

COMMERCENTRE SPECIFIC PLAN

SP Title Amended as of 1/7/92 to: CORSAIR SPECIFIC PLAN

ONTARIO/SIGNAL

CITY OF ONTARIO, FILE NO. 4009-SP

ACCEPTED ON 7/17/89

Community Development

Building

Engineering

Planning

Public Services

Redevelopment

Fire

Police

*Joseph M. Long*  
*Robert M. Long*  
*W. M. O'Neil*  
*J. S. Talley*  
*J. B. ...*  
*W. ...*

JUNE 1989

PLANNING NETWORK

2940 INLAND EMPIRE BLVD  
SUITE 105, ONTARIO, CA 91764  
(714) 945-2738

SUBJECT TO CONDITIONS

(File No. 4009-SP)

RESOLUTION NO. 89-184

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF  
ONTARIO, CALIFORNIA, APPROVING A SPECIFIC PLAN OF  
THE LAND USE ENTITLED "ONTARIO/SIGNAL  
COMMERCENTER SPECIFIC PLAN"

WHEREAS, the City of Ontario Planning Commission held a public hearing on August 22, 1989, to review the Specific Plan for a 50+ acre site bounded by Mission Boulevard on the north, Cucamonga Creek on the west, Francis Street on the south and Archibald Avenue on the east, submitted by Signal Development Corporation to hear testimony therein; and

WHEREAS, the Planning Commission reviewed a Negative Declaration for this project which determined that there will be no significant environmental impacts associated with this project, and recommend City Council approval of the Negative Declaration; and

WHEREAS, the proposed Specific Plan will comply with the City of Ontario General Plan and will ensure substantial compliance with the spirit, intent and provisions of the Ontario Municipal Code; and

WHEREAS, the proposed development will promote innovative design, ensure land use compatibility, and enable development of an area on a comprehensive and coordinated basis; and

WHEREAS, the Specific Plan must comply with the conditions recommended by the Development Advisory Board;

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Ontario, that the Specific Plan entitled "Ontario/Signal Commercenter" is approved.

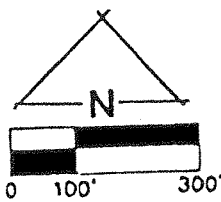
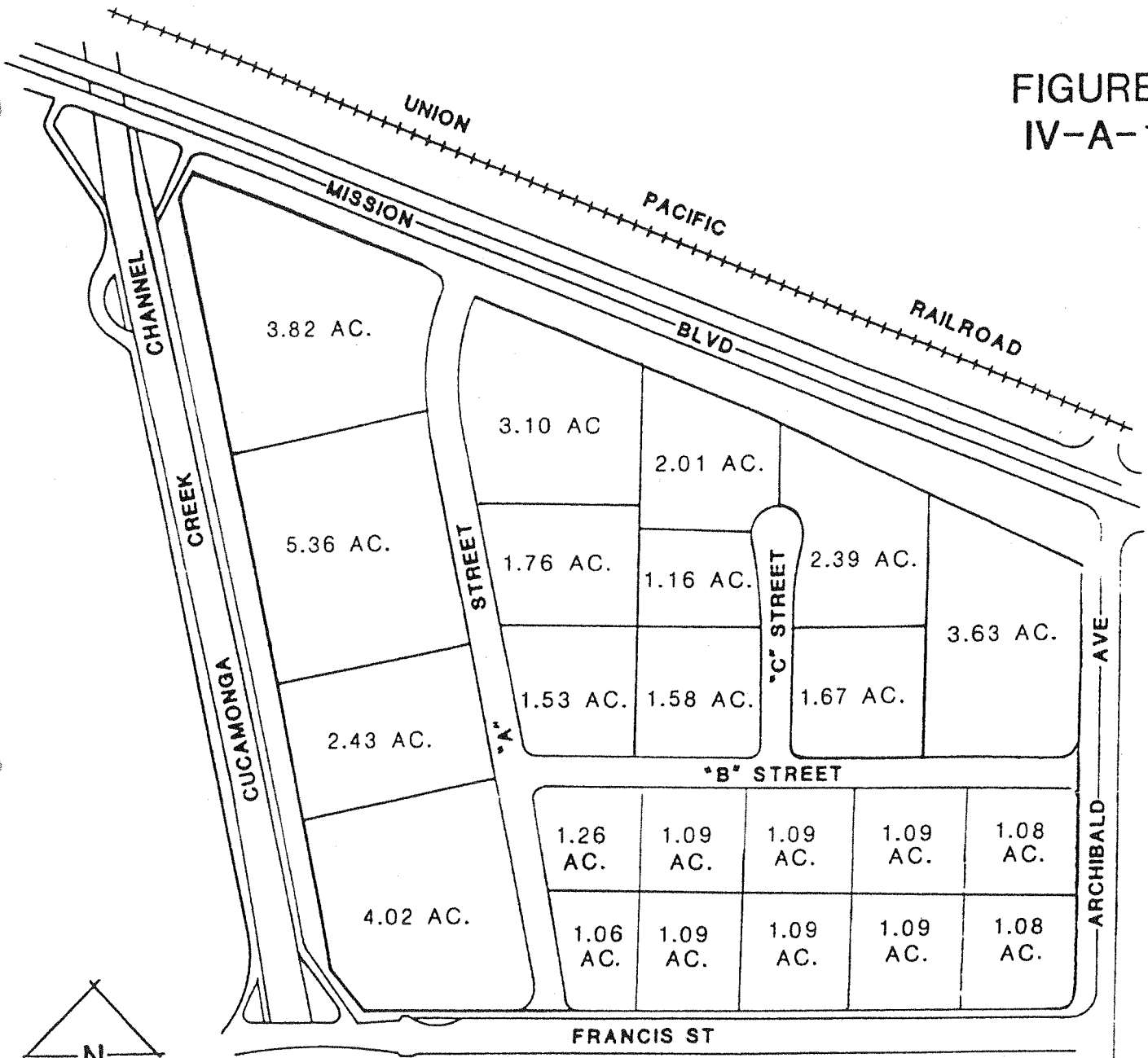
- - - - -

I hereby certify that the above Resolution was duly and regularly adopted by the City Council of the City of Ontario at a regular meeting thereof held on the 7th day of November, 1989.

ORIGINAL SIGNED BY  
De Loris E. Arterburn  
Ontario City Clerk  
City Clerk of the City of Ontario

# LAND USE

FIGURE  
IV-A-1



## LEGEND

INDUSTRIAL

## PLANNING NETWORK

2940 INLAND EMPIRE BLVD  
SUITE 105, ONTARIO, CA 91764  
(714) 945-2738

(File No. 4436-SPA)

RESOLUTION NO. 92-3

A RESOLUTION OF THE CITY COUNCIL OF  
THE CITY OF ONTARIO, CALIFORNIA,  
APPROVING AN AMENDMENT TO THE SIGNAL  
COMMERCE CENTER ONTARIO SPECIFIC  
PLAN

WHEREAS, the City of Ontario Planning Commission held a public hearing on November 26, 1991, to review an amendment to the Signal Commerce Center Ontario Specific Plan to: 1) Change the title of the Specific Plan from Signal Commerce Center Ontario to Corsair Specific Plan; 2) Eliminate internal streets B and C and reparcelize the entire Specific Plan area; 3) Install project entry statements at major intersections; 4) Reclassify certain land uses within the Specific Plan text; 5) Require individual property owners to maintain a City owned landscaped strip along the Cucamonga Creek flood control channel; and

WHEREAS, this amendment affects property within the Signal Commerce Center Ontario Specific Plan, generally located between Mission Boulevard, Francis Street, Archibald Avenue, and the Cucamonga Creek flood control channel; and

WHEREAS, a Negative Declaration was prepared to address the potential environmental issues of the project; and

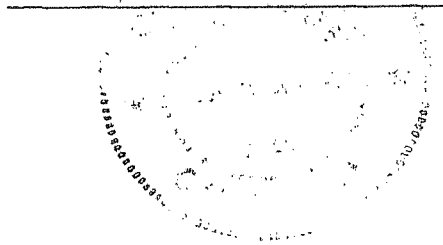
WHEREAS, the proposed Specific Plan Amendment will comply with the City of Ontario General Plan and will insure compliance with the spirit, intent and provisions of the Ontario Municipal Code; and

WHEREAS, the Specific Plan Amendment must comply with the conditions of approval recommended by the Planning Commission and Development Advisory Board.

NOW, THEREFORE, BE IT RESOLVED, the Specific Plan Amendment to the entitled, "Signal Commerce Center Ontario Specific Plan" is hereby approved.

- - - - -

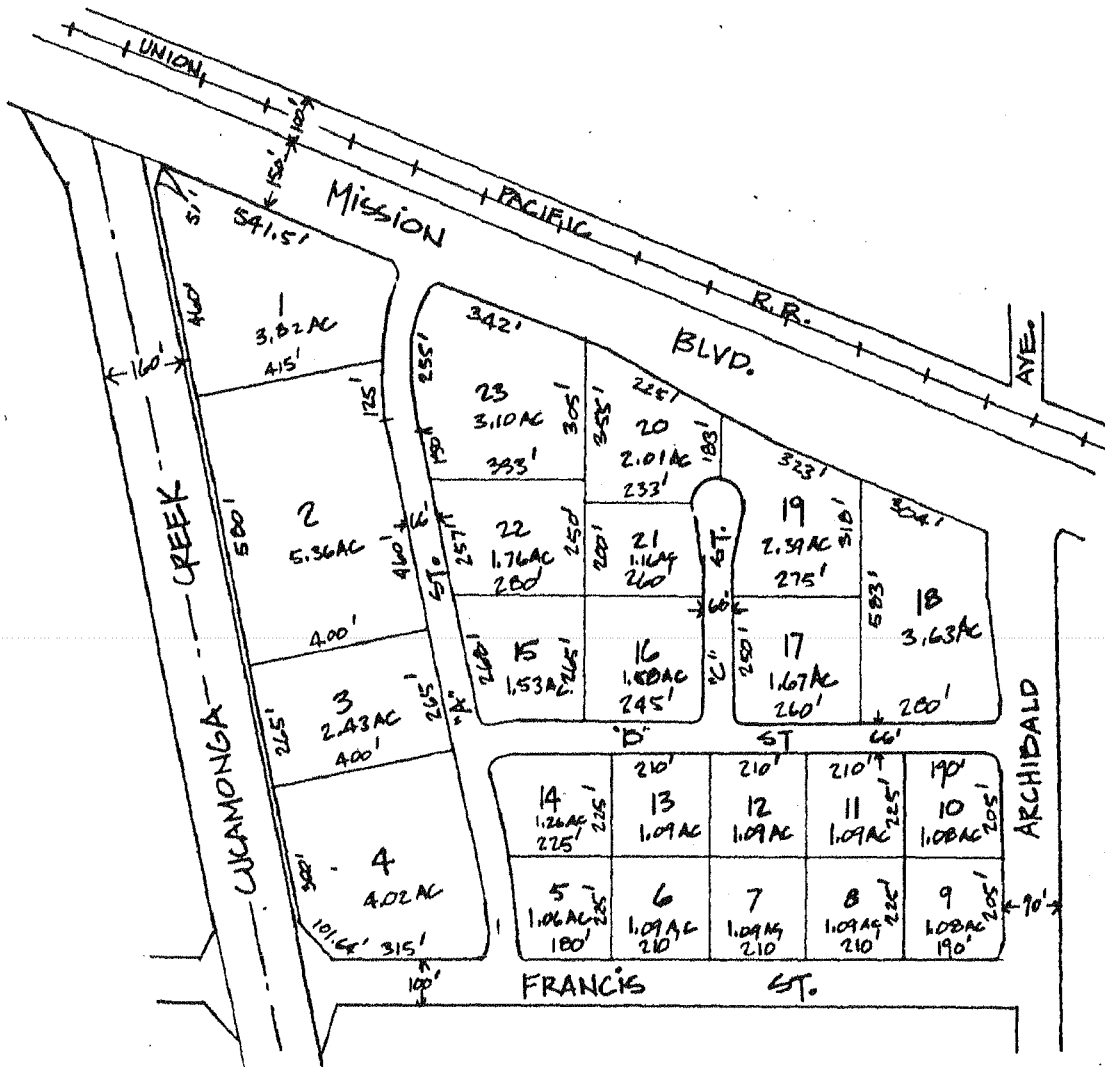
I hereby certify that the above resolution was duly approved and regularly adopted by the City Council of the City of Ontario at a regular meeting thereof held on the 7th day of JANUARY, 1992 .



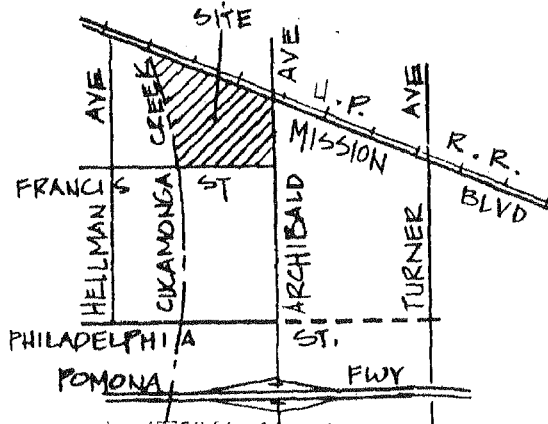
*Louis C. Osterman*  
City Clerk of the City of Ontario

# ONTARIO PLANNING DEPARTMENT

## ORIGINAL LAND USE CONFIGURATION



### VICINITY MAP



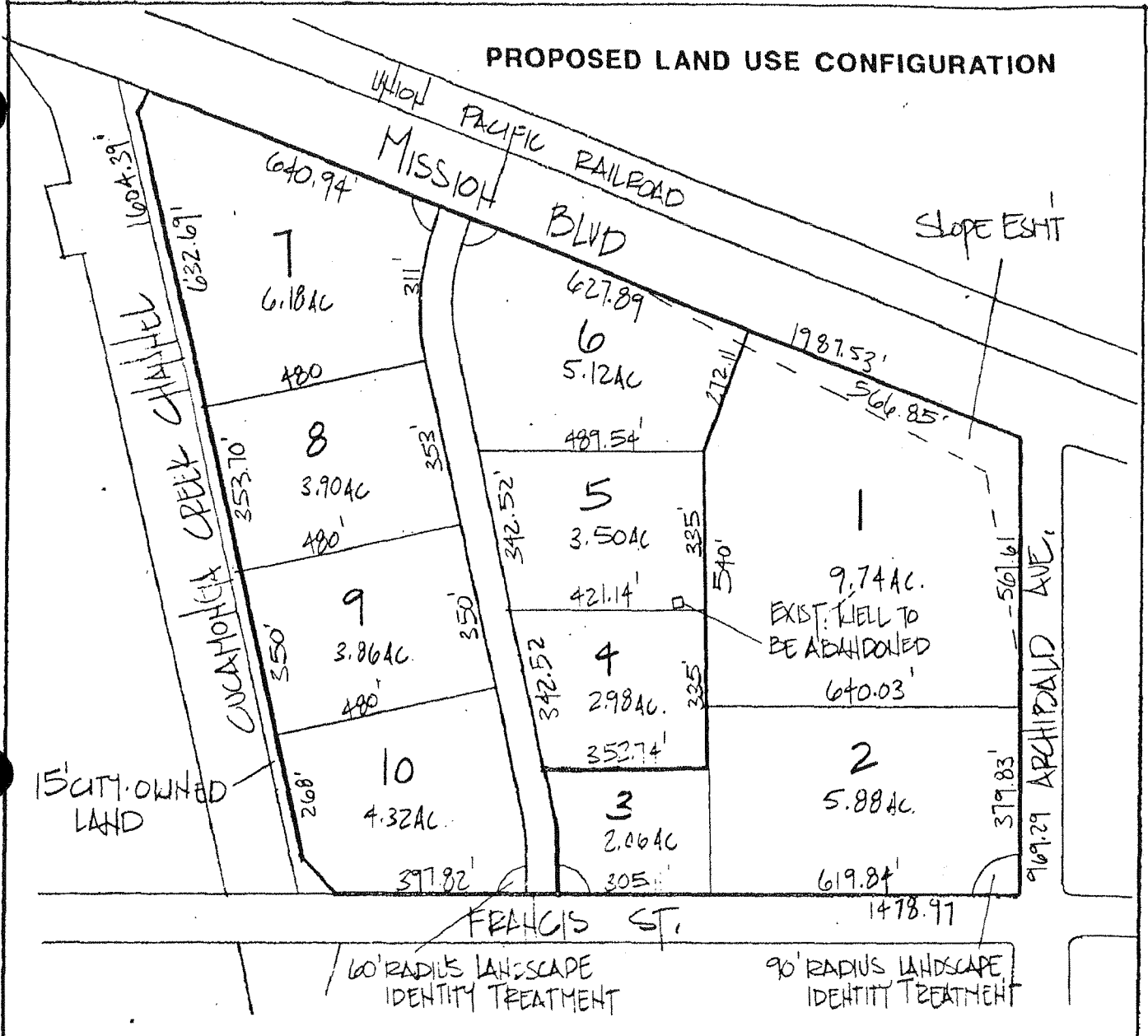
### LEGEND

A Specific Plan and a twenty-three (23) lot tentative parcel map for a 50.71 site located south of Mission Boulevard; east of Cucamonga Creek, west of Archibald Avenue and north of Francis Street; submitted by Signal Development Corporation.

**FILE #** 4009-SP and PM 1248

# ONTARIO PLANNING DEPARTMENT

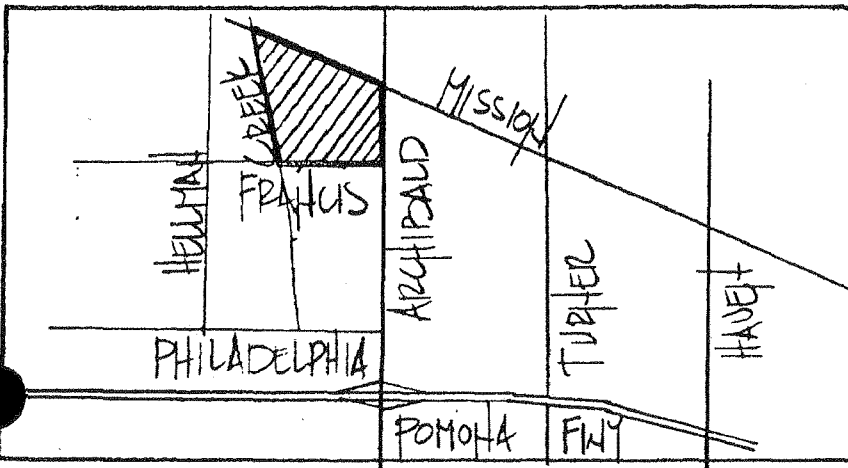
## PROPOSED LAND USE CONFIGURATION



### VICINITY MAP

N

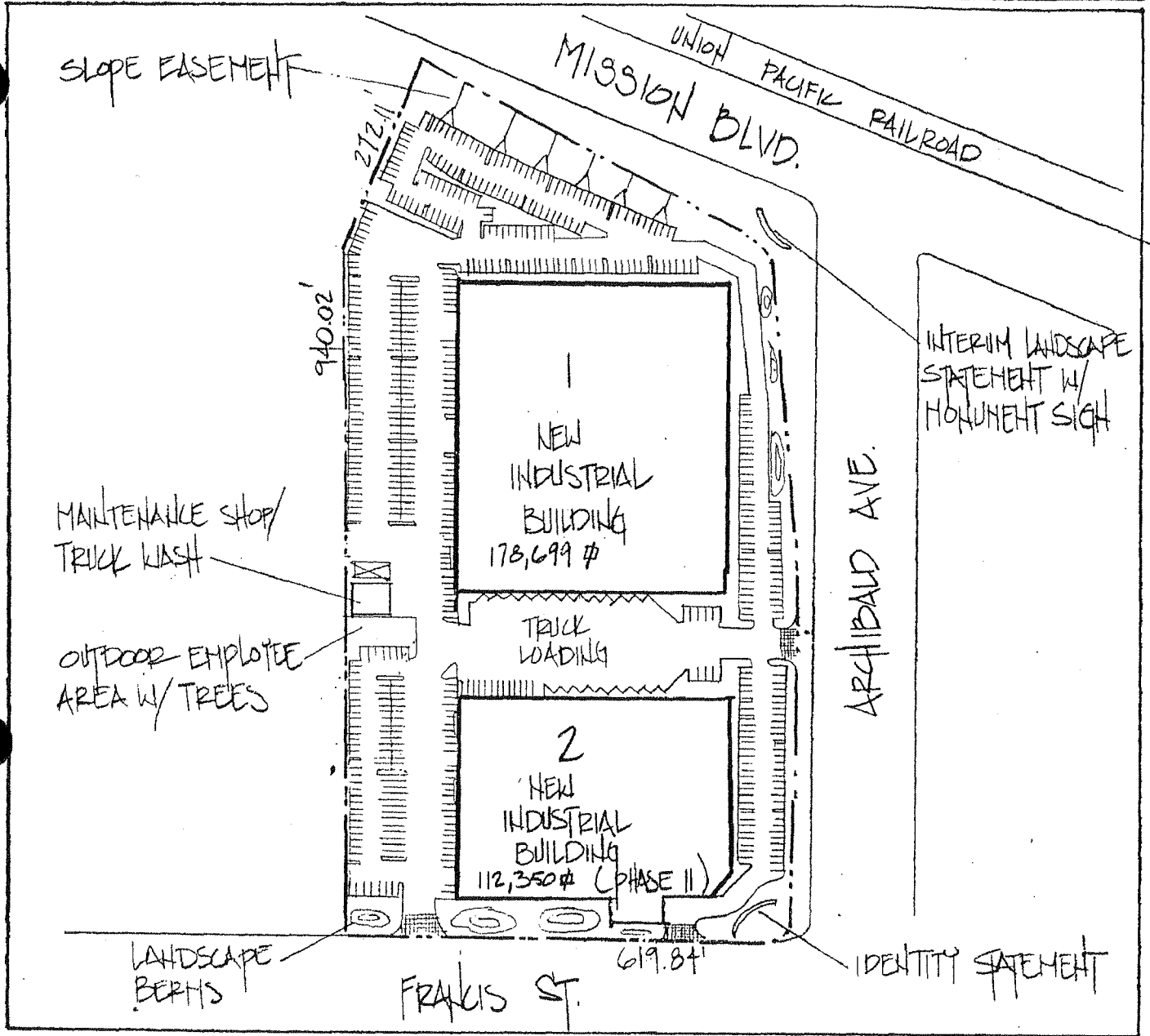
### LEGEND



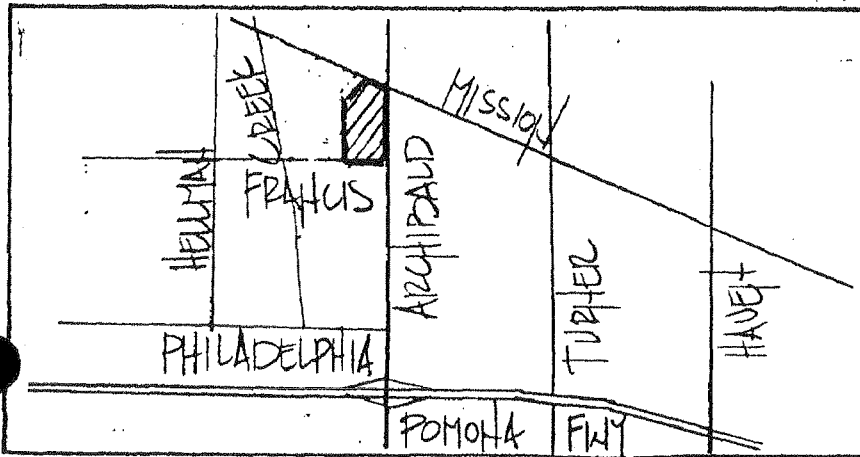
A Specific Plan Amendment to facilitate a name change from the existing Signal Commerce Centre Ontario Specific Plan to the Corsair Centre Specific Plan, modify the internal street pattern and allow minor text changes. A ten (10) lot or fewer SP tentative parcel map on a 50.71 acre site for property generally located at the southwest corner of Mission Boulevard and Archibald Avenue; submitted by Ulmer Properties, Inc.

**FILE #** 4436-SPA. PM 1313, 4473-5

# ONTARIO PLANNING DEPARTMENT



## VICINITY MAP



## LEGEND

A Specific Plan Amendment to facilitate a name change from the existing Signal Commerce Centre Ontario Specific Plan to the Corsair Centre Specific Plan", modify the internal street pattern and allow minor text changes. A ten (10) lot or fewer SP tentative parcel map on a 50.71 acre site for property generally located at the southwest corner of Mission Boulevard and Archibald Avenue; submitted by Fullmer Properties, Inc.

**FILE #** 4436-SPA, PM 1313,  
4473-S

**CORSAIR CENTRE SPECIFIC PLAN**

**IV. LAND USE PLAN AND DEVELOPMENT STANDARDS**

Industrial Park is the exclusive land use within the Corsair Centre. The Industrial Park development standards have been established to create a design "bridge" in context with surrounding Industrial and Business Park areas. This consistency is accomplished by enhancing the Corsair Centre's architectural standards for exterior elevations adjacent to Mission Boulevard and Archibald Avenue, consistent with the Mission Boulevard Corridor Study.

The net Industrial Park acreage within the Corsair Centre is 47.98, with the remaining 2.73 acres being utilized for public rights-of-way.

**TABLE IV-1**

**LAND USE SUMMARY**

<u>LAND USE TYPE</u>	<u>ACREAGE</u>	<u>SQUARE FOOTAGE</u>
Industrial Park	47.34	2,062,130
Street R.O.W.	8.45	368,082
<b>TOTALS</b>	<b>55.79</b>	<b>2,430,212</b>

<u>Land Use</u>	<u>Acreage</u>	<u>Max.Bldg. Coverage</u>	<u>Stories Height</u>	<u>Max. Bldg. Square Footage<sup>1</sup></u>
IP	47.34	45%	1-2	927,959 <sup>1</sup>

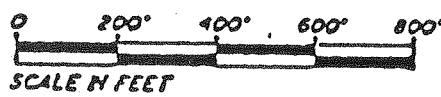
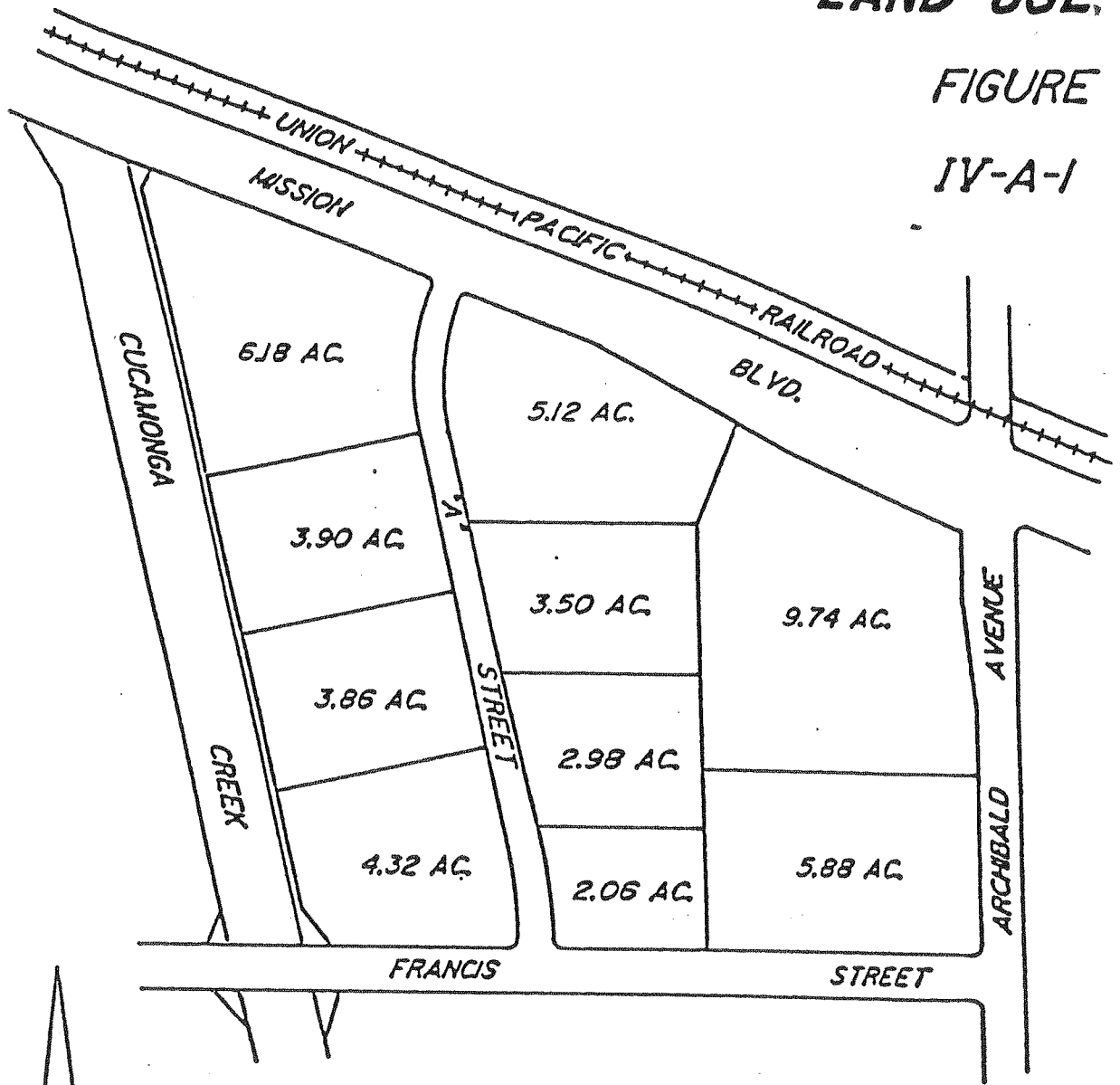
<sup>1</sup> Footnote shown reflects maximum first floor development



# LAND USE

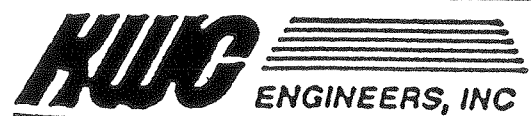
FIGURE

IV-A-1



## LEGEND

INDUSTRIAL PARK



CIVIL ENGINEERS, PLANNERS AND CONSTRUCTION CONSULTANTS  
1000 W. FOLBROCK ROAD, SUITE 104 • COVINA, CA 91724 • 714 / 734-2120

IV-2-A

D. INDUSTRIAL PARK DEVELOPMENT STANDARDS

1. Minimum Parcel Size: 1.00 acre
2. Maximum Building Height 40 feet or 2 stories
3. Minimum Building Setbacks Refer to Table IV-D-1
4. Minimum Parking Setbacks Refer to Table IV-D-1
5. Parking Requirement Per City of Ontario Parking Standards (See Appendix B)
6. Landscape Requirements
  - a. Minimum landscape coverage shall be fifteen percent (15%) of net parcel area.
  - b. The front and exterior parking setback areas shall be 100% landscaped.
  - c. All parking visible from any public street must be shielded by bermed mounding planted with trees, shrubs and ground cover.
  - d. Maximum 10 cars between finger type planters, minimum 6' wide outside dimension for parking areas.
  - e. All landscaped areas to be delineated with minimum 6" concrete curb.
  - f. Front and exterior side building elevations shall be softened by a 10-foot landscaped area.
  - g. Ten-foot interior side parking setback shall be 100% landscaped.
  - h. Lots adjacent to the westerly 15' City-owned strip parcel shall landscape said parcel and may utilize 10' of the landscaping for minimum landscape percentage calculations.
  - i. All parking setbacks shall be fully landscaped.

TABLE IV-D-1

BUILDING AND PARKING SETBACK SUMMARY  
INDUSTRIAL PARK

	BUILDING	PARKING
<b>MISSION BOULEVARD</b>		
Front:	45'	20'
Exterior Side:	Use the exterior street's frontage setback	
Interior Side:	0'	20'
Other Side:	10'	20'
Rear:	0'	20'
<b>ARCHIBALD AVENUE</b>		
Front:	45'	13'
Exterior Side:	Use the exterior street's frontage setback	
Interior Side:	0'	10'
Other Side:	10'	10'
Rear:	0'	5'
<b>FRANCIS STREET</b>		
Front:	34'	8'
Exterior Side:	Use the exterior street's frontage setback	
Interior Side:	0'	10'
Other Side:	10'	10'
Rear:	0'	5'
<b>"A" STREET (PROFORMA AVE)</b>		
Front:	30'	10'
Exterior Side:	Use the exterior street's frontage setback	
Interior Side:	0'	10'
Other Side:	10'	10'
Rear:	0'	5'

All setback shall be measured from property line.

Sidyard parking setbacks may be reduced to 0' if designed as reciprocal parking and access with the adjacent property.

## 7. Loading Areas

- a. Loading areas shall be designed to provide adequate area for backing and maneuvering on-site and not onto or from a public street. Minimum backup for semi truck with 90° parking (dock high loading) to be 120' clear.
- b. Loading areas shall not encroach into parking setbacks.
- c. All loading areas shall be screened from public rights-of-way and public areas of adjacent parcels via architectural integrated walls and/or landscaping as required by the City Planner.
- d. Buildings should be designed per the conceptual site plans shown in Figures IV-D-1 and IV-D-2 which show loading areas located to the side or rear of the buildings.
- e. Where loading doors front a public street, roll-up doors and openings in the screen wall shall be positioned such that the doors are not visible from the street.
- f. All loading areas fronting a public street shall be screened by a combination of screen walls, ornamental landscaping, and/or portions of the building such that the roll-up doors are not visible from the public street.
- g. Loading doors fronting a public street shall not be closer than 105' from the front property line.
- h. A sight-line analysis shall be required with all development applications, and shall demonstrate that all roll-up doors are screened from view from public streets. (See diagram in Figure IV-D-3).
- i. Wall shall be softened with vine and trees where practical within loading areas.

## 8. Outdoor Storage

- a. Unless approved in writing by the City Planner, no materials, supplies, or equipment, including trucks or other motor vehicles, shall be stored upon a site except inside a closed building or behind a visual barrier screening such materials, supplies, or vehicles so as not to be visible from public rights-of-way or adjacent properties.

- b. Any storage areas screened by visual barriers shall be located upon the rear portion of a site, unless otherwise approved in writing by the City Planner. No storage areas may extend into the required setback area.
- c. All storage screening shall be a minimum of 8 feet in heights. No materials shall be stored higher than the screening wall.
- d. All storage areas adjacent to a public street shall be screened by a concrete screen wall and ornamental landscaping.
- e. Location of outdoor storage areas shall be shown on the development site plan and shall be subject to approval by the City of Ontario Development Advisory Board.
- f. Exterior finish of all screenwalls shall employ architectural treatment of adjacent building elevations (i.e., reveal lines, sandblast, scoring, etc.)

9. Exterior Building Materials

- a. All building improvements, with the exception of trim and minor architectural features, shall be constructed of masonry, concrete, glass, or other material approved by the City Planner (no precision block).

10. Roofing and Rooftop Equipment

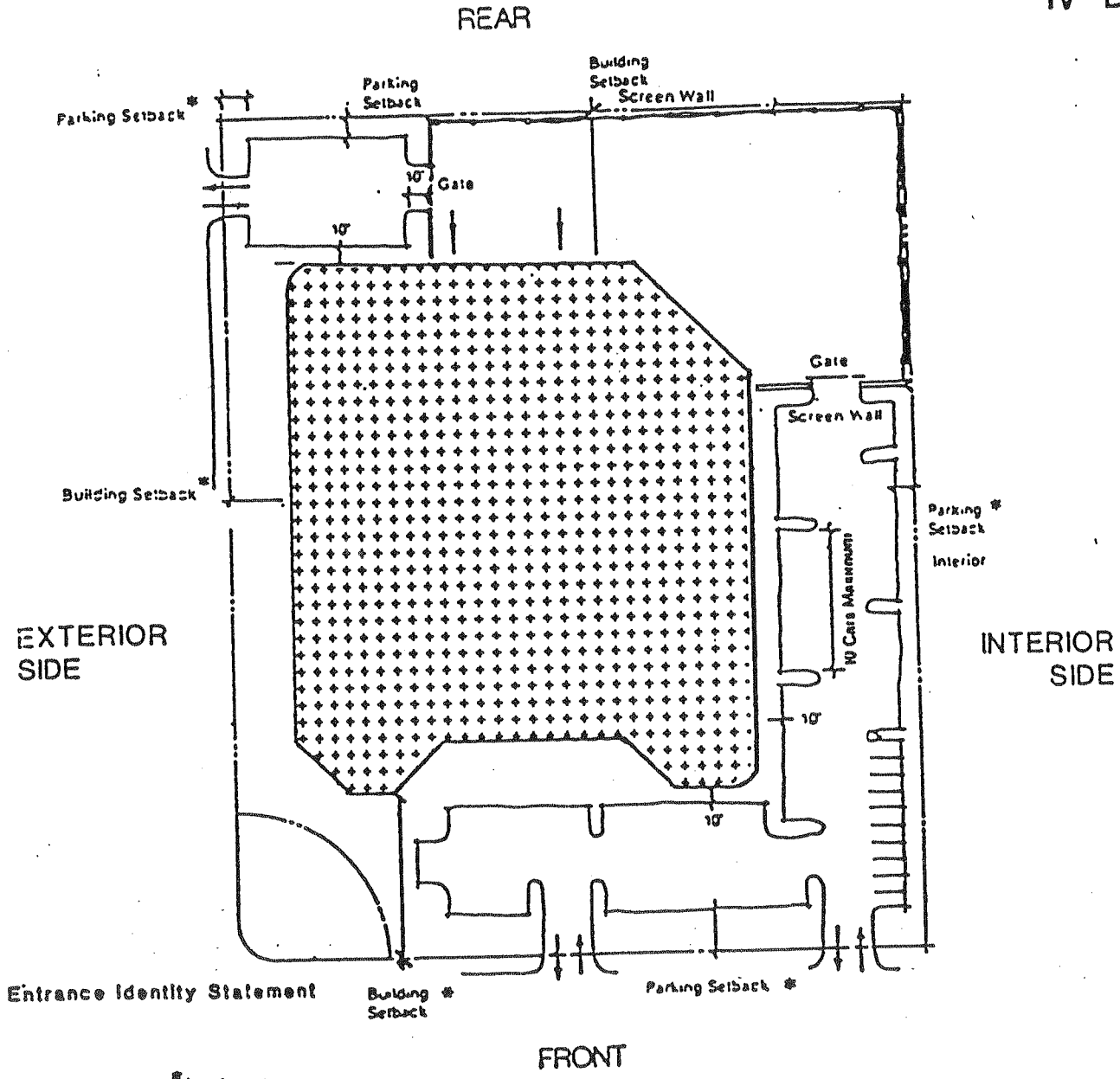
- a. Opaque screening shall be provided to conceal all rooftop equipment.
- b. Unless roofing materials are a part of the design element, the ridge line elevation shall not exceed the parapet elevation.
- c. All mechanical equipment on top of the roof shall be painted to blend with the building and roofing materials.

11. Signage

All signs shall be subject to the provisions of the Master Signage Plan and will require the approval of the City Planner (Refer to Table VI-A-1).

(Corner Parcel)

FIGURE IV-D-1



\* Landscape Easement Varies See Master Plan

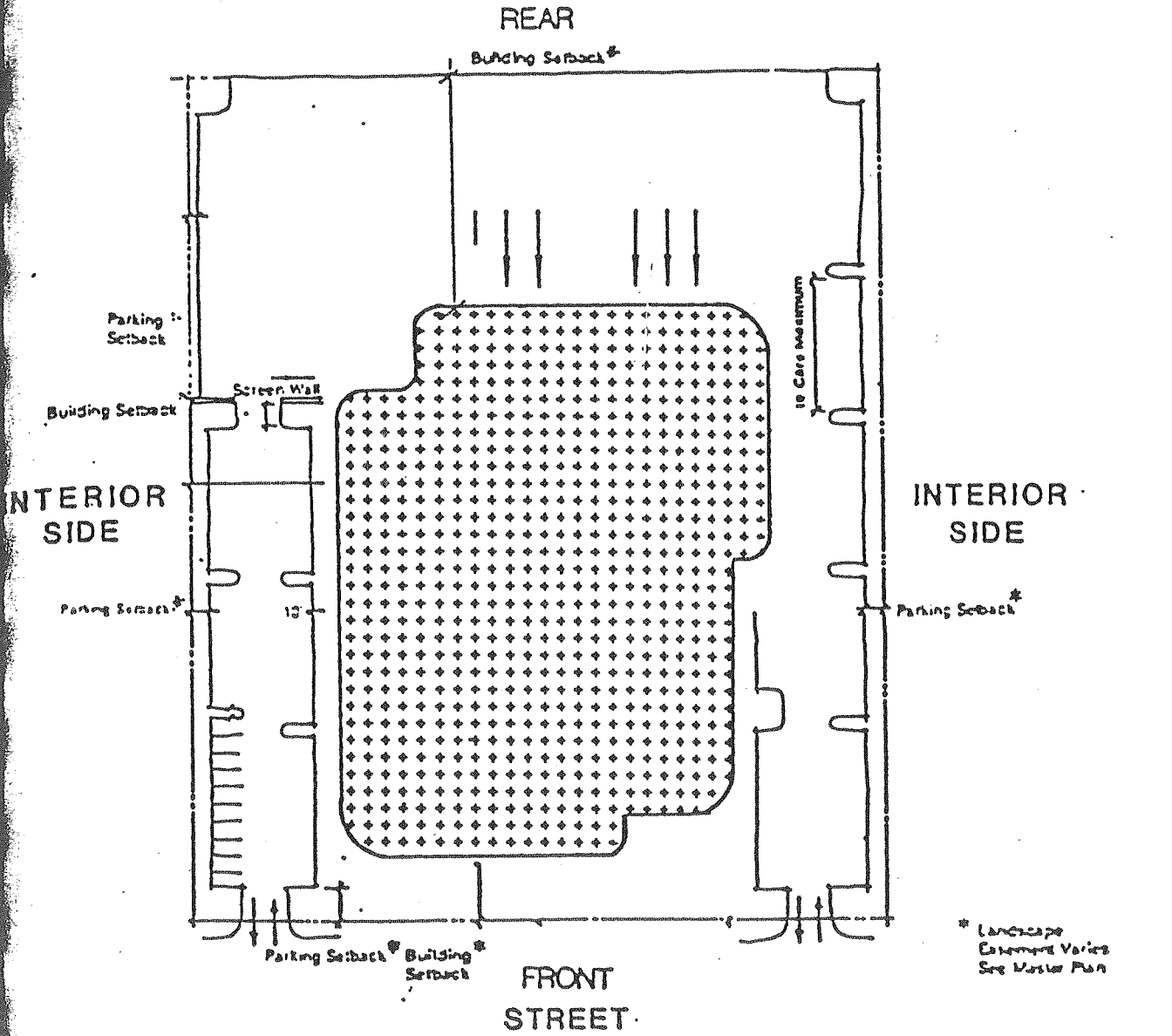
LEGEND

[Cross-hatched box] Building

PLANNING NETWORK

150 INLAND EMPIRE BLVD  
SUITE 105, ONTARIO, CA 91764  
14) 945-2738

FIGURE IV-D-2



LEGEND



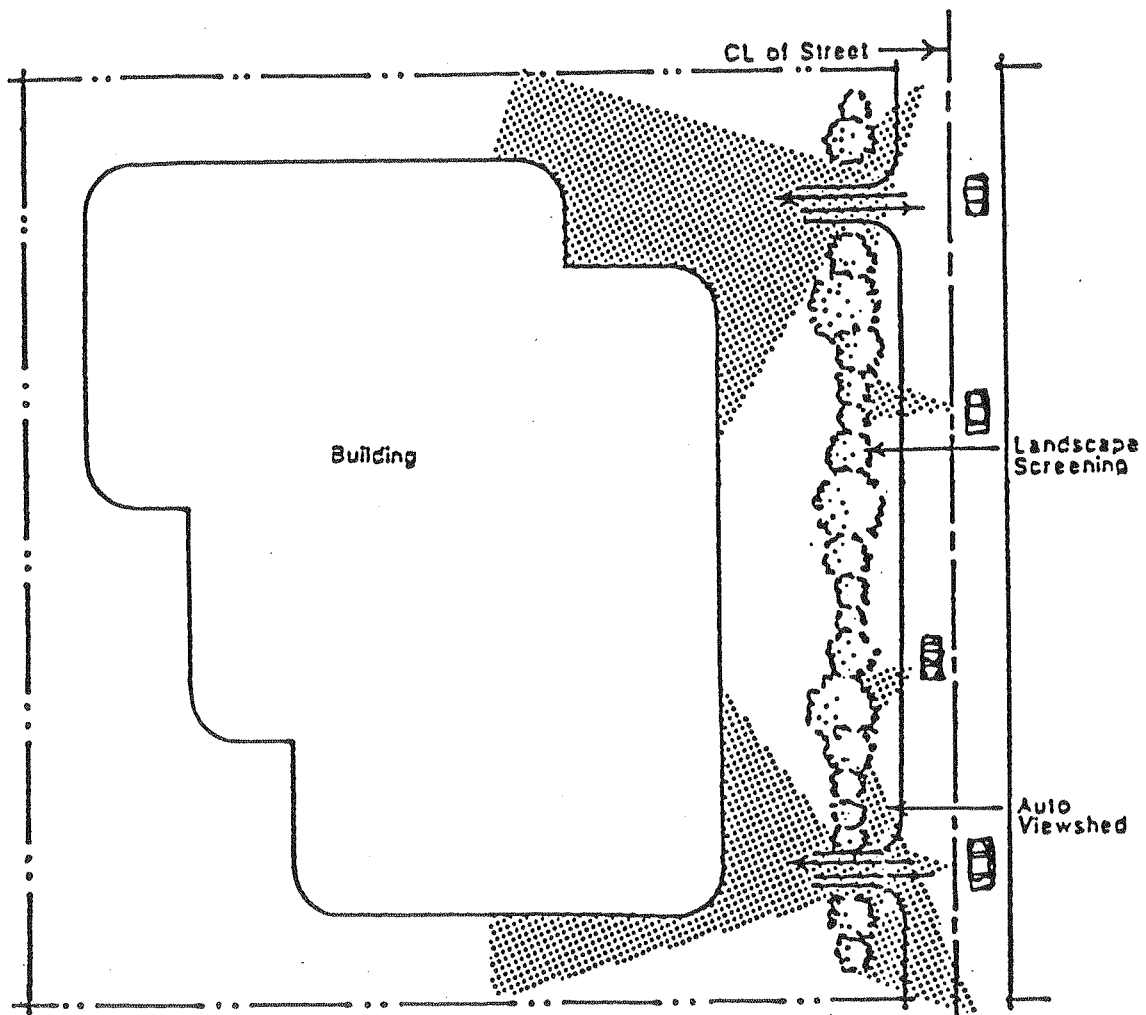
Building

PLANNING NETWORK

940 INLAND EMPIRE BLVD  
SUITE 105, ONTARIO, CA 91764  
(714) 945-2738

# SIGHT LINE ANALYSIS

FIGURE  
IV-D-3



## LEGEND



View Corridors

**PLANNING  
NETWORK**

2940 INLAND EMPIRE BLVD  
SUITE 105, ONTARIO, CA 91764  
(714) 945-2738



**E. SOUND ATTENUATION CRITERIA**

The City of Ontario has adopted within their General Plan maximum interior sound levels from the State of California Department of Health, Office of Noise Control. (Noise Element guidelines, Feb. 1976). The following is a table reflecting those sound levels. As the project site is in close proximity to the Union Pacific Railroad and Mission Boulevard, sound attenuation measures may need to be implemented for interior spaces. An acoustical analysis may be required prior to the approval of the site plans and is subject to review by the City Acoustical Engineer/consultant.

The maximum interior sound level criteria has been established as shown in Table IV-F-1.

**TABLE IV-F-1**

**MAXIMUM INTERIOR NOISE LEVELS, NON-RESIDENTIAL CONSTRUCTION**

Noise levels during the hours from 7 a.m. to 7 p.m. which shall not be exceeded for the interior areas of the project are as follows:

Use	Sound Level, LEQ
Private Offices	40 - 50 DBA
General Offices, Reception, Typing, Clerical	45 - 55
Banks, Retail Stores	50 - 55
Other Uses and Areas for Manufacturing, Assembly Testing, Etc.	55 - 65

(Where LEQ is the Energy Equivalent Sound Level during the hours 7 a.m. to 7 p.m.)

## F. DUST CONTROL

As the project is situated within the San Bernardino County Dust Control District, the provisions of County ordinance 2069 must be followed (Appendix C).

## G. MISSION BOULEVARD DEVELOPMENT CRITERIA

The City of Ontario has established standards for regulating development adjacent to Mission Boulevard. These standards have been adopted by the Ontario Planning Commission, Resolution No. 2392, May 27, 1980, and shall apply to elevations adjacent to Mission Boulevard within the Corsair Centre.

### 1. Building Orientation

a. All building shall face the Boulevard, except where the Boulevard is substantially elevated.

b. The size, height, number and type of on-premise signs shall be the minimum necessary for identification pursuant to the Corsair Centre Specific Plan Master Signage Plan.

c. Overhead doors, garages, or loading zones shall be placed facing away from view of the Boulevard.

d. All mechanical equipment shall be screened from public view.

To implement the established Resolution, all structures located adjacent to Mission Boulevard shall incorporate additional architectural articulation along the Mission Boulevard elevation. This articulation shall be of design and material quality normally associated with a structures' primary frontage, and shall incorporate a significant pedestrian access to the structure within the Mission Boulevard frontage or on a corner of the frontage which is visible from Mission. The frontage shall also incorporate features such as surface plane variation, trellis areas, theme walls, materials variation, and similar detail to avoid non-descript, imposing elevations along Mission Boulevard.

### 1. Landscaping

a. Not less than 20 feet of landscaping, measured from the public right-of-way, shall be provided and permanently maintained.

b. Proposed development should be designed to preserve existing stands of trees wherever practical.

RECEIVED  
CITY OF ONTARIO  
PLANNING DEPT.

JUN 29 1989

AM

PM

7|8|9|10|11|12|1|2|3|4|5|6



## ONTARIO/SIGNAL COMMERCENTRE SPECIFIC PLAN

Prepared For:

SIGNAL DEVELOPMENT CORPORATION  
17890 Skypark Circle  
Irvine, CA 92714

714-261-0360

Prepared By:

PLANNING NETWORK  
2940 Inland Empire Blvd.  
Suite 105  
Ontario, CA 91764

714-945-2738

Submitted: November 17, 1988

Pre-Development Advisory Board: March 6, 1989

Development Advisory Board: June 19, 1989

Planning Commission Approval: 8/22/89

City Council Approval: 11/7/89

6-6-89