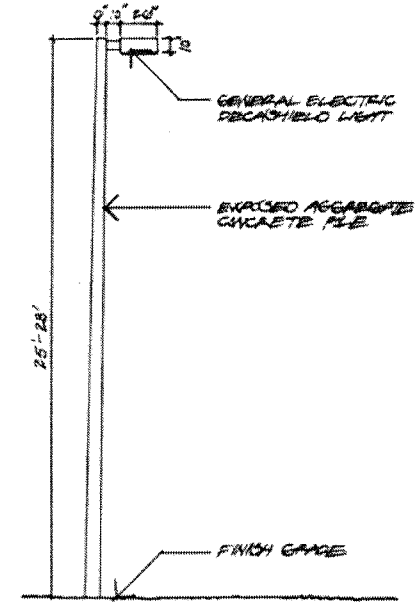
64 - b



TYPICAL SINGLE FAMILY ATTACHED RESIDENCE



TYPICAL SINGLE FAMILY DETACHED RESIDENCE



NOTE: ALL LIGHTING FIXTURES AND PILES TO MATCH EXISTING

MAILBOX

DESIGNED BY DDB CONSULTING
 150 EAST DYER AVE., SUITE 0
 SANTA ANA, CA 714/896 1663

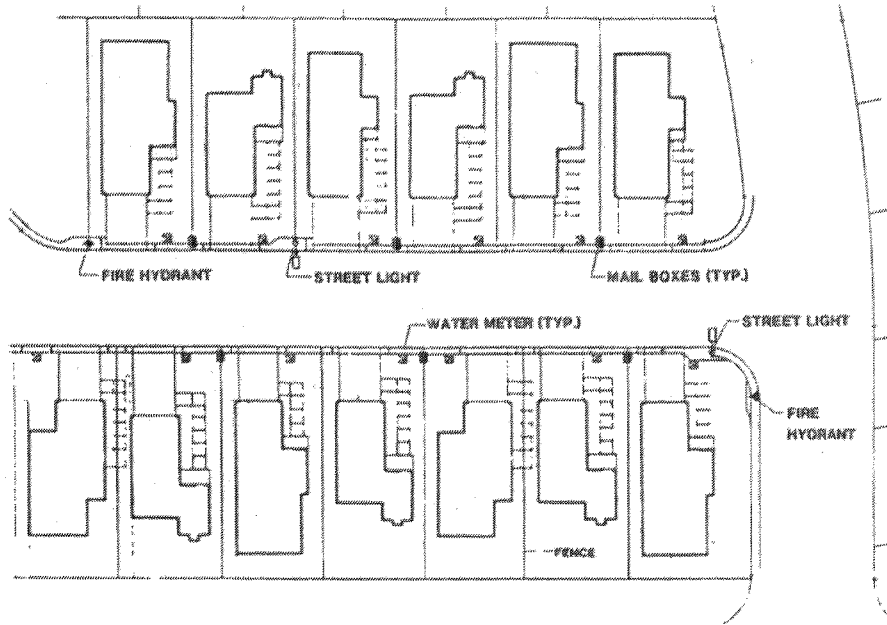
LIGHTING

(LOCATED ON PROJECT ENTRY PAVES, LOBBY PAVES, AND ALL PUBLIC (S.P.O. PAVES) WITHIN GUEST VILLAGES. LIGHTING WITHIN THE GUEST VILLAGES SHALL BE PER CITY STANDARD: AVERAGE PILE PRODUCTS:
 1-GI-25-PS OR EQUIVALENT
 1-GI-25-PA OR EQUIVALENT
 PER CITY STANDARD CITY LIGHTING

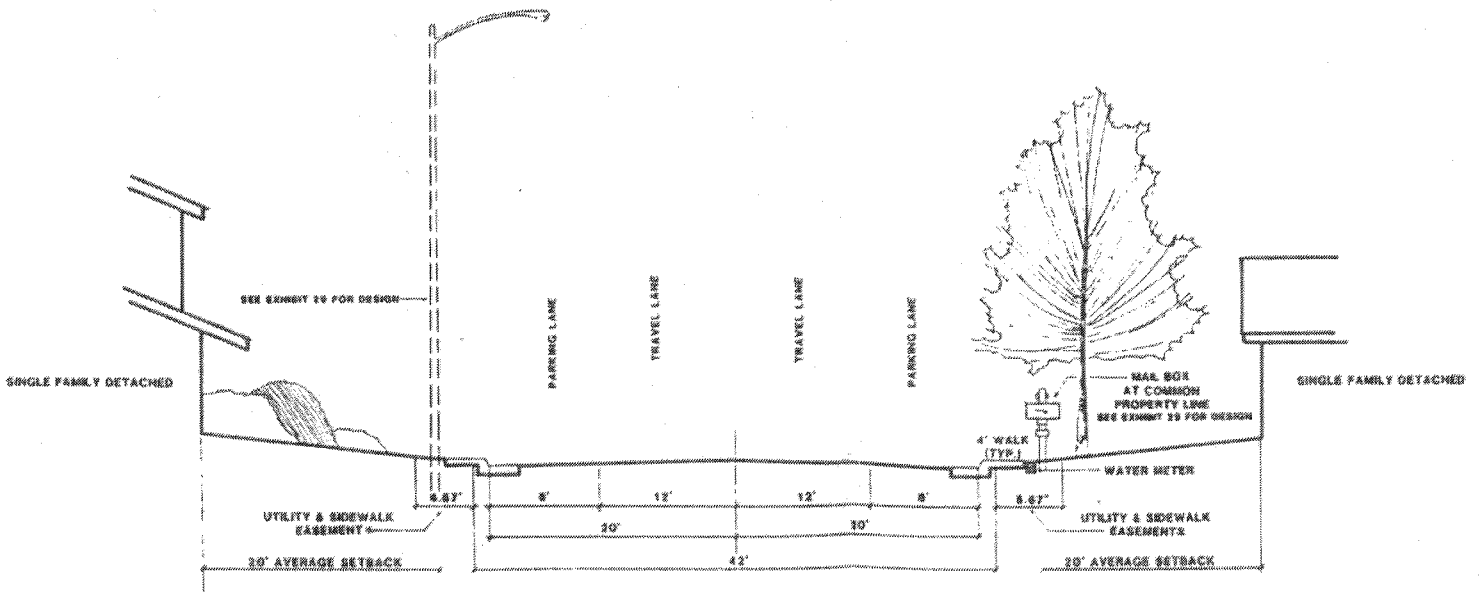
NOTE: ALL SIGNAGE, MAILBOX, AND LIGHTING DETAILS, INCLUDING MATERIALS AND FINISHES, WILL BE SUBMITTED AS SHOP DRAWINGS TO THE MASTER BUILDER FOR APPROVAL

SIGNAGE / MAILBOX / LIGHTING DETAILS

Exhibit 29



SIDEWALK SHALL BE MAINTAINED AS AN UNOBSTRUCTED PATH 4-FOOT IN WIDTH



* SEE MATRIX FOR MAINTENANCE RESPONSIBILITY

EXACT LOCATION DEPENDS ON SITING OF EACH INDIVIDUAL HOME

TYPICAL MAILBOX, LIGHTING & UTILITY PLACEMENT

Exhibit 30