



Countryside

Section 6. Design Guidelines

6.1 Preface

These design guidelines define the fundamental techniques needed to create a great neighborhood in Countryside. It is the integration of good site-planning techniques, well-defined architecture and attractive landscape architecture combined that creates a community of neighborhoods quality and character. The Design Guidelines include architecture and landscape criteria to implement the community of Countryside.

6.2 Vision Statement For Community

Vision for Countryside will be implemented by the following concepts:

1. To provide well-designed, safe and pleasant neighborhoods in which to live.
2. To provide a range of diverse housing types.
3. To provide exceptional architectural and landscape design.
4. To provide a new neighborhood that becomes part of the overall fabric of the existing, larger community.

6.3 Architectural Design Criteria

6.3.1 Core Criteria

The following architectural core criteria have been created to assist in developing architectural styles that are economically feasible to the builder, as well as aesthetically appealing to the homebuyer.

- The home, not the garage, will remain the primary emphasis of the front elevation.
- A variety of compatible architectural styles.

- A degree of individuality in the neighborhoods.
- Detailing will remain true to the style.
- Colors will be used to reinforce architectural style.
- Roof forms will play a major role in defining the architectural style.

6.3.2 Design Character

The design character of the neighborhoods will be one of continuity, individuality and compatibility. These concepts bring about welcoming neighborhood designs that are embraced by the greater community. The architectural styles selected for Countryside have a historic background and context in keeping with the character of Ontario.

6.3.3 Design Intent

These guidelines are not intended to be overly restrictive or limiting, but to be helpful in achieving neighborhoods with a higher level of quality living.

6.3.4 Authenticity

The design criteria within these guidelines is offered to prevent “false front” architecture. The massing and detail character of the architectural styles should be as authentic to the selected styles as possible. The master developer-designated styles are attractive and compatible with each other, while meeting the demands of modern-day, merchant-built homes.

6.4 Design Fundamentals

The important elements of a good neighborhood below are greatly encouraged throughout the community:

1. Architecture forward.
2. Varied garage placement.
3. Eclectic variety of compatible architectural styles.
4. Variable lot setbacks.
5. Enhanced side elevations at primary corners or from highly visible public viewing locations such as parks.
6. Varied floor plans and elevations in single-family detached residential homes should be incorporated as follows. When a side elevation of a home faces the street or is adjacent to a common public walkway, the elevation will be detailed with architectural enhancements. Reverse floor plans and elevations are considered as a separate floor plan and/or elevation for purposes of implementing the table below.
7. Street tree program.
8. Plotting techniques.
9. Pedestrian connections.
10. Color: over time, the addition and deletion of color schemes create a unique feel.

NUMBER OF DWELLING UNITS	NUMBER OF DIFFERING FLOOR PLANS AND ELEVATIONS
5-10	As required by Planning Commission
11-25	2
26-50	3
51-75	3
76-100	4
Over 100	4; +1 additional floor plan with 4 elevations for each additional 50 units exceeding 100



Countryside

6.5 Garage Treatments

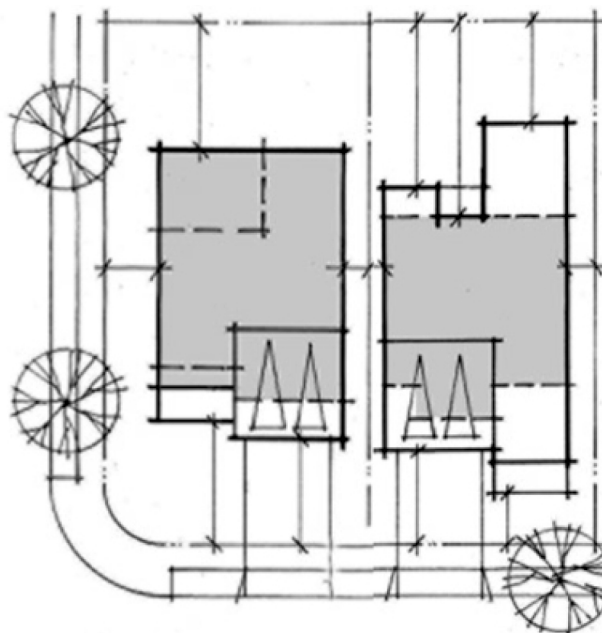
The home and front yard, rather than the garage, should be the primary emphasis of the front elevation. The number of homes with a front facing garages located forward of the porch or front building elevation plane should be limited to no more than 25% of the total number of units in each builder's plan package and shall be setback from the property line a minimum of 20-feet. It is the intent of the City to minimize garage visibility through techniques such as varying garage-door patterns and utilizing deep recessed door techniques, varying colors, splitting one large door into two single doors or using alternative garage configurations, such as corner garages, and full recess garages. Garage doors should match the style of the house.

6.5.1 Garage Wall-Plane Furr-out

Furr-out garage wall plane 12" to 18" for front loaded street facing garages when the garage door is at the minimum setback. No more than 25% of the homes plotted shall use this solution. With other garage configurations a range of 6" to 12" is recommended.

6.5.2 Porte-Cochère

A recessed garage plan with a porte-cochère creates an additional screened parking space and an occasional outdoor private space.



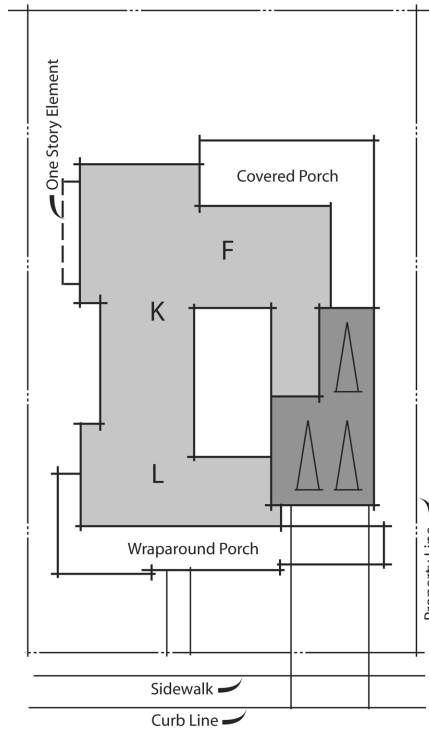
Garage Plotting Offsets

6.5.3 Three-Car Garage Treatment

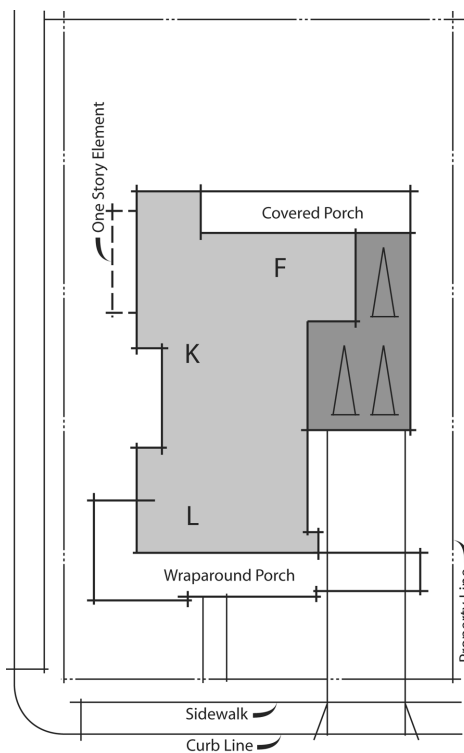
When a plan has a three-car garage, the third car bay shall be offset 5'. Additionally, furr-out garage face wall at three bays at least 12". Three individual garage door bays are preferred over two. Front garage wall face cannot exceed 50% of the entire front façade of the home.

6.5.4 Garage Plotting Offsets

When houses are reversed plotted and the garages are adjacent to each other, a 2' offset between garage setbacks as illustrated in the diagram to the right.



Shallow-recess Garages



Mid-recess Garages

6.6 Garage Configurations

6.6.1 Shallow-recess Garages

When garages are less than 20' behind property line, no garage face can be less than 3' behind the front building elevation plane or full porch (porch depth minimum is 7'-0").

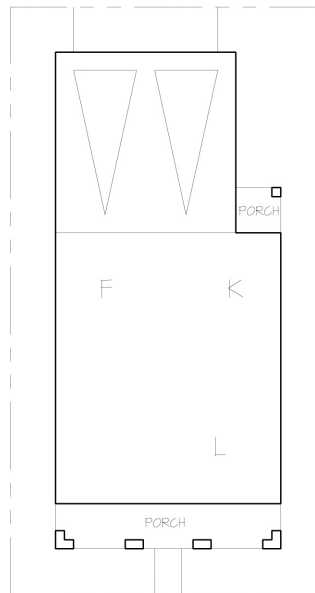
6.6.2 Mid-recess Garages

Create plans that place garage at varied locations on the homesite.



6.6.3 Rear Loaded Garages

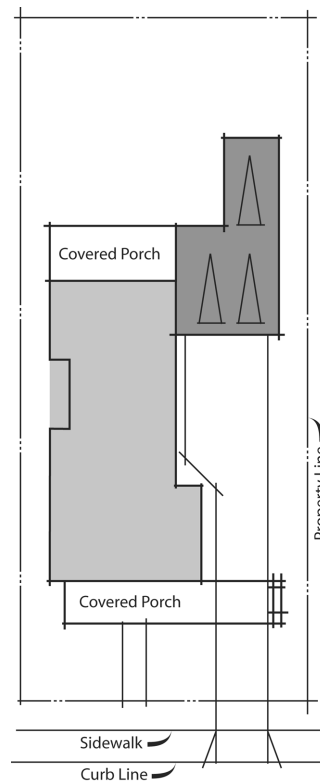
Garages served by an alley at the rear of a residential unit creates a more traditional streetscene with garage placement behind the building hidden from the street. Garage doors on rear loaded garages should be recessed a minimum of 8 inches.



Rear Loaded Garages

6.6.4 Deep-recess Garages

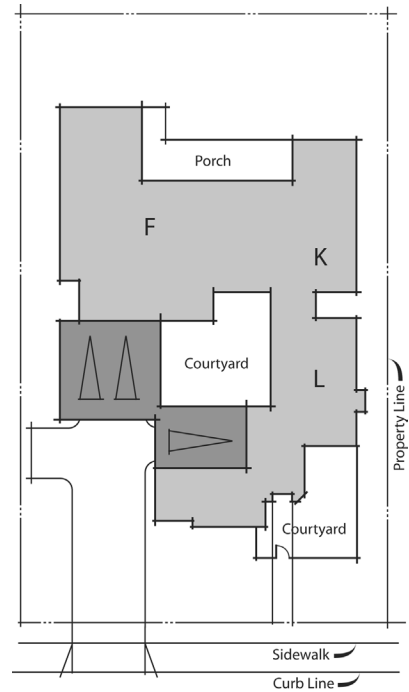
Set the garage back to the rear of the lot or detached. This achieves more living space toward the street and creates additional usable sideyard outdoor space.



Deep-recess Garages

6.6.5 Side On Garages

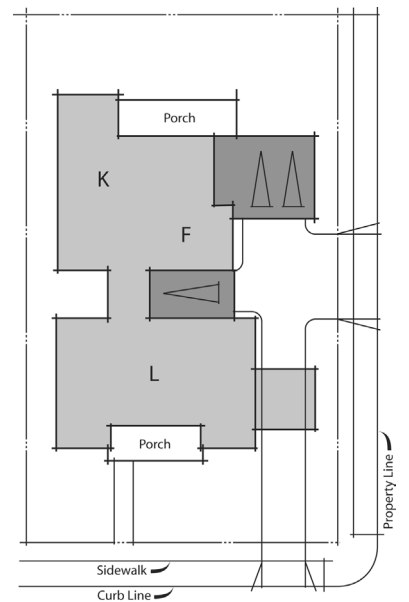
Side On garages greatly reduce the impact of the garages on the streetscape. Side On garages are prohibited on homesites less than 53-feet wide and cannot be accessed from the side on corner lots.



Side On Garages

6.6.6 Corner-Lot Garages

This corner-lot garage treatment can be derived from a plan layout where only the garage changes from an interior-lot plan to a corner-lot plan. This allows for substantial street scene variation while the architecture wraps the exterior lot frontage.



Corner-Lot Garages



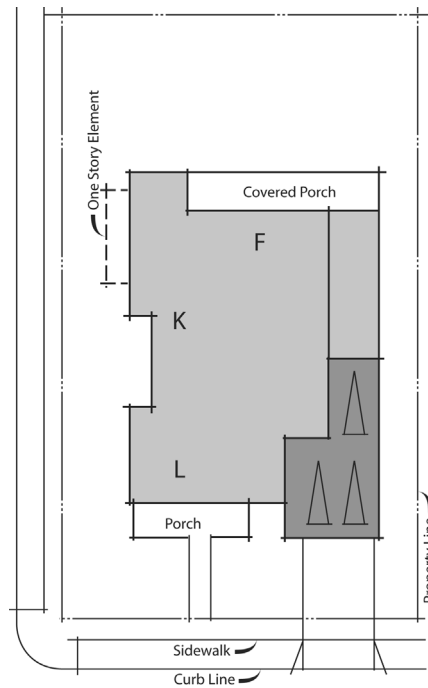
6.6.7 Forward Facing Garages

When garages are forward of the porch or front facing building elevation, a minimum driveway length of 20-feet shall be maintained from back of sidewalk (property line) to face of garage door. This configuration should be enhanced with front yard garden walls that begin at the back of the sidewalk.

6.7 Setback Fundamentals

To provide more interesting neighborhood streetscenes, variable front-yard setbacks are required and variable side yard setbacks are encouraged.

- Varied setbacks along streets
- Reverse plotting along streets
- Enhanced corner sideyard setbacks - see Product Criteria for more specific information
- Variable lot width programs are encouraged
- Corner lot criteria - see Architectural Massing below for more information



Forward Facing Garages

6.8 Architectural Massing

6.8.1 Corner Homesite Placement

At least one home plan per neighborhood shall be designed specifically for corner homesites or side-on condition homesites. This home shall require wrap-around architecture on the side facing the street.

Neighborhood quality will be exemplified by adding a home plan designed specifically as an end of the block home, or by enhancing a corner home with additional architectural details as found on the front elevation.

6.8.2 Roof Forms

Rows of homes seen from a distance or along arterial roads are perceived by their contrast against the skyline or background, where the dominant impact is the shape of the building and roof line. Rear elevations and roof planes should be articulated to minimize the visual impact of repetitious flat planes, and similar building silhouettes. Varied rear elevation forms should be provided.

6.9 Streetscape Massing and Plotting

Special architectural treatments (i.e.: feature-entry location, feature-window detail, etc.) shall be provided at street corners and other important focal points.

Front doors and living-room windows shall orient toward and be visible from the street.

Buildings shall be designed to create varied setbacks or offsets.

The architectural style chosen for each home or building should be compatible with its massing in order to avoid making the style seem applied or superficial. Authenticity to style is required.

Embellished elevations (upgraded materials, details, massing, etc.) are encouraged at areas of the building that face a public area or view such as a street or park. This applies to the front, side and rear elevations.

6.10 Colors And Materials

The colors and materials used at Countryside will reflect a general contextual theme of harmony and neighborhood character. The architectural style will contribute to this goal as each color palette

chosen for each architectural style historic lineage shares this “common sense” approach to the use of materials and colors indigenous to the region. New interpretations of these classic combinations of materials and inherent colors are encouraged as they relate to a general feeling of neighborhood unity.

6.10.1 Criteria

A variety of natural-looking materials and colors will provide the diversity required for visual interest while unifying the homes with their settings and creating a timeless appeal. The primary purpose of the architectural color palette selection is to avoid monotony and provide a variety of color schemes while still maintaining a common theme or unifying concept.

1. Each color scheme shall incorporate a minimum of three colors (or example, one body color, one trim color and one accent colors).
2. Each neighborhood shall have a minimum of three different roofing colors consistent with the architectural style of the home.
3. Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors.
4. No adjacent single-family detached home shall have the same color scheme. Color palettes that reflect traditional architectural themes are the basis for successful modern interpretations. Current color trends integrated within a historically-referenced framework create dynamic, yet timeless color combinations.

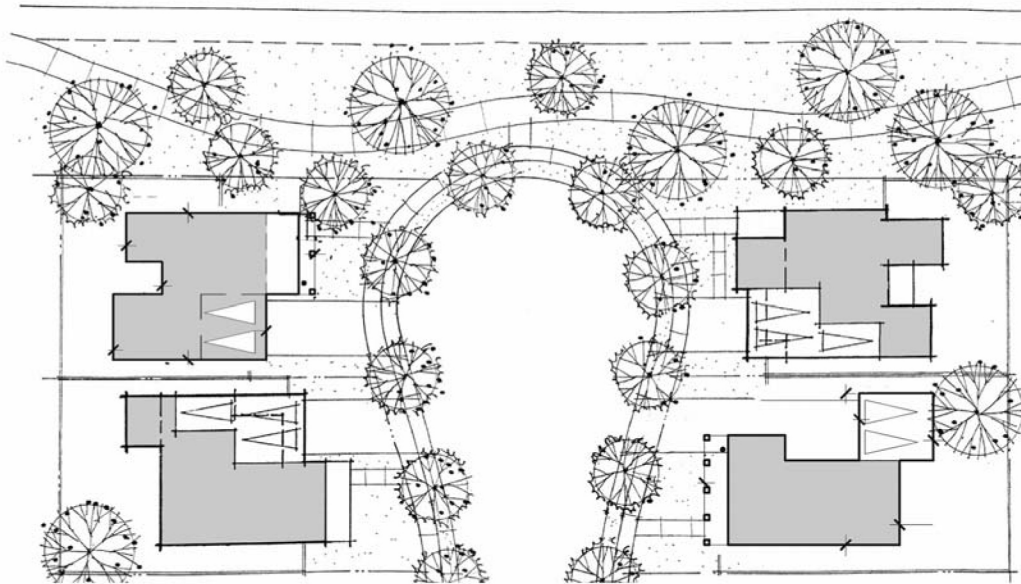
6.11 Motorcourts

Motorcourts within Single Family Detached Cluster product areas shall be enhanced with decorative paving to create a pedestrian friendly travel area for access to rear units.

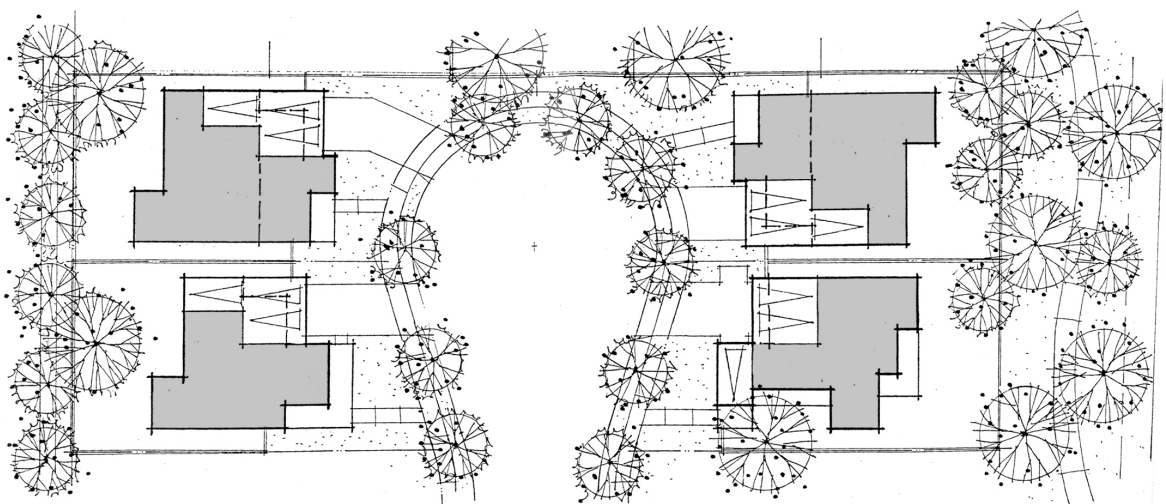


Countryside

6.11 Product Setback Diagrams and Demonstration Plotting



Cul-de-sac
55' X 100' Product

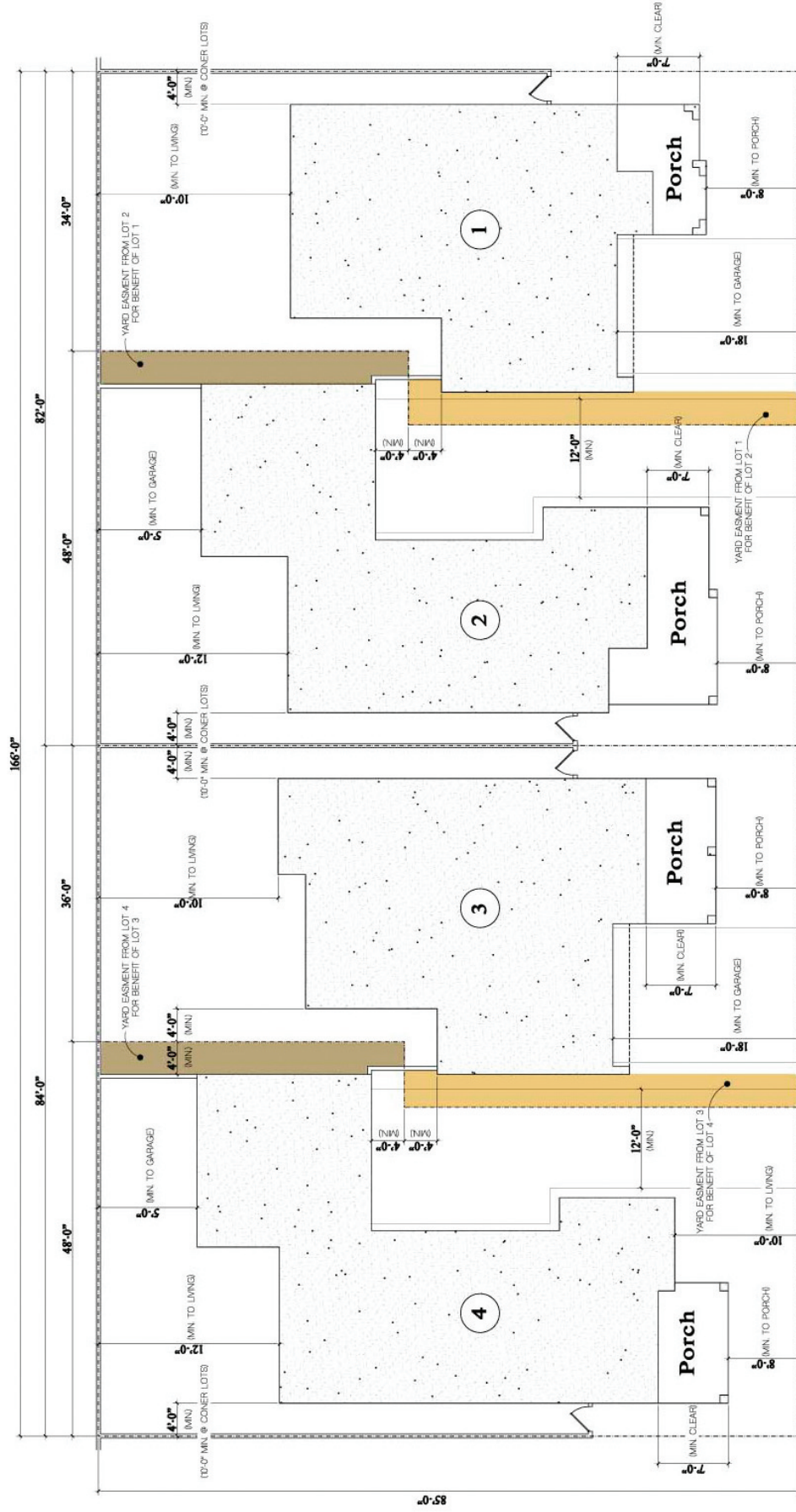


Cul-de-sac
60' X 100' Product

Section 6. DESIGN GUIDELINES



CountrySide



Z-Lot Typical Plotting

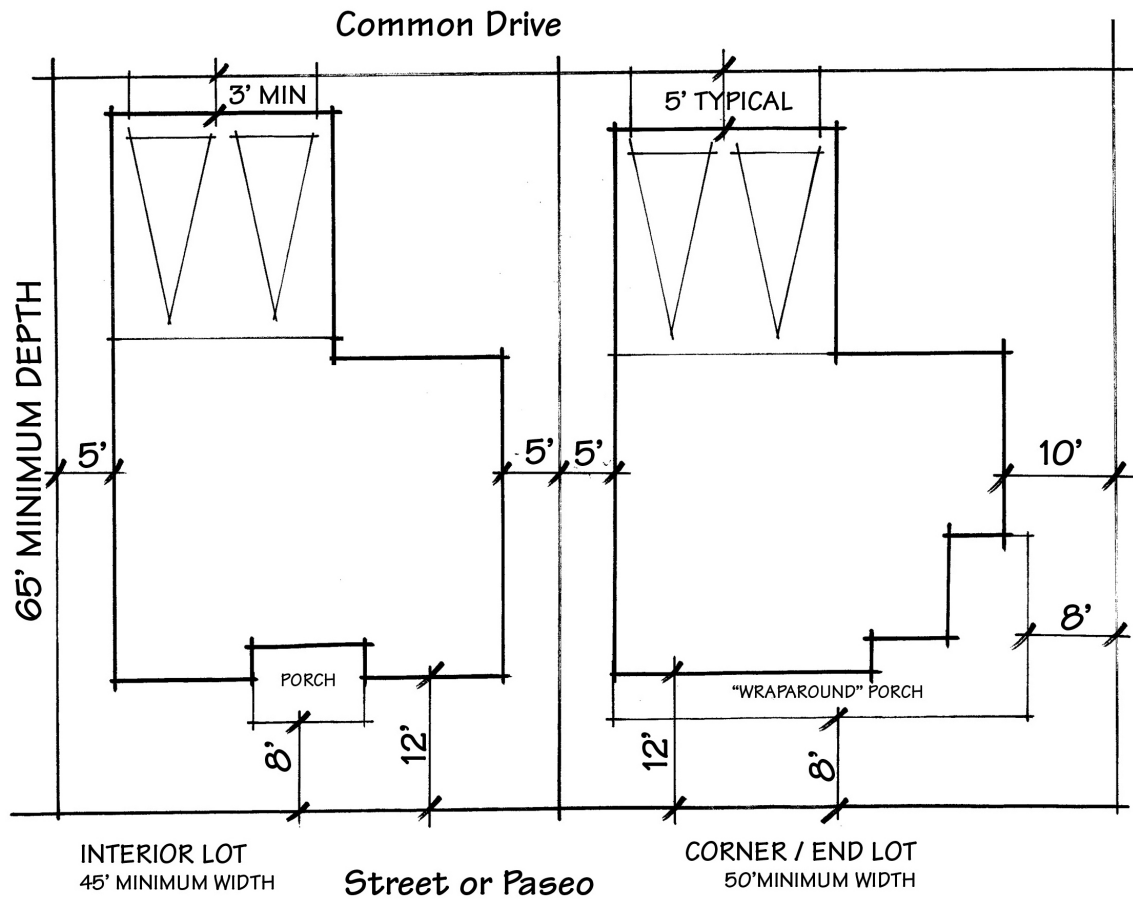
Section 6. DESIGN GUIDELINES



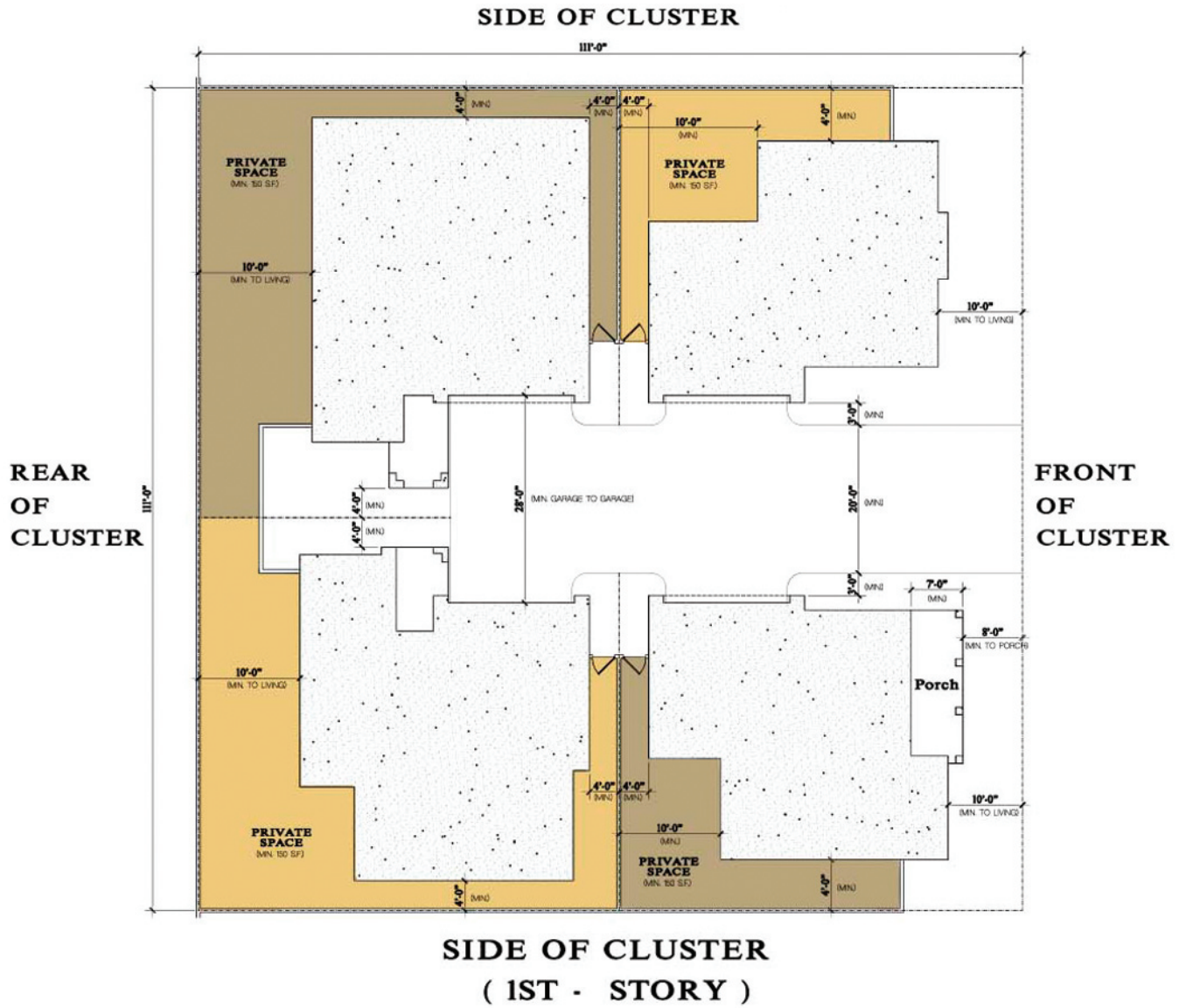
Countryside



Axonometric Z-Lot



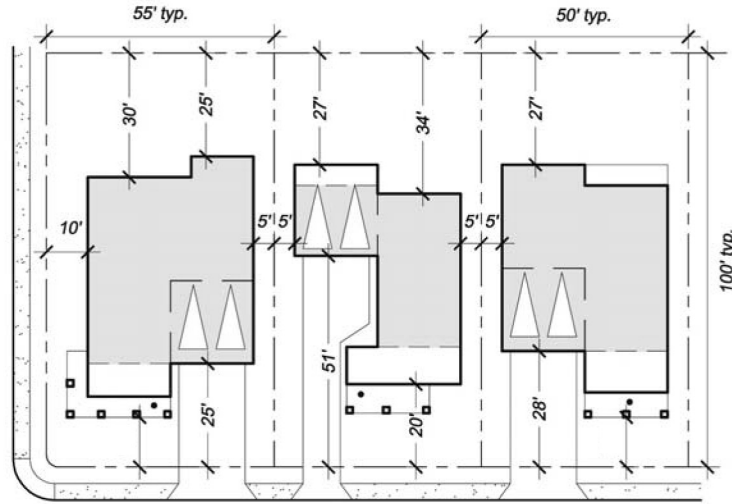
Alley Loaded Typical Plotting



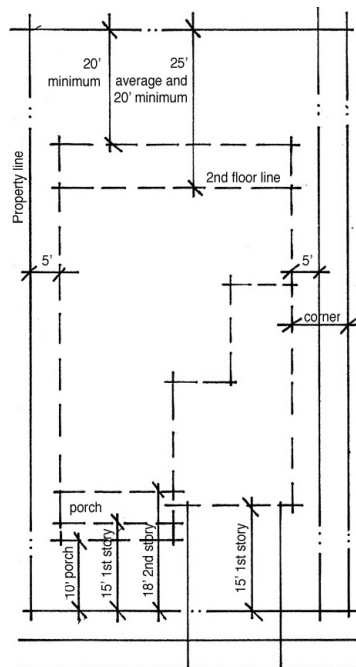
Cluster Court SFD



Axonometric Cluster

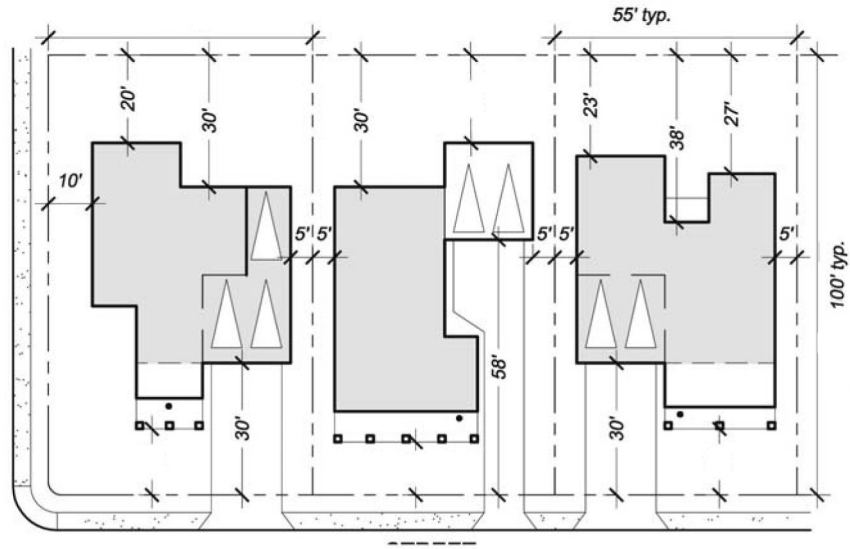


Demonstration Plotting Per Development Standards

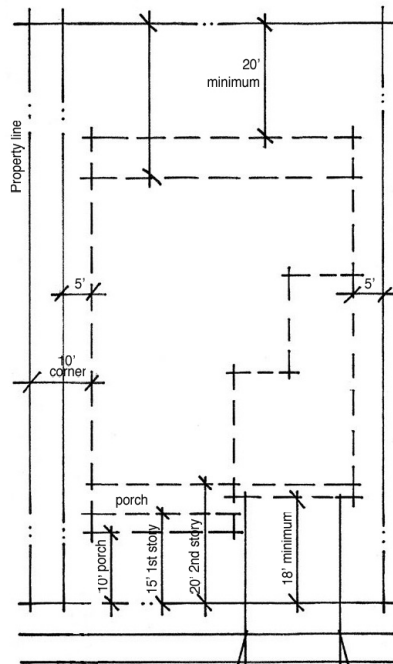


Setback Criteria Diagram Per Development Standards

5000' SF Lots

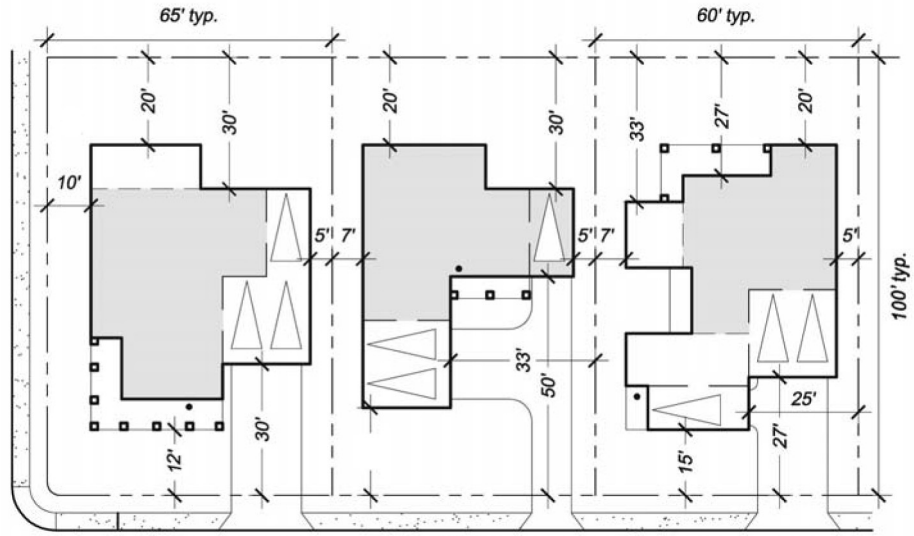


Demonstration Plotting

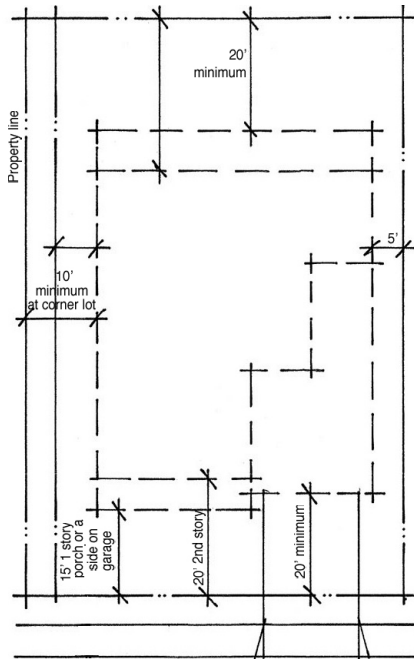


Setback Criteria Diagram

5500' SF Lots



Demonstration Plotting



Setback Criteria Diagram Per Development Standards

6000' SF Lots

6.12 Architectural Styles

6.12.1 Introduction

The style matrices developed on the following pages will provide the builder and their design consultants the tools to create architectural designs appropriate and authentic to each style without using architectural gimmicks or sacrificing the integrity of an architectural style or the implied historical heritage. Each master developer-designated architectural style is defined by elements that are defined as “Common Features” that typically characterize each architectural style.



American Farmhouse



Colonial



Monterey



Craftsman



Spanish



Countryside

6.12.2 American Farmhouse

Some identifying features of this style are large porches and exterior surfaces covered with board and batten, clapboard or stucco.



Elements	Common Features
Form	<ul style="list-style-type: none"> • Simple plan form massing and simple roof
Roof	<ul style="list-style-type: none"> • 6:12 to 9:12 roof pitch • Front-to-back or side to side main gable roof • Architectural-quality asphalt shingles or smooth, flat concrete tiles • 12" to 18" overhangs
Walls	<ul style="list-style-type: none"> • Light to medium sand-finish stucco or blended siding and stucco • Use of board-and-batten in selected areas
Windows	<ul style="list-style-type: none"> • Vertical, multi-lite windows at front elevations and in high-visibility, public-view areas • Single-paned windows on sides and rear elevations • White vinyl frame windows
Details	<ul style="list-style-type: none"> • Porches with simple wood columns or wood railings • Stucco finish or horizontal siding-wrapped chimney • Min. 2" x 4" wood appearance window and door trim.
Colors	<ul style="list-style-type: none"> • White or dark field colors • Light earth-tone bodies with contrasting cool or warm trims • White or dark-color accent trims



Historical Example



Contemporary Example



Window Accents appropriate to Style



Post-and-Rail Porch



Countryside

6.12.3 Colonial

Some identifying features of this style are slender columns with restrained capitals, clapboard siding, porticos, and bay windows.



Elements	Common Features
Form	<ul style="list-style-type: none"> • Simple plan form massing and simple roof
Roof	<ul style="list-style-type: none"> • 6:12 to 12:12 roof pitch • 12” to 24 inch overhangs • Front-to-back dominant gable roof • Architectural-quality asphalt shingles or smooth, flat, concrete tiles • Front-to-back dominant gable roof with multiple intersecting gable roofs
Walls	<ul style="list-style-type: none"> • Light sand-finish stucco or blended siding and stucco • Horizontal siding or smooth-finish stucco
Windows	<ul style="list-style-type: none"> • Vertical multi-lite windows at front elevations and in high-visibility, public-view areas • Single-paned windows on sides and rear elevations • Min. 2” x 4” wood appearance window and door trim • White vinyl frame windows • Style driven windows and door trim surrounds • Single-hung windows wherever feasible
Details	<ul style="list-style-type: none"> • Enhanced entries with simply-trimmed wood columns • Stucco-finish or horizontal-siding wrapped chimney • Shutters • Classical wood columns • Cornice gable-end trim • Full porches with wood railings • Round attic vents • Brick accents • Shutters & layered header trim at front elevation • Brick veneer wainscot • Brick chimney wrap • Decorative, round attic vents • Brick accents and wainscot at first floor
Colors	<ul style="list-style-type: none"> • Pastels to cool colors with white trims • Dark-color shutters • White trim & fascias



Historical Example



Contemporary Example



Colonial Form and Details



Forward-Facing Gable



CountrySide

6.12.4 Craftsman

Some identifying features of this style are wide-gabled roofs, bricks or stone used on foundations, chimneys and railings, earth-tone colors and heavy beams.



Elements	Common Features
Form	<ul style="list-style-type: none"> • Simple, two-story, boxed massing with vertical and horizontal breaks • Varied plan shapes
Roof	<ul style="list-style-type: none"> • 3.5:12 to 4.5:12 roof pitch • Architectural-quality asphalt shingles; flat, concrete tiles • Basic side-to-side or front-to-back gable roof with cross gables • Varied porch roofs – shed or gabled • 18” to 36” overhangs
Walls	<ul style="list-style-type: none"> • Blended siding and stucco • Light to medium sand-finish • Smooth-finish stucco with stone veneer-base accent or plain-texture shingle siding • Battered wall accents
Windows	<ul style="list-style-type: none"> • Vertically-hung, upper-mullioned windows at front elevation and in high-visibility areas • Often ganged in pairs • Single-pane windows at sides and rears • Single-hung windows at front elevation where feasible
Details	<ul style="list-style-type: none"> • Entry porches with heavy, square (or battered) columns or posts on stone piers • Arts and Crafts-style lighting fixtures • Shaped-wood appearance header trim at windows and doors • Simple knee braces • Outlookers • Styled columns • Battered columns • Blended stone-and-brick chimney • Layered wood trims at doors and windows • Stone-and-brick accents • Open eave overhangs with shaped roof rafter tails • Decorative ridge beams and purlins • Triangular knee braces
Colors	<ul style="list-style-type: none"> • Light, earth-tone colors • Dark accents • Deep earth tones



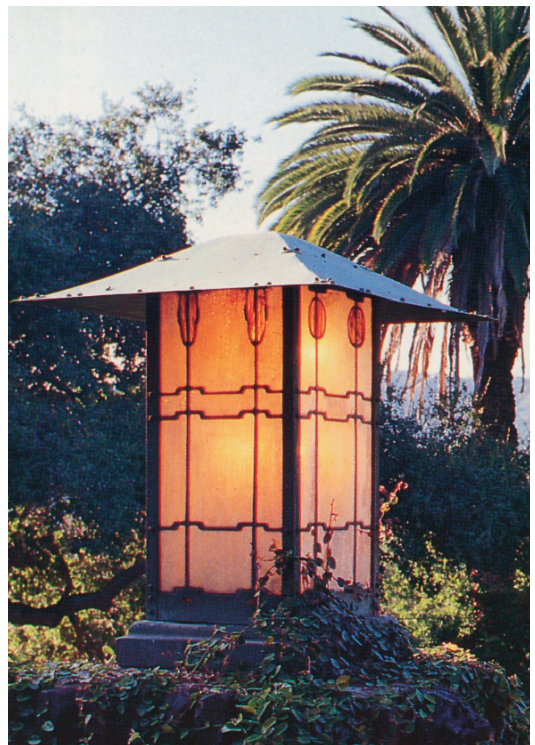
Historical Example



Contemporary Example



Typical Column Detailing appropriate to Style



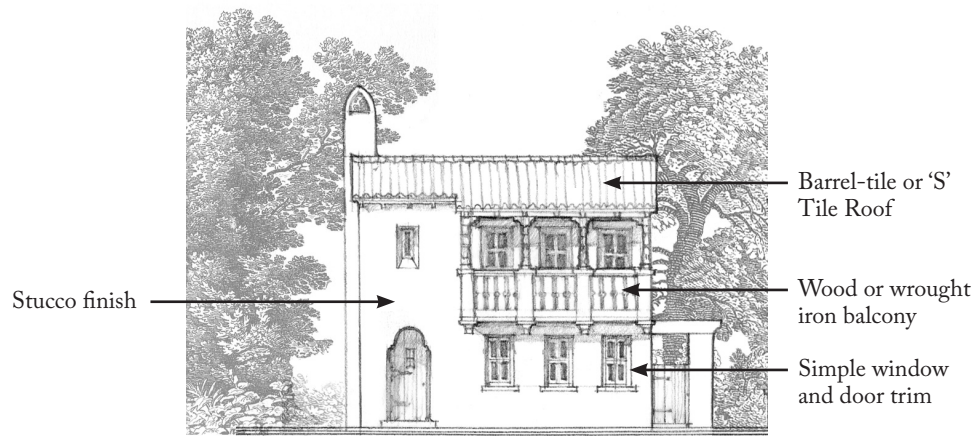
Enhanced Exterior Lighting Detail appropriate to Style



Countryside

6.12.5 Monterey

This style is a fusion of Spanish details and Colonial form. Some identifying features are low-pitched gable roofs with second-story balconies that are usually cantilevered and covered by a principle roof.



Elements	Common Features
Form	<ul style="list-style-type: none"> • Simple-box plan form and/or with one-story break
Roof	<ul style="list-style-type: none"> • Main front-to-back gable roof at 4:12 to 7:12 and shed-roof break over balcony at 3.5 to 4.5:12 roof pitch • 12” to 24” overhangs • Barrel- or ‘S’-tile roofs
Walls	<ul style="list-style-type: none"> • Light sand finish • Vertical siding accents at upper or lower story • Smooth-finish stucco
Windows	<ul style="list-style-type: none"> • Simplified Colonial-style window-and-door trim • Single-pane windows at sides and rears • White or colored vinyl frame windows • Decorative door and window trim
Details	<ul style="list-style-type: none"> • Wrought iron or wood balcony and railing • Simple chimney top treatment • Round-tile attic vents • Shutters
Colors	<ul style="list-style-type: none"> • Whites and painted brick • White or dark-brown trims, balconies



Historical Example



Contemporary Example



Balcony Detailing appropriate to Style



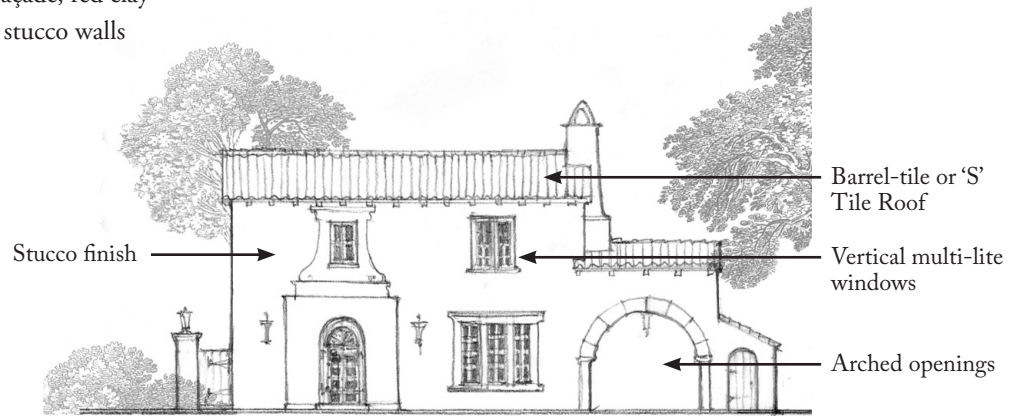
Window and Shutter Detail



Countryside

6.12.6 Spanish

Some identifying features of this style are large distinctive (sometimes arched) windows on the front façade, red clay roofs and light colored stucco walls



Elements	Common Features
Form	<ul style="list-style-type: none"> • Two-story massing with strong one-story element • Simply-articulated, two-story boxed plan massing
Roof	<ul style="list-style-type: none"> • 4:12 to 5:12 roof pitch • 12” to 18” overhang or tight rake • Barrel- or ‘S’-shape concrete tiles • Shed roof over porch • Simple hip or gabled roof with one intersecting gable
Walls	<ul style="list-style-type: none"> • Light sand-finish or light lace-finish stucco • Smooth-finish stucco
Windows	<ul style="list-style-type: none"> • Vertically-hung nine- and twelve-paned windows at front elevation and in high-visibility areas • Often ganged in pairs • Single-pane windows at sides and rears • White or color, vinyl-clad windows • Recessed, arched, feature window, door entrance • Wood or precast columns & posts • White or color vinyl frame windows
Details	<ul style="list-style-type: none"> • Stucco-over-foam window and door trim • Arched stucco entry elements • Balconies and accent details • Exposed rafter tails at feature areas • Entry-door design to complement style
Colors	<ul style="list-style-type: none"> • White-tone body with bright-accent trim • Dark-brown trims



Historical Example



Contemporary Example



Simple Covered Entry with Arched Columns appropriate to Style



Entry Form, Window Type and Pot Shelf



Countryside

6.13 Design Guidelines For Landscape Architectural Character

The following design guidelines have been developed and organized to help define the basic landscape design principles for the Countryside Specific Plan. Careful attention has been given to creating an appropriate and appealing landscape architectural design, which will compliment and enhance the overall character of the Countryside Community. Observing these guidelines will help to assure the “design vision,” and integrity, of this planned community.

All landscape plans, streetscape plans, and graphic designs with regard to community identity, neighborhood identity, or entry monumentation shall conform to the guidelines as set forth herein, and will be subject to review and approval by the City of Ontario.

6.14 Perimeter Streetscape Design

Streetscape design guidelines establish a hierarchy for the landscape development along the surrounding roadways, as well as establishing a framework for consistency of design within the community. Four major arterial roadways surround the Countryside Specific Plan area: Archibald Avenue to the East, Riverside Avenue to the North, Schaefer Avenue to the South, with Chino Avenue, running East/West, bisecting the Countryside Specific Plan Area. Landscape easements associated with these roadways have been defined, as noted in the City of Ontario New Model Colony General Plan Amendment.

Landscape development surrounding this community will help to set the character, while maintaining consistency with the City of Ontario’s

pedestrian pathway system illustrated in the Trails and Bikeways section of the New Model Colony General Plan Amendment.

6.15 Archibald Avenue

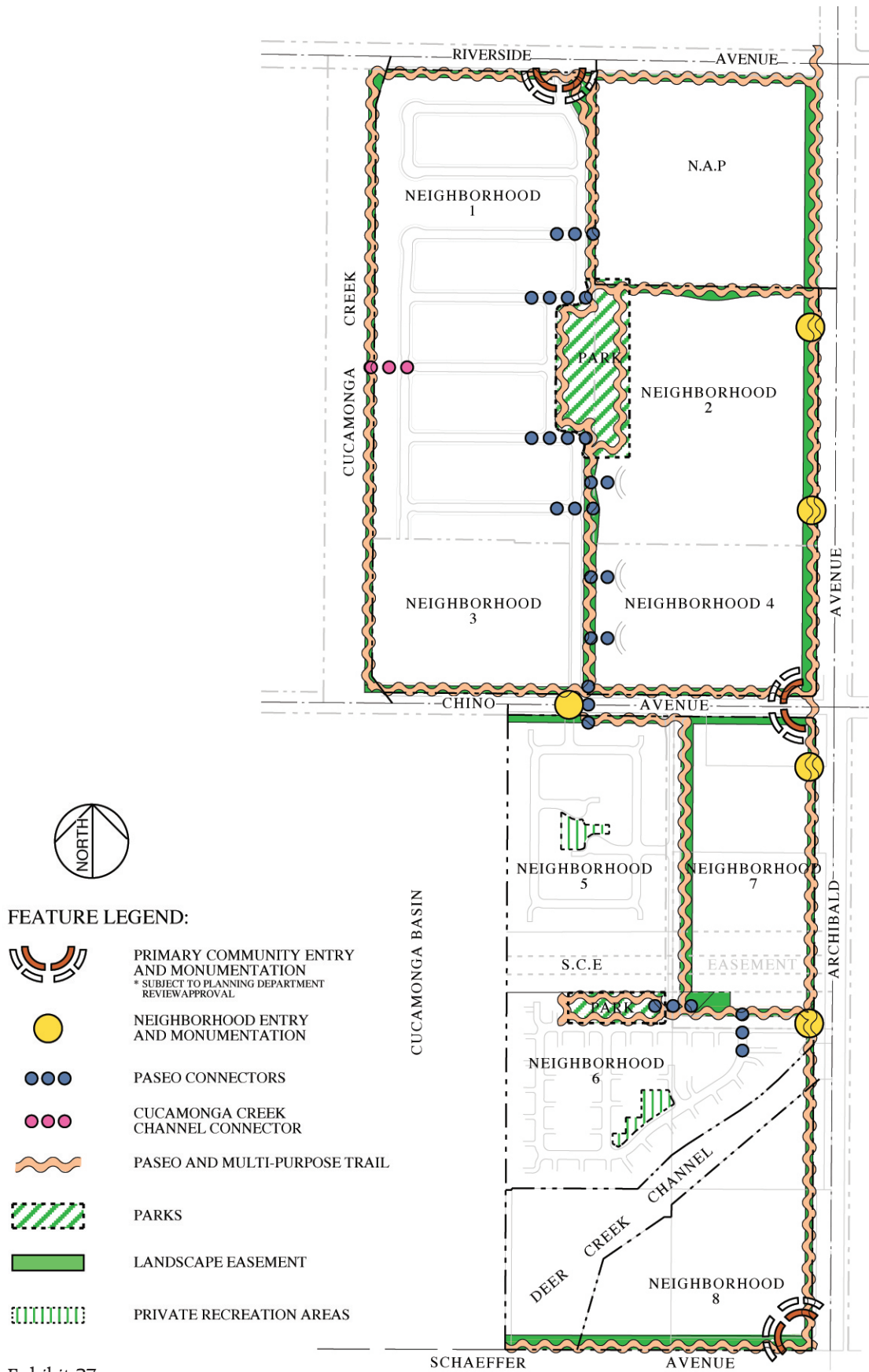
Archibald Avenue streetscape shall include the following as illustrated on Exhibit 27, “Conceptual Landscape Plan, and Exhibit 28, “ Archibald Avenue Street Sections.”

- A 27-foot wide landscaped parkway with a single row of street trees per the City of Ontario Street Tree Master Plan.
- An 8-foot wide bikeway/pedestrian path along the west side of the street.
- A 5-foot wide meandering sidewalk.
- An additional 19-foot wide landscaped buffer with a single row of street trees per the City of Ontario Street Tree Master Plan.
- A 14-foot wide landscaped median.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in the Conceptual Landscape Master Plan, Exhibit 27, “Conceptual Landscape Master Plan.”

6.16 Riverside Drive and Schaefer Avenue

Riverside Drive & Schaefer Avenue streetscape shall include the following as illustrated on Exhibit 27, “Conceptual Landscape Master Plan” and Exhibits 29 “ Riverside Drive Street Section” and Exhibit 30, “Schaefer Avenue Street Section.”

- A 12-foot wide landscaped parkway with a single row of street trees per the City of Ontario Street Tree Master Plan along both sides of the street.

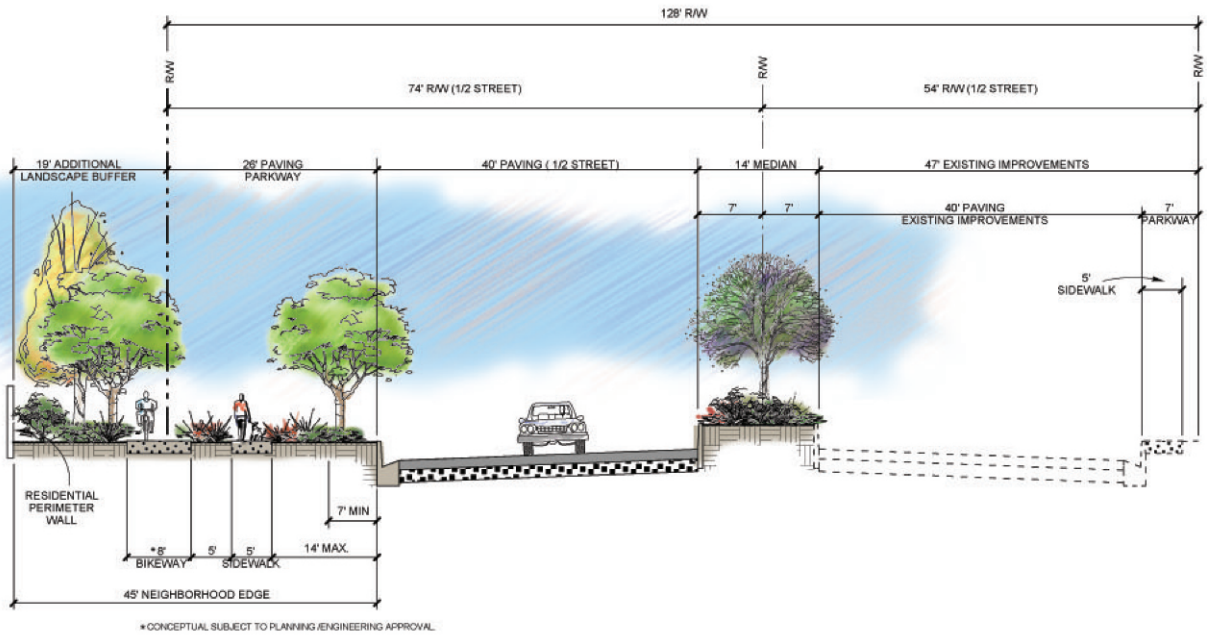


FEATURE LEGEND:

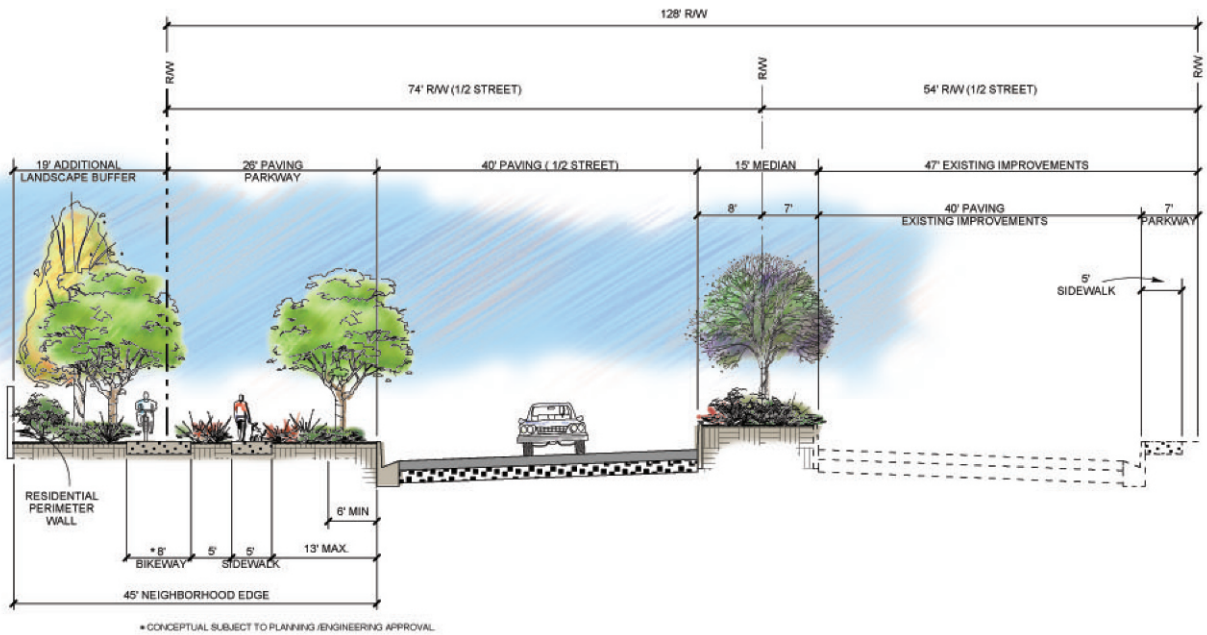
-  PRIMARY COMMUNITY ENTRY AND MONUMENTATION
* SUBJECT TO PLANNING DEPARTMENT REVIEW/ APPROVAL
-  NEIGHBORHOOD ENTRY AND MONUMENTATION
-  PASEO CONNECTORS
-  CUCAMONGA CREEK CHANNEL CONNECTOR
-  PASEO AND MULTI-PURPOSE TRAIL
-  PARKS
-  LANDSCAPE EASEMENT
-  PRIVATE RECREATION AREAS

Exhibit 27

Conceptual Landscape Master Plan



Riverside Drive to Chino Avenue



Chino Avenue to Schaefer Avenue

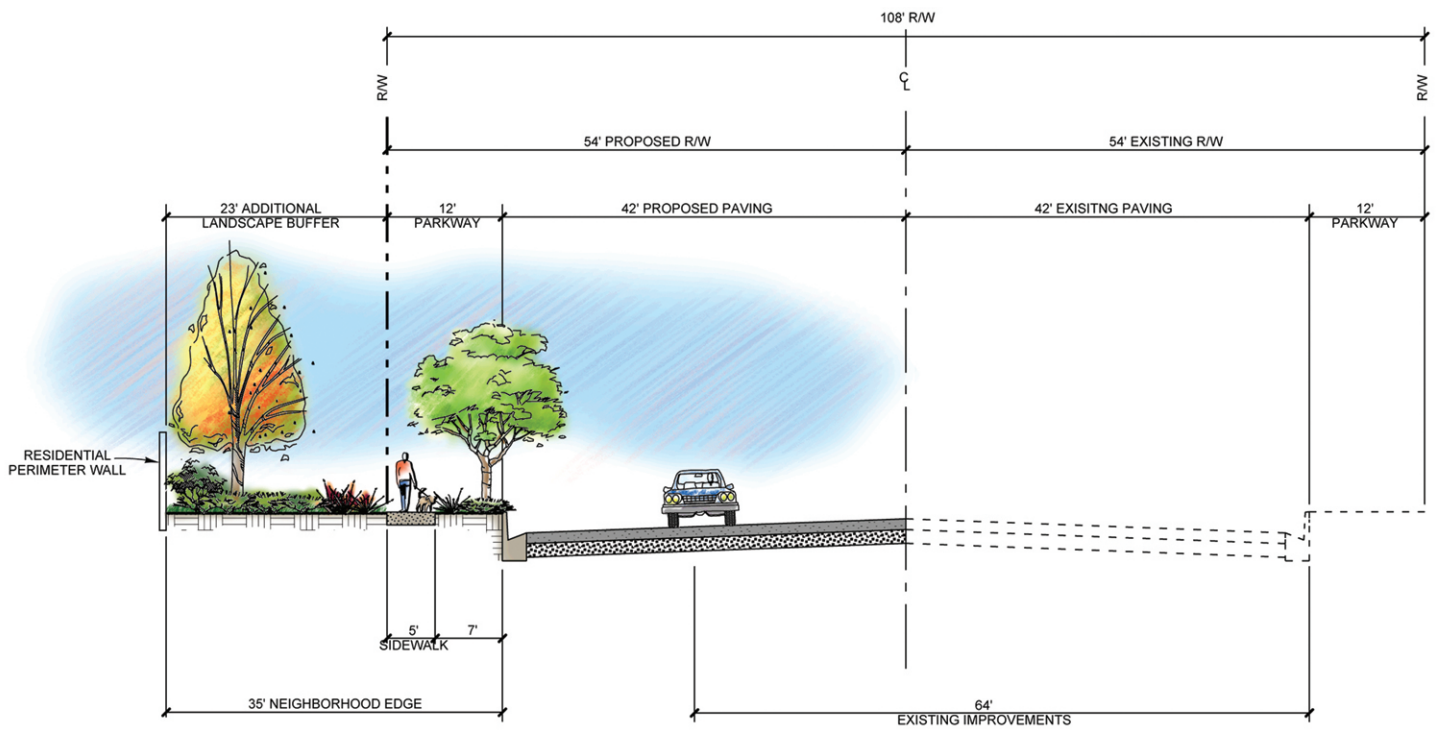


Exhibit 29
Riverside Drive Street Section

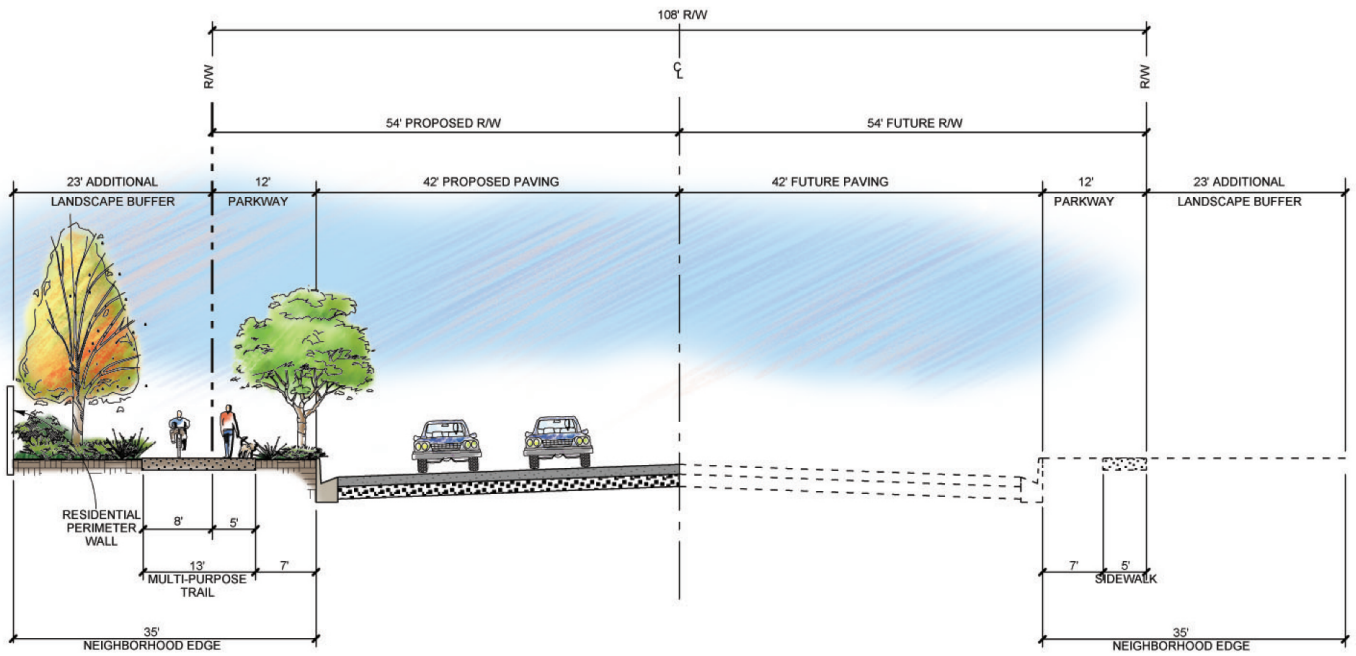


Exhibit 30
Schaefer Avenue Street Section

- A 5-foot wide lineal sidewalk along both sides of the street.
- A landscape easement of 35-feet taken from face of curb to perimeter wall on both sides of the street.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in the Conceptual Landscape Master Plan, Exhibit 27, “Conceptual Landscape Master Plan.”

6.17 Chino Avenue

The streetscape shall include the following as illustrated on Exhibit 31, “Chino Avenue Street Section.”

- A 12-foot wide landscaped parkway with a single row of street trees per the City of Ontario Street Tree Master Plan along both sides of the street.
- A 5-foot wide lineal sidewalk along both sides of the street.
- A landscape easement of 30-feet taken from face of curb to perimeter wall on both sides of Chino Avenue.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in the Conceptual Landscape Master Plan, Exhibit 27, “Conceptual Landscape Master Plan.”

6.18 Interior Streetscape Design

Streetscape design within the interior of the Countryside Specific Plan community shall be consistent in character with the perimeter streetscapes. Connectivity from perimeter inward toward the centralized community open space/

park areas are of great importance, and should help to promote pedestrian circulation among community residences.

Where interior streetscapes interface with community parks and open space, special consideration shall be taken to integrate pedestrian circulation into these areas via a streetside pedestrian paseo system that links city sidewalk to active walking trails and open space areas as illustrated on Exhibit 27, “Conceptual Landscape Master Plan.”

6.19 Primary Local Streets

Primary Local streetscapes shall include the following as illustrated in Exhibit 32, “Local and Neighborhood Street Sections Primary Local Streets – A & B.”

- A 5 to 7-foot wide landscaped parkway with a single row of street trees per the City of Ontario Street Tree Master Plan along both sides of the street.
- A 5-foot wide lineal sidewalk along both sides of the street.
- Potential Neighborhood Monumentation as shown in the Conceptual Landscape Master Plan, Exhibit 27, “Conceptual Landscape Master Plan.”

6.20 Private Neighborhood Streets and Alleys

Private Neighborhood streetscapes shall include the following as illustrated on Exhibit 33, “Private Neighborhood Street and Alley Sections.”

- A 9-foot wide landscaped parkway with a single row of street trees per the City of Ontario Street Tree Master Plan along both sides of private neighborhood streets and a 5 foot wide landscaping easement along both sides of private alleys.
- A 5-foot wide lineal sidewalk along both sides of private neighborhood street.

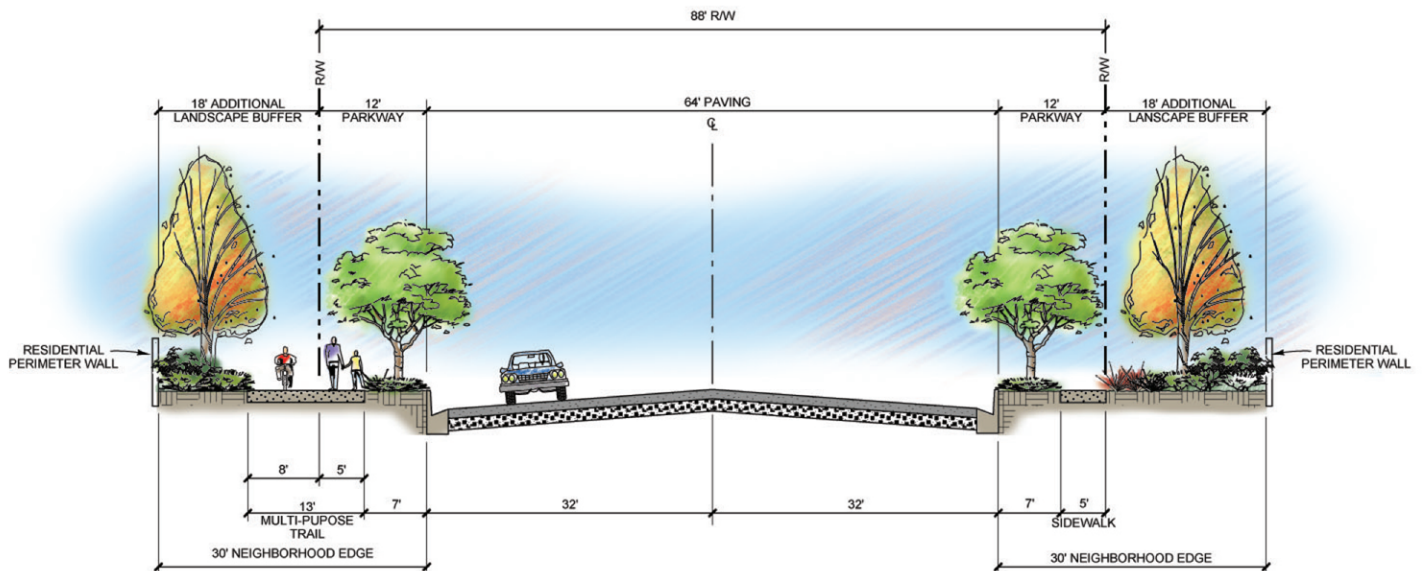


Exhibit 31
Chino Avenue Street Section

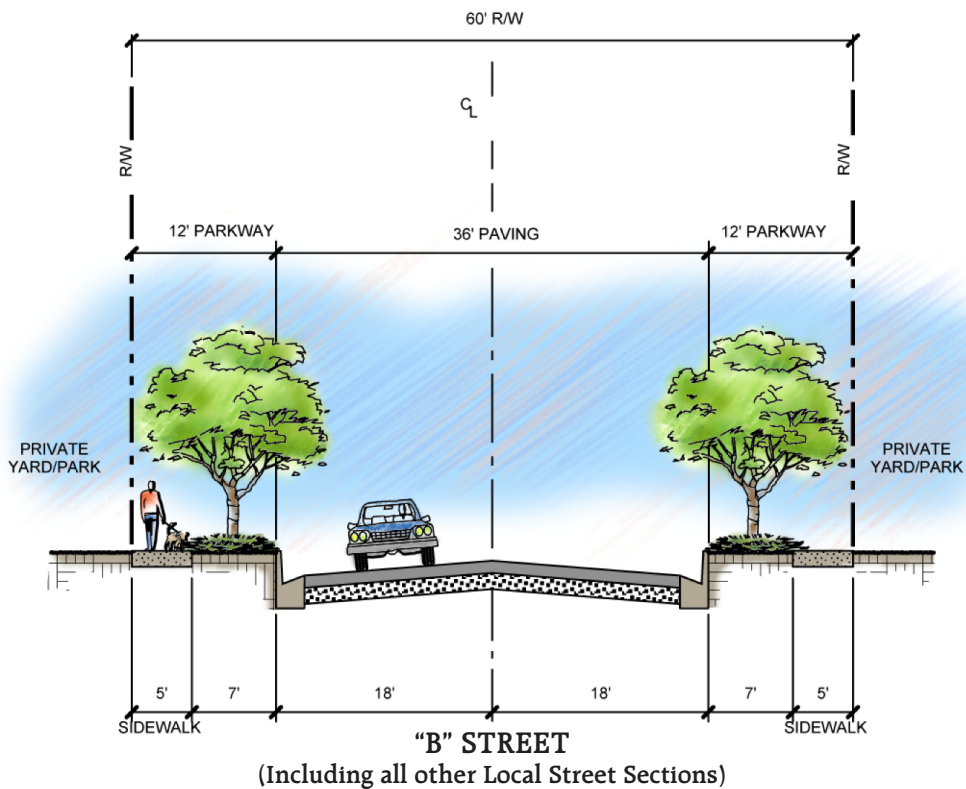
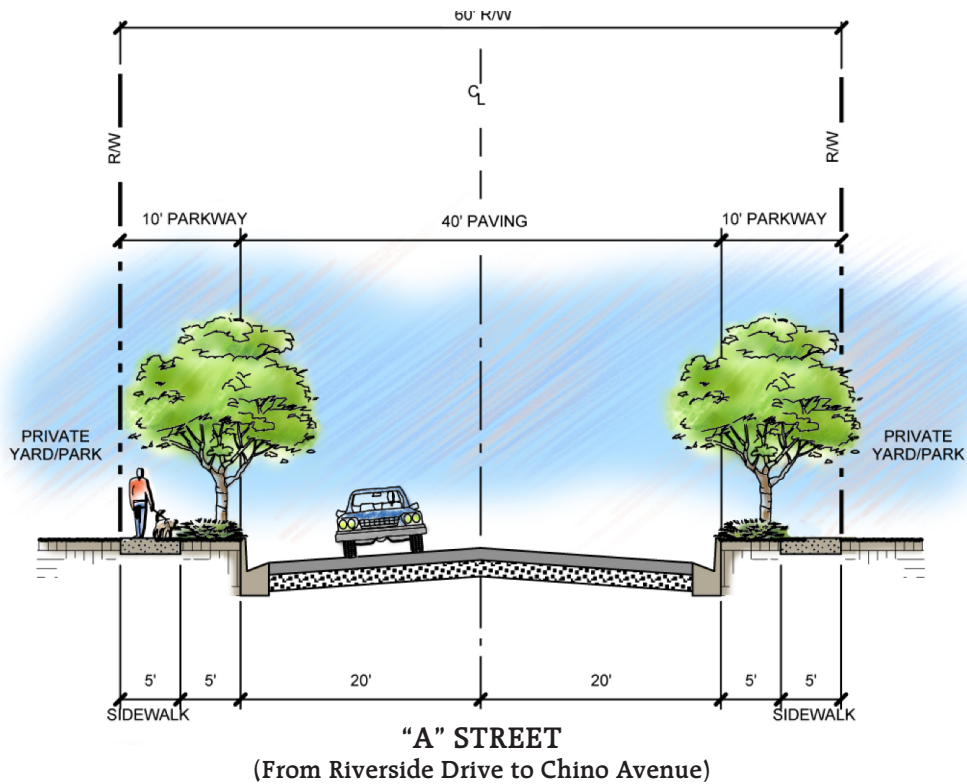
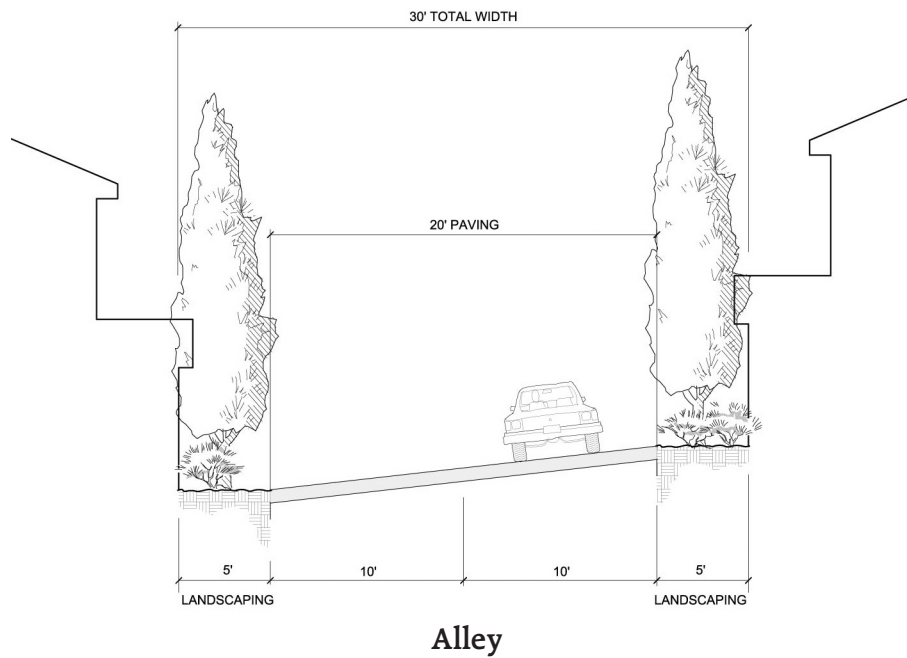
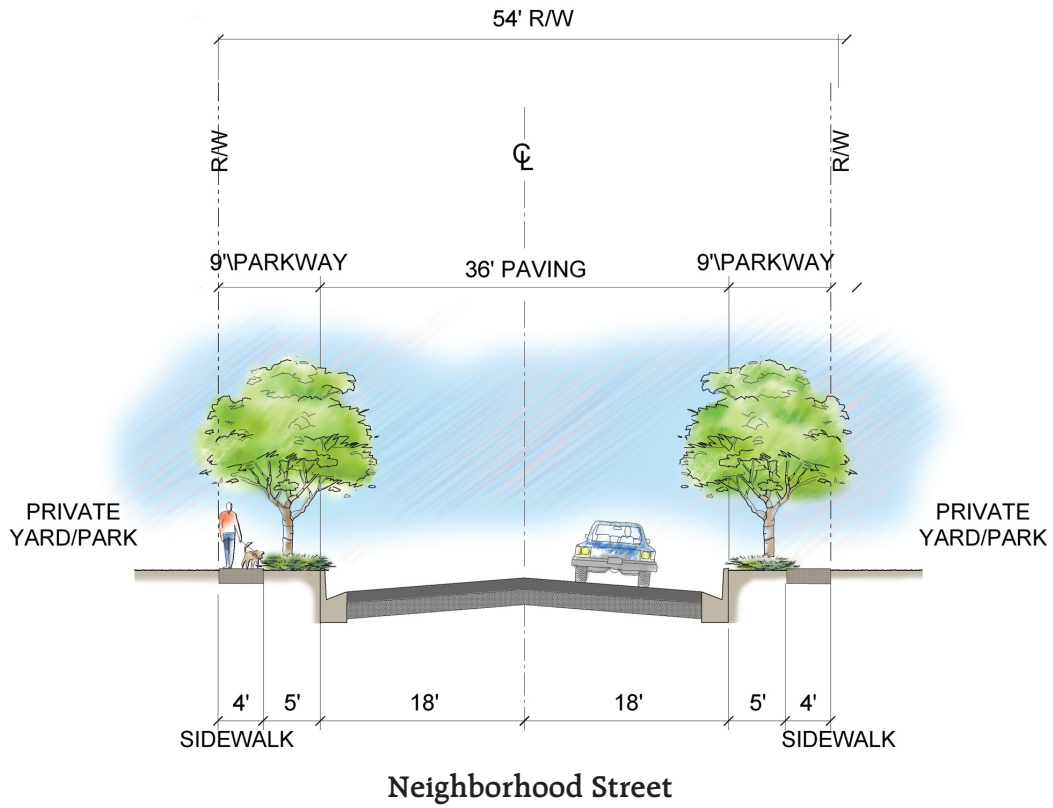


Exhibit 32

Local and Neighborhood Street Sections Primary Local Streets – A & B



6.21 Entries and Monumentation

Entry monumentation for Countryside has been developed to provide a visual hierarchy from the community periphery into each distinct neighborhood. Special design consideration has been given to key entry points along the perimeter of the Community providing a sense of identity and a welcoming feeling for pedestrian, bicycle and vehicular traffic alike. Two basic monument treatments are used in the Countryside Specific Plan: the Primary Community Entry and Monumentation, and Neighborhood Entry and Monumentation.

6.22 Primary Community Entry and Monumentation

The Primary Community Entry and Monumentation shall include the following as illustrated on Exhibit 27, “Conceptual Landscape Master Plan” and Exhibit 34, “Primary Community Entry and Monumentation” and Exhibit 35, “Primary Entry and Monumentation Elevations.”

- Freestanding curved monument walls at each corner with anchoring large entry pilaster.
- Identification field for potential sign lettering placement.
- Large pilaster with community logo/plaque.
- Architectural concrete caps, trim, and bases to help delineate each veneered material used.
- Short curved wall in front of main freestanding wall to create layering effect of monumentation.
- Use of “real” veneer materials rather than faux concrete veneers.
- Use of large specimen trees to flank each side of entry drive at site entry.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.

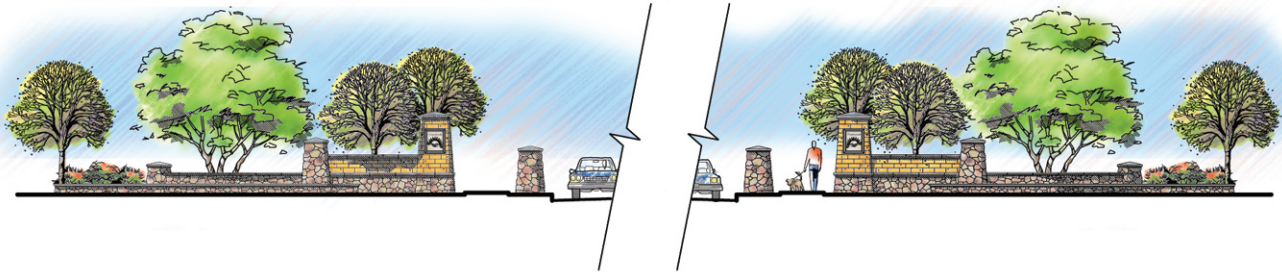
- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting of landscape/monumentation.

6.23 Neighborhood Entry and Monumentation

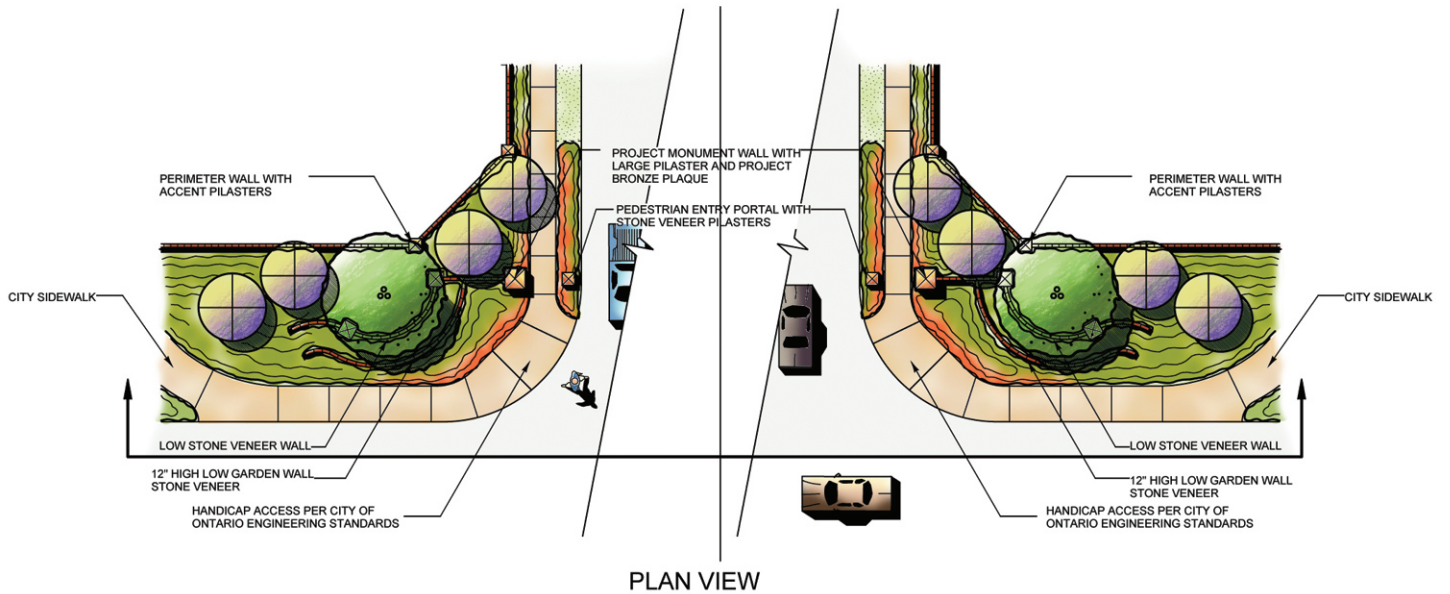
Neighborhood entries and monumentation should occur on interior corner entries within the Countryside Specific Plan Community. These entries should be used to help continue the landscape character theme into the “heart” of the community. Each neighborhood built within the Countryside Specific Plan will have the opportunity to identify their “in tract” project name/theme utilizing the neighborhood entry monumentation.

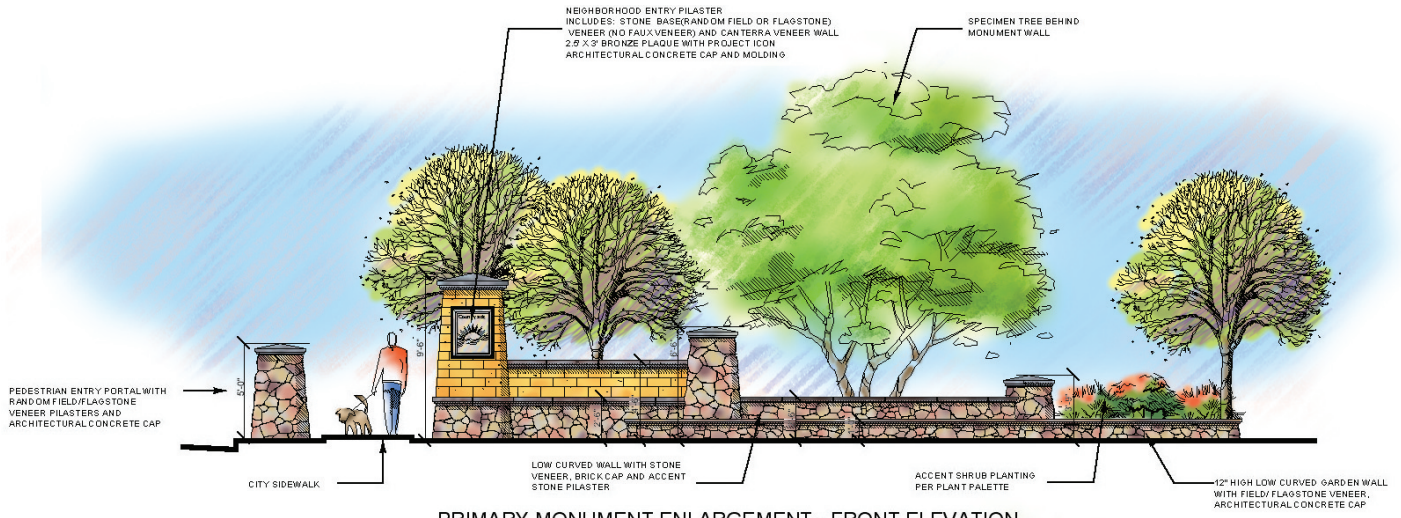
The Neighborhood Entry and Monumentation shall include the following as illustrated on Exhibit 27, “Conceptual Landscape Plan” and Exhibits 36 and 37, “Neighborhood Entry and Monumentation.”

- Freestanding large entry pilaster set within the landscaped parkway. This pilaster should embody the same character as that of the Primary Community Entry Monument but is slightly reduced in scale to create a “pedestrian gateway” into each neighborhood. The logo/plaque identifying the Countryside Specific Plan community shall be set onto entry pilaster.
- Identification field for potential sign lettering placement on enhanced perimeter corner cut wall.
- Architectural concrete caps, trim, and bases to help delineate each veneered material used.
- Enhancement of corner cut wall and use of accent pilasters to anchor each side.



FRONT ELEVATION





PRIMARY MONUMENT ENLARGEMENT - FRONT ELEVATION

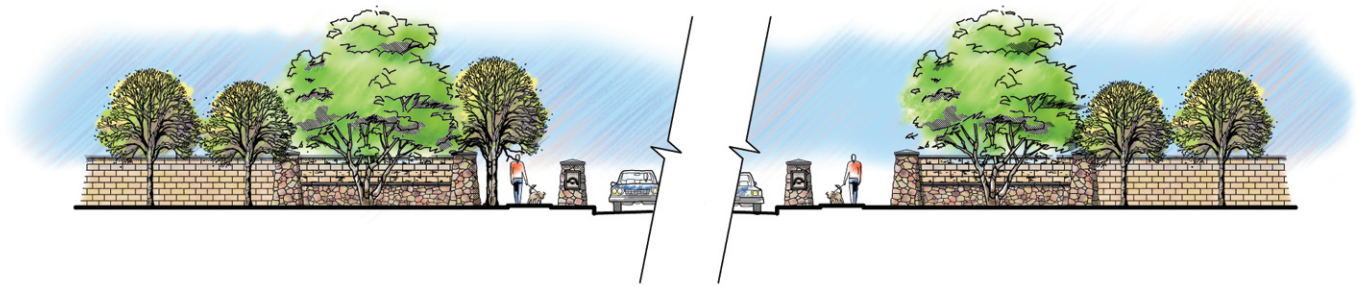


PRIMARY MONUMENT ENLARGEMENT - SIDE ELEVATION

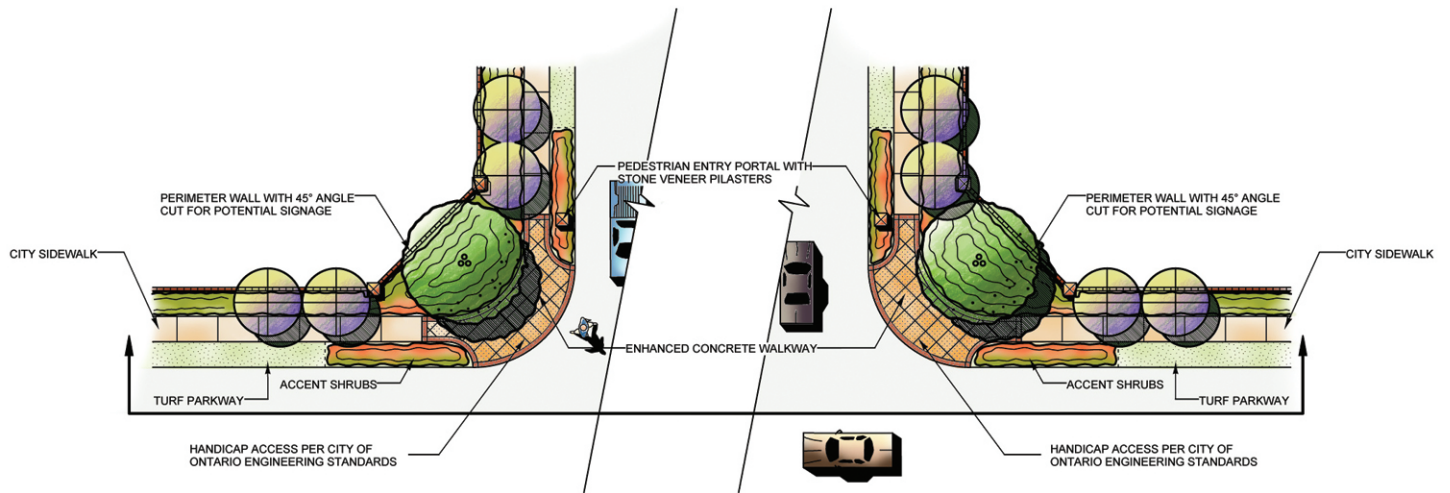
Exhibit 35
Primary Entry and Monumentation Elevations



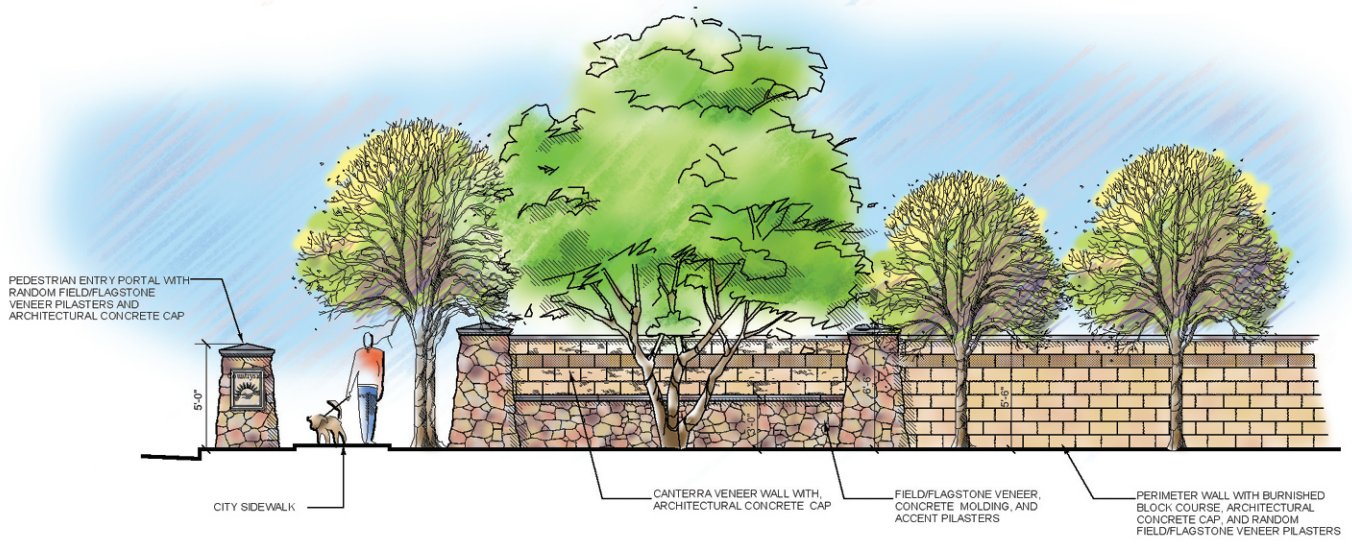
Countryside



FRONT ELEVATION



PLAN VIEW



FRONT ELEVATION

Exhibits 37
Neighborhood Entry and Monumentation Elevation



Countryside

- Use of “real” veneer materials rather than faux concrete veneers.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.
- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting of landscape/monumentation.

6.24 Parks , Paseos, And Private Recreation Areas

The Countryside Specific Plan will have two neighborhood parks, one centrally located within Planning Area 1 of the Specific Plan area, the other located adjacent to an Edison Utility Easement within Planning Area 2. These neighborhood parks will provide opportunities for community interaction and recreation while promoting neighborhood and community identity. Linking the two parks, and providing access from the surrounding neighborhoods, is a network of landscaped, tree-shaded pedestrian paseos. Within Neighborhoods 5 and 6 private recreational areas will be provided.

6.25 The Neighborhood Parks/ Private Recreation Areas

Each neighborhood park consists of the following as illustrated in Exhibit 27, “Conceptual Landscape Plan” and Exhibits 38 and 39, “Neighborhood Park Concepts.”

- Children’s Tot Lot Play Area - Play structures and equipment should be staged to provide for separated use based on age, yet allow for the possibility of interaction. The Tot Lot should also follow ADA guidelines and provide access

depending upon equipment selected. Seating areas shall be located near the Tot Lot to provide areas for parental supervision.

- Barbecue Picnic Facilities – Each park should provide individual barbecue picnic facilities scattered throughout a looped concrete walkway system. Barbecue facilities (minimum of 50%) should be located adjacent to the walkway system for ADA accessibility; the remaining percentage set in open turf areas. Each barbecue picnic facility shall provide a picnic table, freestanding barbecue, hot coal container, and trash receptacle.

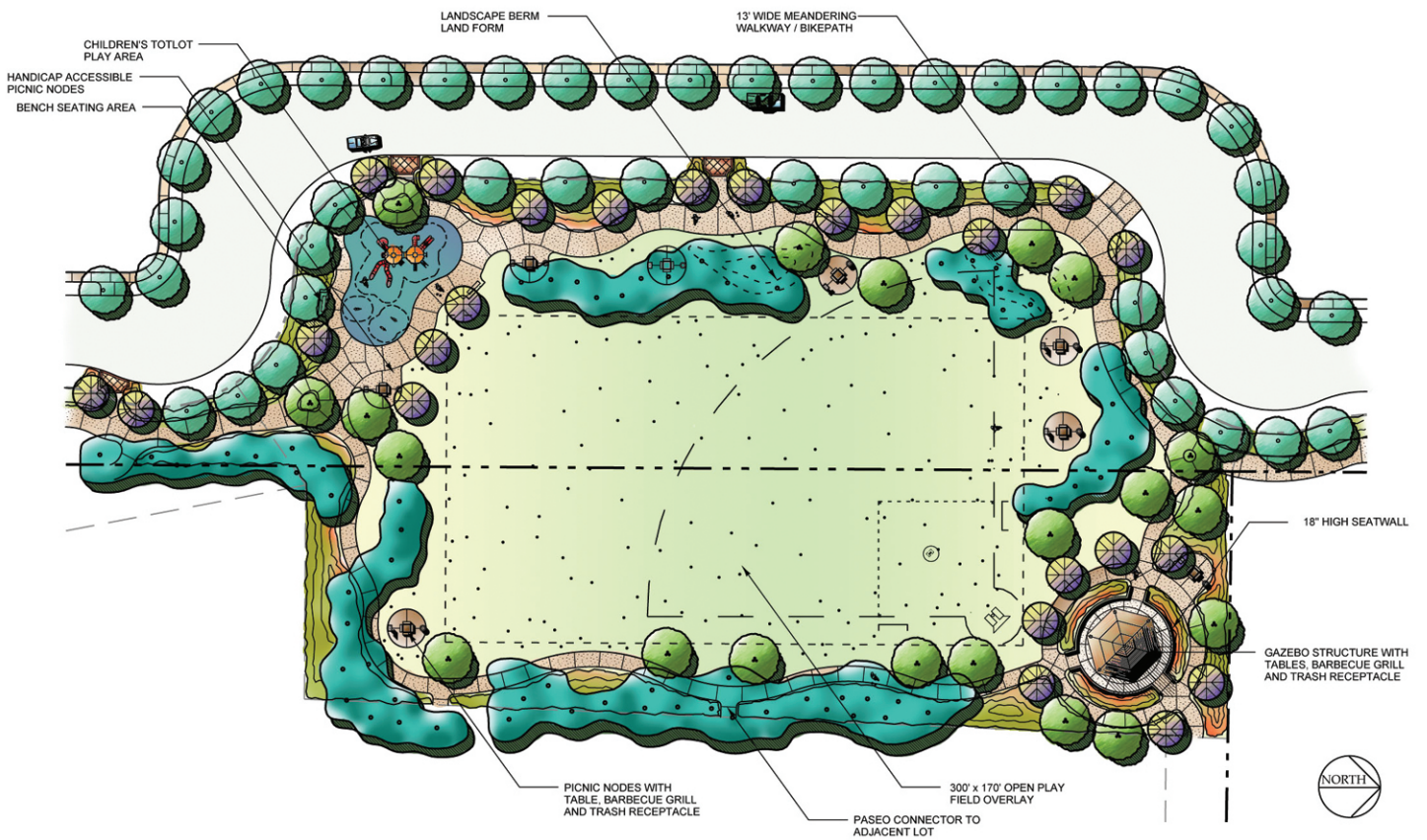
These barbecue facilities can be placed on concrete or any other ADA acceptable surfacing. The design of each neighborhood park open space should take into account pedestrian circulation and the linkage into the surrounding community.

- Open Turf Areas - The open space turf areas should be arranged to accommodate passive play opportunities and small-scale, unorganized group athletics and activities. No sports lighting should be permitted in the parks.

Landscaping - Landscaping within the each neighborhood park shall harmonize with the surrounding streetscapes. Large specimen trees should be used within the open turf areas to help provide shade and screening. Landform berming should be incorporated to provide interest and opportunities for screening. Accent trees should also be used at pedestrian entries and around the Tot Lot for color and seasonal interest.

- Large Group Shade Structure - A large shade structure shall be implemented into each park. This shade structure should be located within view of the community and is intended to serve as a group picnic facility. This group facility will include picnic tables, a minimum of two (2) freestanding barbecues, hot coal containers, and trash receptacles.

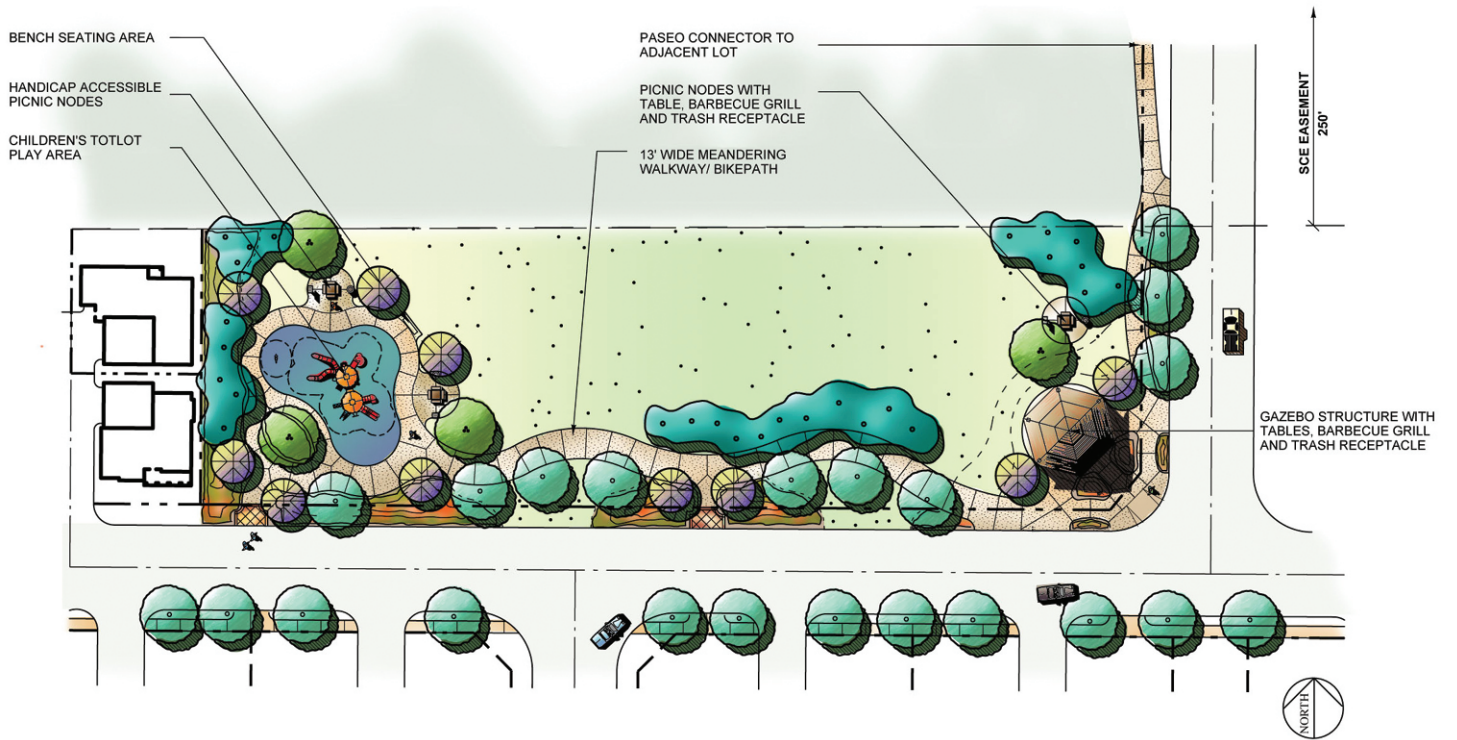
Each private recreation area to be provided as part of the development of Neighborhoods 5 and 6



Exhibits 38
Neighborhood Park Concept - Planning Area 1



Countryside



Exhibits 39
Neighborhood Park Concept - Planning Area 2

will be improved with a pool and recreation building offering restroom facilities and pool equipment. Where feasible, picnic areas and open turf play areas will also be provided. Private recreation areas within Neighborhoods 5 and 6 are illustrated in Exhibit 27, “Conceptual Landscape Plan” and Exhibits 40 and 41, “Private Recreation Areas.”

6.26 Paseo Trail System

Pedestrian circulation is highly encouraged within the Countryside Specific Plan. Landscape easements are provided along major roadways and are encouraged within the neighborhoods. Exhibits 42 through 44 illustrate the “Paseo Concepts and Plan” for Countryside.

- Paseo Trail System - A Paseo walkway system shall be designed to provide connections to adjacent neighborhoods as well as linking the community and giving access to the community perimeters.
- Entry points to the paseo shall have adequate signage.
- Landscaping - Landscaping along the Paseo Trail System should harmonize with the surrounding streetscapes.
- Meandering sidewalks a minimum width of 5'-0" are encouraged.
- Entry points shall have adequate directional signage.
- Seating nodes should be located along the paseo paths at regular intervals. These seating nodes should include a bench, trash receptacle, and enhanced landscaping to help accentuate each node.
- Bike racks and water fountains should be provided where feasible at strategic locations.
- The locations of drop off areas should be coordinated with the overall design of the parks.
- Decorative security lighting shall be incorporated into the paseo design at regular intervals along the pedestrian path and at seating nodes. Final lighting layout, foot candle requirements,

and fixture selection is subject to the review and approval by the City of Ontario.

- Use of enhanced paving at paseo connections where pedestrian circulation crosses roadways is encouraged and may be permitted subject to approval by the City Engineer.
- Utilization of the Southern California Edison Corridor (SCE) for sidewalk/bikeways and interface w/ park walkway circulation is important. Final approval of paseo configuration and design will be approved by the City of Ontario and SCE.

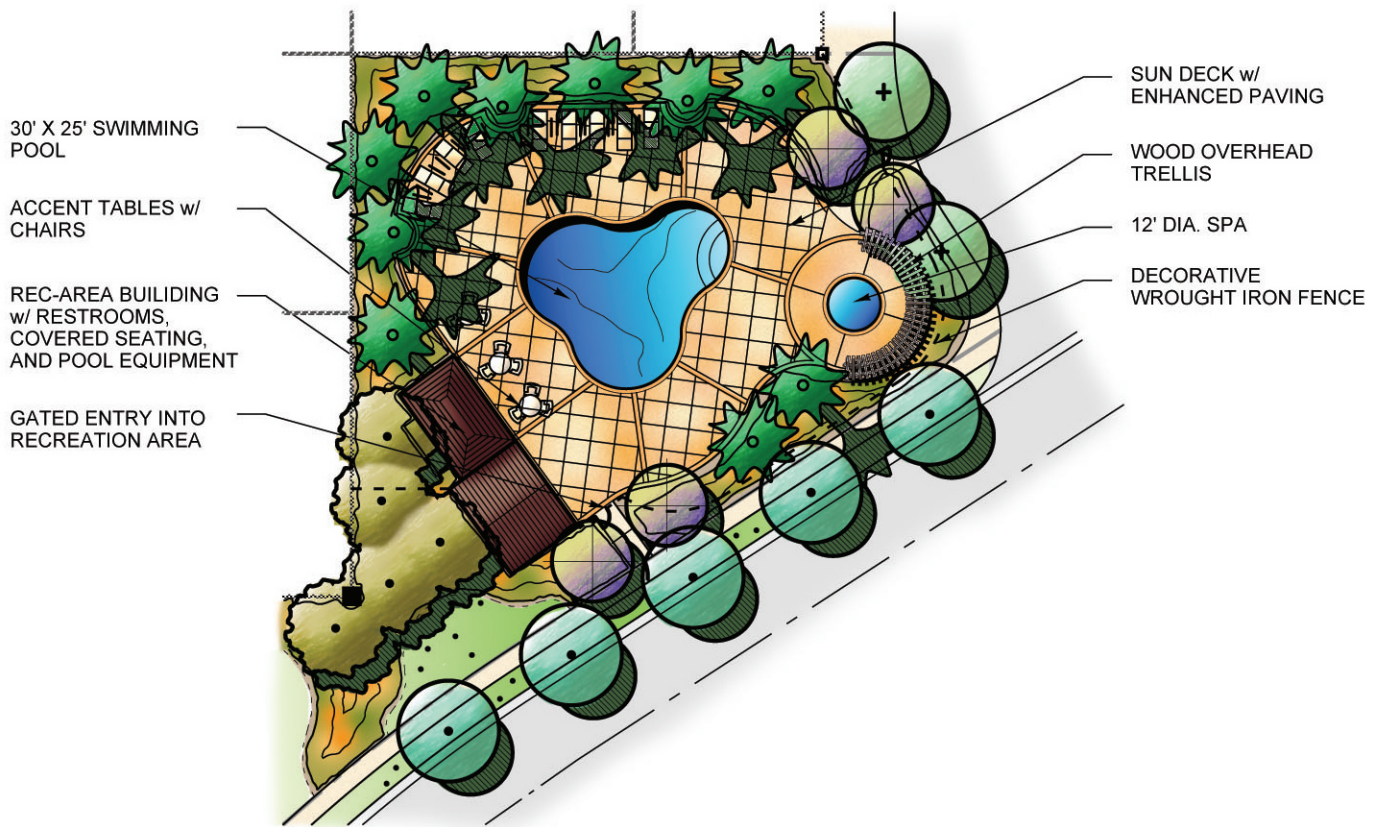
6.27 Community Walls and Fencing

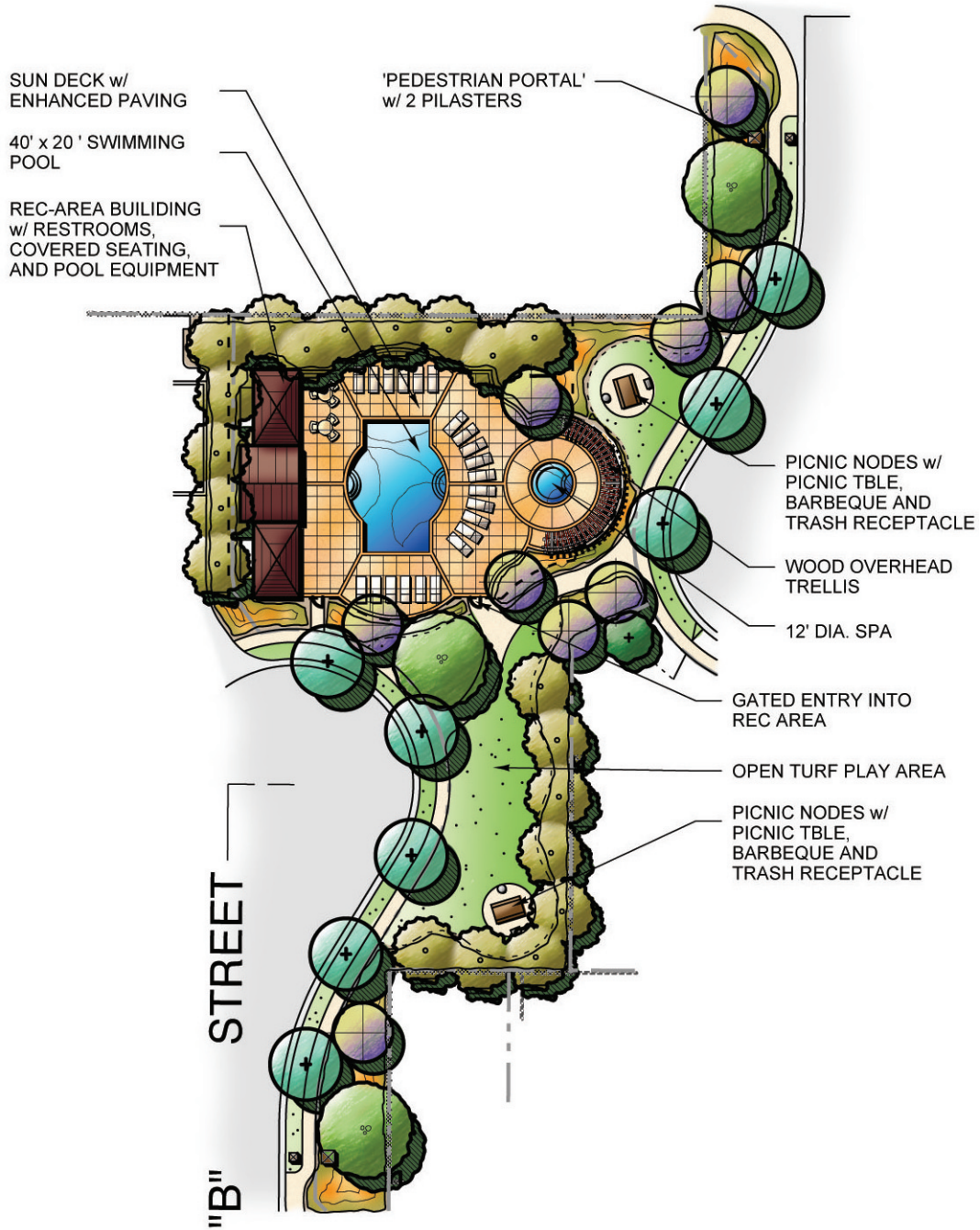
Walls are a major component in achieving an overall community theme within the Countryside Specific Plan. A strong cohesive appearance is achieved through the use of “community walls” and general overall wall guidelines.

All walls that adjoin community street scenes and are located along the boundary edges of the Paseo and to the opposite side of the SCE corridor shall be deemed “community walls.” All wall and fencing designs and layout shall be approved by the City of Ontario prior to construction. The proposed location and types of walls and fencing proposed for Countryside are illustrated on Exhibit 45, “Wall and Fence Plan.”

6.27.1 Community Walls

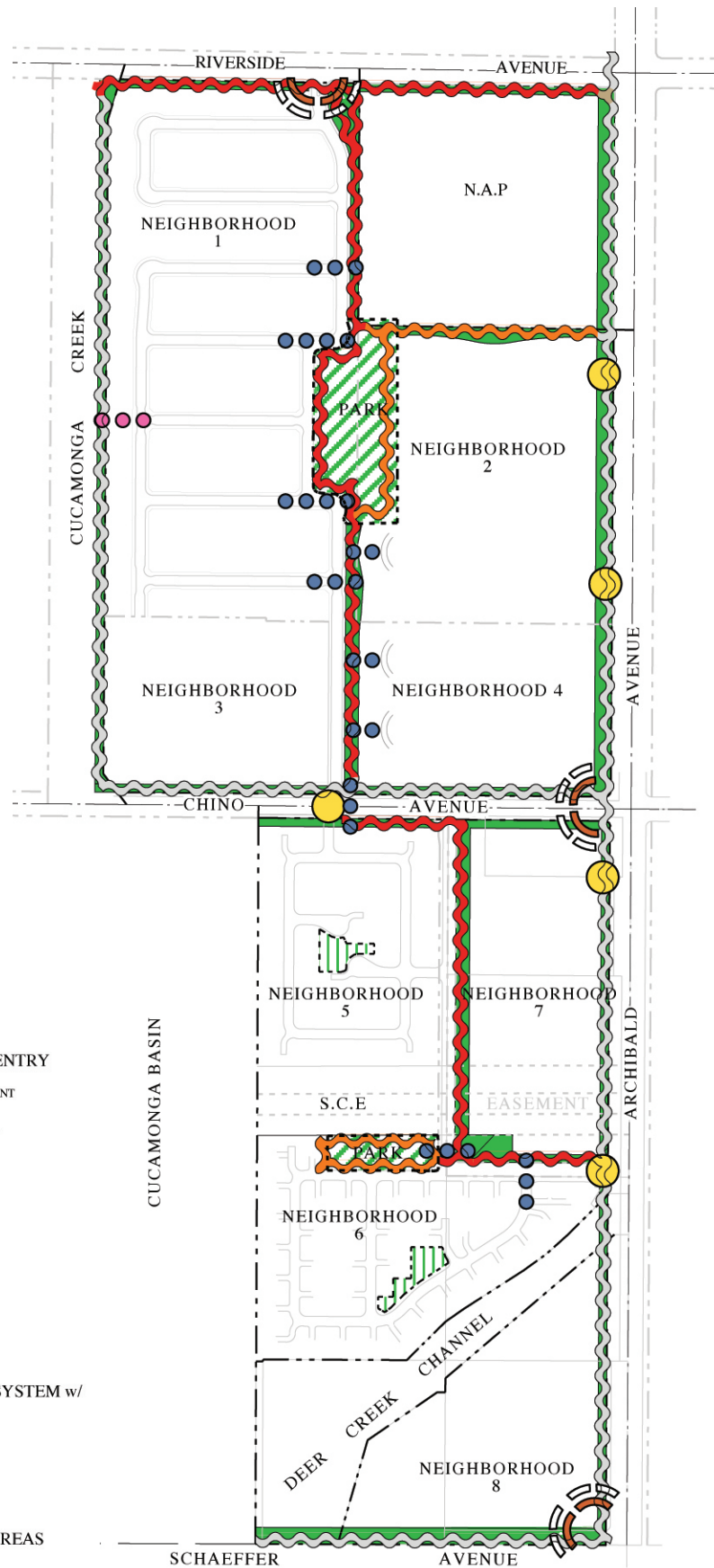
Community walls that bound the perimeter of the project should be decorative in nature. These walls should be constructed of split-face block masonry and be of a color that blends with the Countryside color palette. A decorative horizontal course of block shall be placed towards the top of the wall. It is recommended that decorative horizontal course contrast in texture from that of the split face wall. Decorative block course options





Exhibits 41

Private Recreation Area



FEATURE LEGEND:











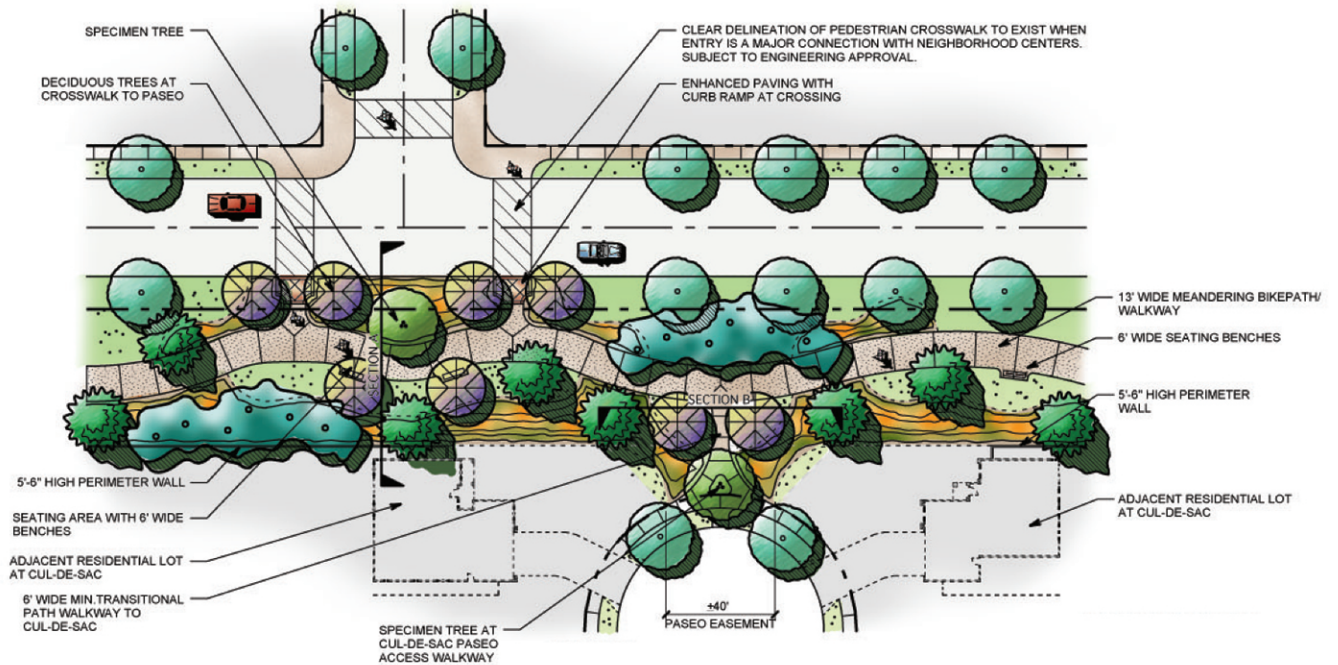
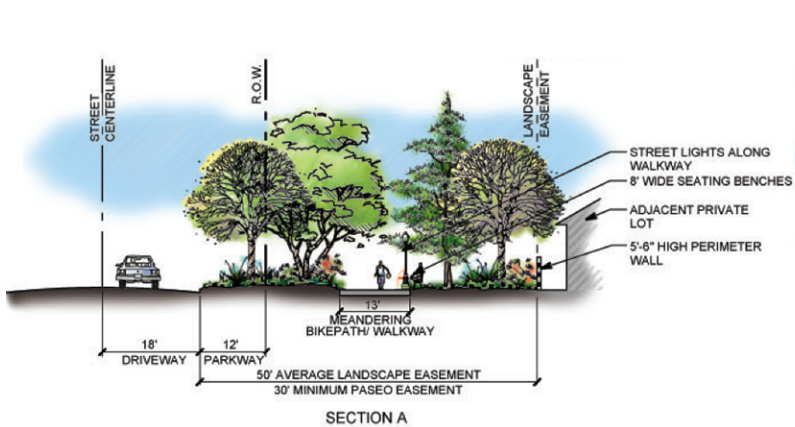
-  PRIMARY COMMUNITY ENTRY AND MONUMENTATION
* SUBJECT TO PLANNING DEPARTMENT REVIEW/APPROVAL
-  NEIGHBORHOOD ENTRY AND MONUMENTATION
-  PASEO CONNECTORS
-  CUCAMONGA CREEK CHANNEL CONNECTOR
-  PRIMARY PASEO
-  SECONDARY PASEO
-  MULTI-PURPOSE TRAIL SYSTEM w/ CLASS I BIKEWAY
-  PARKS
-  LANDSCAPE EASEMENT
-  PRIVATE RECREATION AREAS

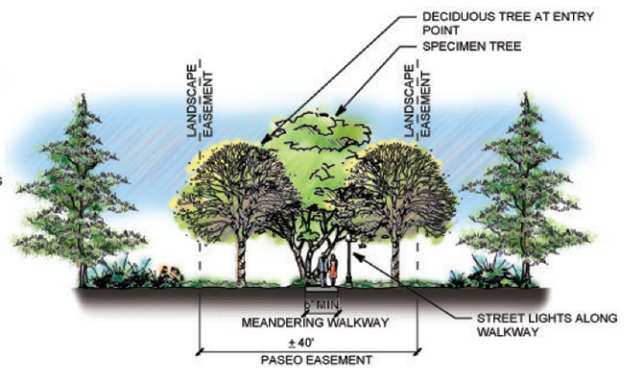
Exhibit 42
Paseo Plan



PLAN VIEW



SECTION A



SECTION B

Exhibit 43
Paseo Concept

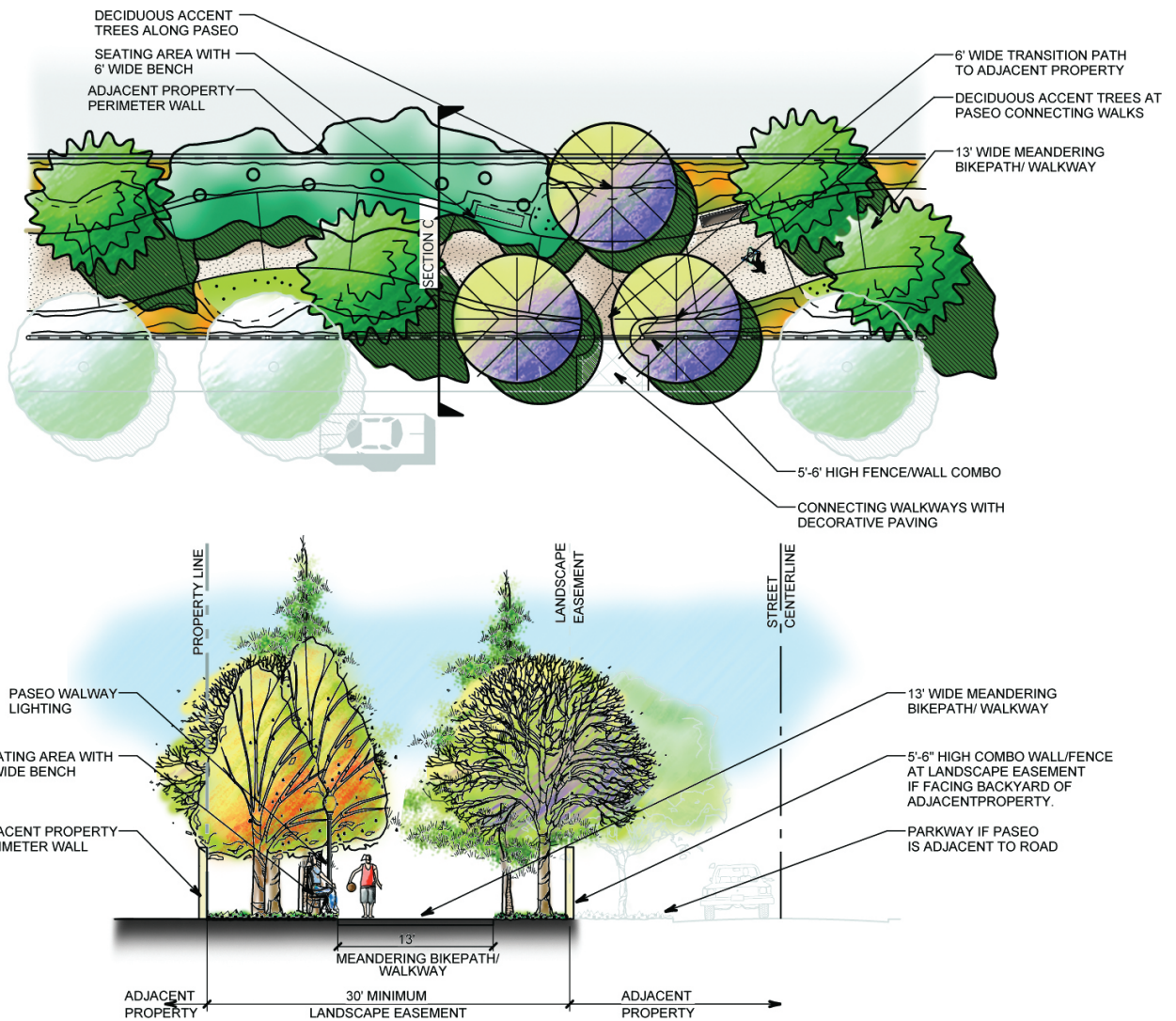
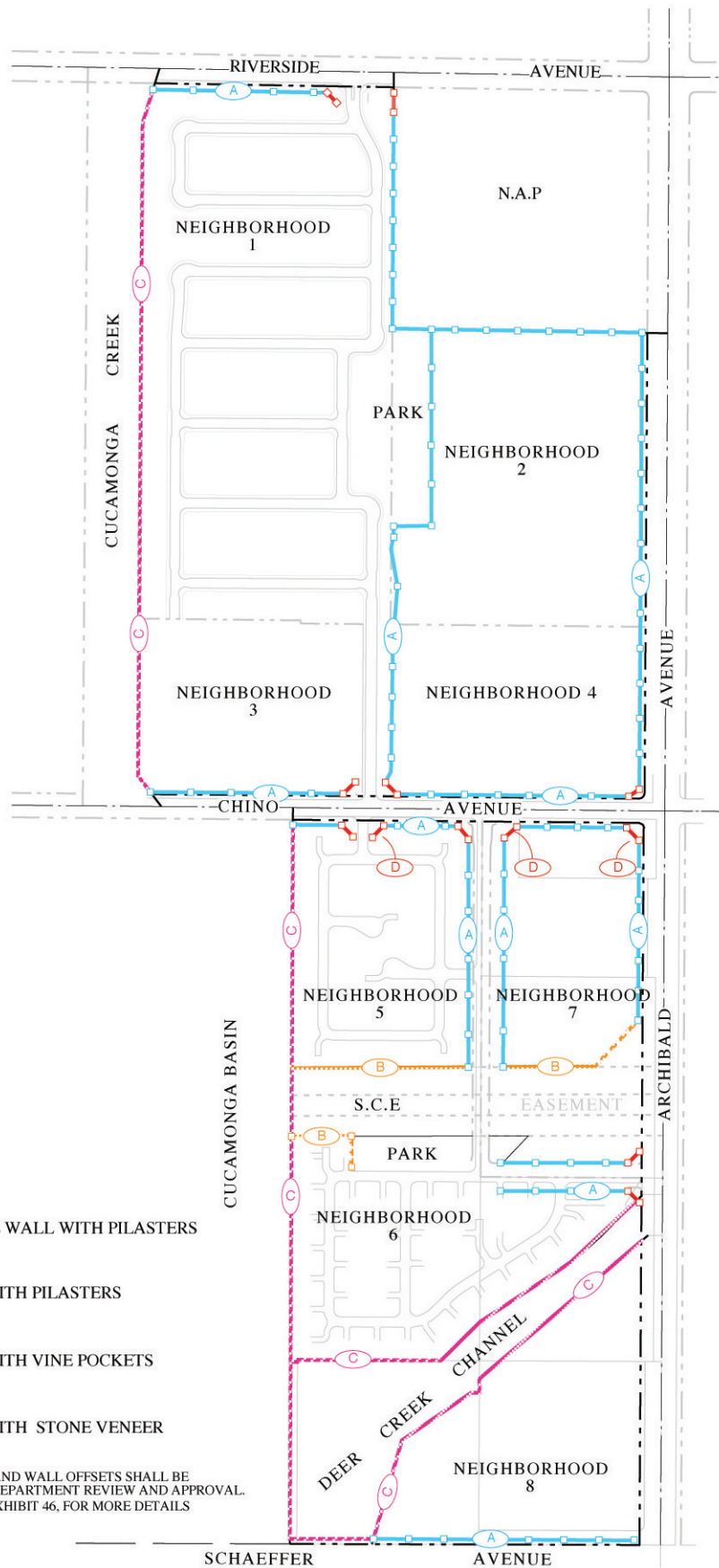






Exhibit 44
Paseo Concept



FEATURE LEGEND:

-  COMMUNITY THEME WALL WITH PILASTERS
-  SPLIT-FACE WALL WITH PILASTERS
-  SPLIT-FACE WALL WITH VINE POCKETS
-  SPLIT-FACE WALL WITH STONE VENEER PILASTERS

* SPACING OF PILASTERS AND WALL OFFSETS SHALL BE SUBJECT TO PLANNING DEPARTMENT REVIEW AND APPROVAL.
 ** SEE WALL ELEVATION EXHIBIT 46, FOR MORE DETAILS

Exhibit 45
Wall and Fence Plan



Countryside

include: burnished, colored precision, fluted, or shot blast textured block. Decorative accent pilasters spaced at equal intervals are highly encouraged and should match the wall design. At key community entries, where the community wall angles at a 45° angle, decorative veneered pilasters shall be constructed to help blend in with the Countryside monumentation. Exhibit 46, “Wall Details” illustrates the concept for Community Wall Design within Countryside.

6.27.2 Interior Walls

Where privacy or protection of common area views dictates, walls shall be constructed of precision block consistent in color with any adjacent wall. Reverse frontage walls and any wall return visible from the street shall be constructed of split-face block, and of a color that blends with the Countryside color palette. Decorative caps and the use of pilasters to help enhance the perimeter appeal of the walls are encouraged. Walls visible from the community streets may not be made of exposed or painted precision block or slumped block. Final approval of fencing design, including colors and styles are subject to City of Ontario design review processing.

6.27.3 Exterior Walls Adjacent to Deer Creek Channel

Walls adjacent to the Deer Creek Channel shall be constructed of split-face block with open half-block course at bottom for clinging vine to grow through. Half-block openings shall coincide with the vine on center spacing noted in planting plans.

6.27.4 View Fencing

View fences shall be utilized to allow open views but not physical access in certain instances. View fences shall be 5'-6" high minimum and made of tubular steel construction. Tubular steel view

fencing shall incorporate the use of pilasters designed to be consistent with the materials of the interior walls. View fencing locations and design will be subject to review and approval by the City of Ontario.

6.28 Outdoor Lighting

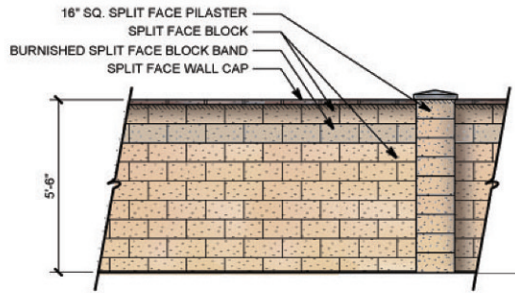
Lighting standards within Countryside shall be consistent in style, color, and materials in order to maintain uniformity throughout. Lighting should be subtle, providing a soft wash of light over illuminated objects such as monumentation. Hierarchy shall be established by using a variety of lighting fixtures and illumination levels based on lighting design intent. Lighting styles shall tie into architectural styles and provide sufficient illumination for the safety and well being of the community. Accent lighting of landscape and monumentation shall be incorporated into the areas.

6.28.1 Entry Monuments

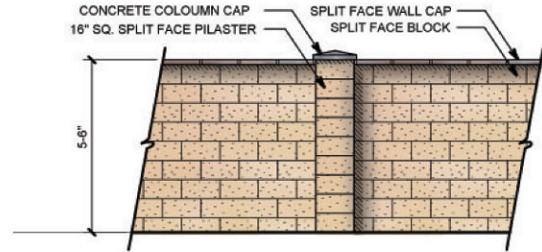
Avoid intensely bright or “hot” lighting of monuments; rather, each should be lit to provide a soft wash of light across the monument signage. Specimen trees should be uplit with several fixtures into the canopy to avoid creating dark sides of the trees.

6.28.2 Community Parks/Paseo Lighting

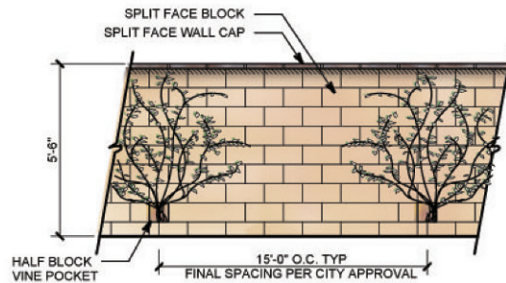
Lighting of the pathways, tot lot, and select landscaped areas within the Parks and Paseo Trail System should be considered for safety and security. Utilization of a traditional Globe/Acorn Post mounted light fixture should be considered for both the park open space areas as well as interior street lighting fixtures. Keeping with the character of traditional materials, this will help to create a better sense of scale to the pedestrian.



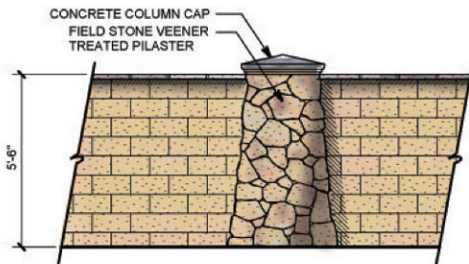
A **SPLIT FACE WALL AND PILASTER**
 SINGLE SIDE SPLIT FACE BLOCK WALL ALONG PASEO PERIMETER. PILASTER SPACING AND WALL OFFSETS SHALL BE SUBJECT TO PLANNING DEPARTMENT REVIEW AND APPROVAL.)



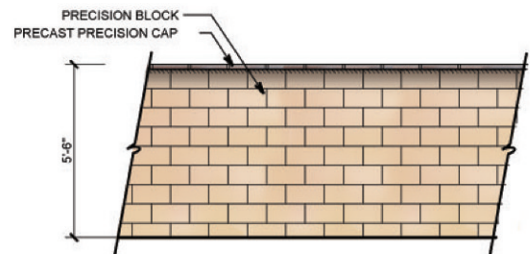
B **SPLIT FACE WALL AND PILASTER**
 INTERIOR PRIVACY WALLS LOCATED BETWEEN HOUSES AND ALONG THE STREET SIDE OF CORNER LOTS, TO BE SPLIT FACE MASONRY WITH DECORATIVE CAP. (USE SPLIT FACE ON 2 SIDES WHERE BOTH SIDES ARE VISIBLE FROM STREET. PILASTER SPACING AND WALL OFFSETS SHALL BE SUBJECT TO PLANNING DEPARTMENT REVIEW AND APPROVAL.)



C **SPLIT-FACE BLOCK WALL WITH VINE POCKETS**



D **SPLIT-FACE BLOCK WALL WITH STONE VEENER PILASTER**
 TO BE USED ALONG NEIGHBORHOOD ENTRY CORNERS.



E **PRECISION BLOCK WALL**
 INTERIOR PRIVATE BLOCK WALL IS TYPICALLY USED WHERE PRIVACY IS DESIRED AT PROPERTY LINE LOCATIONS WHERE NOT VISIBLE FROM PUBLIC VIEW. OVERALL WALL/FENCE HEIGHT SHALL BE 5'-6\"/>



6.29 Landscape Design

6.29.1 Public Landscapes

- Landscape plantings in public areas should reflect a commitment to both developing a “sense of place” and maintaining harmony with the New Model Colony.
- A landscape architect licensed in California and experienced and familiar with wrought tolerant landscaping shall be retained to prepare planting and irrigation plans for all public areas. Arrangement of plants should incorporate the concepts of mass planting; plants should be placed to allow them to grow to their natural sizes and forms, and sheared hedges should be kept to a minimum.

The plant palette at the end of this section offers suggested plants palette for Countryside and, while this list is by no means all-inclusive, plantings in public areas should draw primarily from this palette for visual continuity throughout the Countryside Specific Plan Community.

6.29.2 Front Yard Landscapes

Plantings in front yards may vary substantially from the Countryside palette, but should retain some of the character and style of the public plantings. No more than 60% of the total square footage of any front yard shall be lawn; the balance shall be composed of shrubs and groundcovers, with an emphasis on drought tolerant plant species. Turf areas shall be sized and shaped to optimize efficient irrigation. If turf is used in isolated areas such as driveway strips, subsurface irrigation or microspray heads shall be required to avoid overspray. Irregular shapes that cannot be irrigated efficiently shall be avoided.

6.29.3 Soil Testing

Soil samples shall be taken from several locations after the completion of rough grading operations, and a reputable soil-testing laboratory shall perform an agronomic soils test. The test shall assess soil fertility needs for water-wise California native and Mediterranean plant types. No planting shall take place until the soil has been properly prepared based on the recommendations of the soils testing laboratory. Organic soil amendments shall be incorporated as necessary to achieve a recommended percolation rate of one inch per hour.

6.29.4 Slope Landscaping

All manufactured and cut/fill slopes which exceed 3-feet in height shall be planted with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment in conformance with the fuel modification guidelines of the City.

6.29.5 Interior Slopes: Residential Interior

- Interior slopes may be more ornamental in character than exterior slopes. They may have a somewhat broader range of plant materials than exterior slopes, but should still be chosen primarily from the Countryside plant palette are subject to the City of Ontario fuel modification restrictions and shall be irrigated in accordance with the provisions of Section 6.31 below.
- All manufactured and cut/fill slopes which exceed 3-feet in height shall be planted with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment in conformance with the fuel modification guidelines established by the City of Ontario.

6.30 Streetscape Landscaping

6.3.1 Streetscape Development Standards

- Turf grass shall not exceed 30% of streetscape planting and shall be located adjacent to the sidewalk or curb line.
- All new plantings within Countryside shall draw substantially from the Countryside Plant Palette included in this document.
- All streetscape landscaping within Countryside will be implemented by the Developer in accordance with this Specific Plan.
- The Developer shall install all primary and secondary improvements concurrently with the construction of the roadway on which they front. Neighborhood intersections shall be constructed as each neighborhood street is built.
- The Developer shall provide site inspection of all construction and installation of entries and intersections in accordance with the City of Ontario requirements.

6.31 Irrigation Design

Irrigation for both public and private landscapes should be designed to be as water-efficient as possible. All irrigation systems shall have automatic controllers designed to properly water plant materials given the site's soil conditions, and irrigation systems for all public landscapes shall have automatic rain shut-off devices. Drip irrigation is encouraged. Spray systems shall have low volume (gpm), matched-precipitation heads.

All irrigation products specified shall achieve an irrigation operational distribution uniformity of 70% or greater in all turf areas and 80% in all other landscaped areas.

Turf areas shall be irrigated with equipment that has a precipitation rate of one (1) inch or less per hour as specified by the manufacturer. Stream rotator heads are preferred; use of standard spray heads shall be avoided. Non-turf shrub areas shall be irrigated with low-volume micro spray or point application devices, where manufacturer's specification indicates output measured and expressed in gallons per hour (gph). Maximum flow shall be 60 gph (1 gpm) for each point.

6.32 Landscape Maintenance

- All public landscapes of master planned roadways (Riverside Drive, Archibald Avenue, Schaefer Avenue and Chino Avenue), including slopes, street trees, lighting, and irrigation systems, shall be maintained by the City of Ontario Landscape Maintenance District.
- Front yard landscapes shall be the responsibility of the homeowner or HOA who shall maintain the front yard landscape in a healthy condition at all times.
- All manufactured and cut/fill slopes which exceed 3-feet in height shall be planted with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment in conformance with the fuel modification guidelines of the City of Ontario.



6.33 Community Plant Palette

TREES

BOTANIC NAME COMMON NAME

STREET TREES

Per City of Ontario Street Tree Master Plan

ENTRY ACCENT TREES

<i>Chionanthus retusus</i>	Chinese Fringe Tree				●	●	●
<i>Lagerstroemia indica hybrids</i>	Crape Myrtle				●	●	●
<i>Magnolia soulangeana</i>	Saucer magnolia				●	●	●
<i>Pyrus Calleryana 'Aristocrat'</i>	Ornamental Pear				●	●	●

EVERGREEN BACKGROUND TREES

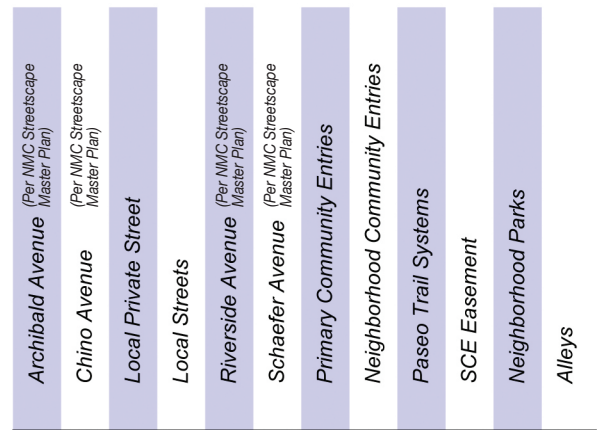
<i>Quercus ilex</i>	Holly Oak					●	
<i>Pinus canariensis</i>	Canary Island Pine					●	●
<i>Melaleuca linarifolia</i>	Flaxleaf Paperbark					●	

UPRIGHT TREES

<i>Melaleuca quinquinervia</i>	Cajeput Tree					●	
<i>Tristania laurina</i>	Water Gum						●
<i>Populus nigra 'Italica'</i>	Lombardy Poplar						●

SPECIMEN TREES

<i>Schinus molle</i>	California Pepper				●	●	●
<i>Quercus agrifolia</i>	Coast Live Oak				●	●	●





SHRUBS

BOTANIC NAME

COMMON NAME

SMALL SHRUBS AND PERENNIALS

<i>Achillea</i> hybrids	Yarrow Mixture
<i>Anigozanthos</i> species	Kangaroo Paws
* <i>Artemisia</i> 'Powis Castle'	Powis Castle Wormwood
<i>Bergenia</i> cordifolia	Bergenia
<i>Cistus</i> salvifolius	White Rockrose
<i>Epilobium</i> c. 'Catalina'	California Fushia
<i>Eriogonum</i> fasciculatum	California Buckwheat
<i>Helictotrichon</i> sempervirens	Blue Oat Grass
<i>Hemerocallis</i> hybrids (evergreen)	Daylily - mixed colors
<i>Heuchera</i> sanguinea	Coral Bells
<i>Mahonia</i> aquifolium 'Compacta'	Compact Oregon Grape
<i>Mahonia</i> repens	Creeping Oregon Grape
* <i>Muhlenbergia</i> rigens	Deer Grass
* <i>Muhlenbergia</i> lindheimeri	Lindheimer's Muhly
* <i>Penstemon</i> species	Beard Tongue
* <i>Sesleria</i> autumnalis	Autumn Moor Grass

GROUNDCOVER / VINES

BOTANIC NAME

COMMON NAME

GROUNDCOVERS

<i>Arctostaphylos</i> edmundsii	Little Sur Manzanita
<i>Arctostaphylos</i> 'Indian Hill'	Manzanita
<i>Campanula</i> Poschcharskyana	Serbian Bellflower
<i>Carex</i> tumulicola	Berkely Sedge
<i>Festuca</i> mairei	Atlas Fescue
<i>Geranium</i> incanum	Carpet Geranium
<i>Pelargonium</i> peltatum	Ivy Geranium
<i>Rosmarinus</i> o. 'Prostratus'	Prostrate Rosemary
<i>Teucrium</i> x lucidrys	Bush Germander

VINES

<i>Bigonias</i> c. 'Tangerine Beauty'	Crossvine
<i>Bougainvillea</i> hybrids	Bougainvillea
<i>Clytostoma</i> callistegioides	Purple Trumpet Vine
<i>Distictis</i> buccinatoria	Red Blood Trumpet Vine
<i>Jasminum</i> polyanthum	Pink Jasmine
* <i>Macfadyena</i> unguis-cati	Cat's Claw Vine
* <i>Parthenocissus</i> tricuspidata	Boston Ivy

Archibald Avenue <small>(Per MMC Streetscape Master Plan)</small>	Chino Avenue <small>(Per MMC Streetscape Master Plan)</small>	Local Private Street	Local Streets	Riverside Avenue <small>(Per MMC Streetscape Master Plan)</small>	Schaefer Avenue <small>(Per MMC Streetscape Master Plan)</small>	Primary Community Entries	Neighborhood Community Entries	Paseo Trail Systems	SCE Easement	Neighborhood Parks	Alleys
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