

## **2. EXISTING CONDITIONS**

### **2.1 Project Location**

#### *Regional*

The Bridgestone/Firestone Industrial Park Specific Plan is centrally located within the Southern California region (see **Exhibit 1, Regional Map**). The 95-acre site is approximately 30 miles from Los Angeles and Orange Counties, and 20 miles from downtown San Bernardino. The site is under the jurisdiction of the City of Ontario. Rancho Cucamonga, Upland, Fontana, Chino, and Montclair are neighboring cities. The County of Riverside lies easterly of the site.

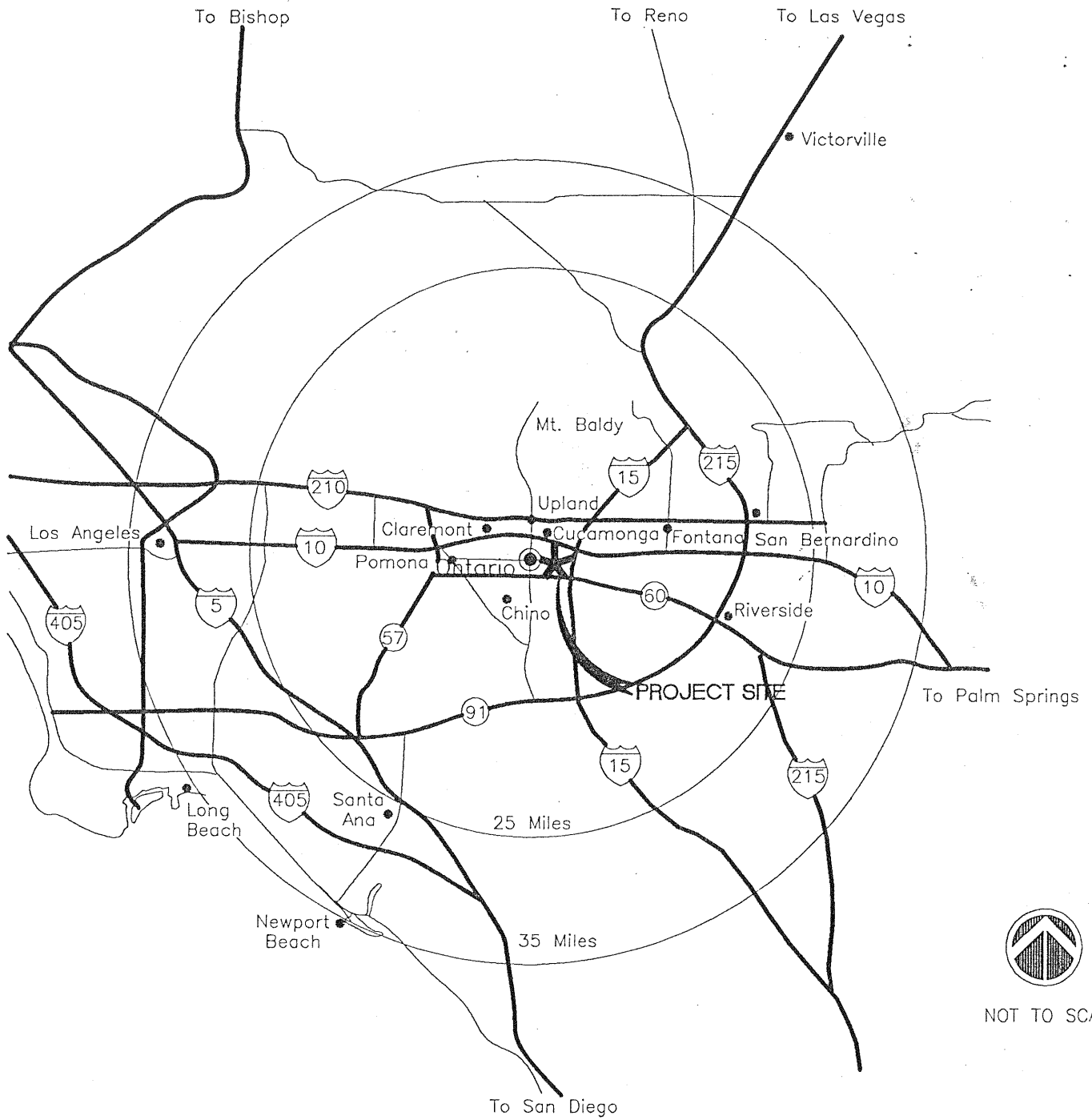
Three major transportation corridors border the project site, Interstate 10, Interstate 15, and State Route 60. Interstate 15 and State Route 60 are less than one mile from the site. However, there is no access point from Interstate 15 at Mission Boulevard. The access to the project site can be taken from State Route 60 at Milliken Avenue. The Ontario International Airport is less than a 10 minute drive northwest.


This area is known geographically as the Chino Basin. The basin is formed by the San Bernardino Mountains to the north, the Jurupa Hills to the east, the Santa Ana Mountains to the south, and the San Jose Hills to the west.

#### *Vicinity*

Mission Boulevard creates the northerly boundary of the site, while Milliken Avenue borders the east (see **Exhibit 2, Vicinity Map**). This southeast portion of the City of Ontario has been experiencing a transition from agricultural vineyard type uses to commercial and industrial uses.

The topography of the 95-acre site is generally flat. Vegetation covering the area consists of abandoned vineyards, row crops, fallow lands and sparse to moderate amounts of brush and weeds. Several large scale industrial complexes have been developed nearby. The Milliken Landfill is located northeasterly across Mission Avenue.

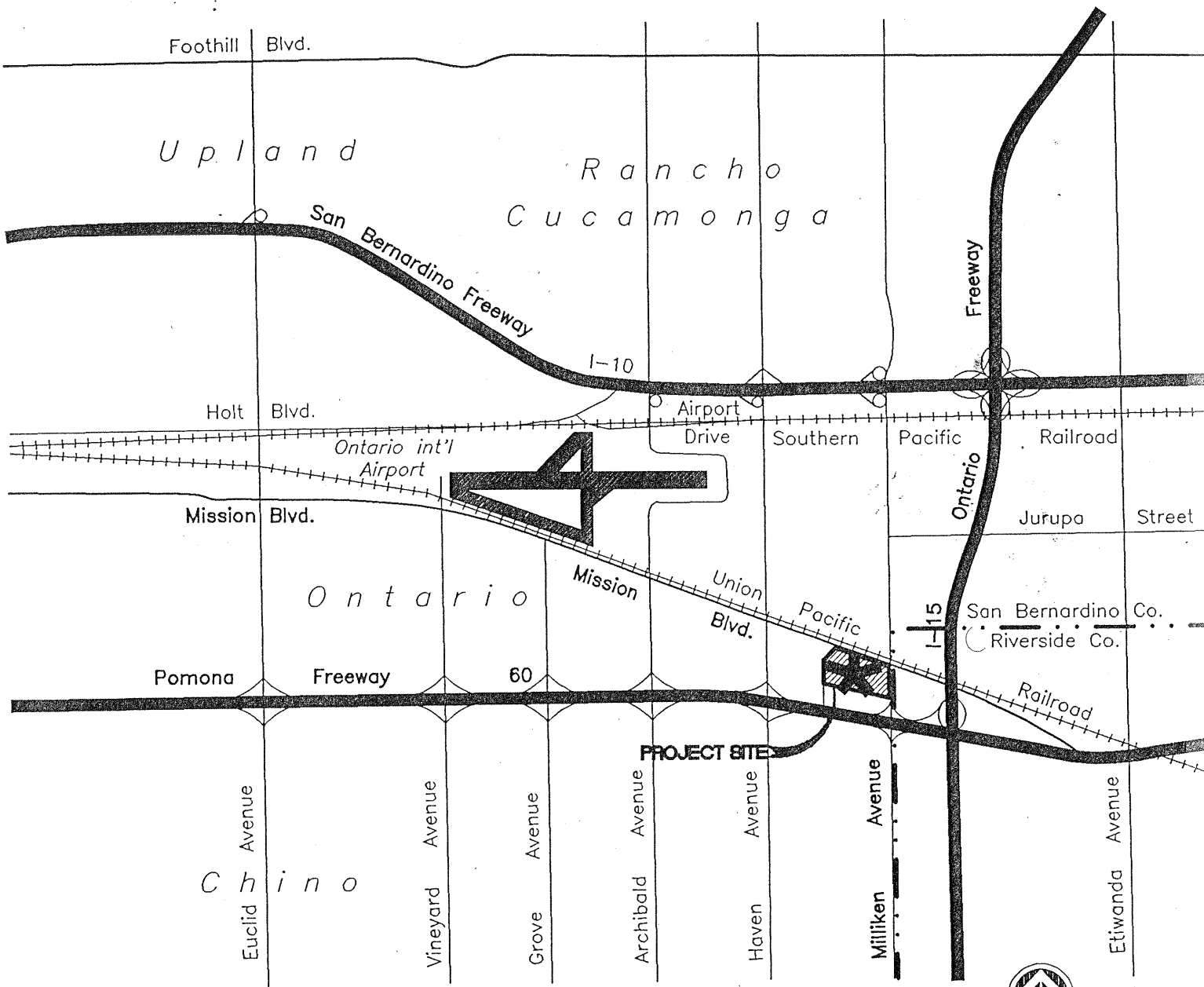


  
 NOT TO SCALE

**Regional Map**  
 Bridgestone/Firestone  
 Industrial Park Specific Plan

**Exhibit 1**





NOT TO SCALE

**Vicinity Map**  
 Bridgestone/Firestone  
 Industrial Park Specific Plan

**Exhibit 2**



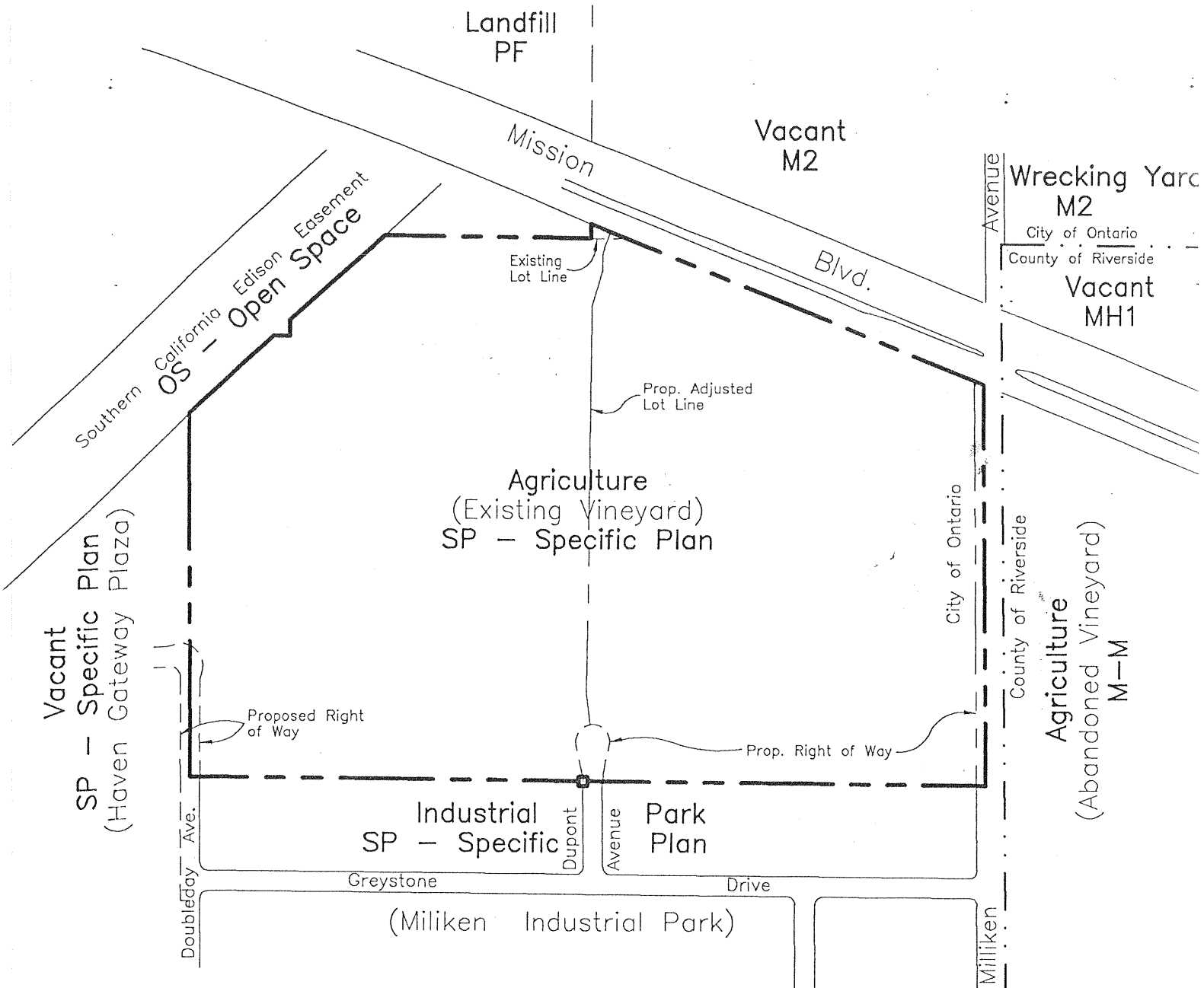
## **2.2 Existing Land Uses**

The land use of the project site is agricultural. Rows of grapevines currently occupy the land area. No structures remain on the site (see **Exhibit 3, Existing Land Uses/Zoning**). The land immediately to the west is vacant with scattered brush. A 330' public utility easement for Southern California Edison runs along the angled northwest corner of the project boundary. Large 12,000 volt overhead Edison lines occupy this easement.

The Milliken Landfill is located northeasterly of the site on Mission Boulevard. The landfill is tentatively scheduled for closure in 1999. A Union Pacific Railroad Mainline borders the landfill running parallel with Mission Boulevard.

The property east of the site along Milliken Avenue is also vineyard. The land that lies immediately to the south of the project is the 51 acre Milliken Industrial Park. Two of the parcels within the "Park" have been improved by industrial-type users. These parcels both front Greystone Drive. A non-operating well is located adjacent to the southern boundary line of the project site, at the current end of Dupont Avenue.

The 95-acre site is currently designated "Planned Industrial" per the City of Ontario's General Plan, and zoned M2.5 Industrial Park District. These designations allow for industrial park uses, provided a Specific Plan is filed and approved as required by the "Planned Industrial" General Plan designation.



Zoning Legend

City of Ontario

- M2 General Industrial
- OS Open Space
- PF Public Facilities
- SP Specific Plan

County of Riverside

- MH1 Heavy Manufacturing
- MM Manufacturing



NOT TO SCALE

**Existing Land Use/Zoning**

**Exhibit 3**

**Bridgestone/Firestone  
Industrial Park Specific Plan**

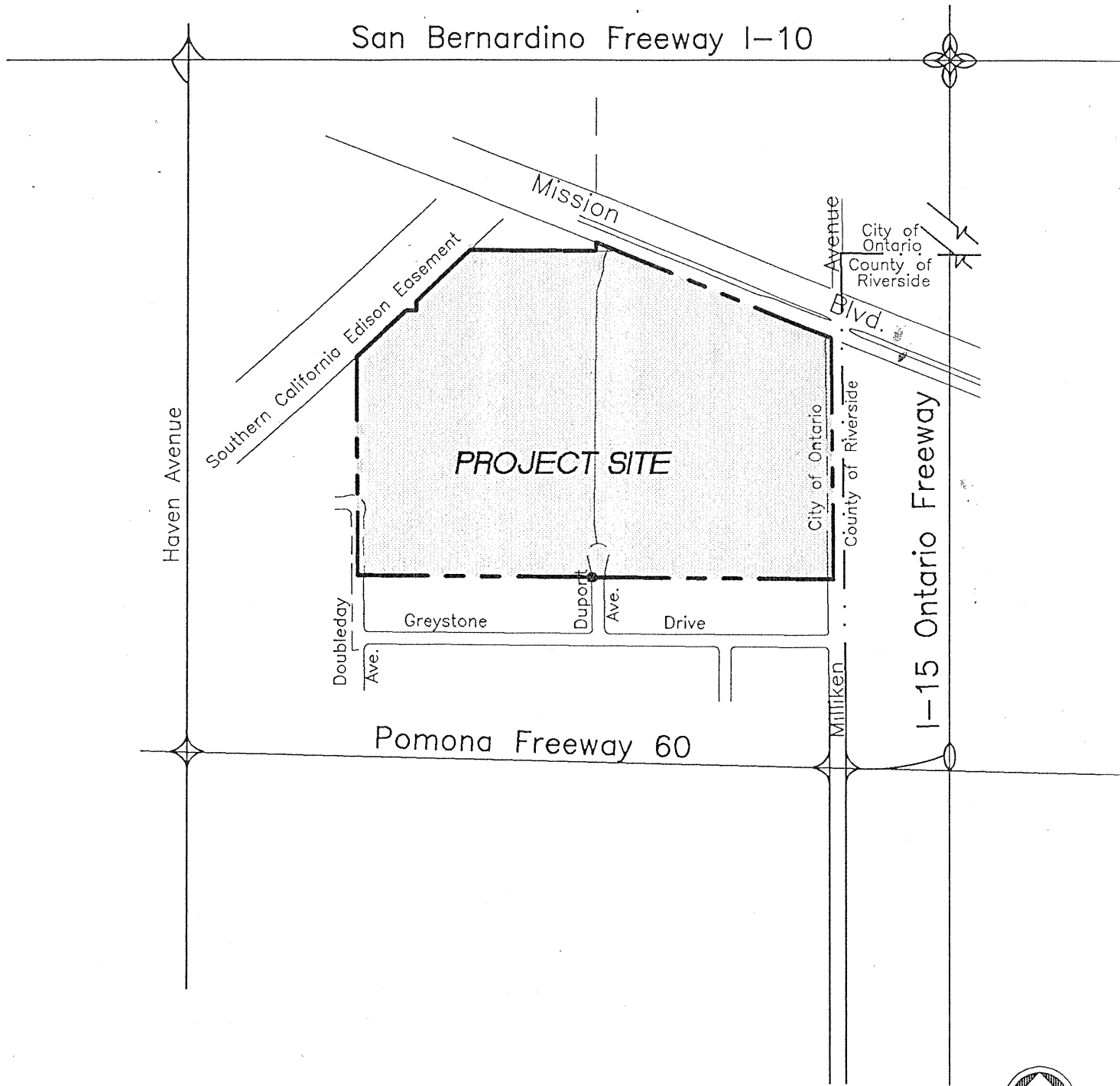


### **2.3 Existing Circulation**

Interstate 15 and State Route 60 are within a one-mile radius of the project site, making the site easily accessible from every direction. Interstate 15 provides major north-south connections, while State Route 60 provides east-west connections. Local circulation is provided by Mission Boulevard, which angles in a northwesterly-southeasterly direction. This roadway is considered a principal thoroughfare of the City. It is designated as a Divided Arterial with an ultimate right-of-way of 150 feet. Currently the improved right-of-way varies along the length of the roadway. The portion of Mission Boulevard that fronts the Bridgestone/Firestone project consists of two paved lanes running easterly, and two paved lanes running westerly with a "dirt median" serving as a divider.

Milliken Avenue, which borders the east side of the project, is also considered to be a principal thoroughfare and is designated as a Divided Arterial. It provides local north/south circulation. It currently is paved with four undivided lanes.

Milliken Industrial Park, located directly south of the project, provides circulation to the project site via Greystone Drive, Doubleday Avenue and Dupont Avenue (see **Exhibit 4, Existing Circulation Map**). Currently, Dupont Avenue is improved full width to the southerly boundary of the project as a "local industrial street," Doubleday Avenue is currently improved on the easterly one-half (32' of paving) only up to the project's southerly boundary, per the "collector street" standards.



SCALE: 1"=800'

*Existing Circulation Map*  
*Bridgestone/Firestone*  
*Industrial Park Specific Plan*

*Exhibit 4*



## **2.4 EXISTING DRAINAGE/STORM DRAIN**

### **Existing Drainage**

A preliminary drainage analysis of the site and tributary areas (study area) was performed. The study area ground surface gently slopes to the south at approximately 1.0 to 2.5%. Existing drainage facilities in the study area are comprised of natural drainage courses and culverts under Mission Boulevard.

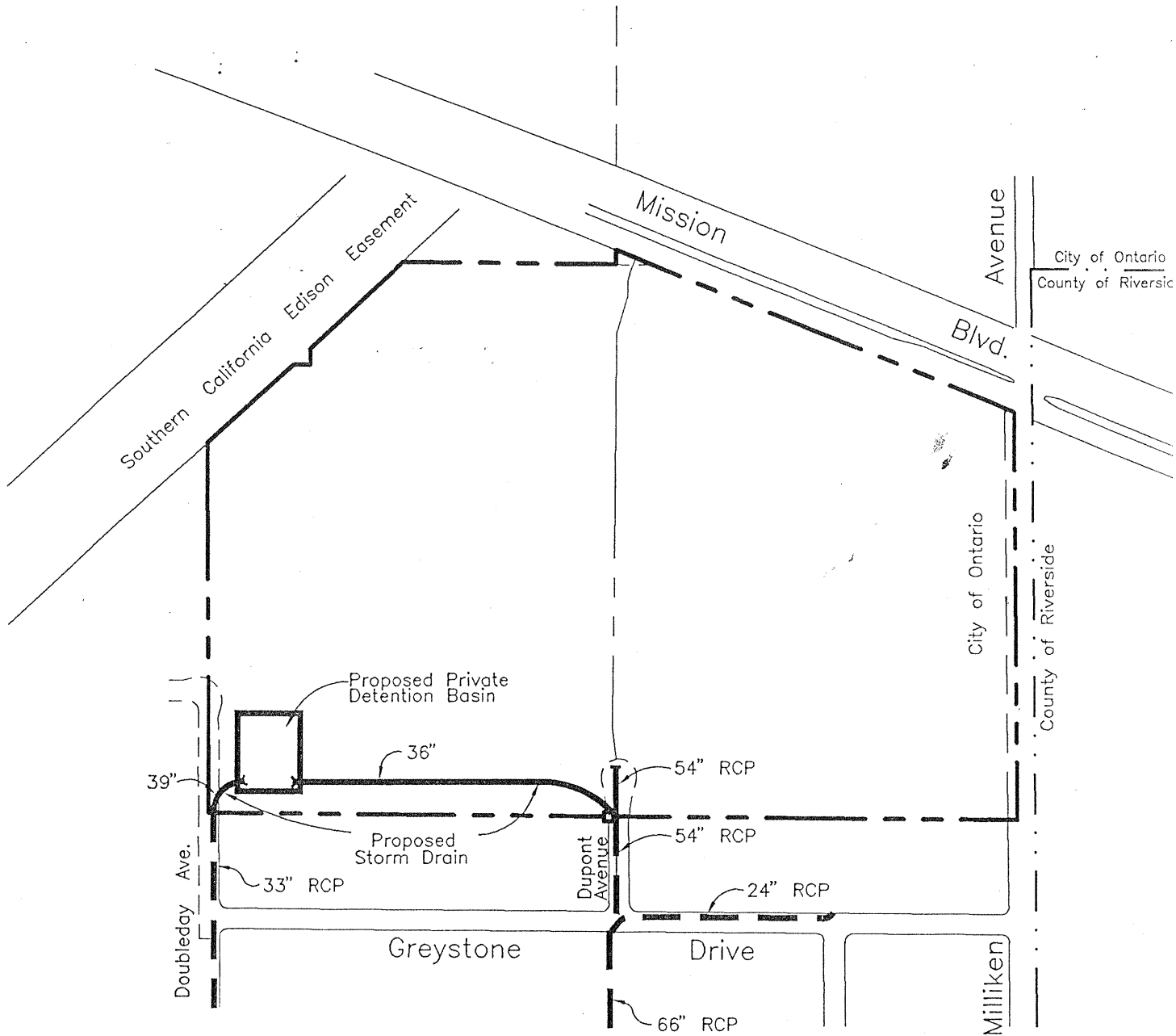
The drainage area is bounded by Milliken Avenue to the east and Mission Boulevard to the north. The tributary watershed is shown in **Appendix "B."** The total tributary drainage area to the site is approximately 119 acres. This tributary is divided into two main drainage areas. **Appendix "B"** provides a breakdown of each area by total acres, under developed  $Q_{100}$ , developed  $Q_{100}$  and percentage of change. In developing the runoff storm flows, both existing and developed flows were calculated at boundary "exit points."

### **Existing Storm Drain Facilities**

There are no existing drainage facilities serving the 95-acre project site. However, the Milliken Industrial (Parcel Map 9419) project, located south of the Specific Plan, has constructed a storm drain system to intercept storm runoff. This system consists of a 54" R.C.P., 192 c.f.s. line located in Dupont Avenue, and a 33" R.C.P., 42 c.f.s. line in Doubleday Avenue. Catch basins have been constructed at key points on these streets to intercept storm flows. This existing storm drain system is shown on **Exhibit 5, Storm Drainage Plan.**

According to the Flood Insurance Rate Map (FIRM) for San Bernardino County and Incorporated Areas, (Panels 8637 and 8637 of 9400, dated March 18, 1996) prepared by the Federal Emergency Management Agency (FEMA), the site is within Zone "X" (unshaded). Zone "X," designation is given to an area which is outside the 500-year flood limits, and is defined as areas with no flood hazard. Since FEMA has designated the site as Zone "X," no FEMA application is required. In addition, as there is no "blueline stream" traversing the site, no California Department of Fish and Game or U.S. Army Corps of Engineers permits are anticipated.





**Legend**

Existing Storm Drain   
 Proposed Storm Drain



SCALE: NOT TO SCALE

**NOTES:**

ALL ONSITE STORM DRAIN FACILITIES INCLUDING DETENTION BASIN FACILITIES SHALL BE PRIVATE AND MAINTAINED BY THE PROPERTY OWNER.

PROPOSED STORM DRAIN SIZES ARE PRELIMINARY, SUBJECT TO FURTHER DESIGN AT THE DEVELOPMENT STAGE.

**Storm Drain Plan**  
 Bridgestone/Firestone  
 Industrial Park Specific Plan

**Exhibit 5**



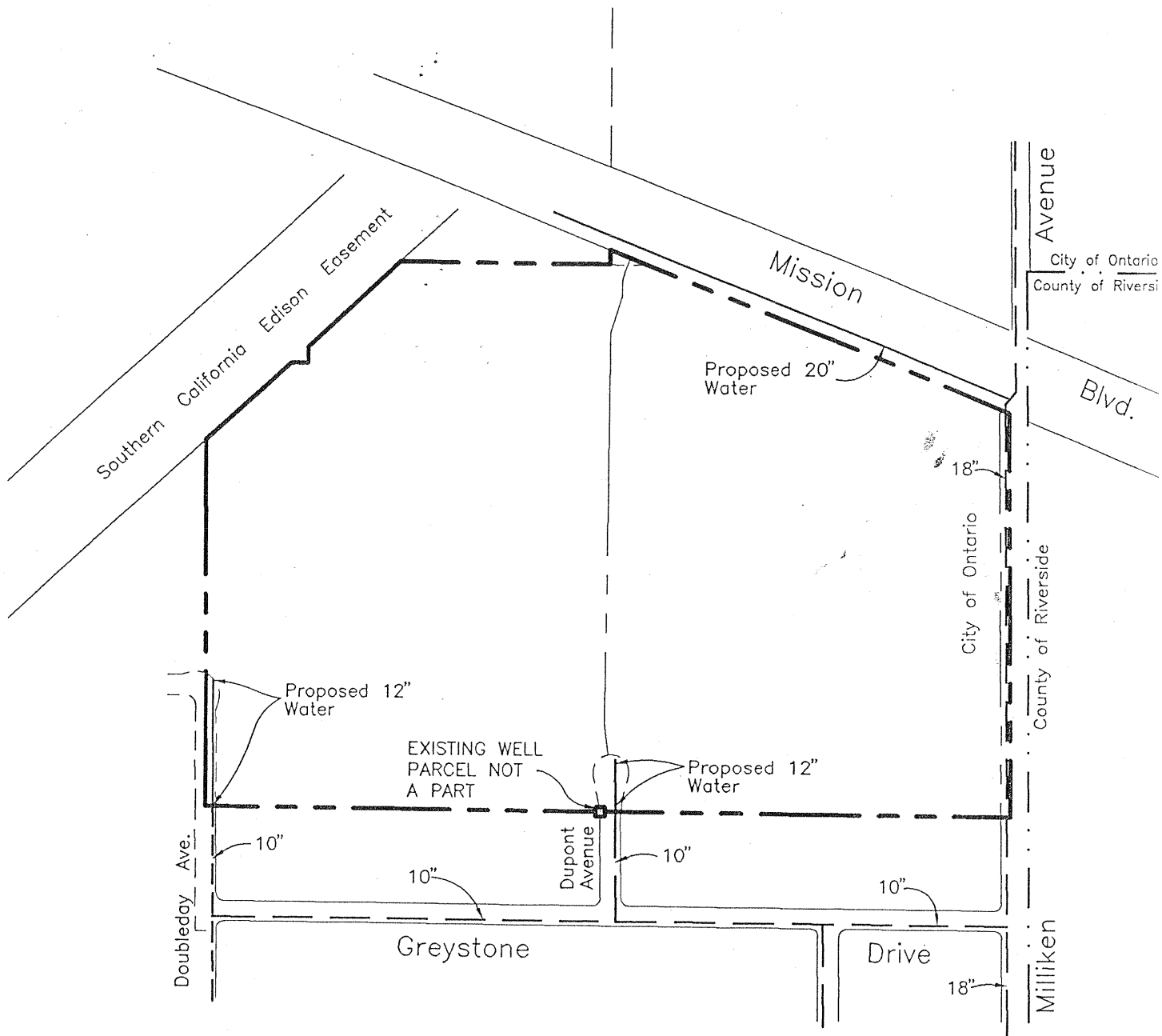
## **2.5 Existing Water Facilities**

Three water mains were constructed to serve the Milliken Industrial Park (Parcel Map 9419). These three lines can be adapted to serve the Bridgestone/Firestone project. Water service is provided by the City of Ontario for domestic, landscape irrigation and fire protection service.

The principal line serving this area is an 18" main located in Milliken Avenue. Dupont Avenue and Doubleday Avenue each were constructed with a 10" main. Both 10" water mains terminate at Bridgestone/Firestone's southerly property boundary. **Exhibit 6. Water Plan** shows the location of the existing and proposed water mains.

A non-operational agricultural well within a 30' x 30' parcel exists adjacent to the project's southerly boundary at the current terminus of Dupont Avenue (see **Exhibit 6, Water Plan** for location). The well does not serve the existing vineyard, and with the planned replacement of the vineyards with industrial uses, there is no apparent need for the well now or in the future.

It is the intent of the Specific Plan Applicant to abandon the well, according to the requirements of the County of San Bernardino Health Department, to allow for the extension of required street improvements on Dupont Avenue. However the majority owner of the well is not a participant in the Specific Plan, and interim measures may be required to insure development within the Specific Plan can proceed.



**Legend**

Existing Water Line      - - - - -  
 Proposed Water Line      = = = = =

  
 SCALE: NOT TO SCALE

NOTE:  
 PROPOSED WATER MAIN SIZES ARE PRELIMINARY AND WILL REQUIRE FURTHER HYDRAULIC ANALYSIS TO MEET FIRE DEPARTMENT FLOW REQUIREMENTS AT TIME OF DEVELOPMENT.

**Water Plan**

*Bridgestone/Firestone  
 Industrial Park Specific Plan*

**Exhibit 6**



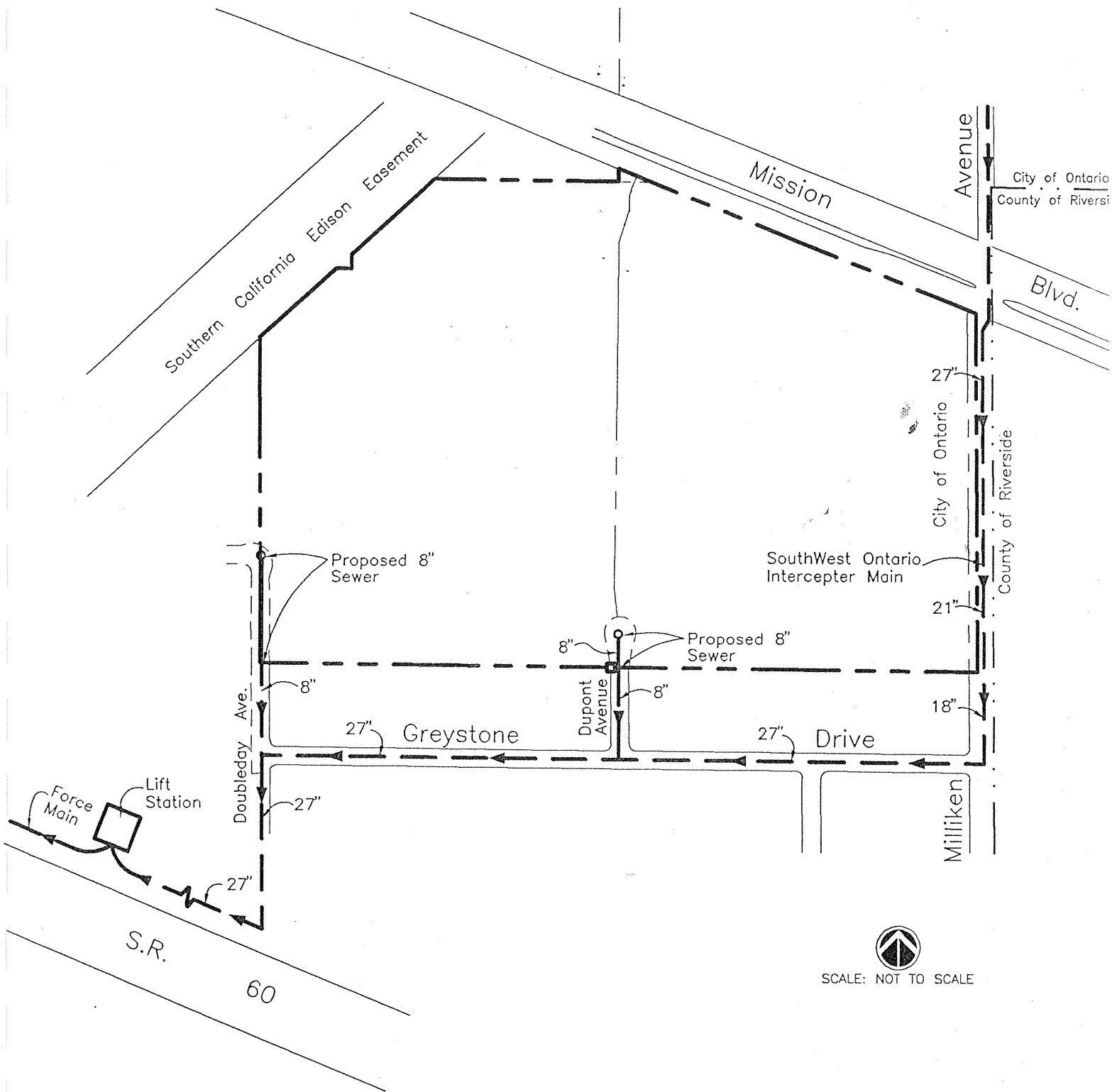
## **2.6 Existing Sewer Facilities**

The Milliken Industrial Park development to the south, constructed several sewer lines that can be used to serve the proposed project (see **Exhibit 7, Sewer Plan**). These existing facilities consist of the following mains:

1. A 27" sewer main located within Greystone Drive.
2. A 27" sewer main located within Doubleday Avenue.
3. An 8" sewer main within Doubleday Avenue, terminating at the Bridgestone/Firestone property line.
4. An 8" sewer main within Dupont Avenue, terminating at the Bridgestone/Firestone property line.
5. The 18" to 27" Southwest Ontario Interceptor sewer main within Milliken Avenue, flowing from northerly of Mission Avenue and joining the 27" main in Greystone Drive.

This lift station is located on the future alignment of Brentstone Street on the north side of State Route 60, midway between Doubleday Avenue and Haven Avenue.

Existing sewage collection facilities are provided and maintained by the City of Ontario. Wastewater facilities are operated by the Chino Basin Municipal Water District under the provisions of a regional wastewater treatment contract. The sewer lines ultimate destination is a lift station and a force main constructed under Assessment District 105.



**Legend**

- Existing Sewer Line
- Proposed Sewer Line
- Direction of Flow

**Sewer Plan**

*Bridgestone/Firestone  
Industrial Park Specific Plan*

**Exhibit 7**



## **2.7 Existing Utilities**

### **Electrical Service**

Electric service will be provided by the Southern California Edison Company. Field observations show alignments of existing transmission towers along the northwest property line. These facilities cannot be used for local services. As-built plans received from the electric company show an underground electric line located on Greystone Drive.

### **Gas Service**

The Southern California Gas Company provides natural gas service to the area. The gas company presently maintains a four-inch main on Mission Boulevard and Milliken Avenue and a three-inch line at Dupont Avenue.

### **Telephone Service**

Telephone service will be provided by General Telephone. Currently General Telephone owns an underground facility in Milliken Avenue. A northerly extension of this facility was made to serve the Milliken Industrial Park development.

## **2.8 Existing Community Services**

### **Police**

Police protection will be provided by the City of Ontario's Police Department through their existing service. The project is located within Sector 6 of the City of Ontario's Police Department. Sufficient levels of service will be evaluated when the size and type of development is identified.

### **Fire**

Fire protection service will be provided by the Ontario Fire Department. According to the Fire Department, a new fire station is presently needed for this area. The City of Ontario has adopted Ordinance 2491, Section 3-9.01(d) which requires any new development within this area to pay a Fire Facility/Equipment Impact Fee. The cost of the fee for industrial projects is \$.15 per square foot of building area. This ordinance is part of the City's five-year capital improvement program adopted January 15, 1991.

### **Solid Waste**

The City of Ontario provides and monitors the collection of solid waste. Fees are collected for trash compaction service, recycling and space needed for recycling. All required fees will be paid.

### **Public Transportation**