

Section 1 Executive Summary

1.1 Executive Summary

The Grand Park Specific Plan is a proposal for a new planned community on an approximately 320 acres within the City of Ontario. The Grand Park Specific Plan provides for the development of up to 1,327 residential dwelling units, parks, and trails and reserves sites for development of a new high school by Chaffey Joint Union High School District, a new elementary school by Mountain View School District, and a portion of the Great Park, a public community park, by the City of Ontario. The Grand Park Specific Plan area (project site) is located east of Archibald Avenue, west of Haven Avenue, south of Edison Avenue, and north of Eucalyptus Avenue. The regional context and local setting of the Grand Park Specific Plan are illustrated on *Exhibit 1-1, “Regional Location Map”* and on *Exhibit 1-2, “Vicinity Map.”*

1.2 Purpose of the Specific Plan

The City’s Policy Plan (General Plan) designates the project site for development of Residential Low density (2.1 – 5.0 dwelling units per acre), Residential Medium density (11.1-25.0 dwelling units per acre), public schools, and Open Space - Parkland. The Policy Plan includes a future buildout projection for the City which establishes a maximum development potential for all residential land use areas of the 1,562 residential dwelling units for the project site. The project site is zoned AG-Specific Plan. A specific plan is required in order to implement the Policy Plan and to comprehensively plan for development of residential, park and school uses within the project site.

The Grand Park Specific Plan implements the Policy Plan goals and policies for the project site and establishes zoning regulations and design guidelines to govern development within the project site. The Grand Park Specific Plan provides for development of a community of traditional

neighborhoods linked to parks and schools through a comprehensive network of streets and trails. The Grand Park Specific Plan establishes an infrastructure and public facilities plan to assure that adequate roadways and public utilities including sewer, water, and drainage facilities along with schools, parks, and other public facilities are provided to serve the project. The development plan for Grand Park is illustrated in *Exhibit 1-3, “Community Plan”* and described in *Table 1-1, “Community Plan Summary.”*

1.3 Governing Documents

Development of the Grand Park Specific Plan is governed by the following:

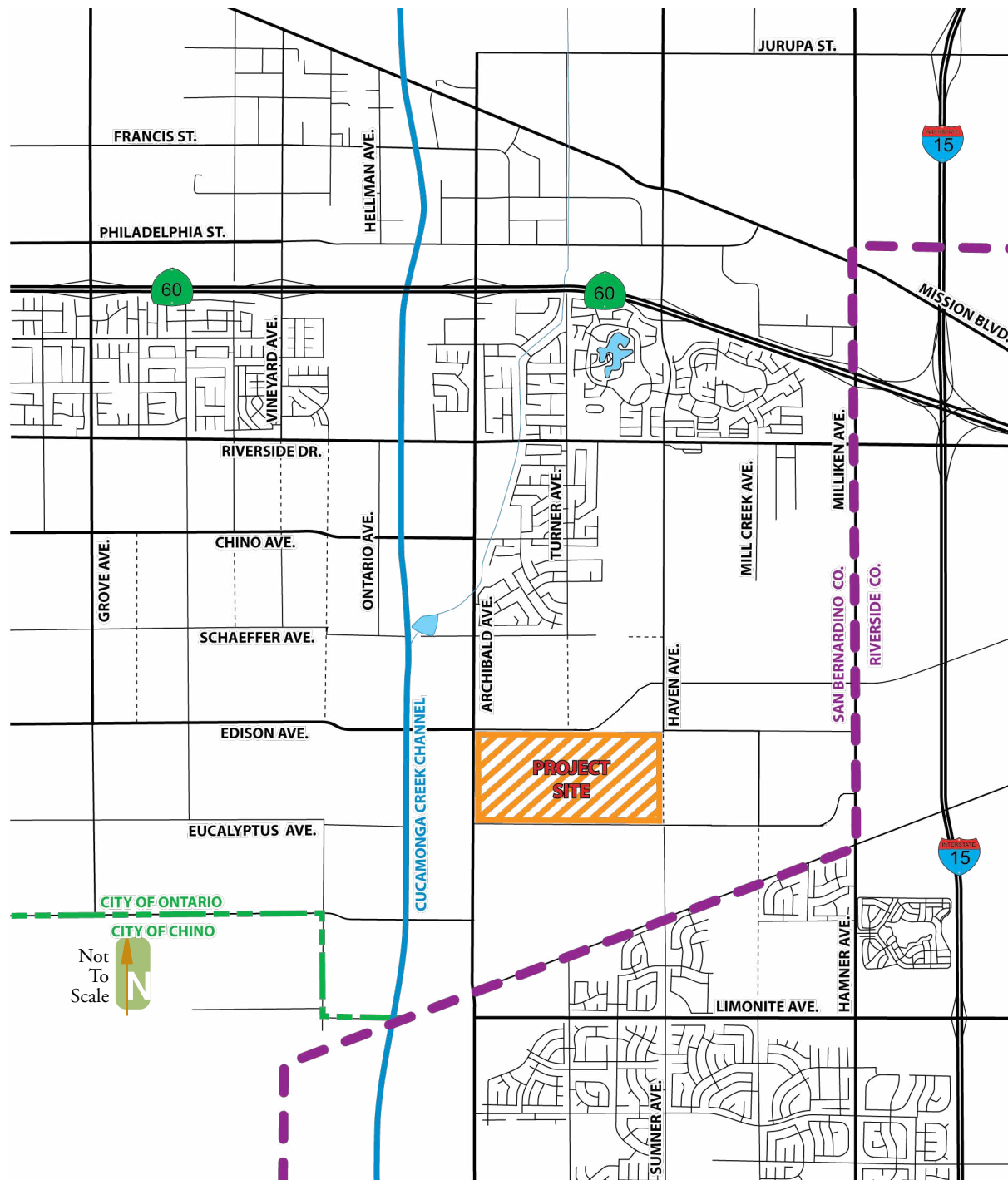
- The Ontario Plan (TOP) Policy Plan, which establishes policies governing land use, community design, mobility, housing, environmental resources, parks and recreation, safety, noise, social resources, and community economics for the City and provides guidance for development planning of the project site.
- The Grand Park Specific Plan, which includes a Land Use Plan, Infrastructure Plan, Design Guidelines, and Development Regulations, designed to implement the Policy Plan and to establish zoning for the project site.
- The City of Ontario Subdivision Ordinance regulating the subdivision of land within the project site.
- The Grand Park Development Agreement establishing assurances that the development regulations contained within the Specific Plan will be in force during approved timelines and that development of public facilities within the project site occurs pursuant to the terms and conditions approved by the City.
- Covenants, Conditions, and Restrictions (CC&R’s) established by the developers of Grand Park as a means of ensuring and enforcing quality design and development of the master planned community.

Exhibit 1-1
REGIONAL LOCATION MAP



Not
To
Scale

Exhibit 1-2
VICINITY MAP



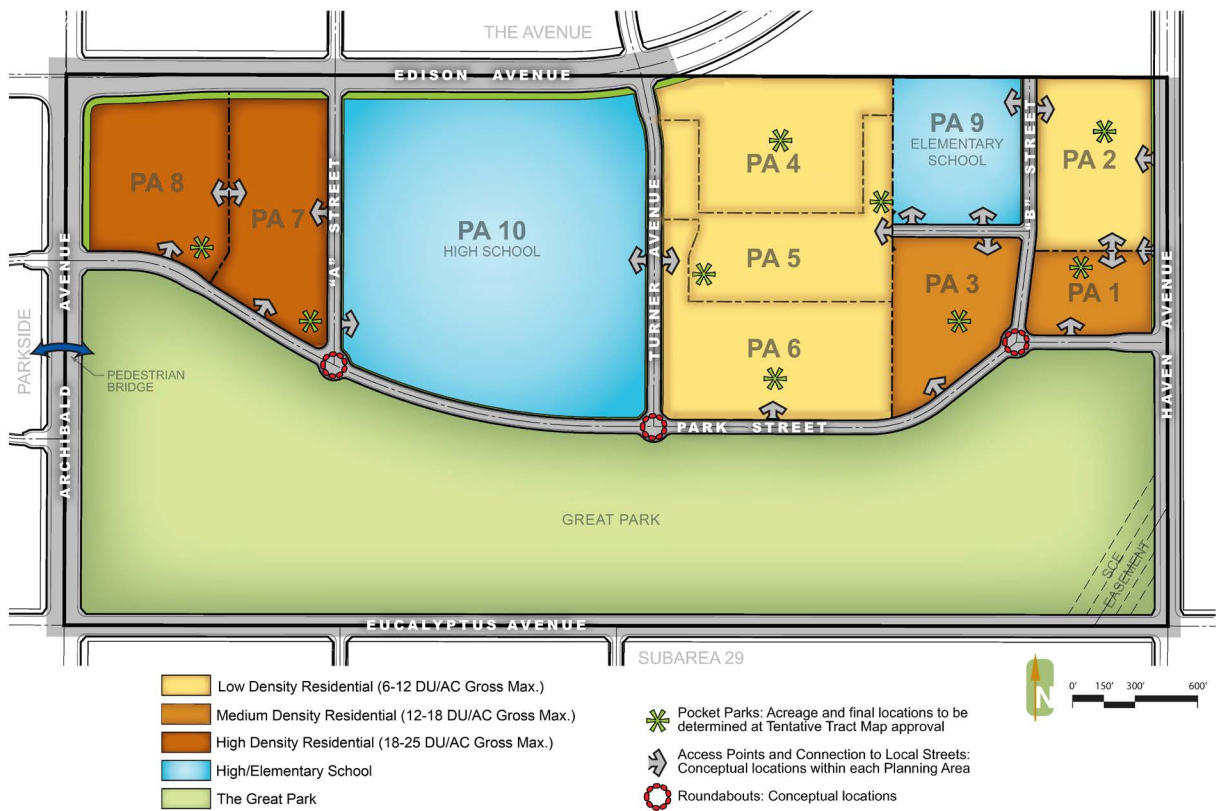


Table 1-1
LAND USE PLAN SUMMARY

Land Use	Dwelling Units	Gross Acres (1)	Gross Density
<i>Residential Uses</i>			
PA 1 (MDR)	99 DU	7.0 AC	14.1 DU/AC
PA 2 (LDR)	123 DU	12.6 AC	9.8 DU/AC
PA 3 (MDR)	157 DU	10.9 AC	14.4 DU/AC
PA 4 (LDR)	145 DU	13.9 AC	10.4 DU/AC
PA 5 (LDR)	105 DU	13.2 AC	8.0 DU/AC
PA-6 (LDR)	111 DU	17.6 AC	6.3 DU/AC
PA 7 (HDR)	268 DU	14.9 AC	18.0 DU/AC
PA 8 (HDR)	319 DU	16.5 AC	19.3 DU/AC
Residential Total	1327 DU	106.6 AC	12.4 DU/AC (Avg)
<i>Other Uses</i>			
PA 9 (Elementary School)		11.2	
PA 10 (High School)		55.7	
Great Park		146.7	
Other Uses Total		213.6	
Project Total	1327 DU	320.2AC	12.4 DU/AC (Avg)

Notes:

(1) Gross Acres: Calculated to street Centerline and includes Pocket Parks and Paseos.

- The Grand Park Specific Plan is located within the Airport Influence Area (AIA) of Chino Airport and Ontario International Airport and is required to be consistent with both Airport Land Use Compatibility Plans.

1.4 CEQA Compliance

A project level Environmental Impact Report (EIR), prepared for the Grand Park Specific Plan in accordance with the California Environmental Quality Act (CEQA) and City requirements, provides a detailed analysis of potential

environmental impacts associated with the development of the project. The EIR prepared for the project evaluates the potential environmental factors associated with the project and recommends mitigation measures. The EIR is prepared to fulfill the requirements for environmental determinations for all subsequent discretionary and ministerial development applications within the Grand Park Specific Plan. A Fiscal Impact Analysis prepared to determine the project's fiscal impact is part of the project.

1.5 Specific Plan Components

The Grand Park Specific Plan is organized into the following sections in addition to **Section 1, “Executive Summary.”**

Section 2 – Introduction

The Introduction acquaints the reader with the following:

- Community vision and objectives,
- The project setting,
- An overview of the Grand Park Specific Plan,
- The entitlements to accompany the Grand Park Specific Plan, and
- The relationship of the Grand Park Specific Plan to the General Plan.

Section 3 – Existing Features

The physical setting for Grand Park is described in this section outlining the existing physical conditions within and around the project site.

Section 4 – Community Plan

The Community Plan Section describes residential planning areas and residential types, distribution of residential dwelling units, schools, trails, and parks, including the City’s Open Space-Parkland (the Grand Park), planned for the community.

Section 5 – Infrastructure and Services

This section provides information on circulation improvements, planned backbone water, sewer, and storm drain systems, the grading concept for the project, and a discussion of public facilities to serve the project site.

Section 6 – Development Regulations

The development regulations discussed in this section establish permitted land uses and the standards regulating the development of each land use within the project site. The relationship of the Grand Park

Specific Plan development regulations to the City of Ontario Development Code is provided in this section.

Section 7 – Design Guidelines

The Grand Park Specific Plan Design Guidelines are intended to direct the site planning, landscaping, and architectural quality of development. Streetscapes, entries, edge treatments, walls and fencing, lighting, and architectural styles and features are addressed in the Design Guidelines.

Section 8 – Implementation

The policies and procedures for the City’s review and approval of specific development proposals, within the project site, pursuant to the Grand Park Specific Plan requirements, are presented in this section along with project phasing and maintenance responsibilities. This section provides the methods and procedures for interpreting and amending the Grand Park Specific Plan, as necessary.

Section 9 – General Plan Consistency

This section describes the relationship of the Grand Park Specific Plan to applicable policies of the General Plan.