

CITY OF ONTARIO

JULY 2007



# WEST HAVEN

S P E C I F I C P L A N

ARMADA, LLC

RICHLAND COMMUNITIES, INC.

SC ONTARIO DEVELOPMENT  
CORPORATION

STRATHAM PROPERTIES, INC.

*Amendment #1: Adopted July 18, 2023*



# ADOPTION

**WEST HAVEN**

**FILE NUMBER: PSP03-006**

City Council Ordinance Number: 2870

*Adopted July 17, 2007*

# AMENDMENTS

**Amendment #1**

Resolution Number: PC23-048 & PC23-049

*Specific Plan Amendment, File No. PSPA21-004 & PMTT21-017 (TTM 20452)*

*Adopted July 18, 2023*

# WEST HAVEN

## S P E C I F I C P L A N

PSP03-006

Final Approval Date:

July 17, 2007

Submitted To:

**City of Ontario**

303 East B Street

Ontario, California 91764

Submitted By:

**Armada LLC**

430 Thirty Second Street, Suite 200

Newport Beach, California 92663

**Richland Communities, Inc.**

4100 Newport Place, Suite 800

Newport Beach, California 92660

**SC Ontario Development Corporation**

1156 N. Mountain Avenue

Upland, California 91785

**The Stratham Group**

2201 Dupont Drive, Suite 300

Irvine, California 92612

## DEVELOPERS

### Armada LLC

430 Thirty Second Street, Suite 200  
Newport Beach, CA. 92663  
Contact: Rhonda Neely  
Phone: (949) 723-2020 Ext. 105  
E-Mail: RNeely@armadallc.com

### Richland Communities, Inc.

4100 Newport Place, Suite 800  
Newport Beach, CA 92660  
Contact: Jim Powers  
Phone: (949) 261-7010  
Fax: (949) 261-7016  
E-Mail: power5@adelphia.net

### SC Ontario Development Corporation

1156 N. Mountain Avenue  
Upland, CA. 91785  
Contact: Darren McCleve  
Ben Cendejas  
Phone: (909) 949-6727  
E-Mail: darren.mccleve@lewisop.com  
ben.cendejas@lewisop.com

### The Stratham Group

2201 Dupont Drive, Suite 300  
Irvine, CA. 92612  
Contact: Jeff Evans  
Patrick Chandler  
Phone: (949) 833-1554  
Fax: (949) 833-7853  
E-Mail: Jevans@StrathamHomes.com  
Patrick@StrathamHomes.com

## CONSULTANTS

### L.D. King, Inc.

Planning and Engineering  
2151 Convention Center Way, Suite 100  
Ontario, CA. 91764  
Contact: Timothy Stapleton  
Carla E. Berard, P.E., P.L.S.  
Phone: (909) 937-0200  
Fax: (909) 937-0200  
E-Mail: tims@ldking.com  
cberard@ldking.com

### Newman Garrison Gilmour + Partners

Planning/Architecture  
20401 SW Birch Street, Suite 200  
Newport Beach, CA. 92660  
Contact: David Gilmour  
Michael Odegaard  
Phone: (949) 756-0818  
Fax: (949) 756-0817  
E-Mail: DGilmour@nggpartners.com  
MOdegaard@nggpartners.com

### HRP Studio

Landscape Architecture/Planning/Urban Design  
3242 Halladay, Suite 203  
Santa Ana, CA. 92705  
Contact: James B. Hogan, *President*  
Jay D. Svidal, *Principal*  
Kai C. Yang, Senior Project Manager  
Phone: (714) 557-5852  
Fax: (714) 557-7621  
E-Mail: jbhogan@hrpstudio.com  
jsvidal@hrpstudio.com  
kyang@hrpstudio.com

### 2023 Amendment

#### WHA, Inc

680 Newport Center Drive, Suite 300  
Newport Beach, California 92660  
Contact: Julia Malisos  
Phone: 949-250-0607  
E-Mail: juliam@whainc.com

**SECTION 1 INTRODUCTION**

1.1 Specific Plan Purpose.....1-1  
1.2 Authority for the Specific Plan.....1-1  
1.3 Background .....1-2  
1.4 Project Description.....1-4  
1.5 West Haven Specific Plan Goals.....1-7  
1.6 Relationship of the Specific Plan to the City of Ontario General Plan .....1-8  
1.7 CEQA Compliance.....1-8  
1.8 Severance .....1-8

**SECTION 2 EXISTING PROJECT SITE CONDITIONS**

2.1 Site History .....2-1  
2.2 Existing Project Site Conditions .....2-1  
2.2.1 Existing Land Use .....2-1  
2.2.2 Existing Environmental Conditions .....2-1  
2.2.2(a) Geology and Soils.....2-1  
2.2.2(b) Seismicity .....2-4  
2.2.2(c) Hydrology.....2-4  
2.2.2(d) Historic and Archeological .....2-5  
2.2.2(e) Biological .....2-5  
2.2.2(f) Paleontological .....2-6  
2.2.3 Property Ownership .....2-6  
2.2.4 Existing Circulation.....2-6  
2.2.5 Existing Infrastructure and Utilities .....2-7  
2.2.5(a) Existing Water.....2-7  
2.2.5(b) Existing Sewer.....2-7  
2.2.5(c) Existing Storm Drain .....2-7  
2.2.5(d) Existing Electricity .....2-8  
2.2.5(e) Existing Natural Gas.....2-8  
2.2.5(f) Existing Communication Systems.....2-8  
2.2.5(g) Existing Solid Waste .....2-8

# Table of Contents

<b>SECTION 3</b>	<b>LAND USE PLAN</b>	
3.1	Land Use Plan Description .....	3-1
3.1.1	Residential.....	3-1
3.1.2	Neighborhood Center.....	3-1
3.1.3	Greenbelt/Paseos and Landscaped Neighborhood Edges.....	3-1
3.1.4	School Facility.....	3-4
3.1.6	Streets.....	3-4
3.2	Specific Plan Design Objectives .....	3-4
3.3	General Development Standards for Specific Plan Land Uses .....	3-5
<b>SECTION 4</b>	<b>CIRCULATION PLAN</b>	
4.1	Circulation Plan Description.....	4-1
4.2	Vehicular Circulation.....	4-1
4.2.1	Divided Arterial Parkway 2-2 – Haven Avenue.....	4-1
4.2.2	Standard Arterial – Riverside Drive .....	4-4
4.2.3	Collector Street – Turner Avenue.....	4-4
4.2.4	Collector Street – Chino Avenue .....	4-4
4.2.5	Primary Residential Entry Streets .....	4-4
4.2.6	Interior Streets, Alleys and Cul-De-Sac Streets.....	4-4
4.2.7	Traffic Calming .....	4-6
4.3	Bicycle Plan .....	4-6
<b>SECTION 5</b>	<b>INFRASTRUCTURE AND PUBLIC SERVICES PLAN</b>	
5.1	Electricity .....	5-1
5.2	Natural Gas .....	5-1
5.3	Communication Systems.....	5-1
5.4	Public Utilities.....	5-1
5.5	Potable Water .....	5-2
5.6	Sewer.....	5-2
5.7	Storm Drain.....	5-5
5.7.1	NPDES Compliance.....	5-5
5.8	Recycled Water.....	5-8
5.9	Solid Waste.....	5-11
5.10	Fire Department Services.....	5-11

<b>SECTION 6</b>	<b>RECREATION PLAN</b>	
6.1	Open Space and Recreation .....	6-1
6.1.1	Park and Recreational Opportunities.....	6-1
6.2	Open Space And Recreation Plan General Development Standards .....	6-2
<b>SECTION 7</b>	<b>GRADING PLAN</b>	
7.1	Grading Plan Description.....	7-1
7.2	Grading Plan General Development Standards .....	7-1
<b>SECTION 8</b>	<b>DESIGN GUIDELINES</b>	
8.1	Introduction.....	8-1
8.1.1	Purpose.....	8-1
8.1.2	Intent .....	8-1
8.2	Residential Architectural Design .....	8-2
8.2.1	Introduction & Guiding Principles.....	8-2
8.2.2	Residential Architectural Philosophy .....	8-3
8.2.3	West Haven Architectural Styles .....	8-4
8.2.3.1	American Colonial .....	8-5
8.2.3.2	American Farmhouse .....	8-6
8.2.3.3	Craftsman .....	8-7
8.2.3.4	East Coast Traditional .....	8-9
8.2.3.5	French Country .....	8-10
8.2.3.6	Italianate .....	8-11
8.2.3.7	Monterey .....	8-12
8.2.3.8	Plantation.....	8-13
8.2.3.9	Spanish .....	8-14
8.2.3.10	West Coast Traditional .....	8-16
8.3	Massing, Plotting & General Neighborhood Criteria .....	8-17
8.3.1	Introduction .....	8-17
8.3.2	General Elements.....	8-17
8.3.2(a)	Front Articulation and Scale .....	8-17
8.3.2(b)	Roof Form .....	8-18
8.3.2(c)	Garage Placement .....	8-19
8.3.2(d)	Balconies & Projections.....	8-21
8.3.2(e)	Rear Articulation .....	8-22

# Table of Contents

8.3.2(f)	Variable Setbacks & Lot Sizes .....	8-22
8.3.2(g)	Corner Lots & Critical Neighborhood Edge Conditions .....	8-23
8.3.3	Fronting on Parks, Paseos & Parkways .....	8-24
8.4	Residential Building Materials & Details .....	8-24
8.4.1	General Elements .....	8-24
8.4.2	Wall Finishes .....	8-25
8.4.3	Accent Materials .....	8-25
8.4.4	Doors .....	8-25
8.4.5	Windows .....	8-25
8.4.6	Exterior Lighting .....	8-26
8.4.7	Roofing Materials & Skylights .....	8-26
8.4.8	Eaves and Rakes .....	8-26
8.4.9	Color .....	8-26
8.4.10	Other Elements Criteria .....	8-27
8.5	Simple Home Design .....	8-27
8.6	Nonresidential Architectural Design Guidelines .....	8-28
8.6.1	Introduction .....	8-28
8.6.2	Siting and Orientation .....	8-30
8.6.3	Access and Parking Facilities .....	8-30
8.6.4	Service Facilities .....	8-30
8.6.5	Form, Scale and Massing .....	8-31
8.6.6	Architectural Styles and Features .....	8-31
8.6.7	Exterior Materials and Colors .....	8-32
8.6.8	Roof Forms and Materials .....	8-32
8.6.9	Walls and Fences .....	8-32
8.6.10	Accessory Structures and Services .....	8-33
8.6.11	Street/Plaza Furniture & Bus Shelters .....	8-33
8.6.12	Signage and Outdoor Lighting .....	8-33
8.6.13	Mechanical Equipment .....	8-34
8.7	Landscape Architecture .....	8-34
8.7.1	Landscape Description .....	8-34
8.7.2	Landscape General Development Standards .....	8-34
8.8	Landscape Design Guidelines .....	8-36
8.8.1	Introduction .....	8-36
8.8.1(a)	Landscape Concept .....	8-36
8.8.1(b)	Pedestrian Environment .....	8-36



# Table of Contents

8.8.1(c)	Recreation.....	8-36
8.8.2	Community and Neighborhood Streetscenes.....	8-36
8.8.2(a)	Riverside Drive – Neighborhood Center Commercial Edge.....	8-49
8.8.2(b)	Riverside Drive – Residential Edge.....	8-50
8.8.2(c)	Haven Avenue – Neighborhood Center Commercial Edge.....	8-53
8.8.2(d)	Haven Avenue – Residential Edge.....	8-55
8.8.2(e)	Turner Avenue – Residential Edge (East Side).....	8-55
8.8.2(f)	Chino Avenue – Residential Edge.....	8-58
8.8.2(g)	Chino Avenue – SCE Easement Edge.....	8-58
8.8.2(h)	Interior Residential Streets.....	8-58
8.8.2(i)	Primary Residential Entry Street.....	8-61
8.8.3	Community Edge Conditions and Boundaries.....	8-63
8.8.3(a)	Neighborhood Center to Residential Edge.....	8-63
8.9	Community Elements.....	8-63
8.9.1	Community Entry Monumentation.....	8-63
8.9.1(a)	Major Community Monumentation at Haven Avenue and Riverside Drive (Neighborhood Center Commercial Corner).....	8-63
8.9.1(b)	Typical Secondary Community Monumentation.....	8-69
8.9.1(c)	Typical Neighborhood Residential Entry.....	8-69
8.9.1(d)	Neighborhood Center Entry Feature.....	8-78
8.9.2	Walls and Fences - Introduction.....	8-78
8.9.2(a)	Residential Fencing.....	8-78
8.9.2(b)	Neighborhood Center Fencing.....	8-78
8.9.3	Community Connections And Recreation.....	8-80
8.9.3(b)	Community Connections.....	8-80
8.9.3(c)	SCE Easement Paseo and Linear Parks.....	8-83
8.9.3(d)	Gas Company Easement/Pocket Parks.....	8-83
8.9.3(e)	Pocket Parks.....	8-87
8.9.4	Landscape Requirements.....	8-91
8.9.4(a)	Residential.....	8-91
8.9.4(b)	Neighborhood Center.....	8-91
8.9.5	Maintenance Responsibility.....	8-92
8.9.5(a)	General Maintenance Procedures.....	8-92
8.9.6	Landscape Lighting.....	8-93
8.10	Plant Material Guidelines.....	8-94
8.10.1	Introduction.....	8-94

# Table of Contents

8.10.2	Planting Constraints.....	8-94
8.10.3	Planting Schedule .....	8-94
8.10.4	Horticultural Soils Test Requirements .....	8-94
8.10.5	Irrigation.....	8-95
8.10.6	Site Furniture.....	8-95
8.10.6(a)	Overall Site Furniture at Community Level Imagery .....	8-95
8.10.6(b)	Overall Site Furniture at Parks and Paseo Areas Imagery.....	8-106

## SECTION 9 DEVELOPMENT STANDARDS

9.1	Introduction.....	9-1
9.2	Planning Objectives .....	9-1
9.2.1	Residential Unit Transfer Between Planning Areas .....	9-2
9.3	Planning Area Development Standards.....	9-2
9.3.1	Introduction .....	9-2
9.3.1(a)	Planning Area 1: Residential Description.....	9-2
9.3.1(b)	Planning Area 2: Neighborhood Center Description .....	9-4
9.3.1(c)	Planning Area 3: Residential Description .....	9-4
9.3.1(d)	Planning Area 4: Residential Description .....	9-5
9.3.1(e)	Planning Area 5: Residential Description.....	9-6
9.3.1(g)	Planning Area 6: Elementary School Description .....	9-7
9.3.1(h)	Planning Area 7: Residential Description.....	9-7
9.3.1(i)	Planning Area 8: Residential Description.....	9-8
9.4	Residential Development Standards .....	9-9
9.4.1	Introduction .....	9-9
9.4.2	Single Family Detached Courtyard Development Standards .....	9-10
9.4.3	Single Family Detached Courtyard Development Standards .....	9-12
9.4.4	2,800 S.F. Alley-Loaded Duplex/Triplex “Manor” Development Standards .....	9-14
9.4.5	2,800 S.F. Alley-Loaded Single Family Detached Development Standards .....	9-16
9.4.6	3,825 S.F. Single Family Detached Development Standards .....	9-18
9.4.7	4,000 S.F. Single Family Detached Development Standards.....	9-20
9.4.8	4,150 S.F. Single Family Detached Development Standards .....	9-22
9.4.9	4,950 S.F. Single Family Detached Development Standards .....	9-24
9.4.10	5,100 S.F. Single Family Detached Development Standards .....	9-26
9.4.11	5,250 S.F. Single Family Detached Development Standards .....	9-28

# Table of Contents

9.4.12	6,300 S.F. Single Family Detached Development Standards.....	9-30
9.4.13	Motorcourt SFD Development Standards.....	9-32
9.4.14	6 and 8-Pack Greencourt Development Standards.....	9-34
9.4.15	12-Pack Greencourt Development Standards .....	9-36
9.4.16	8-Pack Greencourt Development Standards .....	9-38
9.4.17	Attached Motorcourt Development Standards.....	9-40
9.4.18	3-Story Townhome Development Standards.....	9-42
9.4.19	3-Story Triplex Development Standards .....	9-44
9.4.20	3-Story Tandem Townhomes Development Standards.....	9-46
9.4.21	Flats Development Standards.....	9-48
9.4.22	Cluster Homes Development Standards .....	9-50
9.4.23	Alley loaded Rowtowns Development Standards.....	9-52
9.4.24	Permitted Uses.....	9-54
9.4.25	Conditional Permitted Uses .....	9-54
9.4.26	Additional Regulations to be Incorporated.....	9-54
9.4.27	Dairy Separation Requirement for Residential District Development Regulation.....	9-54
9.4.28	Residential Architectural Development Standards.....	9-54
9.5	Neighborhood Center Commercial Development Standards .....	9-55
9.5.1	Neighborhood Center Commercial Designation Intent and Purpose .....	9-55
9.5.2	Neighborhood Center Commercial: Permitted and Conditional Uses .....	9-55
9.5.3	Neighborhood Center Commercial Development Standards.....	9-55
9.5.3(a)	Development Standards .....	9-58
9.5.3(b)	Access & Parking Facilities .....	9-58
9.5.3(c)	Parking Ratios .....	9-58
9.5.3(d)	Service Facilities .....	9-59
9.5.3(e)	Walls & Fences .....	9-59
9.5.3(f)	Open Space.....	9-59
9.5.3(g)	Landscape.....	9-60
9.5.3(h)	Signage.....	9-60
9.5.3(i)	Lighting.....	9-62
9.5.3(j)	Streetscapes and Pedestrian Walkways.....	9-62

# Table of Contents

## SECTION **10** IMPLEMENTATION

10.1	Introduction.....	10-1
10.2	Phasing Concept.....	10-1
10.2.1	Concept Phasing Schedule .....	10-1
10.2.2	Community Facilities and Services .....	10-3
10.3	Definition of Terms.....	10-3
10.4	Applicability.....	10-3
10.5	Administration .....	10-3
10.6	Methods of Interpretation .....	10-3
10.7	Implementation .....	10-3
10.7.1	Development Agreement Required .....	10-3
10.7.2	Specific Plan Revisions.....	10-4
10.7.3	Minor Adjustments in Substantial Conformance with the Specific Plan ..	10-4
10.7.4	Appeals.....	10-6
10.7.5	Development Permits.....	10-6
10.7.6	Subdivision Maps .....	10-6
10.8	Maintenance Responsibilities Improvements constructed within the West Haven .....	10-6
10.9	Project Financing .....	10-6

**List Of Exhibits And Tables**

**Section 1 Introduction**

Exhibit 1-1: Regional Context Map .....1-2  
 Exhibit 1-2: Vicinity Map .....1-3  
 Exhibit 1-3: Existing Assessor’s Parcels, Developers, And Property Ownership .....1-4  
 Exhibit 1-4: Policy Plan Land Use Plan .....1-5  
 Table 1-1 Residential Density ..... 1-6

**Section 2 Existing Project Site Conditions**

Exhibit 2-1: Existing West Haven Topography.....2-2  
 Exhibit 2-2 Existing On-Site And Surrounding Land Uses .....2-3  
 Exhibit 2-3: Existing Wells, Electricity, Natural Gas And Communication Systems.....2-9

**Section 3 Land Use Plan**

Exhibit 3-1: West Haven Land Use Plan .....3-2  
 Table 3-1: Land Use Summary..... 3-3

**Section 4 Circulation Plan**

Exhibit 4-1: Circulation Plan .....4-2  
 Exhibit 4-2: Divided Arterial 2-2 (Haven Avenue – West Side).....4-3  
 Exhibit 4-3: Standard Arterial (Riverside Drive).....4-5  
 Exhibit 4-4: Collector Street (Turner Avenue And Chino Avenue) .....4-6  
 Exhibit 4-6: Interior Streets .....4-7  
 Exhibit 4-5: Primary Residential Entry Streets.....4-7  
 Exhibit 4-7: Alleys .....4-8  
 Exhibit 4-8: Traffic Calming Measures.....4-9

**Section 5 Infrastructure And Public Services Plan**

Exhibit 5-1: Fiber Optics Plan .....5-1  
 Exhibit 5-2: Master Plan Water Improvements.....5-3  
 Exhibit 5-3: Conceptual On-Site Water System .....5-4  
 Exhibit 5-4: Conceptual Sewer System Improvements .....5-6  
 Exhibit 5-5: Conceptual Storm Drain Improvements .....5-7  
 Exhibit 5-6: Master Plan Recycled Water Improvements.....5-9  
 Exhibit 5-7: Conceptual On-Site Recycled Water System.....5-10

# Table of Contents

## Section 7 Grading Plan

Exhibit 7-1: Conceptual Pad Placement In Slope Conditions .....7-1  
Exhibit 7-2: Conceptual Grading Plan.....7-2

## Section 8 Design Guidelines

Exhibit 8-1: American Colonial Architectural Style.....8-5  
Exhibit 8-2: American Farmhouse Architectural Style.....8-6  
Exhibit 8-3: Craftsman Architectural Style, Porch Supports And Railings.....8-7  
Exhibit 8-4: East Coast Traditional Architectural Style.....8-9  
Exhibit 8-5: French Country Architectural Style.....8-10  
Exhibit 8-6: Italianate Architectural Style.....8-11  
Exhibit 8-7: Monterey Architectural Style.....8-12  
Exhibit 8-8: Plantation Architectural Style.....8-13  
Exhibit 8-9: Spanish Architectural Style With Window, Chimney And Vent Details.....8-15  
Exhibit 8-10: West Coast Traditional Architectural Style.....8-16  
Exhibit 8-11: Front Façade Massing.....8-18  
Exhibit 8-12: Garage Placement Alternatives.....8-20  
Exhibit 8-13: Neighborhood Edge Treatments.....8-23  
Exhibit 8-14: Open Space Walkways.....8-24  
Exhibit 8-15: Neighborhood Commercial Center And Elementary School Concepts.....8-29  
Exhibit 8-16: Conceptual Landscape Plan.....8-37  
Exhibit 8-17: Riverside Drive Streetscene At Neighborhood Center Commercial.....8-39  
Table 8-1: Community Plant Matrix.....8-40  
Exhibit 8-18: Riverside Drive Streetscene At Residential.....8-51  
Exhibit 8-19: Haven Avenue Streetscene At Neighborhood Center Commercial.....8-52  
Exhibit 8-20: Haven Avenue Streetscene At Residential.....8-54  
Exhibit 8-21: Turner Avenue Streetscene At Residential (East Side).....8-56  
Exhibit 8-22: Chino Avenue Streetscene At Residential And Sce Easement.....8-57  
Exhibit 8-23: Typical Interior Neighborhood Streetscene.....8-59  
Exhibit 8-24: Residential Entry Streetscene.....8-60  
Exhibit 8-25: Neighborhood Center At Residential Edge.....8-62  
Exhibit 8-26: Major Community Monumentation At Haven Avenue  
And Riverside Drive (Neighborhood Center Commercial Corner).....8-65  
Exhibit 8-27: Typical Secondary Community Monumentation.....8-67  
Exhibit 8-28(A): Typical Neighborhood Residential Entry.....8-70

# Table of Contents

Exhibit 8-28(B): Typical Neighborhood Residential Entry – Elevation.....	8-71
Exhibit 8-29(A): Neighborhood Center Entry – Haven Avenue.....	8-72
Exhibit 8-29(B): Neighborhood Center Entry – Riverside Drive.....	8-73
Exhibit 8-30: Neighborhood Center Entry – Elevation .....	8-74
Exhibit 8-31: Community Walls And Fences – Locations.....	8-75
Exhibit 8-32: Community Walls And Fences – Details .....	8-76
Exhibit 8-33: Conceptual Community Wall Plan (Illustrative Only, Subject To Change During Ttm Approval) .....	8-77
Exhibit 8-35: Sce Easement Paseo And Linear Park Plan View.....	8-81
Exhibit 8-36: Sce Easement Paseo And Linear Park Section .....	8-82
Exhibit 8-37: Typical Pocket Park Within Gas Company Easement.....	8-84
Exhibit 8-38 : Gas Easement/Pocket Park Edge .....	8-85
Exhibit 8-39: Typical Child Active Pocket Park.....	8-86
Exhibit 8-40: Typical Passive Pocket Park .....	8-88
Exhibit 8-41: Typical Adult Active Pocket Park.....	8-89
Exhibit 8-42: Typical Neighborhood Landscape Plan .....	8-90
Exhibit 8-43(A): Community Site Furniture Imagery .....	8-96
Exhibit 8-43(B): Community Site Furniture Imagery .....	8-97
Exhibit 8-43(C): Community Site Furniture Imagery .....	8-98
Exhibit 8-43(D): Community Site Furniture Imagery .....	8-99
Exhibit 8-44(A): Park And Paseo Site Furniture Imagery .....	8-100
Exhibit 8-44(B)Park And Paseo Site Furniture Imagery .....	8-101
Exhibit 8-44(C): Park And Paseo Site Furniture Imagery .....	8-102
Exhibit 8-44(D): Park And Paseo Site Furniture Imagery .....	8-103
Exhibit 8-44(E): Park And Paseo Site Furniture Imagery .....	8-104
Exhibit 8-44(F): Park And Paseo Site Furniture Imagery.....	8-105

## Section 9 Development Standards

Exhibit 9-1: Planning Area 1 – Conceptual Lotting.....	9-3
Exhibit 9-2: Planning Area 2 – Conceptual Neighborhood Center Site Plan .....	9-4
Exhibit 9-3: Planning Area 4 – Approved Lotting (Tract Maps 18026 And 18027).....	9-5
Exhibit 9-4: Planning Area 5 – Conceptual Lotting.....	9-6
Exhibit 9-5: Planning Area 7 – Conceptual Approved Lotting (Tract Maps 18026 And 18027).....	9-8
Exhibit 9-6: Planning Area 8 – Conceptual Lotting.....	9-9

# Table of Contents

Exhibit 9-7: Single Family Detached Courtyard Plotting, 3d View And Street Scene .....	9-11
Exhibit 9-8: 2,800 S.f. Alley-Loaded Duplex/Triplex “Manor” Plotting And Lane Edge ....	9-15
Exhibit 9-9: 2,800 S.f. Alley-Loaded Single Family Detached Plotting And Street Scene ...	9-17
Exhibit 9-10: 3,825 S.f. Single Family Detached Plotting, 3d View And Street Scene.....	9-19
Exhibit 9-11: 4,000 S.f. Single Family Detached Plotting, 3d View And Street Scene.....	9-21
Exhibit 9-12: 4,150 S.f. Single Family Detached Plotting, 3d View And Street Scene.....	9-23
Exhibit 9-13: 5,100 S.f. Single Family Detached Plotting And Street Scene .....	9-27
Exhibit 9-14: 5,250 S.F. Single Family Detached Plotting, 3d View And Street Scene .....	9-29
Exhibit 9-15: 6,300 S.f. Single Family Detached Plotting, 3d View And Street Scene.....	9-31
Exhibit 9-16 Motorcourt Sfd Plotting And Development Standards .....	9-33
Exhibit 9-17 6 And 8-Pack Greencourt Plotting And Development Standards .....	9-35
Exhibit 9-18: 12-Pack Greencourt Plotting And Development Standards.....	9-37
Exhibit 9-19: 8-Pack Greencourt Plotting And Development Standards.....	9-39
Exhibit 9-20: Attached Motorcourt Plotting And Development Standards .....	9-41
Exhibit 9-21: 3-Story Townhome Plotting And Development Standards.....	9-43
Exhibit 9-22: 3-Story Triplex Plotting And Development Standards .....	9-45
Exhibit 9-23: 3-Story Tandem Townhomes Plotting And Development Standards .....	9-47
Exhibit 9-24: Flats Plotting And Development Standards.....	9-49
Exhibit 9-25: Cluster Homes Plotting .....	9-51
Exhibit 9-26: Rowtowns Plotting .....	9-53
Table 9-1: Neighborhood Center Commercial: Permitted And Conditional Uses.....	9-56
Exhibit 9-27: Neighborhood Center Commercial Site Planning Concept.....	9-57
Exhibit 9-28: Neighborhood Center Commercial Architectural Signage .....	9-61

## Section **10** Implementation

Table 10-1: Concept Phasing Schedule.....	10-2
Exhibit 10-1: Project Review And Approval Process Chart .....	10-5
Table 10-2: Maintenance Responsibility Matrix.....	10-8



# Table of Contents

## LIST OF APPENDICES

Appendix I	General Plan Consistency
Appendix II	Engineering Geologic and Soils Foundations Investigation (provided under separate cover)
Appendix III	Due-Diligence Geotechnical Study (provided under separate cover)
Appendix IV	Phase I Environmental Site Assessment (provided under separate cover)
Appendix V	Due Diligence Review of Geotechnical Data (provided under separate cover)
Appendix VI	Archeological Resource Evaluation and Paleontological Records Search for the West Haven Specific Plan Project, Subarea 6 (West of Haven) and Subarea 12 (West of Haven), City of Ontario, San Bernardino County, California (provided under separate cover)
Appendix VII	Phase I Environmental Site Assessment Update Minaberry Trust Property APN's 218-151-19 and 23, City of Ontario, California (provided under separate cover)
Appendix VIII	Report of Year 2003 Focused Survey for Delhi Sands Flower-Loving Fly Component 6 Site, San Bernardino County, California (provided under separate cover)
Appendix IX	Report of Year 2003 Focused Survey for Delhi Sands Flower-Loving Fly Component 1 Site, San Bernardino County, California (provided under separate cover)
Appendix X	Report of Year 2002 Focused Survey for Delhi Sands Flower-Loving Fly Components 4 and 7 (provided under separate cover)
Appendix XI	Report of Years 2003 Focused Survey for Delhi Sands Flower-Loving Fly Components 4 and 7 (provided under separate cover)
Appendix XII	Southern California Edison 'Will Serve' Letter (provided under separate cover)
Appendix XIII	Southern California Gas Company 'Will Serve' Letter (provided under separate cover)
Appendix XIV	Verizon 'Will Serve' Letter (provided under separate cover)

# Table of Contents

Page intentionally left blank.

# SECTION 1

## INTRODUCTION

### 1.1 Specific Plan Purpose

The West Haven Specific Plan (Project, Project Site) provides land use concept, design guidelines, and development regulations for an integrated mixed use project that includes residential neighborhoods, a neighborhood center commercial use area, open space and recreational uses. The West Haven Specific Plan document defines the methods and requirements for development of the project to ensure that The Ontario Plan (TOP) requirements are implemented.

The West Haven Specific Plan, when adopted, will serve as a legal document, which defines and implements the Land Use Designations of:

- Residential Medium Density
- Residential Low Medium Density
- Residential Low Density
- Neighborhood Center
- Elementary School

It will serve as the zoning for the Project Site. The West Haven Specific Plan serves as a “blueprint” for development by establishing the distribution of land use and the criteria for development of each land use as set forth herein. The West Haven Specific Plan establishes the development requirements and guidelines to be applied to each land use contained within the Project Site area.

Tentative Tract(s) / Parcel Map(s) and/or Development Plans (C.U.P., Plot Plans, etc.) will be prepared and submitted to the City pursuant to the applicable provisions of the State of California Subdivision Map Act (Government Code Section 66410 through 66499), the City of Ontario Subdivision Ordinance and be consistent with the applicable provisions contained within the West Haven Specific Plan. The Subdivision Maps/Development Plans will be submitted for City review and approval prior to development of the Project Site.

### 1.2 Authority for the Specific Plan

State of California Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450-57 grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of their General Plans. The Government Code states that Specific Plans may be adopted either by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body. No Specific Plan may be adopted or amended unless the proposed plan or amendment is consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for Specific Plans, including provisions of a Land Use Plan, Infrastructure and Public Services Plan, criteria and standards for development and implementation measures. The Government Code also states that Specific Plans may address any other subjects which, in the judgment of the City, are necessary or desirable for implementation of the TOP.

Following adoption by the City of Ontario of the Ontario Ranch General Plan Amendment (GPA), the Project Site was pre-zoned as SP/AG (Specific Plan/ Agricultural Preserve). The zoning designation of “SP” requires the project area to be developed with a Specific Plan to carry out the objectives of the Ontario Ranch General Plan land uses.

The West Haven Specific Plan is designed to meet the requirements of the California Government Code and The Ontario Ranch General Plan. The City of Ontario will adopt the West Haven Specific Plan by resolution thereby establishing the zoning regulations for the development of the Project Site. The requirements of the Specific Plan shall take precedence over the City of Ontario Development Code. In instances where the West Haven Specific Plan does not address specific zoning requirements, development standards or guidelines, the City of Ontario Development Code shall prevail.

The West Haven Specific Plan is the major component in the City’s entitlement process that will result in the future development of the master planned community. The components of the development entitlement process for the Project are discussed within the West Haven Specific Plan document.

## SECTION 1 • INTRODUCTION

### 1.3 Background

The West Haven Specific Plan mixed residential and commercial community is located in the City of Ontario, in what was formerly the City of Ontario Sphere of Influence (SOI). Refer to *Exhibit 1-1, "Regional Context Map"* and *Exhibit 1-2, "Vicinity Map."*

On January 7, 1998, the Ontario City Council adopted the Sphere of Influence General Plan Amendment for the 8,069-acre area known as the "The New Model Colony" (NMC). On November 30, 1999, the area was annexed into the City of Ontario. The New Model Colony General Plan provided the framework to create a high-quality environment where residents will live, work and play. The area was divided into 30 subareas, each requiring the preparation of a specific plan reflecting the unique goals and qualities of each

area. In this way, each subarea could be part of the overall New Model Colony but retain a sense of individuality.

Following the adoption of the New Model Colony General Plan, the Project Site was pre-zoned as SP/AG (Specific Plan/Agricultural Preserve). The zoning designation of "SP" requires the project area to be developed with a Specific Plan to carry out the objectives of the New Model Colony General Plan land uses.

On January 26th, 2010, the City of Ontario adopted The Ontario Plan (TOP) which serves as the City's new business plan and includes a long-term Vision and a principle based Policy Plan (General Plan). The City's Policy Plan, which acts as the City's General Plan, designates (Policy

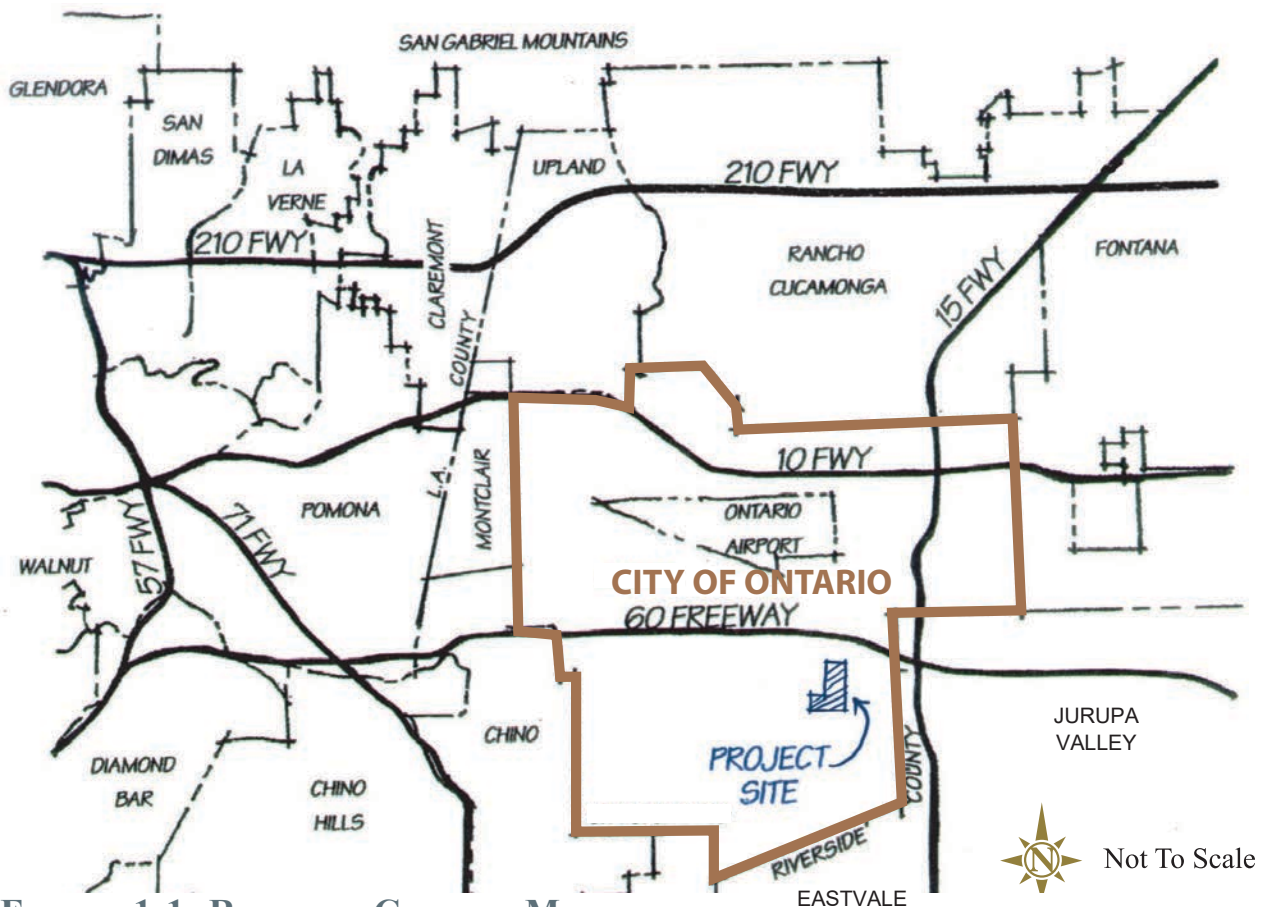


EXHIBIT 1-1: REGIONAL CONTEXT MAP

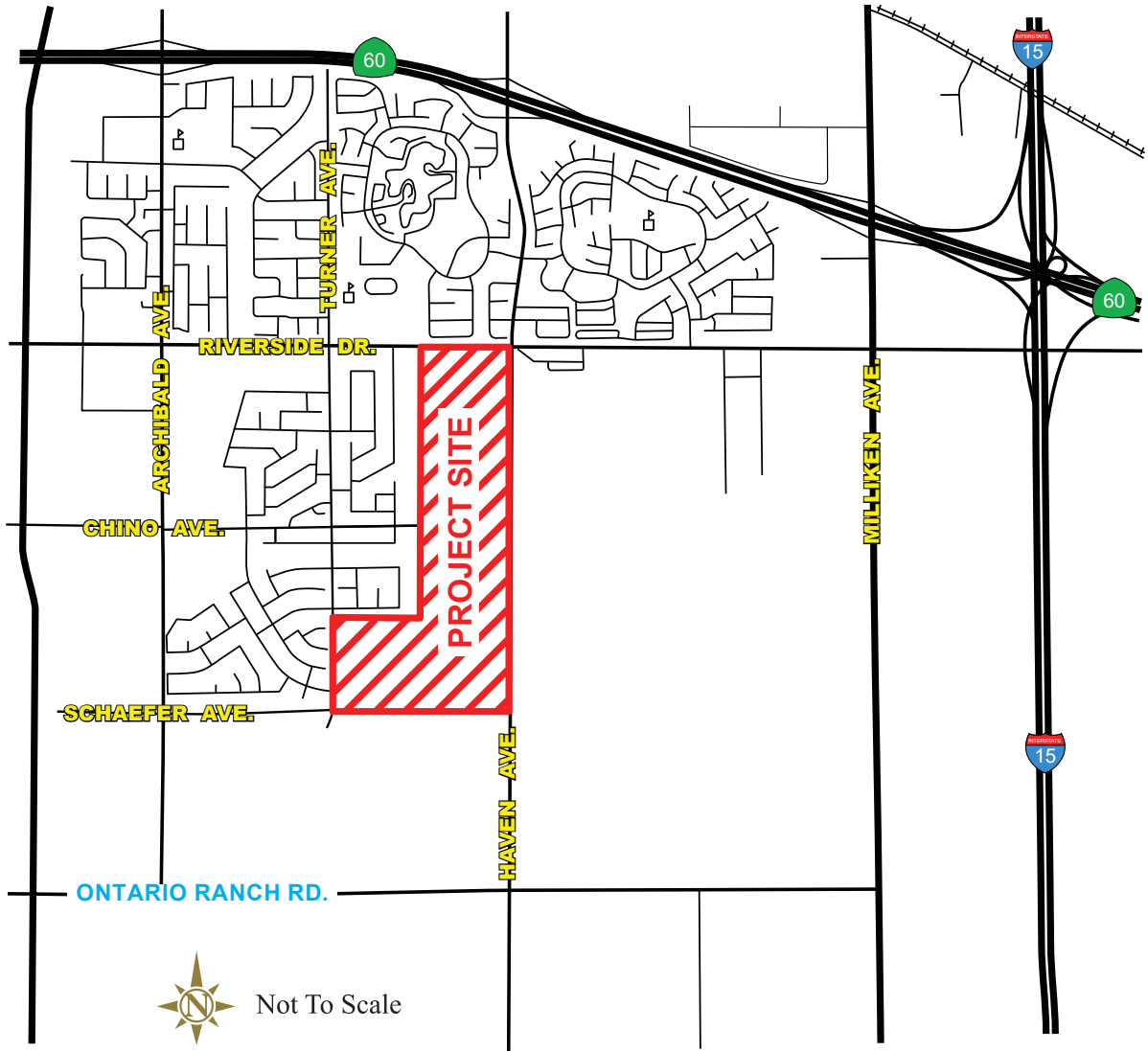


EXHIBIT 1-2: VICINITY MAP

Plan Exhibit LU-1 - Land Use Plan) the project site for development of Low Density Residential (2.1-5.0 dwelling units per acre), Low Medium Residential (5.1-11.0 dwelling units per acre), Medium Density Residential (11.1-25.0 dwelling units per acre), Neighborhood Commercial, Public Schools, and Open Space- Parkland, as illustrated on Exhibit 1-4, “Policy Plan Land Use Map.”

Refer to *Exhibit 1-4, Policy Plan Land Use Plan* and *Table 1-1, “Residential Density.”* Please refer to *Section 2.2.6, “Existing General Plan Land Use and Zoning”* for more detailed information.

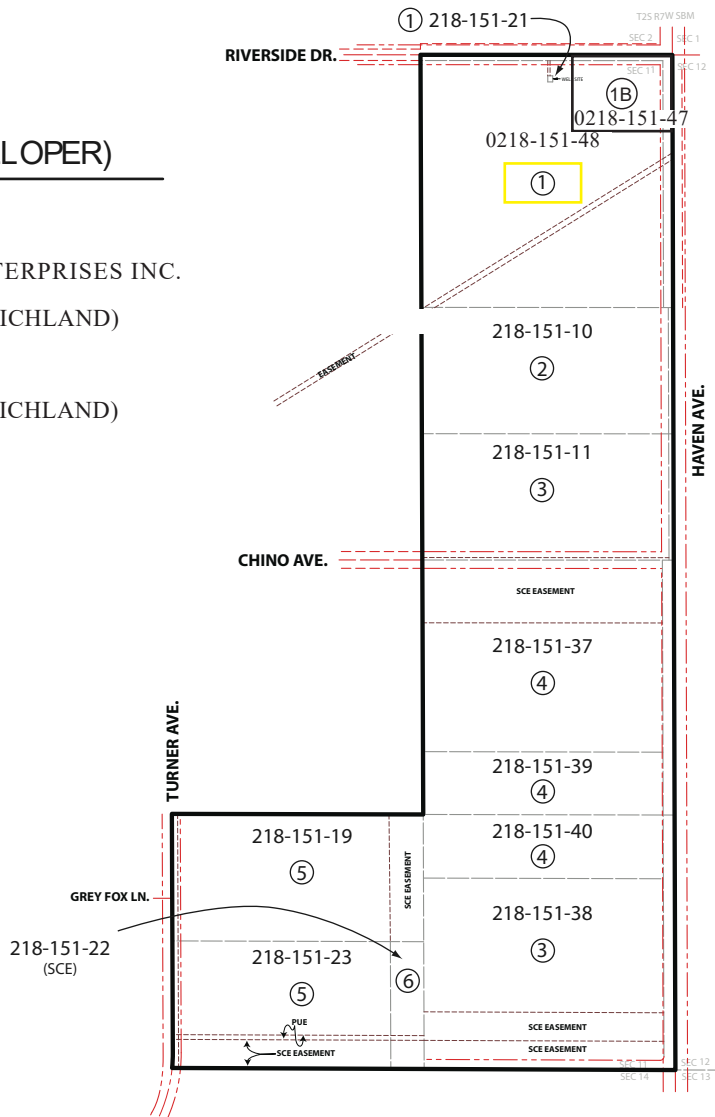
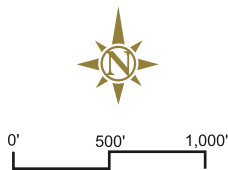
#### 1.4 Project Description

The West Haven Specific Plan is a comprehensive plan for the development of a mixed-use community with Planned Residential Sites that will accommodate 1,284 dwelling units on approximately 157.72 residential acres; Neighborhood Center on approximately 11.7 gross acres, an elementary school site on 10 net acres, and approximately 10 acres of paseos and pocket parks within the Specific Plan community and the adjacent utility easements. The combination of these master planned uses truly makes this a mixed-use development.

# SECTION 1 • INTRODUCTION

## OWNERSHIP & (DEVELOPER)

- ①A WEST HAVEN 27, LLC .
- ①B PREMIER INVESTMENT ENTERPRISES INC.
- ② JH BRAY / HCW LATHROP (RICHLAND)
- ③ KB HOME
- ④ LHC ONTARIO HOLDINGS (RICHLAND)
- ⑤ COMPLETE
- ⑥ SOUTHERN CALIF. EDISON



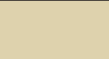




### EXHIBIT 1-3: EXISTING ASSESSOR'S PARCELS, DEVELOPERS, AND PROPERTY OWNERSHIP

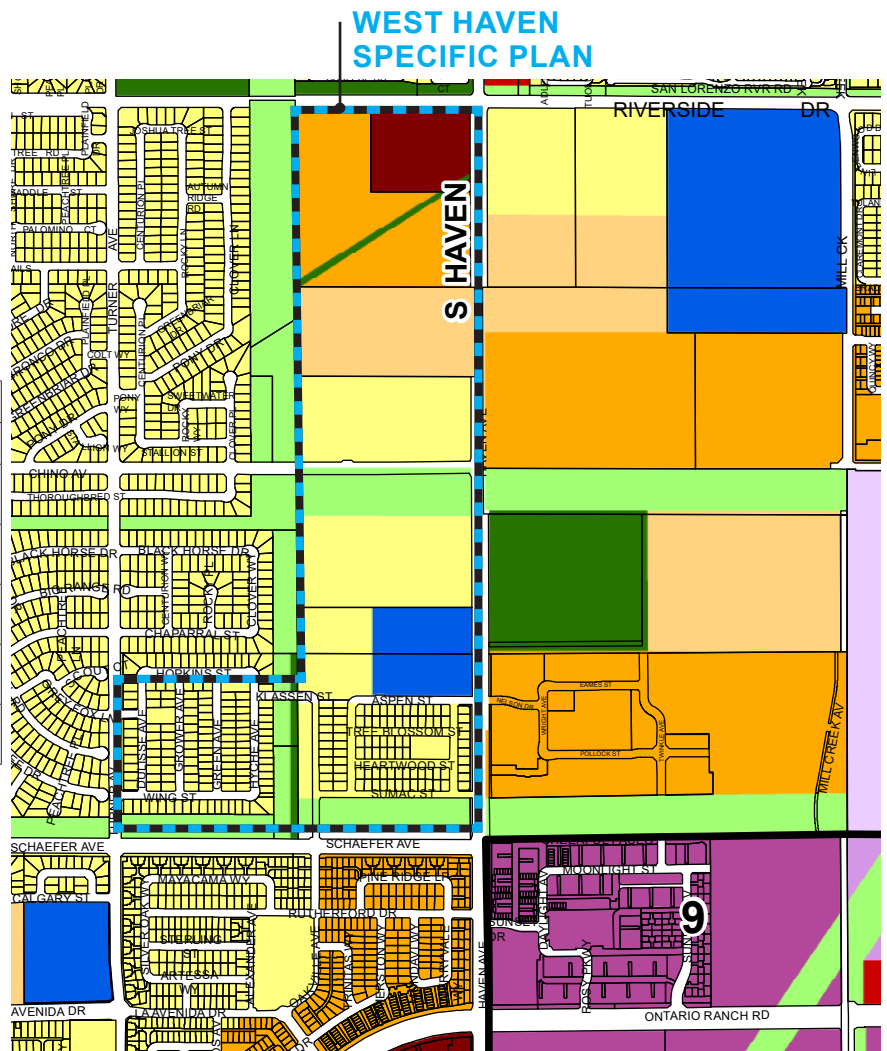
The Ontario Plan establishes a bike route system connecting the West Haven Specific Plan to planned bike routes within the remainder of Ontario Ranch. A Class I Bike Path is designated to be included within the improved right-of-way of Haven Avenue and within the north-south Edison Easement and fee owned property that are within and adjacent to the westerly boundary of the Project Site. The bike paths will eventually connect to the planned City of Ontario bike route system consistent with the The Ontario Plan.

A primary landscape entry monumentation area is to be constructed at the intersection of Riverside Drive and Haven Avenue (southwesterly corner).

Secondary landscaped entry monumentation will be constructed at the intersection of Haven and Chino Avenues at both northwesterly and southwesterly corners.

TOP Policy Plan Land Use Breakdown		
Land Use	Acres	Units
Low Density Residential (2.1–5.0 du/ac) – Assumed Density 4.5 du/ac	110.03	495
Low Medium Density Residential (5.1–11 du/ac) – Assumed Density 8.5 du/ac	19.17	162
Medium Density Residential (11.1–25 du/ac) – Assumed Density 22 du/ac	28.52	627
Neighborhood Commercial (0.4 FAR)	11.74	
<b>Total</b>	<b>169.46</b>	<b>1,284</b>

Legend	
Residential	
	Rural (0-2 du/ac)
	Low Density (2.1-5 du/ac)
	Low-Medium Density (5.1-11 du/ac)
	Medium Density (11.1-25 du/ac)
	High Density (25.1-45 du/ac)



Notes:

Breakdown includes relocation of Middle School from Subarea 6 to Subarea 12.

Tables provided by City of Ontario

(1) Assumes 73 D.U. Acres (336 D.U. Total) Transferred to Subarea 18

(2) D.U. Acreage = Gross Acres less Southern California Edison Easements, School and Neighborhood Center

**EXHIBIT 1-4: Policy Plan Land Use Plan (As Amended 2023)**

# SECTION 1 • INTRODUCTION

PA	TOP Land Use	Residential Gross AC	Overall DU	Overall Density
1(a)**		21.85 AC	93 DU	4.26 DU/AC
1(b)**		6.67 AC	80 DU	11.99 DU/AC
1	MDR	28.52 AC	451 DU	15.81 DU/AC
3	LMDR	19.17 AC	<del>92 DU</del> 203 DU	<del>4.57</del> -10.01 DU/AC
4	LDR	19.73 AC	102 DU	5.16 DU/AC
5	LDR	30.56 AC	149 DU	4.88 DU/AC
7	LDR	29.00 AC	94 DU	3.24 DU/AC
8	LDR	30.74 AC	143 DU	4.65 DU/AC
<b>Total</b>		<b>157.72 AC</b>	<b>1,142 DU</b>	<b>7.52 DU/AC</b>

Notes:

\* Residential Gross Acres = Gross Acres less Southern California Edison Easements (Master Planned Street R/W and Neighborhood Edge uses within the Southern California Edison Easements are included within the Residential Gross Acreages).

\*\*\* As indicated by the City, the 5 AC Neighborhood Park Acreage is to be included as Low Density AC

DU: Dwelling Units

**Table 1-1 RESIDENTIAL DENSITY (As Amended 2022)**



## 1.5 West Haven Specific Plan Goals and Objectives

The West Haven Specific Plan proposes to meet the following objectives and addresses the following issues.

- To provide an integrated quality mixed-use Planned Residential and Neighborhood Center community of appropriate density and lot sizes, supported by landscaped open spaces, landscaped pedestrian and bike paseos, elementary school, Neighborhood Park and recreational uses.
- To provide six (6) distinct yet blended residential neighborhoods with a variety of housing types, including single-family detached, courtyard, and attached/detached alley loaded residences, on lot sizes ranging from 2,800 square feet to 6,000 square feet.
- To provide for adequate planning, financing and implementation mechanisms for infrastructure and community facilities to serve the master planned community.
- To establish appropriate relationships with existing adjacent commercial and residential land uses.
- To integrate existing and proposed commercial areas into the community fabric via pedestrian links and walkways.
- To provide for a circulation network which promotes pedestrian walkways and bicycle activity as alternative modes of travel while also providing for safe and efficient movement of automobile travel through the Project Site. This includes:
  - a. A major paseo linking all areas of the site and connecting recreation spaces within the community. The paseo network will also link to the Ontario Ranch master planned residential paseo system and to regional destinations.
  - b. Creation of a formal primary entry, at the intersection of Haven Avenue and Riverside Drive.
  - c. Creation of formal secondary entries at the intersection of Haven and Chino Avenues.
- To incorporate, active recreation sites for both residential and commercial communities linked by the paseo system.
- To provide a well-integrated retail area at the corner of Riverside Drive and Haven Avenue allowing community residents' convenient pedestrian access to employment opportunities and day-to-day shopping and service establishments.
- To locate surface parking areas within the proposed Neighborhood Center and to screen them from adjacent residential uses by a landscaped pedestrian paseo or suitable landscaped setback buffer.
  - To include well-landscaped streetscape and sidewalk connections to provide alternative and/or secondary pedestrian connections parallel to Riverside Drive, Haven, Turner and Chino Avenues.
- To ensure that the development of the project addresses pertinent The Ontario Plan policies and objectives.
- To establish a unique character for the West Haven Specific Plan community area through the implementation of Design Guidelines and Development Standards specifically prepared for the West Haven development.
- To establish neighborhood linkages to connected portions of the West Haven Specific Plan.

## 1.6 Relationship of the Specific Plan to the City of Ontario General Plan

Please refer to *Appendix I, "General Plan Consistency"*.

## 1.7 CEQA Compliance

Prior to the adoption of the TOP, the City of Ontario certified a program level Environmental Impact Report identifying environmental impacts associated with the activities proposed for Ontario Ranch and established mitigation measures for future activities. A project level Environmental Impact Report (EIR), prepared by the City of Ontario for the West Haven Specific Plan, in accordance with the California

## SECTION 1 • INTRODUCTION

Environmental Quality Act (CEQA) and City requirements, will provide a more detailed analysis of potential environmental impacts associated with the specific development project proposed for the Project Site. The EIR prepared for the West Haven Specific Plan should address the potential environmental factors associated with the project and recommend mitigation measures to reduce impacts to a less than significant level. The EIR will be prepared to fulfill the requirement for environmental determinations for all subsequent discretionary and ministerial applications for development within the West Haven Specific Plan. The City of Ontario will prepare a Fiscal Impact Analysis to accompany the EIR for the Specific Plan to determine the project's fiscal impact.

### **1.8 Severance**

If any regulation, condition, program or portion of the West Haven Specific Plan is held invalid or unenforceable, such portions shall be deemed separate, distinct and independent provisions and the invalidity of such portions or provisions shall not affect the validity and enforceability of the remaining portions and provisions therein.

## SECTION 2 EXISTING PROJECT SITE CONDITIONS

### 2.1 Site History

The Project Site is part of an 8,200 acre area annexed into the City of Ontario on November 30, 1999. The approximate 202 acre West Haven Specific Plan area has historically been used for agricultural purposes. Agricultural activities have included dairy farming, vineyards and row crop production.

### 2.2 Existing Project Site Conditions

The Project Site is gently sloping approximately 2% to the southwest with approximately 50 feet of fall diagonally from the northeasterly corner to the southwesterly corner. Refer to *Exhibit 2-1, “Existing West Haven Topography,”* which details the terrain. Detention basins are found throughout the Project Site. These are used to detain dairy rinse wastewater and rain runoff.

#### 2.2.1 Existing Land Use

Dairy farm operations are found throughout the Project Site. Ancillary uses such as feed lots, feed storage, dairy cattle pens, feed crop growing areas and residences associated with dairy operations are found within the area. The portion adjacent to Turner Avenue was utilized for vineyard use but is now vacant. There is an existing horticulture nursery located approximately 1,245 feet south of the intersection of Haven Avenue and Riverside Drive.

Surrounding land uses are as follows:

North: Single Family Residential

South: Single Family Residences

East: Undeveloped Land and Residential

West: Single Family Residences, and Utility Corridor

Existing on-site and surrounding land uses are depicted on *Exhibit 2-2, “Existing On-site and Surrounding Land Uses.”*

### 2.2.2 Existing Environmental Conditions

#### 2.2.2(a) Geology and Soils

The Program EIR prepared for the City’s GPA for the Ontario Ranch identifies the approximately 8,200 acre Ontario Ranch area, including the Project Site, as underlain by Pleisocene age (older than 12,000 years) and Holocene age (less than 12,000 years old) alluvial deposits. The youngest superficial deposit is eolian sands (Qhs), comprising wind-blown sands having fine to medium-sized grains. These loose sands form sheets and low-dune deposits that have been stabilized by vegetation. These deposits are exposed in the eastern portion of the NMC area, including the Project Site, and extend westward to an area defined generally by a diagonal line extending from Harrison Avenue, within Riverside County, on the south to Vineyard Avenue on the north.

It is expected that most of these materials will be uncemented and subject to consolidation when saturated under structural loads. Erosion potential is considered high. Foundation and backfill suitability should be satisfactory with proper over-excavation, mixing with a finer-grained binder material and compaction.

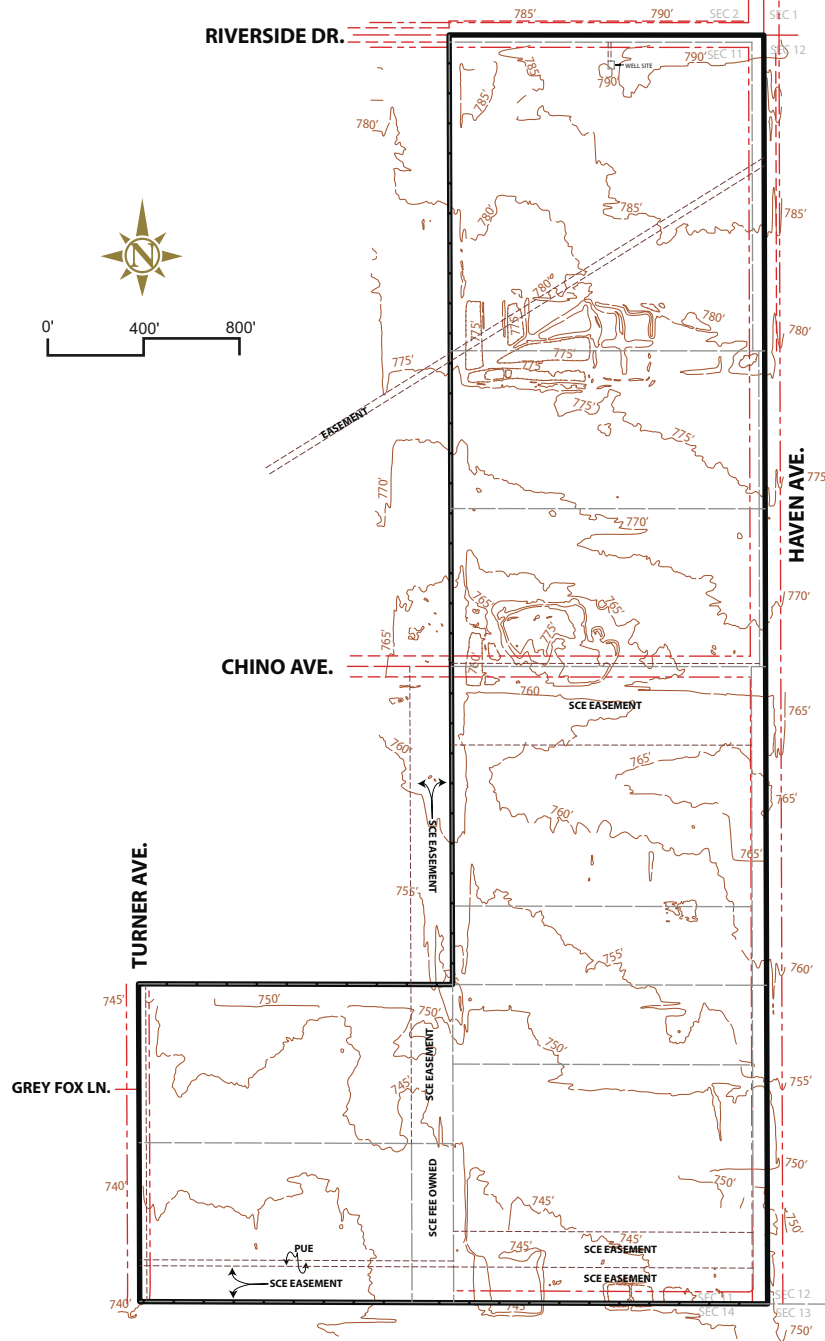
Soils reports were prepared for several properties within the West Haven Specific Plan confirming soils types. These reports are in the Appendix as follows: *Appendix II*, under separate cover, “*Engineering Geologic and Soils Foundations Investigation;*” *Appendix III*, under separate cover, “*Due-Diligence Geotechnical Study;*” *Appendix IV*, under separate cover, “*Phase I Environmental Site Assessment;*” and *Appendix V*, under separate cover, “*Due Diligence Review of Geotechnical Data.*”

Please see the Environmental Impact Report, as prepared for the West Haven Specific Plan, for further details.

#### 2.2.2(b) Seismicity

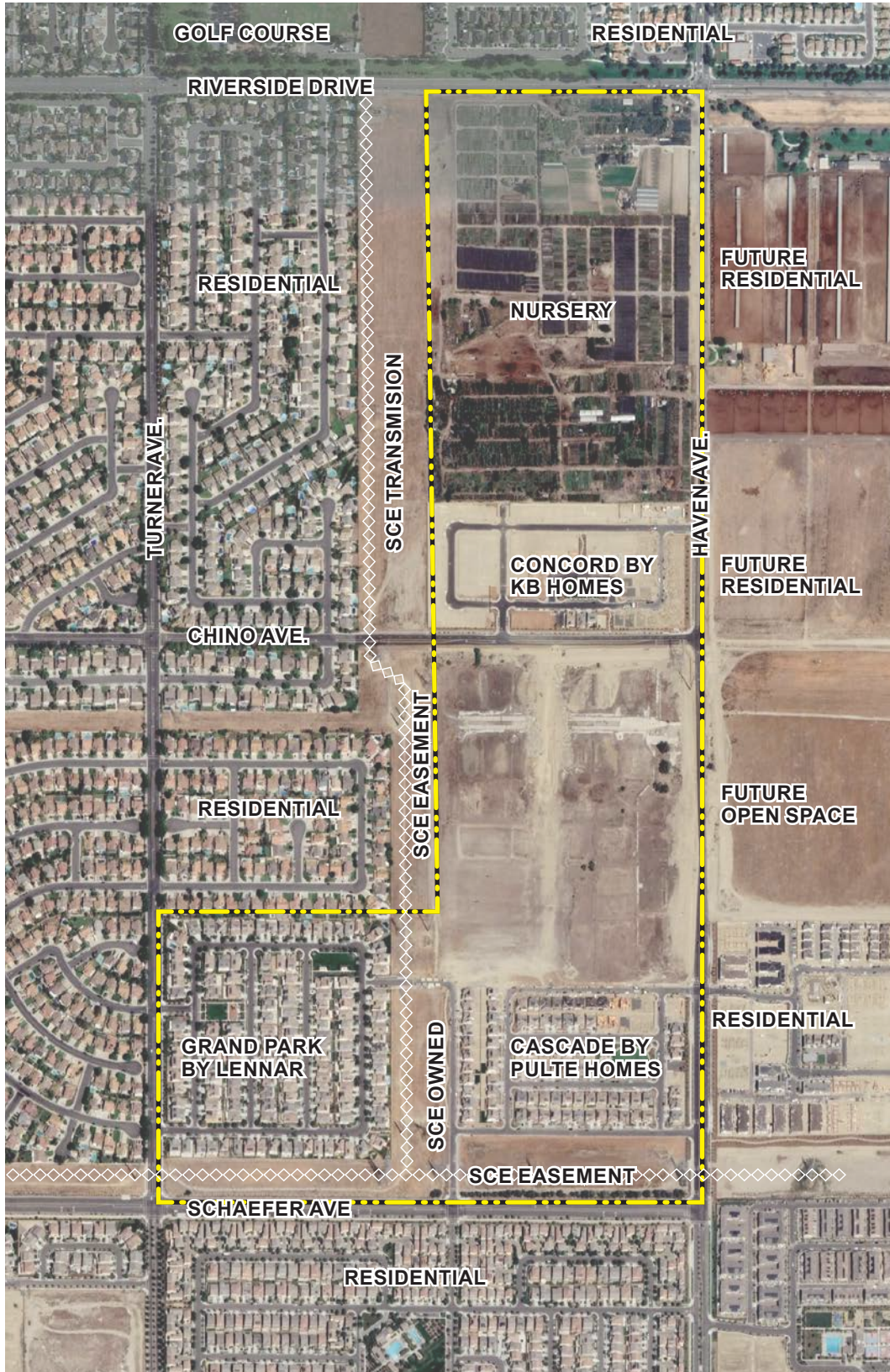
The Program EIR prepared for the City’s GPA for the NMC identified numerous earthquake faults within a 50 mile radius of the Project Site. Major mapped faults include, but are not limited to, the Chino, Whittier-North Elsinore and Cucamonga Faults. For the “Maximum Probable Earthquake” (MPE), defined as the 100-year event normally considered in the design of non-critical structures, the values range from about 0.13 to 0.20 g (i.e., the unit force of gravity). In the design of certain critical or important fa-

# SECTION 2 • Existing Project Site Conditions



**Exhibit 2-1: EXISTING WEST HAVEN TOPOGRAPHY**

# SECTION 2 • Existing Project Site Conditions



**Exhibit 2-2 EXISTING ON-SITE AND SURROUNDING LAND USES**

## SECTION 2 • Existing Project Site Conditions

cilities such as hospitals and dams, the “Maximum Credible Earthquake” (MCE) event is considered. For the three faults, the MCE should yield an estimated peak horizontal acceleration in the range of 0.33 to 0.52 g.

A zone of concentrated, relatively low-magnitude seismicity extends to the southwest from the San Jacinto fault zone (Rialto-Colton branch) along what is referred to as an “inferred fault near Fontana.” Where the “inferred fault” (Fontana trend) stops, this zone of micro-seismicity continues in a southwesterly to westerly direction, terminating in the Ontario Ranch area. It is expected that the MPE for this fault structure could produce horizontal accelerations in the range of 0.3 to 0.5g. More distant faults are capable of larger earthquakes with a higher probability of occurrence. The San Andreas Fault is expected to generate a MCE event every 150 to 200 years, yielding a peak horizontal ground acceleration of approximately 0.21 to 0.26 g.

In accordance with the “Uniform Building Code” (UBC), the West Have Specific Plan area is located within Seismic Zone No. 4. UBC procedures have been designed to ensure that all subsequent development occurs in a safe manner relative to those known hazards.

Leighton and Associates, Inc. prepared a “**Due-Diligence Geotechnical Study**” for Centex Homes on November 15, 2002 (See *Appendix III*, under separate cover). The study states; “*The principle seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in Southern California.*” Associated Soils Engineering, Inc. prepared a “**Due Diligence Review of Geotechnical Data**” for Centex Homes on April 21, 2004 (See *Appendix V*, under separate cover). The study states; “*the subject project is not located within an Alquist-Priolo Earthquake Fault Zone.*”

Additional seismicity information for the Project Site is identified as part of the West Haven EIR.

### 2.2.2(c) Hydrology

Since most of the West Haven Specific Plan area has been in agricultural use, only a limited portion of the Project Site is now covered with impervious surfaces. Normal rainfall to the area is able to percolate through on-site soils and does not result in high volumes of surface runoff, as typically associated with urban areas. During periods of heavy rainfall, when ground surfaces are saturated, surface runoff sheet flows in a south to southwesterly direction.

With the exception of major flood control channels such as the Cucamonga Channel, intended primarily to carry urban runoff, the existing storm drain system throughout the Ontario Ranch area is generally unimproved and consists primarily of open earthen swales along area roadways or curbed roadway surfaces.

Ground waters within the Ontario Ranch, as a whole, contain high concentrations of salt attributable to historic agricultural activities such as dairy farming. The high organic content of on-site soils has contributed incrementally to the degradation of surface and ground water quality. Removal of the organic materials that constitute by-products of those dairy operations, and compliance with National Pollution Discharge Elimination System (NPDES) and other storm water permit requirements; will beneficially impact regional water quality.

Leighton and Associates, Inc. prepared a “**Due-Diligence Geotechnical Study**” (See *Appendix III*, under separate cover). The study states, regarding groundwater; “*Groundwater was not encountered during our field investigation to a maximum depth of 10 feet below the ground surface.*”

LOR Geotechnical Group, Inc. prepared the “**Engineering Geologic and Soils Foundations Investigation**” (See *Appendix II*, under separate cover). The study states; “*Groundwater was not encountered in any of our exploratory trenches or borings which ranged in depth from 15 feet to 50.*”

LOR Geotechnical Group, Inc. prepared the “**Phase I Environmental Site Assessment**” for JMS Properties (See *Appendix IV*, under separate cover) and states that; “*The site lies within the Chino Groundwater*

## SECTION 2 • Existing Project Site Conditions

*Basin. Significant portions of the basin have been affected by elevated concentrations of nitrate and total dissolved solids as a result of the long-term agricultural and dairy activities in the area. Pesticides are not a contaminant in the groundwater.”*

Please see the Environmental Impact Report, as prepared for the West Haven Specific Plan, for further details.

### **2.2.2(d) Historic and Archeological**

The Program EIR prepared for the City’s GPA for the Ontario Ranch identifies the approximately 8,200 acre Ontario Ranch area as associated with the northern extent of the Prado Basin and includes portions of the historic Rancho Santa Ana del Chino. The majority of known resources identified within the Ontario Ranch area can be associated with the post-rancho period and the development of the area as a late 19th century and early 20th century rural community.

Only a small portion of the overall study area has been systematically investigated for cultural resources. Therefore, virtually nothing is known with respect to the extent of prehistoric remains within the area. No cultural resources have been specifically identified with the study area. Therefore, there are no cumulative impacts identified at this time.

The Program EIR further states that the majority of the study area (90%) has not been formally investigated for the presence/absence of cultural resources. It is known that at least two pending historic archeological sites and another twenty historic structural locations may be located within the study area. Until proven otherwise, it must be presumed that the overall area is moderately sensitive for cultural resources.

Michael Brandman Associates prepared an *“Archeological Resource Evaluation and Paleontological Records Search for the West Haven Specific Plan Project, Sub area 6 (West of Haven) and Subarea 12 (West of Haven), City of Ontario, San Bernardino County, California”* for the Stratham Group, dated March 29, 2004 (refer to *Appendix VI*, under separate cover). The study states; *“Because of the degradation of the topsoil after the dairies had been built, the potential for impacts to cultural*

*resources is considered ‘low’. Cultural mitigation-monitoring is not recommended.”*

Please see the Environmental Impact Report, as prepared for the West Haven Specific Plan, for further details.

### **2.2.2(e) Biological**

The Program EIR prepared for the City’s TOP states that the Sphere of Influence is currently dominated by agricultural fields, dairy operations, pastures and croplands. Remnants of native vegetation are virtually absent. According to Kùchler’s (1977) map of the potential natural vegetation of California, the Sphere of Influence area was historically dominated by coastal sage scrub vegetation. Windrows are prevalent along the internal roadways. Areas of intensive agricultural industry such as feedlots and permanent cattle holding pens are generally devoid of vegetation.

The Program EIR further states that the Ontario Sphere of Influence area has been greatly altered from natural conditions, under the influence of intensive agriculture and dairy industry. Despite these continuing land use practices, the Sphere of Influence area supports a diversity of wildlife, especially that of birds. This is due, in part, to the relatively level topography that contributes to the accumulation of standing water that attracts numerous migratory birds.

Larry Munsey International was retained by JMS Homes, LLC to conduct a presence/absence survey for the Delhi Sands Flower-Loving Fly (DSF) on Assessor’s Parcel 218-151-11, 19, 20, 21, 23 and 38 (Survey Site), Ontario, California (see *Appendix VII*, under separate cover, *“Report of Year 2003 Focused Survey for Delhi Sands Flower-Loving Fly at West Haven Specific Plan Component 6 Site San Bernardino County, California;”* see *Appendix VIII*, under separate cover, *“Report of Year 2003 Focused Survey for Delhi Sands Flower-Loving Fly at West Haven Specific Plan Component 1 Site San Bernardino County, California.”* Stratham Properties retained Larry Munsey International to conduct a presence/absence survey for the Delhi Sands Flower-Loving Fly (DSF) on Stratham’s two parcels (the referenced Components 4 and 7 are now reclassified as Planning Areas 4 and 8). The reports have been done every year since 2002. See *Appendix IX*, under sep-

## SECTION 2 • Existing Project Site Conditions

arate cover, “*Report of Year 2002 Focused Survey for Delhi Sands Flower-Loving Fly Components 4 and 7*” and see *Appendix X*, under separate cover, “*Report of Year 2003 Focused Survey for Delhi Sands Flower-Loving Fly Components 4 and 7*”). The results and discussion of the four reports states:

*“No DSF or DSF sign (i.e., discarded pupal cases) were observed on the Survey Site during the current survey, nor was the DSF detected on the site during the prior years survey (LMI 2002). Based upon the following factors it may be concluded that the Survey Site is not occupied by the DSF in any suitable habitat for the species present. The results of this and the former year’s survey as reported herein satisfy the federal requirement to demonstrate the absence of the DSF on the Survey Site.”*

### 2.2.2(f) Paleontological

The “*Archeological Resource Evaluation and Paleontological Records Search*” prepared for the Stratham Group, dated March 12, 2004, *Appendix VI* states;

*“The results of the paleontological review showed that the entire project area rests on surface exposures of Quaternary younger fan deposits (Qyf) dating the late Holocene Epoch. This rock unit has low paleontological sensitivity. It is possible that older Pleistocene sedimentary rock units will be encountered at a depth of 15 feet below the modern ground surface. Paleontological resource monitoring is recommended if and only if excavations take place more than 15 feet below the modern ground surface.”*Please see the Environmental Impact Report, as prepared for the West Haven Specific Plan, for further details.

### 2.2.3 Property Ownership

The approximate 202 acre Project Site is currently owned by six separate property owners as illustrated on *Exhibit 1-3, “Existing Assessor’s Parcels, Developers and Property Ownership”* in *Section*

*1* of the *West Haven Specific Plan*. Armada LLC, The Stratham Group, SC Ontario Development Corporation and Richland Communities, Inc. propose to immediately develop approximately 150 gross residential acres of the Project Site. The remaining approximate 20.1 gross residential acres and the 11.7 acre Neighborhood Center will be developed in the future.

### 2.2.4 Existing Circulation

State Route 60 (SR-60) is located approximately two-thirds of a mile north of the Project Site. Currently, access to SR-60 is north, via Haven Avenue. In addition, the Project Site is approximately 1.5 miles west of Interstate 15 (I-15). Current, direct access to I-15 is north, via Haven Avenue, then east on SR-60, approximately 1.5 miles. The two freeways provide regional access to the West Haven Specific Plan area. The Project Site is bordered on the north by Riverside Drive, Master Planned as a “Standard Arterial” street in the City’s-TOP. The north one-half of Riverside Drive has been improved by the development occurring to the north. The Project Site is bordered on the east by partially improved Haven Avenue, designated in TOP as a “Divided Arterial Parkway 2-2,” and bordered partially on the west by Turner Avenue, which is designated as a “Collector Street” in TOP. Future Chino Avenue, master planned as a “Collector Street,” is proposed to bisect the Project Site, east/west, approximately 0.5 mile south of the Riverside Drive and Haven Avenue intersection.

### 2.2.5 Existing Infrastructure and Utilities

#### 2.2.5(a) Existing Water

Per the City of Ontario Water Master Plan, the West Haven Specific Plan area is within two pressure zones. That portion of the Specific Plan area, north of Chino Avenue, is within the 1010 Zone and that portion south of Chino Avenue is within the 925 Zone. Per the Water Master Plan, new facilities will be required to service the Specific Plan area.



## SECTION 2 • Existing Project Site Conditions

There is an existing 10-inch water line and a 12-inch water line in Riverside Drive, an existing 12-inch water line in Turner Avenue and an existing 8-inch water line in Chino Avenue which terminates at the westerly boundary line of the Southern California Edison Company (SCE) easement lying on the west side of the West Haven Specific Plan boundary. These waterlines are included in the 1010 Pressure Zone.

On-site residential and agricultural uses within the Specific Plan Area are served by private wells. There are four existing wells on the Specific Plan Area as illustrated on *Exhibit 2-3, “Existing Wells, Electricity, Natural Gas and Communication Systems.”* A well use/destruction plan and schedule for all existing private/agricultural wells shall be submitted for prior to issuance of permits for any construction activity. If a private well is actively used for water supply, the Developer shall submit a plan to abandon such well and connect users to the City’s water system (residential to the domestic water system and agricultural to the recycled water system) when available. Well destruction requires permitting from County Health Department. A copy of such permit shall be provided to the Engineering and Public Works Agency prior to issuance of grading and/or building permits. If the Developer proposes temporary use of an existing agricultural well for purposes other than agriculture, such as grading, dust control, etc., the developer shall make a formal request to the City of Ontario for such use prior to issuance of permits for any construction activity. Upon approval, the Developer shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by the agreement.

### 2.2.5(b) Existing Sewer

Wastewater disposal within the Specific Plan Area is currently being provided through septic tanks. When the septic tanks are taken out of commission, they will be destroyed per Department of Health Services (DHS) requirements. There are two existing sewer lines in Riverside Drive. Both sewer lines are at capacity and discharge to the Whispering Lakes pump station which is also at capacity. There is an existing sewer system within the Archibald Ranch development, located westerly of the West Haven Specific Plan. The existing sewer system connects to a lift station on the east side of Archibald Avenue. A force main from the lift station extends northerly along Archibald Avenue to the Whispering Lakes Pump Station. The Archibald Ranch lift station is at capacity and cannot accept any additional sewer flows. Upon completion of the Eastern Trunk Sewer (Archibald Avenue), the lift station will be eliminated and the sewer system will discharge into the Eastern Trunk Sewer. Per the City of Ontario Sewer Master Plan, new facilities will be required to service the Specific Plan area.

### 2.2.5(c) Existing Storm Drain

There is an existing storm drain system adjacent to the Project Site, serving the Archibald Ranch Projects. This storm drain system outlets into Chris Basin which outlets into the Cucamonga Creek Channel. Approximately 15 acres of the Specific Plan area, adjacent to Turner Avenue, was tabled to drain to the existing Archibald Ranch storm drain. Upon further study of the capacity of the Archibald Ranch storm drain, it was determined that the storm drain is at capacity and cannot accept additional flows. When the Archibald Ranch storm drain was designed, the Rational Method from the old San Bernardino County Hydrology Manual was in use. The Rational Method has since been revised, which when used, results in a higher calculated runoff, (Q). There are no other permanent storm drainage facilities near the project which may be used for on-site storm flows.

## SECTION 2 • Existing Project Site Conditions

The construction of the County Line Channel is a joint project of the City of Ontario and County of Riverside Flood Control District which began construction in May 2004. The channel will begin near the intersection of I-15 and Bellegrave Avenue, constructed within Bellegrave and will follow the Riverside/San Bernardino County line terminating in the Cucamonga Creek Channel.

The West Haven Specific Plan Project Site is protected from off-site flows from the north by a combination drainage swale and storm drain line constructed on the north side of Riverside Drive.

Per the City of Ontario Storm Drain Master Plan, new facilities will be required to service the Specific Plan area.

### 2.2.5(d) Existing Electricity

Southern California Edison Company (SCE) provides electricity to the Project Site. SCE has some overhead facilities in the area servicing the farms and dairies. The development of the West Haven Specific Plan area will increase electrical power requirements and SCE will develop the required distribution system. Existing overhead utilities—34.5 kV and lower—will be undergrounded when development occurs in compliance with City ordinance. Existing electrical lines are illustrated on *Exhibit 2-3, “Existing Wells, Electricity, Natural Gas and Communication Systems.”*

### 2.2.5(e) Existing Natural Gas

The Southern California Gas Company (SCG) provides natural gas service within the Project area. Facilities in the area include existing 3-inch and 6-inch mains in Haven Avenue and a 6-inch line in Riverside Drive. It should be noted that a 30-foot gas easement runs diagonally across the Project Site, approximately 500 linear feet south of the intersection of Riverside Drive and Haven Avenue and exits the Project Site’s westerly boundary, approximately 1,290 linear feet south of Riverside Drive. Existing natural gas lines are illustrated on *Exhibit 2-3, “Existing Wells, Electricity,*

*Natural Gas and Communication Systems.”*

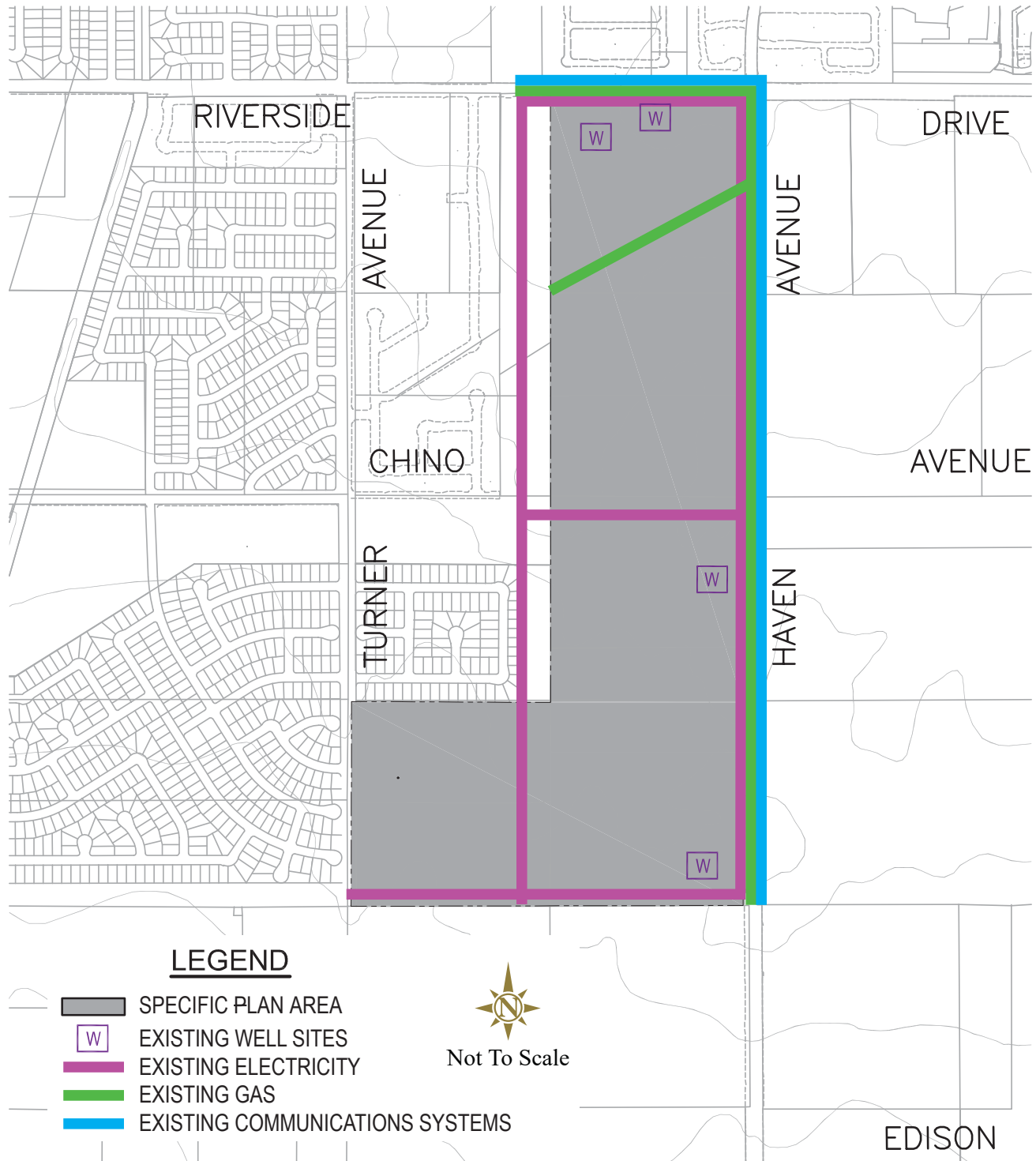
### 2.2.5(f) Existing Communication Systems

Verizon provides telephone service within the project area. Currently, telephone service is provided to the residences, dairies and farms in the area, as illustrated on *Exhibit 2-3, “Existing Wells, Electricity, Natural Gas and Communication Systems.”*

### 2.2.5(g) Existing Solid Waste

The City of Ontario Public Works Agency currently, by request, provides solid waste collection and disposal to the Ontario Ranch.

# SECTION 2 • Existing Project Site Conditions



**Exhibit 2-3: EXISTING WELLS, ELECTRICITY, NATURAL GAS AND COMMUNICATION SYSTEMS**

This page intentionally left blank.

## SECTION 3 LAND USE PLAN

### 3.1 Land Use Plan Description

The West Haven Specific Plan is designed as a high quality, master-planned community. Through strong cohesive community design, the West Haven Specific Plan will offer a diverse, convenient living environment for its residents. The West Haven community amenities include expanded landscaped parkways and Neighborhood Edges, which will accommodate pedestrian and bicycle paths, as appropriate. In addition, a paseo system will provide recreational opportunities and alternative modes of transportation (pedestrian and bicycle) through the site, within the Southern California Gas and the Southern California Edison Easements, both on-site and offsite and within the various Planning Areas. Another significant feature of the proposed plan is the Neighborhood Center. Located at the southwest corner of Haven Avenue and Riverside Drive, designated as Planning Area 2, the Neighborhood Center provides service and retail shopping amenities for local residents. The Neighborhood Center is proposed to include approximately 87,000 square feet of commercial, public and quasi-public uses.

The West Haven community will be identified and unified through design elements, which includes architecture, signage, landscaping, color, walls, fencing and entry treatments. Variability of design will be allowed so individual neighborhoods, within the overall community, can establish individual design character, yet maintain compatibility with the West Haven master plan.

The “*West Haven Land Use Plan*” is illustrated in *Exhibit 3-1*. The Project Site has been divided into eight (8) Planning Areas. The boundaries of the Planning Areas were dictated by current property ownerships combined with different and distinctive types of land uses and residential densities to be developed within the West Haven Specific Plan. For specific information regarding development within each of the eight (8) individual Planning Areas, please refer to *Section 8, “Design Guidelines”* and *Section 9, “Development Standards.”* The proposed land uses are outlined in the following subsections:

#### 3.1.1 Residential

The West Haven Specific Plan residential densities range from Dwelling Units (DU)/Net Acre to 6.78 DU/Net Acre as depicted on *Table 3-1, “Land Use Summary.”* Currently, 1,142 dwelling units are proposed on approximately 157.72 residential allocation acres of land located within Planning Areas 1, 3, 4, 5, 7, and 8. It is anticipated that the detached residential homes will be located on lots between 2,800 and 6,300 square feet in addition to a variety of attached configurations. The architectural products include American Colonial, Italianate, American Farmhouse, Craftsman, East Coast Traditional, French Country, Monterey, Spanish, Plantation, and West Coast Traditional. *Refer to Section 8.2.3, “West Haven Architectural Styles”* for more details.

#### 3.1.2 Neighborhood Center

The West Haven community will contain a “Neighborhood Center” on approximately 11.7 gross acres.

The Neighborhood Center is proposed to include an approximate 87,000 square feet of gross leaseable area which will support a supermarket, restaurants, retail shops, personal, professional and financial services and community and cultural facilities.

#### 3.1.3 Greenbelt/Paseos and Landscaped Neighborhood Edges

The proposed Project Site will include a system of greenbelt/paseos, Neighborhood Edges and internal paseos containing pedestrian links. The paseos and edges link the West Haven community’s neighborhoods to each other while providing alternative modes of travel (pedestrian, bicycle, etc.) to major destination points (schools, recreation facilities and the Neighborhood Center) within the community. The paseos generally follow existing easement corridors. Major roadways, shown on the West Haven Specific Plan, will also have Neighborhood Edges (expanded parkways), as described in *Section 4, “Circulation Plan.”* The greenbelt/paseo and Neighborhood Edge system will provide a major aesthetic and unifying amenity for the entire project. Multi-use trails will be provided along Haven Avenue and within the paseo system.

# SECTION 3 • Land Use Plan

## LEGEND

-  NEIGHBORHOOD ENTRIES
-  MAJOR ENTRIES
-  SECONDARY ENTRIES
-  PASEO/PARK CONNECTIONS
-  PASEO WITHIN WEST HAVEN BOUNDARY
-  PASEO OUTSIDE OF WEST HAVEN BOUNDARY
-  CONCEPT POCKET PARK LOCATIONS
-  STREET  $\phi$  & R/W



Not To Scale



**Exhibit 3-1: WEST HAVEN LAND USE PLAN**

## SECTION 3 • Land Use Plan

Land Use	Dwelling Units	Gross Acres (1)	Dwelling Units / Gross Acres	Net Acres (2)
<i>Residential Uses</i>				
PA 1 (Detached Courtyard and Attached Homes)	451 DU	28.52 AC	15.81 DU/AC	
PA 3 (Detached and Attached Homes)	203 DU	19.17 AC	10.01 DU/AC	
PA 4 (3,825 SF Lots)	102 DU	19.73 AC	5.16 DU/AC	
PA 5 (2,800 SF “Lane Loaded” & 5,100 SF Lots)	149 DU	30.56 AC	4.88 DU/AC	
PA 7 (4,250 SF Lots)	94 DU	29.00 AC	3.24 DU/AC	
PA 8 (5,250 SF & 6,300 SF Lots)	143 DU	30.74 AC	4.65 DU/AC	
<b>Residential Uses Total</b>	<b>1,142 DU</b>	<b>157.72 AC</b>	<del>4.43</del> <b>7.52 DU/AC</b>	
<i>Community Facility Uses</i>				
PA 2 (Neighborhood Center Commercial)		11.74 AC		9.25 AC
PA 6 (School)		12.45 AC		9.80 AC
<b>Community Facility Uses Total</b>		<b>24.19 AC</b>		<b>19.05 AC</b>
<i>Other Uses</i>				
Master Planned Roadways				13.00 AC
Neighborhood Edge Buffers				3.90 AC
SCE & SCG Easements				25.10 AC
SCE Fee Owned Parcel		2.69 AC		2.04 AC
Old Schaefer R/W (To Be Abandoned)				1.30 AC
<b>Other Uses Total</b>		<b>2.69 AC</b>		<b>45.34 AC</b>
<b>Project Total</b>	<del>753</del> <b>1,142 DU</b>	<b>202.00 Gross AC</b>	<del>3.73</del> <b>7.52 DU/ Gross AC</b>	

(1) Gross Acres as calculated to street centerlines, including all easements.

Note: Refer to Table 1-1, “Residential Density,” for City defined Residential Gross Density.

**Table 3-1: LAND USE SUMMARY** (As Amended 2023)

## SECTION 3 • Land Use Plan

### 3.1.4 School Facility

Ten (10) net acres will be set aside for an elementary school site. The elementary school site is designated as Planning Area 7. Local streets, as well as the proposed paseo system, will provide access. Mountain View School District selected this site as their primary location for the elementary school.

### 3.1.5 Streets

Master planned streets will be constructed or improved in conjunction with the development of the proposed Project Site. On-site traffic will be directed to a hierarchical backbone master planned roadway system consisting of Divided Arterial Parkway 2-2 (Haven Avenue), Standard Arterial (Riverside Drive) and Collector streets (Turner and Chino Avenues) per the City of Ontario's *New Model Colony General Plan* exhibit, "Circulation Plan and Roadway Classifications" (Figure 4-14).

## 3.2 Specific Plan Design Objectives

Throughout the planning of the West Haven Specific Plan, the underlying design philosophy has been to create a community character and quality that reflects the characteristics of the region, the goals of the TOP and its surrounding community. The integration of site planning, architecture and landscape principles into neighborhood design is a fundamental goal for the West Haven community. **Section 8, "Design Guidelines"** and **Section 9, "Development Standards"** of this document includes a detailed discussion of the Design Criteria for the West Haven Specific Plan. Neighborhood Design Objectives include the following:

1. To ensure that the development of the project addresses pertinent TOP policies and objectives.
2. To establish a unique character for the West Haven Specific Plan area through the implementation of Design Guidelines and Development Standards specifically prepared for the development.
3. Create a high standard in neighborhood design and implement the standards consistently over the entire neighborhood.
4. To provide an integrated, quality Single-Family Planned Residential community of appropriate density and lot size within the Project Site, supported by open space, landscaped paseos and recreational uses.
5. To provide six (6) distinct yet blended residential neighborhoods with a variety of single-family and attached housing types, architectural styles and quality materials.
6. Provide small-scale intimate neighborhoods.
7. To create sub-neighborhoods within each community through varying distinguished housing themes.
8. Create attractive and comfortable streetscenes and streetscape.
9. To provide for a circulation network which promotes pedestrian walkways and bicycle activity as alternative modes of travel while also providing for safe and efficient movement of automobile travel through the Project Site. This includes:
  - a. A major community paseo linking all areas of the site and connecting recreation spaces within the community.
  - b. Creation of a primary entry at the intersection of Haven Avenue and Riverside Drive.
  - c. Formal secondary entries will be constructed at the intersection of Haven and Chino Avenues.
10. To include enhanced landscaped streetscape and sidewalk connections, via Neighborhood Edges. This will provide alternative pedestrian connections parallel with Riverside Drive, Haven, Turner and Chino Avenues.
11. Provide "local" open space (pocket parks) where neighbors can meet and children can play.
12. To incorporate active recreation sites for residential and communities linked by the community paseo system.
13. Reduce the appearance of "mass production" and "urban sprawl" in housing.
14. Create neighborhood designs that integrate architecture, site planning and landscape.
15. To provide for adequate planning, financing and implementation mechanisms for infrastructure and community facilities to serve the master planned community.



16. To establish appropriate relationships with future, adjacent commercial and residential land uses as illustrated on the *SOI GPA Figure 3-5, “Land Use Concept Plan.”*
17. The project will comply with the requirements of the San Bernardino County Regional Water Quality Management plan through Site Design principles, Source Control measures and Treatment Control technology.
18. To integrate proposed retail commercial areas into the community fabric via pedestrian paseos and shared walkways.
19. To provide well-integrated retail and commercial areas, adjacent to the intersection of Riverside Drive and Haven Avenue within the Project Site, allowing community residents’ convenient pedestrian access to employment opportunities and day-to-day shopping and service establishments.
20. To locate the surface parking areas within the proposed Neighborhood Center and to screen them from adjacent residential uses by a landscaped pedestrian paseo or suitable landscaped setback buffer.

### 3.3 General Development Standards for Specific Plan Land Uses

The West Haven Specific Plan project is a combination of residential, commercial, open space and community uses and an extension of existing and planned development occurring in the Ontario Ranch area of Ontario. The specific land uses described will require infrastructure, public services and facilities and special techniques in each Planning Area to accommodate the uses proposed and to provide adequate circulation to neighboring uses.

Project-wide Development Standards have been prepared to manage implementation of general or unique conditions in each Planning Area. General standards are listed below. Specific Planning Area standards are detailed in *Section 9, “Development Standards.”*

1. Generally, the uses permitted shall include residential, commercial, recreation, school, open space and circulation.

2. The West Haven Specific Plan shall be developed to a maximum of 1,142 dwelling units on approximately 151.9 residential Gross Acres (as depicted on *Table 1-1, “Residential Density”*) and approximately 11.7 gross acres of Neighborhood Center.
3. Future uses shall be defined by the Development Standards established for this Specific Plan and will be entitled by tentative maps, development plans and use permits, as appropriate.
4. The development of the property shall be in accordance with the mandatory requirements of all City of Ontario and state laws and shall conform substantially with the approved West Haven Specific Plan as filed in the office of the City of Ontario Planning Department, unless otherwise amended.
5. Any development standard not addressed in the West Haven Specific Plan shall be subject to the City of Ontario Development Code.
6. An environmental assessment, pursuant to the California Environmental Quality Act (CEQA), may be required for each tentative map, development plan, Specific Plan Amendment or any other discretionary permit required to implement the West Haven Specific Plan. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR prepared for this Specific Plan.
7. Tentative maps shall be prepared in conformance with the Development Standards and Design Guidelines contained in this Specific Plan.
8. A Specific Plan Amendment may be required, as determined by the City of Ontario Planning Department, with a subsequent development application, if the proposed use varies substantially from the uses provided for by the Development Standards and Design Guidelines established by the West Haven Specific Plan.
9. Design features, such as special architectural treatments, perimeter and interior landscaping and walls and buffering of parking lot/loading zone areas shall be incorporated into project design to minimize any potential conflict between commercial uses and abutting residential development.

## SECTION 3 • Land Use Plan

10. The proposed elementary school site location has been reviewed and conceptually approved through meetings with the Mountain View School District as the lead agency. Final approval, however, must be obtained from the state.
  11. Final development densities for each Planning Area shall be determined through the appropriate development application based upon, but not limited to the following:
    - a. Adequate availability of utility services.
    - b. Adequate access and circulation.
    - c. Innovation in housing types, design or opportunities.
    - d. Sensitivity to neighborhood design through appropriate lot and street layouts.
    - e. Compliance with Development Standards and Design Guidelines.
12. All plans for proposed Public Park facilities shall be reviewed and approved by the City of Ontario Planning Director and Public Works Director or his designee prior to approval of the respective final map.
13. For the security and safety of future residents and users, any subsequent application for development within the West Haven Specific Plan, shall incorporate the following design concepts into site plans for individual planning areas:
  - a. Adequate circulation for emergency and safety personnel and vehicles.
  - b. Lighting of streets, walkways, bikeways, commercial areas and safety lighting within the various park facilities.
  - c. Visibility of doors and windows from the street.
  - d. Fencing heights and materials, including landscaping, that address security needs.
14. Overall project density shall not be exceeded.
15. The project shall comply with all City of Ontario curb-side recycling programs.
16. A preliminary noise study shall be included in the EIR, identifying potential mitigation measures. A final study shall be done at Final Map phase to identify those noise attenuation devices, such as fence types and construction materials, to mitigate noise from the surrounding roads to ensure the development is in compliance with the TOP residential noise standards at buildout conditions.

SECTION 4  
CIRCULATION PLAN

4.1 Circulation Plan Description

The main objective of the Circulation Plan is to provide direct and convenient access to individual residential planning areas, employment and service land uses through a safe and efficient transportation network including Divided Arterial Parkway 2-2, Standard Arterial, Collector and Interior Streets and a pedestrian, bicycle paseo/sidewalk system.

4.2 Vehicular Circulation

Existing roadways, which will provide access to and from the Project Site, include Riverside Drive (Standard Arterial Street) serving as the northerly boundary of the Project Site; Haven Avenue (Divided Arterial Parkway 2-2) serving as the easterly boundary of the West Haven community; Turner Avenue (Collector Street) serving as a partial westerly boundary and Chino Avenue (Collector Street) providing east/west access through the Project Site. Additionally, off-site regional access to and from the SR-60 Freeway will be from Archibald Avenue, located to the west, and Haven Avenue, serving as the eastern boundary of the West Haven Specific Plan. The design speed for each street is as follows:

Haven Avenue and Riverside Drive	45 mph
Chino Avenue and Turner Avenue	40 mph

On-site circulation within the West Haven Specific Plan will be provided through a system of local streets to be constructed internal to the project. All interior neighborhoods will have a minimum of two (2) points of access. Riverside Drive and Chino Avenues will connect east/west traffic and Haven and Turner Avenues will connect north/south traffic flow. The elementary school site will have driveway access limitations (right turns in and out) and all student dropoffs and pick-ups, either by bus or private automobile, shall be accommodated on the school property. Further information regarding traffic reports, impacts and mitigation measures will be presented in the West Haven Specific Plan’s Project EIR.

The backbone circulation system proposed as part of the West Haven Specific Plan is illustrated on *Exhibit 4-1, “Circulation Plan.”*

The developer(s) of the West Haven Specific Plan area will be responsible for all off-site improvements for the entire project frontage or as otherwise indicated. Phasing of the improvements will be implemented as required by the City Engineer and pursuant to the mitigation measures identified in the EIR and/or the Conditions of Approval established on the approved tentative maps for the project. Additionally, bus turnouts within the project site may be required to be constructed to the reasonable satisfaction of the City of Ontario and Omnitrans.

In addition to the typical street section described and depicted, additional right-of-way and geometric enhancements such as additional left turn and right turn lanes at intersections, may be required to adequately mitigate impacts identified in the Traffic Impact analysis/Specific Plan EIR.

What follows is a more detailed description of roadway circulation for the West Haven Specific Plan.

4.2.1 Divided Arterial Parkway 2-2 – Haven Avenue

The Divided Arterial Parkway 2-2, Haven Avenue, is designed to carry regionally oriented traffic safely and efficiently between the various points of ingress/egress of the West Haven Specific Plan area. The improvements will be based on a minimum design speed of 45 m.p.h. Parking along, and access to this street via driveways from residential units, will be prohibited.












*Exhibit 4-2, “Divided Arterial 2-2 (Haven Avenue – West Side),”* illustrates the proposed improved Haven Avenue (West Side).

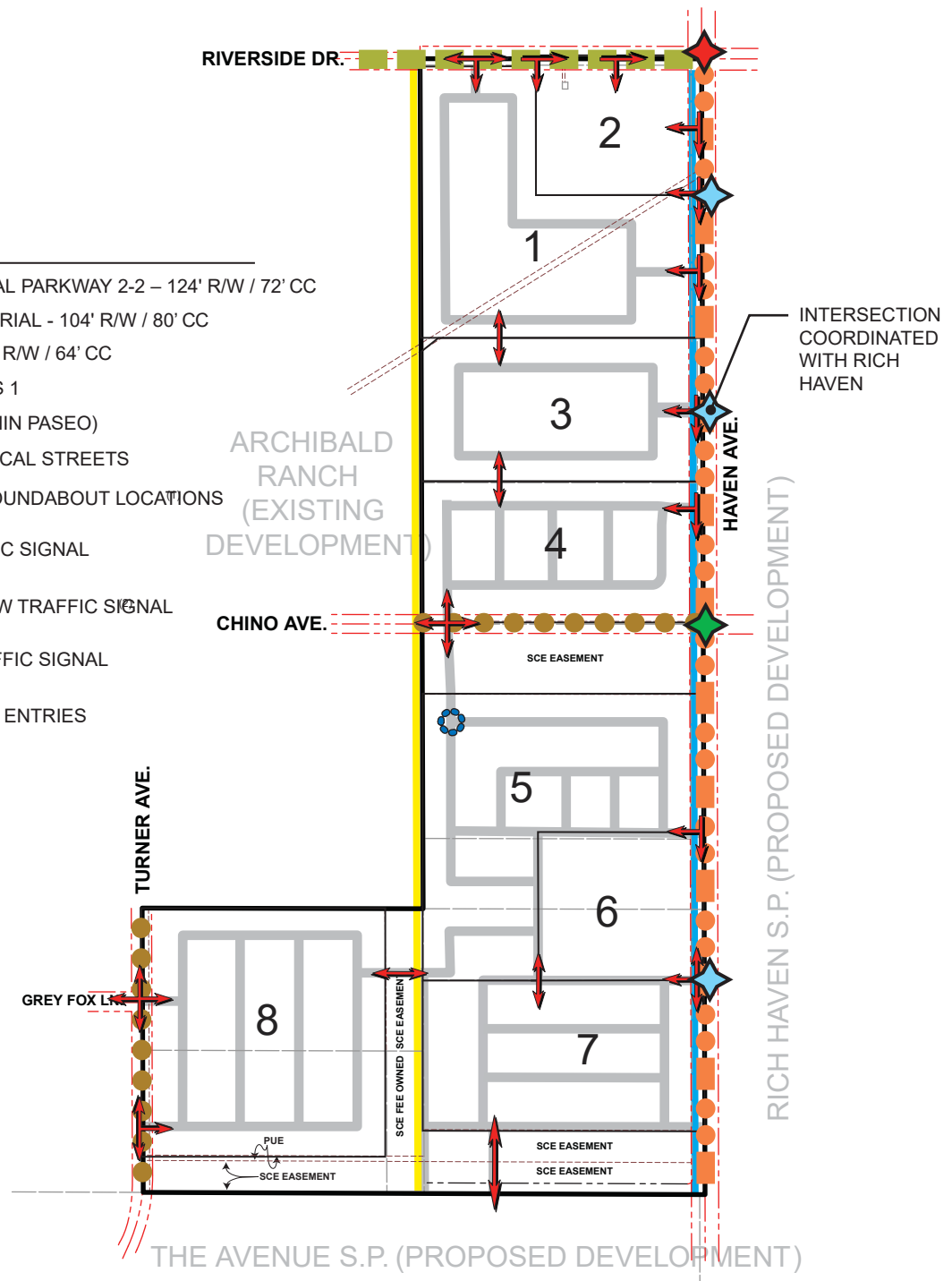
To accommodate school related traffic, Haven Avenue shall have an additional southbound right turn lane along the southern portion of the elementary school frontage (additional rights-of-way shall be dedicated).

The developer will be responsible for those improvements to Haven Avenue as determined by the

# SECTION 4 • Circulation Plan

## Legend

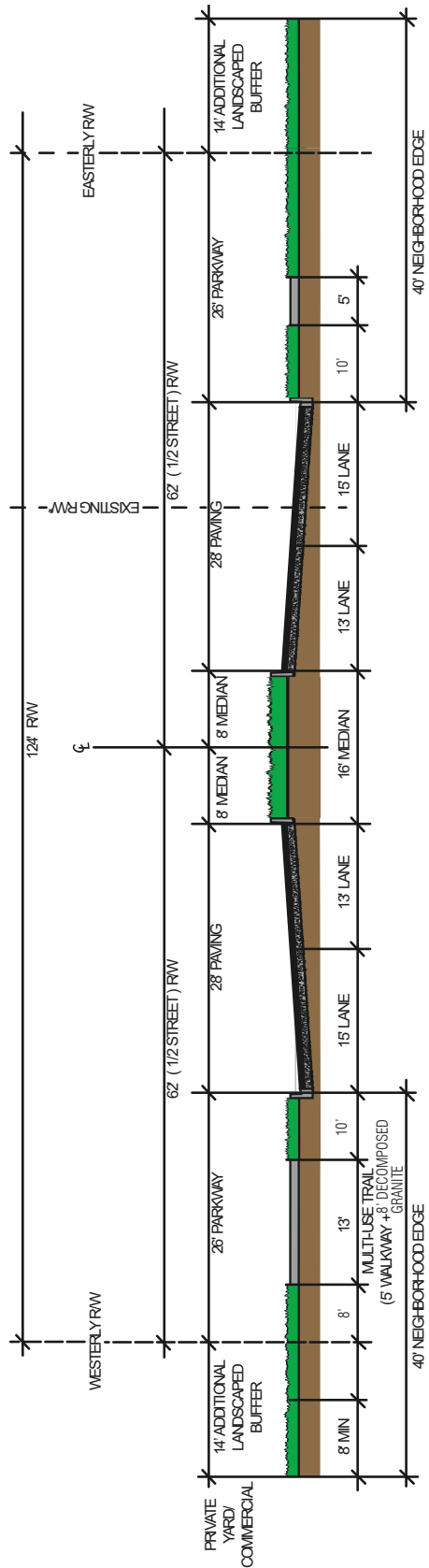
-  DIVIDED ARTERIAL PARKWAY 2-2 – 124' R/W / 72' CC
-  STANDARD ARTERIAL - 104' R/W / 80' CC
-  COLLECTOR - 88' R/W / 64' CC
-  BIKE PATH CLASS 1
-  BIKE PATH (WITHIN PASEO)
-  CONCEPTUAL LOCAL STREETS
-  CONCEPTUAL ROUNDABOUT LOCATIONS
-  EXISTING TRAFFIC SIGNAL
-  ANTICIPATED NEW TRAFFIC SIGNAL
-  PROPOSED TRAFFIC SIGNAL
-  NEIGHBORHOOD ENTRIES



(1) Proposed roundabouts within internal streets must be approved as to location and design by the City of Ontario Engineering Department.

(2) Anticipated new traffic signal per New Model Colony Access Guidelines and Traffic Indices (June 2005)

**Exhibit 4-1: Circulation Plan**



**DIVIDED ARTERIAL PARKWAY 2-2**  
**72' CC/124' ROW**  
**HAVEN AVENUE**  
 (ON STREET PARKING IS PROHIBITED)

\*Existing east side R/W varies from 25' to 60' per Assessor's Parcel Map #0218-161

**Exhibit 4-2: DIVIDED ARTERIAL 2-2 (HAVEN AVENUE – WEST SIDE)**

## SECTION 4 • Circulation Plan

City Engineer and pursuant to the mitigation measure identified in the EIR and/or the Conditions of Approval established on the approved tentative maps

for the project. Bus turnouts will be required to the satisfaction of the City of Ontario and Omnitrans.

### 4.2.2 Standard Arterial – Riverside Drive

The Standard Arterial street, Riverside Drive, is designed to carry traffic safely and efficiently between destinations within the Ontario Ranch. Improvements to the north side of Riverside Drive exist. Riverside Drive will be improved based on a 45 m.p.h. minimum design speed along the Project Site's northern boundary. Parking along and access to this street via driveways from residential units will be prohibited. *Exhibit 4-3, "Standard Arterial (Riverside Drive)"* illustrates the Riverside Avenue (South Side) proposed improvements.

The developer will be responsible for those improvements to Riverside Drive as determined by the City Engineer and pursuant to the mitigation measure identified in the EIR and/or the Conditions of Approval established on the approved tentative maps for the project. Bus turnouts will be required to the satisfaction of the City of Ontario and Omnitrans.

### 4.2.3 Collector Street – Turner Avenue

Turner Avenue, a Collector street along the Project Site's most westerly boundary, will be improved with a minimum design speed of 40 m.p.h. The west side street improvements for Turner Avenue currently exist. Access to this street, via driveways from residential units, will be prohibited.

*Exhibit 4-4, "Collector Street (Turner Avenue and Chino Avenue)"* illustrates the Turner Avenue proposed improvements.

The developer will be responsible for those improvements to Turner Avenue as determined by the City Engineer and pursuant to the mitigation measure identified in the EIR and/or the Conditions of Approval established on the approved tentative maps for the project. Bus turnouts will be required to the satisfaction of the City of Ontario and Omnitrans.

### 4.2.4 Collector Street – Chino Avenue

Chino Avenue, a Collector street, which bisects the Project Site at approximately the north/south midpoint, will be improved with a minimum design speed of 40 m.p.h. Access to this street via driveways from residential units will be prohibited.

*Exhibit 4-4, "Collector Street (Turner Avenue and Chino Avenue)"* illustrates the Chino Avenue proposed improvements.

The developer will be responsible for those improvements to Chino Avenue as determined by the City Engineer and pursuant to the mitigation measure identified in the EIR and/or the Conditions of Approval established on the approved tentative maps for the project. Bus turnouts will be required to the satisfaction of the City of Ontario and Omnitrans.

### 4.2.5 Primary Residential Entry Streets

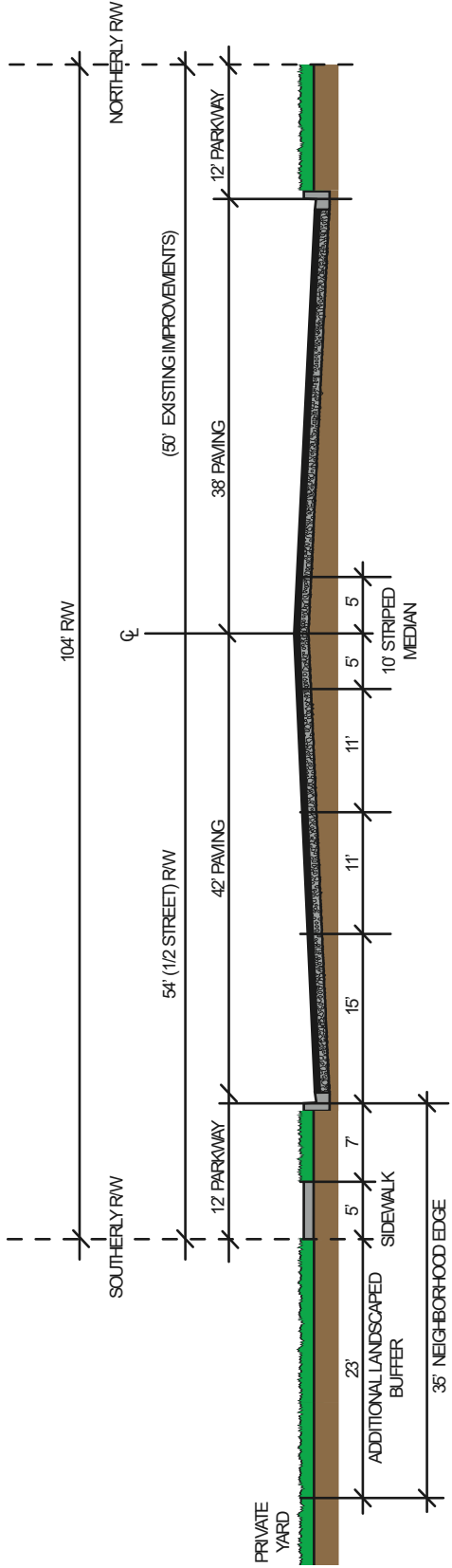
Each Primary Residential Entry Street will include 36-feet of paving (60-foot Right-of-Way) with 8 feet of additional Neighborhood Edge (20-foot total) landscaping. The entry street improvement will extend from the master planned street right-of-way to the first internal street intersection. Parking along the entry streets will be prohibited.

The Primary Residential Entry Street section is shown on *Exhibit 4-5, "Primary Residential Entry Streets."*

### 4.2.6 Interior Streets, Alleys and Cul-De-Sac Streets

Interior Streets will be constructed with a 60-foot wide right-of-way. The interior streets and cul-desac streets section is shown on *Exhibit 4-6, "Interior Streets."*

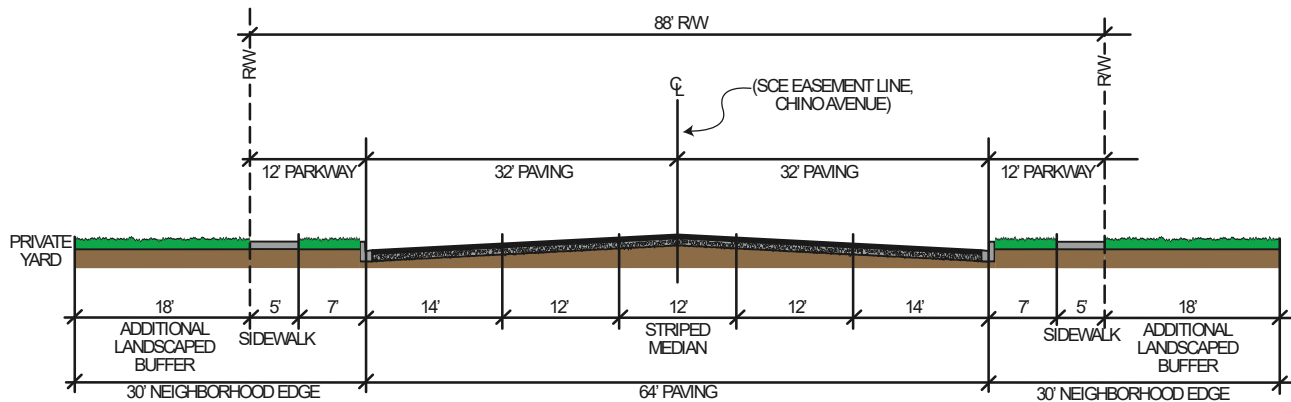
Private alleys are to be utilized within the residential development. Alleys will be private, but will offer a public utility easement (as needed by the City) along the paved section. Where private alleys are utilized for non-emergency access, a 20-foot minimum paved



STANDARD ARTERIAL  
 80' CC/108' ROW  
**RIVERSIDE DRIVE**  
 (ON STREET PARKING PROHIBITED)

Exhibit 4-3: STANDARD ARTERIAL (RIVERSIDE DRIVE)

## SECTION 4 • Circulation Plan



**COLLECTOR**  
**64' CC/88' ROW**  
**TURNER AVENUE / CHINO AVENUE**  
**EXHIBIT 4-4: COLLECTOR STREET (TURNER AVENUE AND CHINO AVENUE)**

section with five-foot (5') minimum landscaping on each side will be used. Where emergency access alleys are to be used within the residential development, a 24-foot minimum paved section with four foot (4') minimum landscaping on each side will be utilized. *Exhibit 4-7, "Alleys"*, depicts the typical emergency and non-emergency lane sections.

### 4.2.7 Traffic Calming

The West Haven Specific Plan includes design features within residential neighborhoods to encourage drivers to proceed slowly and reduce traffic noise on streets contributing to safe and livable neighborhoods in which to walk, bike, and drive.

Traffic calming within the West Haven Specific Plan is designed to address the following goals:

- Reduction in traffic speeds
- Reduction in traffic related noise
- A safe and pedestrian friendly circulation system to encourage walking

The following design features will be implemented in the roadways within West Haven.

#### *Local Neighborhood Street Design*

Neighborhood Streets within the West Haven

Specific Plan are designed in a "modified grid" with landscaping on either side within parkways to add interest in the street encouraging drivers to slow their travel speed and observe their surroundings. Incorporating intersection chokers as well as roundabouts, as illustrated on *Exhibit 4-8 "Traffic Calming Measures,"* may reduce traffic speeds on local residential streets.

#### *Landscaping*

Landscaping adjacent to streets within the West Haven Specific Plan will combine the use of shade trees, shrubs, and groundcover adjacent to sidewalks to create a more intimate streetscape encouraging drivers to reduce driving speeds. The landscape concept for West Haven is designed to contribute to a sense of the street system as a pedestrian protected area to promote slower traffic speeds.

### 4.3 Bicycle Plan

*Exhibit 4-1, "Circulation Plan"* of the West Haven Specific Plan illustrates the Project Site's two (2) bike paths, as proposed by the TOP on Figure 5-5, "Bike Paths." Class 1 bike paths are proposed along the west side of Haven Avenue and through the West Haven Specific Plan's proposed paseo system, located within SCE Easements/Parcels.



SECTION 4 • Circulation Plan

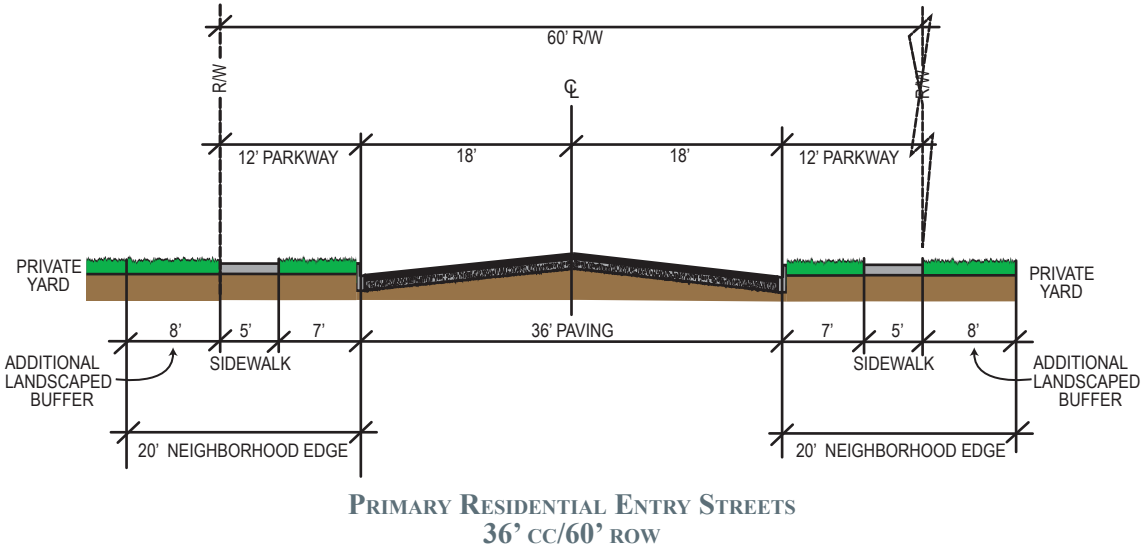


Exhibit 4-5: PRIMARY RESIDENTIAL ENTRY STREETS

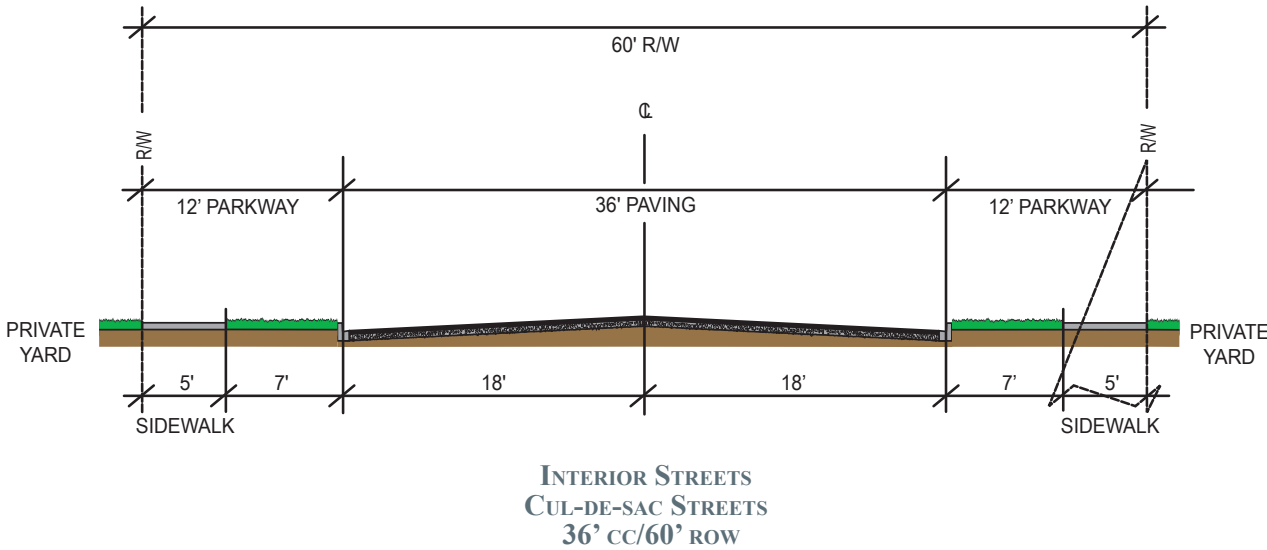
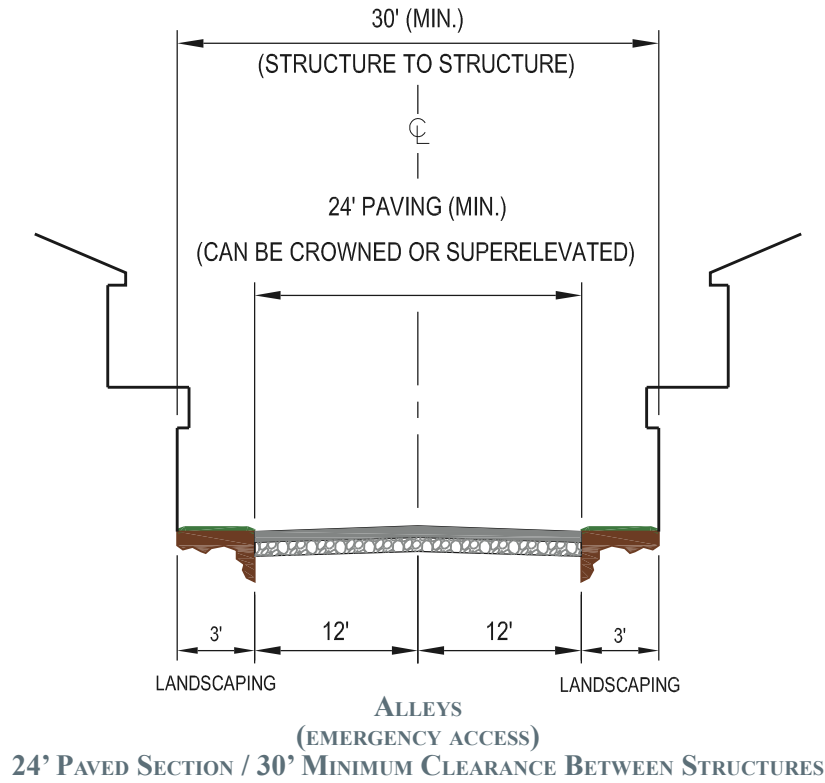
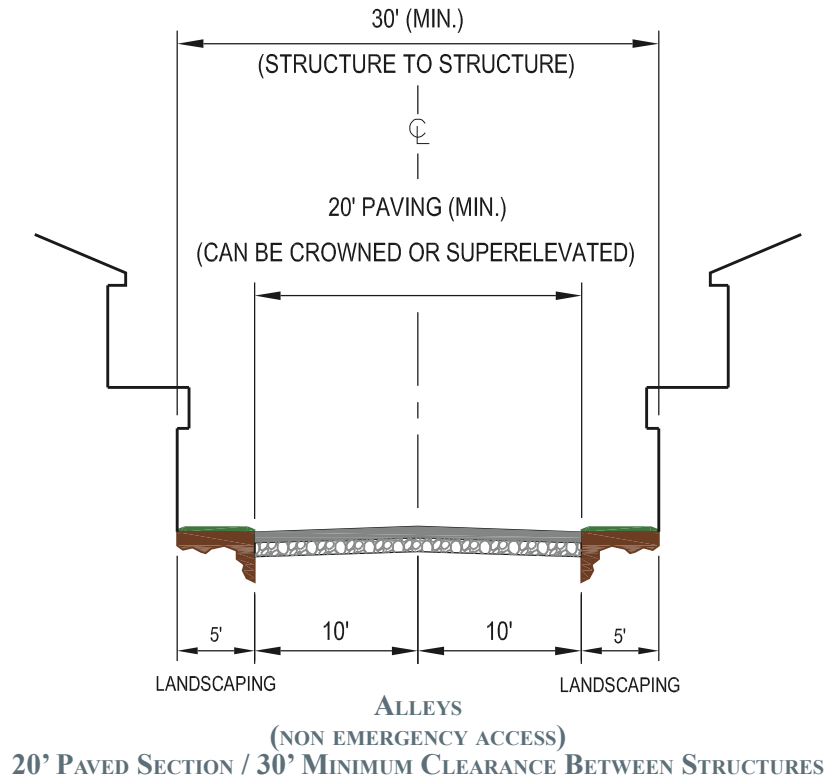


Exhibit 4-6: INTERIOR STREETS

# SECTION 4 • Circulation Plan



**Exhibit 4-7: Alleys**

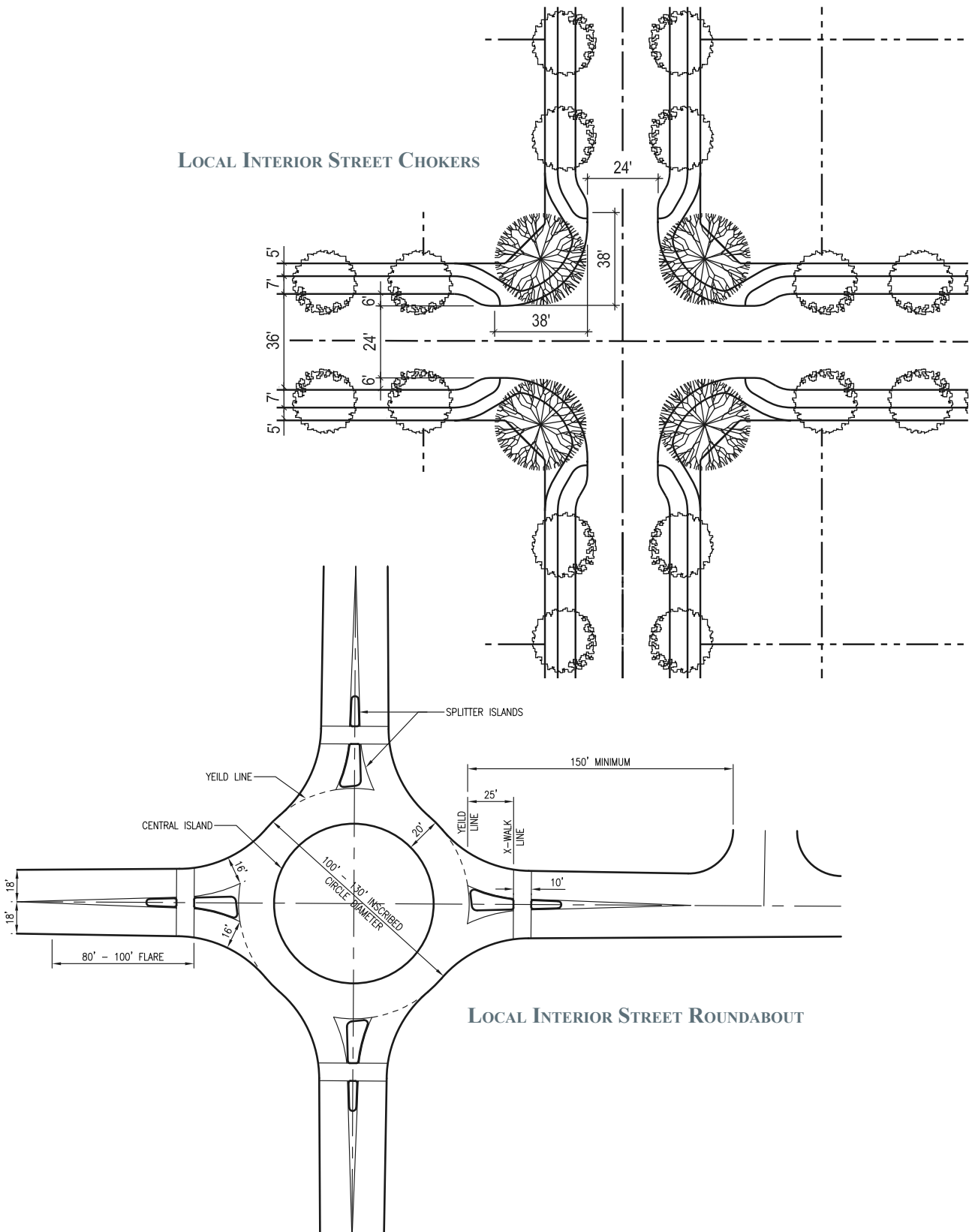


Exhibit 4-8: TRAFFIC CALMING MEASURES

This page intentionally left blank.

## SECTION 5 INFRASTRUCTURE AND PUBLIC SERVICES PLAN

To accommodate the development envisioned in the West Haven Specific Plan, infrastructure and public facility improvements will be constructed to tie into existing and proposed City and private utility agency facilities.

### 5.1 Electricity

Electrical service is currently provided in the area by Southern California Edison Company (SCE). All new lines in the New Model Colony as well as all existing lines within the Specific Plan area, less than 34.5 kV, shall be placed underground. SCE does not anticipate any significant problems in providing the Project Site with electrical power and stands ready to install distribution facilities for the Project Site.

### 5.2 Natural Gas

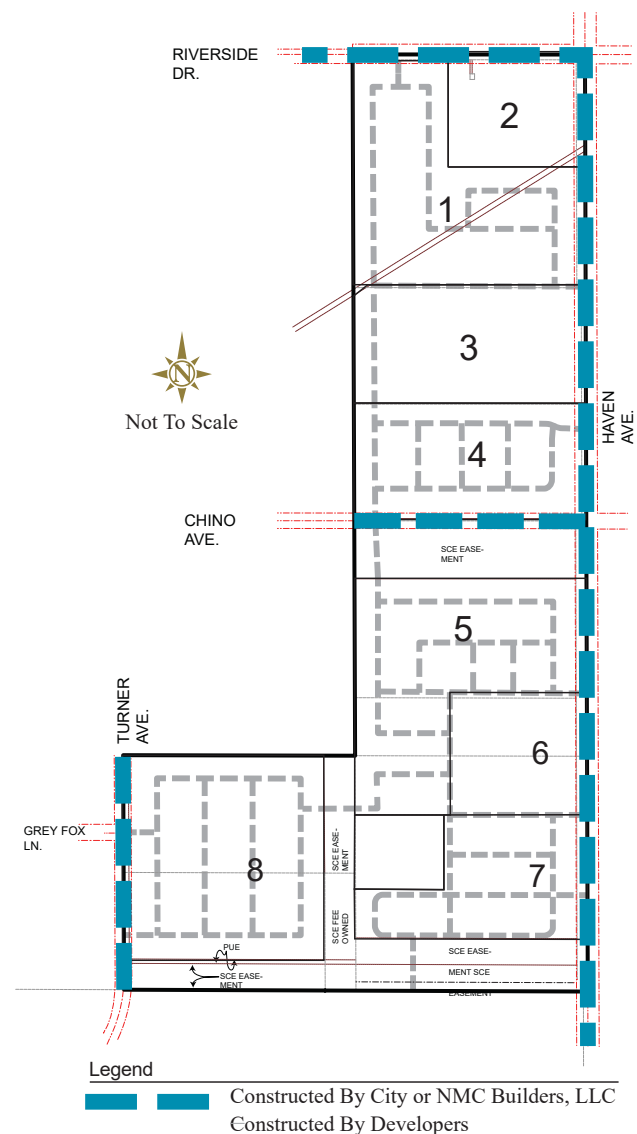
Southern California Gas Company (SCG) currently provides natural gas service. Facilities in the area include existing 3-inch and 6-inch mains on Haven Avenue and a 6-inch line on Riverside Drive. It should be noted that a 30-foot gas line easement runs diagonally across the Project Site at approximately 500-feet, south of the intersection of Riverside Drive and Haven Avenue and exits the Project Site's westerly boundary at approximately 1,290 feet south of Riverside Drive.

### 5.3 Communication Systems

A fiber optic system will provide phone, cable, and internet access to all homes within the Ontario Ranch. The City will provide a fiber optic network to the home, accommodating voice mail data, cable and video on demand. Proposed on-site facilities will be placed underground within a duct and structure system that will be installed by the developer, as shown in *Exhibit 5-1, "Fiber Optics Plan."* Maintenance of installed system will be the responsibility of the City and/or Special District fiber optic entity and not the developer(s), private homeowners association or private homeowners. Developer(s) of the Specific Plan will need to provide all fiber optic infrastructure necessary to service their site as a stand-alone development.

### 5.4 Public Utilities

Water, recycled water and sewer utilities may be designated as "public utilities" if located within public or private streets. All public utilities within private streets shall be designed per City standards and contained within acceptable easements. The CC&Rs shall contain language that requires all proposed work by the HOA within said easements to be plan checked and inspected by the City, including applicable fees. Generally, utilities will not be accepted as public within alleys, parking areas or driveways. Utilities



**EXHIBIT 5-1: FIBER OPTICS PLAN**

## Section 5 • Infrastructure & Public Services Plan

within commercial and industrial parking lots and loading areas will be designated as private. The extent to which said utilities will be accepted as public utilities shall be determined, at the full discretion of the City, during final design plan review.

### 5.5 Potable Water

Domestic water will be provided by the City of Ontario. The Water Master Plan identifies new water facilities to include two reservoirs, three groundwater wells, and potable and recycled water lines. Construction of the on-site and offsite Master Plan water service improvements shall be the responsibility of the developer(s) and is required prior to issuance of building permits for West Haven.

The Specific Plan area is located in two pressure zones. The project area north of Chino Avenue lies within the 1010 Zone. The project area south of Chino Avenue lies within the 925 Zone.

#### 1010 Zone

Off-site improvements for the 1010 Zone include the construction of the 1010'(2A) Reservoir, a 9.0 MG reservoir to be located at the southeast corner of Milliken Avenue and the I-10 Freeway; a ground water well; a 24-inch transmission main in Milliken Avenue from the 1010' (2A) Reservoir to Riverside Drive; and an 18-inch water main in Riverside Drive from Milliken Avenue to Mill Creek Avenue, in Mill Creek from Riverside Drive to Chino Avenue, and in Chino Avenue from Mill Creek Avenue to Turner Avenue.

#### 925 Zone

Off-site improvements for the 925 Zone include the construction of the 925 Reservoir, a 6.0 MG reservoir to be located on Jurupa Street; two ground water wells; two pressure reducing stations; a 42-inch transmission main in Milliken Avenue from the 925 Zone Reservoir

to Riverside Drive; a 30-inch transmission main reducing to a 24-inch main in Milliken Avenue from Riverside Drive to Merrill Avenue; a 24-inch main in Merrill Avenue from Milliken Avenue to Archibald Avenue; and a 24-inch main reducing to a 12-inch main in Archibald Avenue from Merrill Avenue to Schaeffer Avenue.

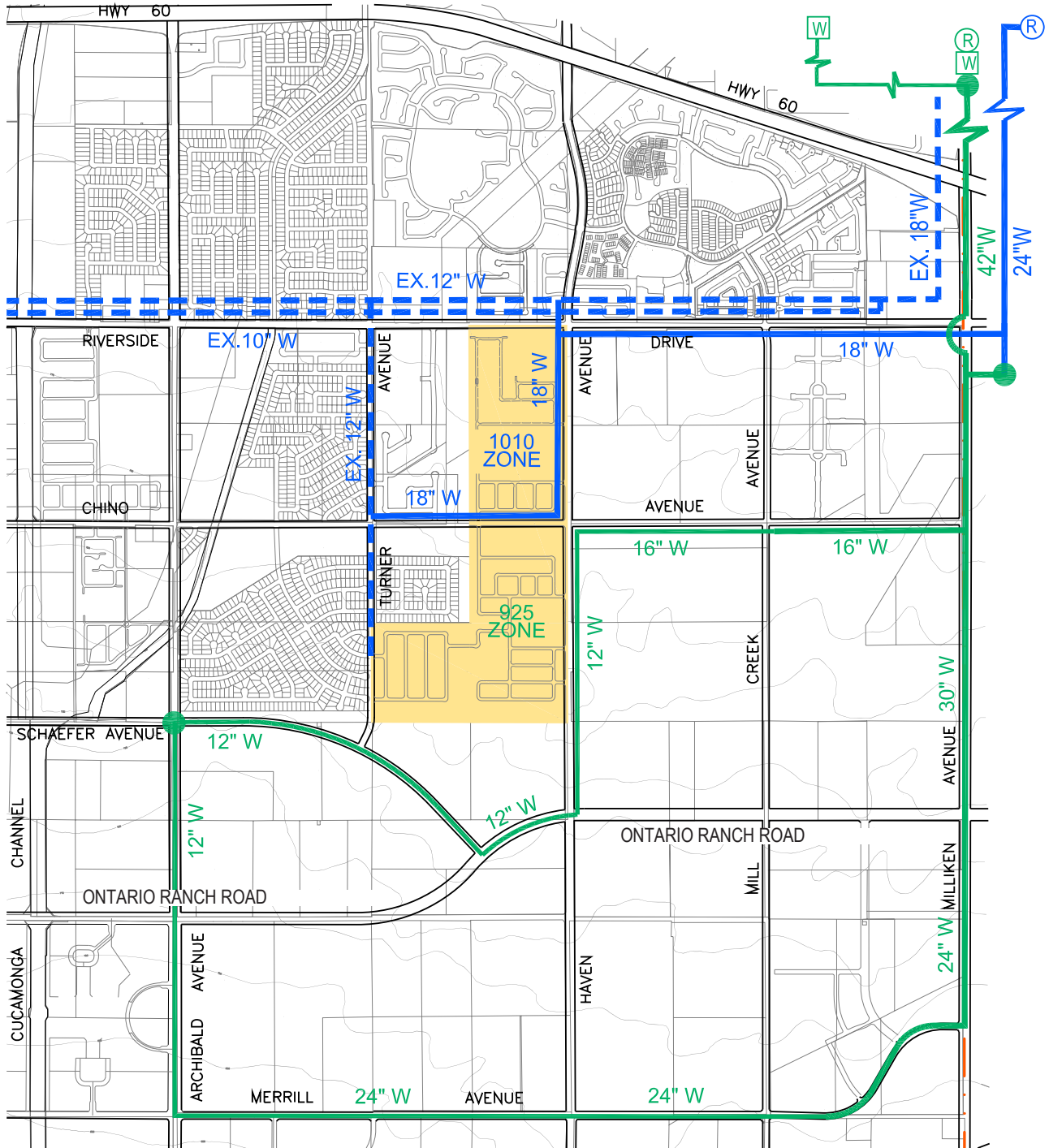
To provide a loop water system, the West Haven Specific Plan project developer(s) will be responsible for a 16-inch water main in Chino Avenue from Milliken Avenue to Haven Avenue, as well as a 12inch main in Haven Avenue from Chino Avenue to Edison Avenue, in Edison Avenue from Haven Avenue to Schaefer Avenue, and in Schaefer Avenue from Edison Avenue to Archibald Avenue. All water mains, internal to the West Haven Specific Plan project, will be provided by the Project Site Developer. Within the Project Site, 8-inch water mains are proposed to serve the residential and commercial developments.

The master plan for domestic water for West Haven is illustrated on *Exhibit 5-2, "Master Plan Water Improvements."* The conceptual on-site water system is illustrated on *Exhibit 5-3, "Conceptual On-Site Water System."*

### 5.6 Sewer

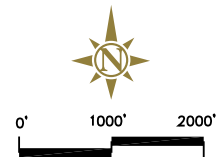
Sewer Service for West Haven will be provided by the City of Ontario. The New Model Colony Sewer Master Plan identifies sewer service to the Project Site by the Eastern Trunk Sewer. The Eastern Trunk Sewer is a joint use sewer shared by the City of Ontario and Inland Empire Utilities Agency (IEUA). Off-site sewer improvements include a proposed 15-inch sewer main beginning at the southwest corner of the Project Site and extending southerly in Turner Avenue to Edison Avenue and a 24-inch main in Edison Avenue to Archibald Avenue to the Eastern Trunk Sewer. Within West Haven, 8-inch, 10 inch and 12 inch sewer mains are proposed to serve the residential and commercial developments. Construction of the on-site and off-site Master Plan sewer improvements shall be the responsibility of the developer(s) and is required prior to issuance of building permits for West Haven. The master plan for sewer for West Haven is illustrated on *Exhibit 5-4, "Conceptual Sewer System Improvements."*

# Section 5 • Infrastructure & Public Services Plan



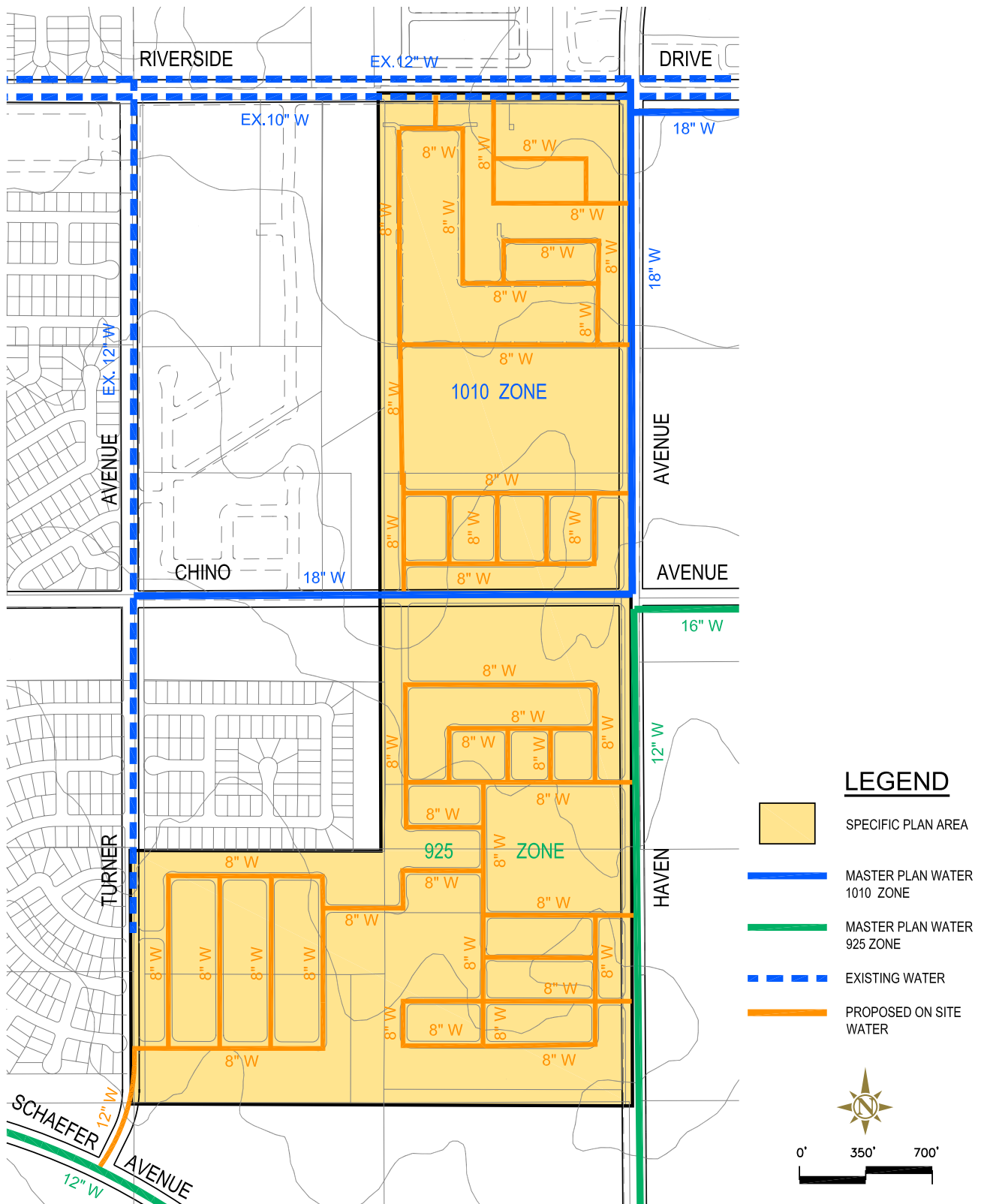
## LEGEND

- SPECIFIC PLAN AREA
- MASTER PLAN WATER - 1010 ZONE
- MASTER PLAN WATER - 925 ZONE
- EXISTING WATER - 1010 ZONE
- PRV STATION PER NMC WATER SUPPLY PROJECT
- R PROPOSED RESERVOIR
- W PROPOSED WELL



**EXHIBIT 5-2: Master Plan Water Improvements**

# Section 5 • Infrastructure & Public Services Plan



**EXHIBIT 5-3: Conceptual On-Site Water System**



### 5.7 Storm Drain

The City's Storm Drain Master Plan identifies new storm drain facilities to serve the Project Site. Off Site master plan storm facilities include the Turner Avenue Storm Drain extending northerly from the County Line Channel within Turner Avenue to the Southwesterly corner of the Project Site. On Site master plan facilities include extending the Turner Avenue Storm Drain from the southwest corner of the Project Site extending it easterly across Planning Area 9 to approximately 120 feet east of the SCE Corridor, then northerly along a proposed north/south local street to the southerly line of Planning Area 1. The alignment of the on-site Turner Avenue Master Plan Storm Drain extends across all of the residential planning areas, the concept park, an SCE Easement and the SCE Fee Parcel. A public utility easement will be required across the concept park, SCE Easement and SCE Fee Parcel. The developer(s) of West Haven will construct all required Master Planned Storm Drain required to serve the Specific Plan Area.

If the Storm Drain Master Plan is revised or updated by the City those updates will be incorporated into the West Haven Storm Drain System Improvements.

Local storm drain system improvements to serve the proposed planning areas within the Project Site will be connected to the proposed Turner Avenue Master Plan Storm Drain and will be the responsibility of the planning area developer.

The master plan storm drain improvements are illustrated in *Exhibit 5-5, "Master Plan Storm Drain Improvements."*

Interim facilities like on-site detention basins of adequate size(s) will be required to be constructed if no outlet storm drain system is built or existing at the time of development of this project.

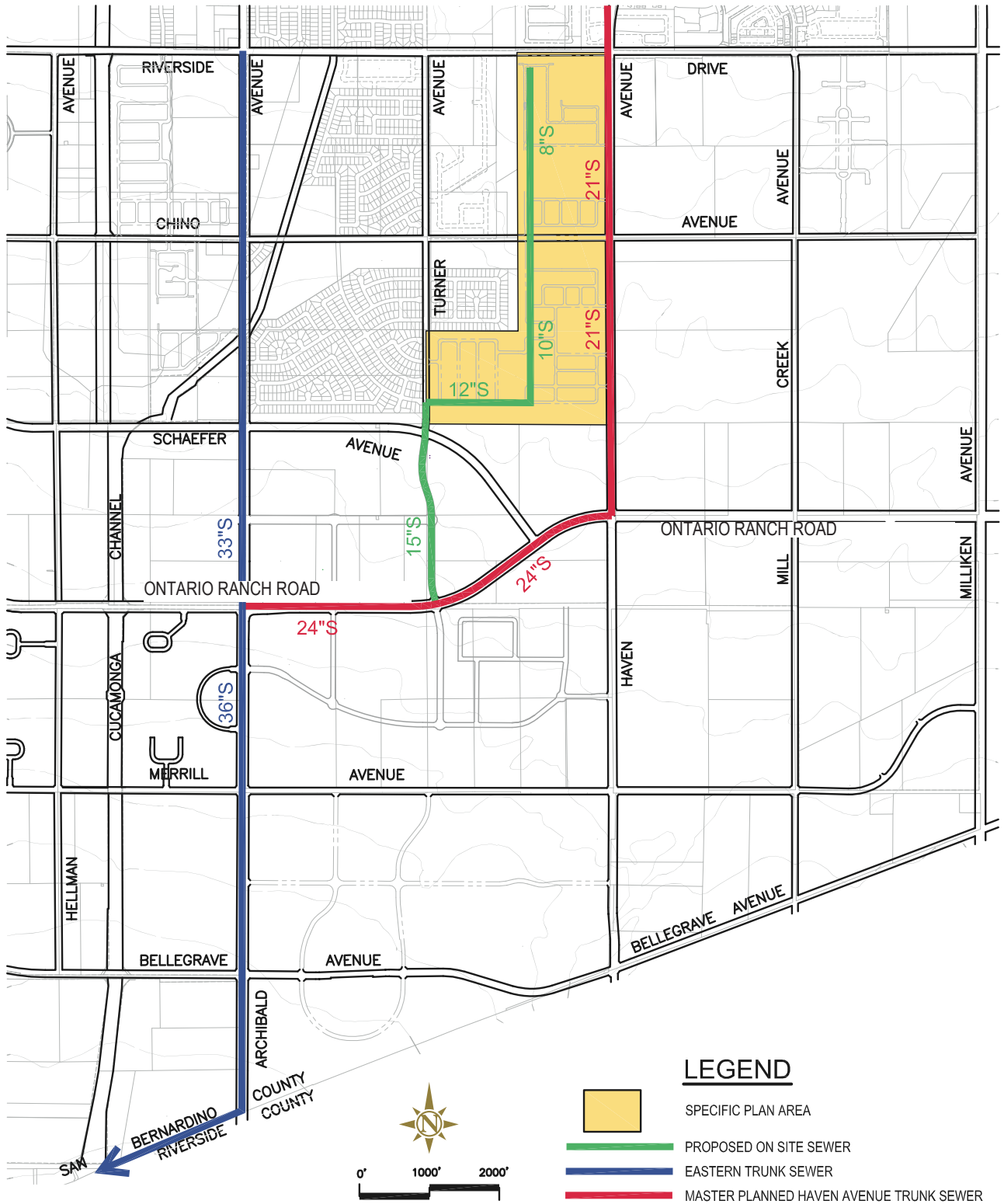
#### 5.7.1 NPDES Compliance

The grading and drainage of the West Haven Specific Plan area shall be designed to detain, filter and treat surface runoff, in a manner and combination which is practical, to comply with the most recent requirements of the San Bernardino County NPDES Storm Water Program's Quality Management (WQMP) for significant new development projects. The objective of the WQMP for this project is to minimize the detrimental effects of urbanization on the beneficial uses of receiving waters, including effects caused by increased pollutants and changes in hydrology. These effects may be minimized through the implementation of site designs that reduce runoff and pollutant transport by minimizing impervious surfaces and maximizing on-site infiltration, Source Control Best Management Practices (BMP's) and/or either on-site Structural Treatment Control BMP's, or participation in regional or watershed-based Treatment Control BMP's.

Prior to the issuance of a grading or construction permit, a Storm Water Pollution Prevention Plan (SWPPP) will also be prepared. The SWPPP will be prepared to comply with the California State Water Resources Control Board's (State Water Board) current "General Permit to Discharge Storm Water Associated With Construction Activity" and the current Area Wide Urban Storm Water Runoff (Regional NPDES Permit). The SWPPP will identify and detail all appropriate Best Management Practices (BMP's) to be implemented or installed during construction of the project.

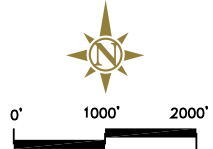
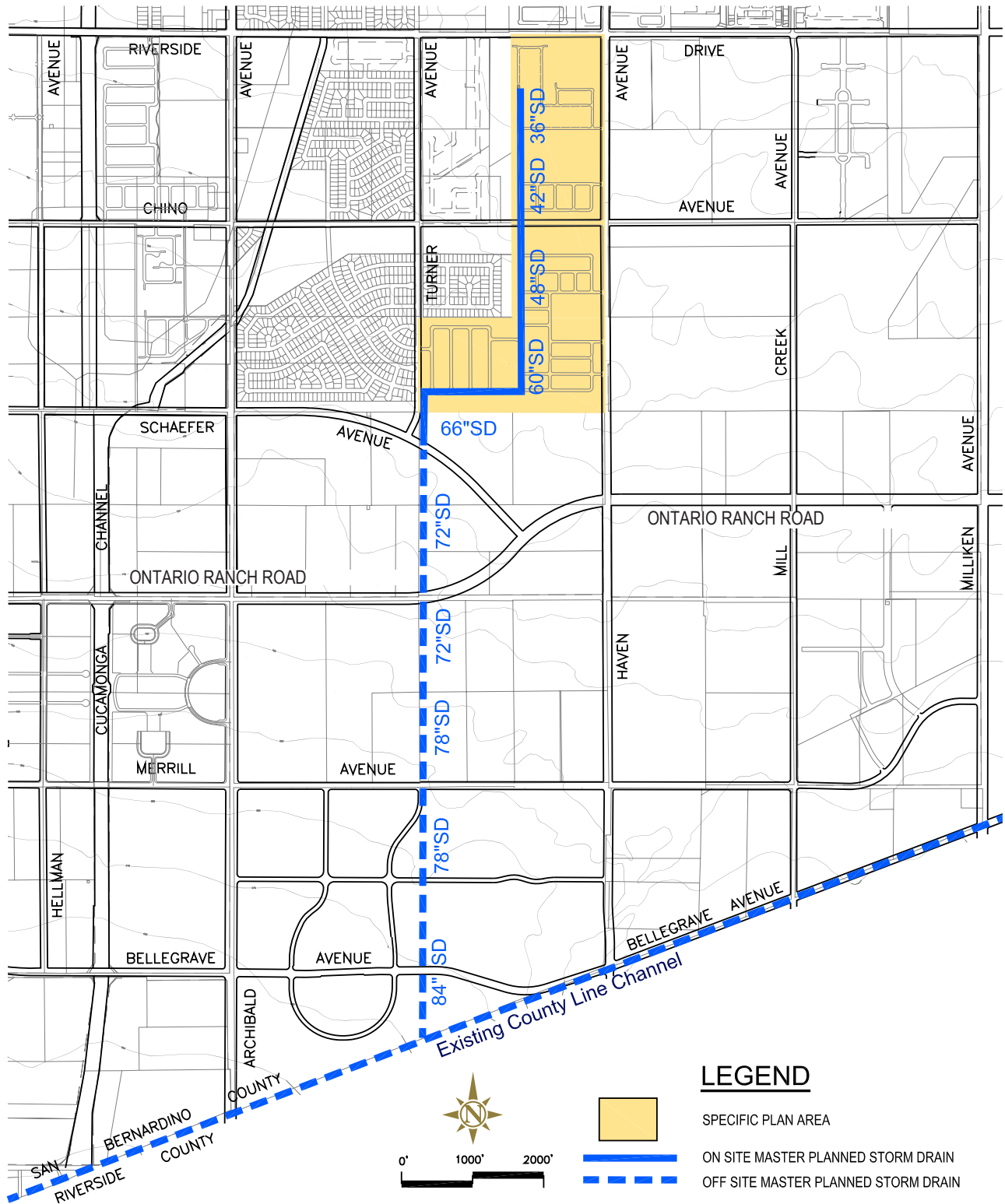
In addition to the preparation of a SWPPP for construction-related activities, and as part of the approval of any grading plans within the Specific Plan Area, the applicant will be required to submit a Water Quality Management Plan (WQMP) on the regional model form provided by the City. The WQMP shall identify and detail all Site Design BMP's, Source Control BMP's and Treatment Control BMP's to be implemented or installed at this site in order to reduce storm water pollutants and site runoff.

# Section 5 • Infrastructure & Public Services Plan



*EXHIBIT 5-4: Conceptual Sewer System Improvements*

# Section 5 • Infrastructure & Public Services Plan



**LEGEND**

<span style="display: inline-block; width: 20px; height: 10px; background-color: yellow; border: 1px solid black;"></span>	SPECIFIC PLAN AREA
<span style="display: inline-block; width: 20px; height: 2px; background-color: blue; border: 1px solid black;"></span>	ON SITE MASTER PLANNED STORM DRAIN
<span style="display: inline-block; width: 20px; height: 2px; background-color: blue; border: 1px dashed black;"></span>	OFF SITE MASTER PLANNED STORM DRAIN

NOTE: THE FINAL STORM DRAIN PIPE SIZES WILL BE APPROVED AT FINAL DESIGN STAGE.

**EXHIBIT 5-5: Conceptual Storm Drain Improvements**

## Section 5 • Infrastructure & Public Services Plan

A proposed Mill Creek Wetlands is a regional runoff treatment facility for the sub-watershed area that this project lies within is being considered for construction. This regional treatment facility would be part of an overall solution for storm water treatment. If an approved regional storm water treatment facility is constructed, it may serve as an alternative to complete on-site treatment of all pollutants of concern. If the regional storm water treatment facility is not completed and operational prior to construction of this project, all necessary on-site treatment control BMP's and/or temporary water control devices will be installed pursuant to the requirements of the current regional NPDES Permit and the approved Water Quality Management Plan for this project.

All Priority Land Use (PLU) areas within the Specific Plan Area is in compliance with the statewide Trash Provisions adopted by the State Water Resources Control Board (SWRCB) and trash requirements in the most current San Bernardino County Area-Wide MMS4 Permit. Drainage from the PLU will conveyance to a certified full trash capture device along Turner Avenue.

### 5.8 Recycled Water

Recycled water will ultimately be provided by Inland Empire Utility Agency (IEUA) via City of Ontario recycled water mains as presented in the Water Master Plan prepared. The Specific Plan area is located in two pressure zones. The project area north of Chino Avenue lies within the 1050 Zone. The project area south of Chino Avenue lies within the 930 Zone. The master planned facilities required to serve West Haven for the 1050 Zone include a 30-inch recycled water main from the IEUA facility adjacent to Westwind Park southerly to Riverside Drive, a 16-inch recycled water main in Riverside Drive to Haven Avenue, a 12-inch main in Haven Avenue from Riverside Drive to Chino Avenue, and an 8-inch main in Chino Avenue from Haven Avenue to Turner Avenue. The master planned facilities required to serve West Haven for the 930 Zone include installing a 24-inch recycled water main in Archibald Avenue from Chino Avenue to Schaefer Avenue, a 30-inch recycled main in Chino Avenue from Archibald Avenue to Haven Avenue, a 16-inch recycled water main in Haven Avenue from Chino Avenue to Edison Avenue, a 16-inch main in

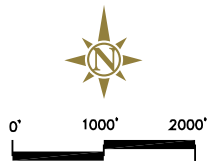
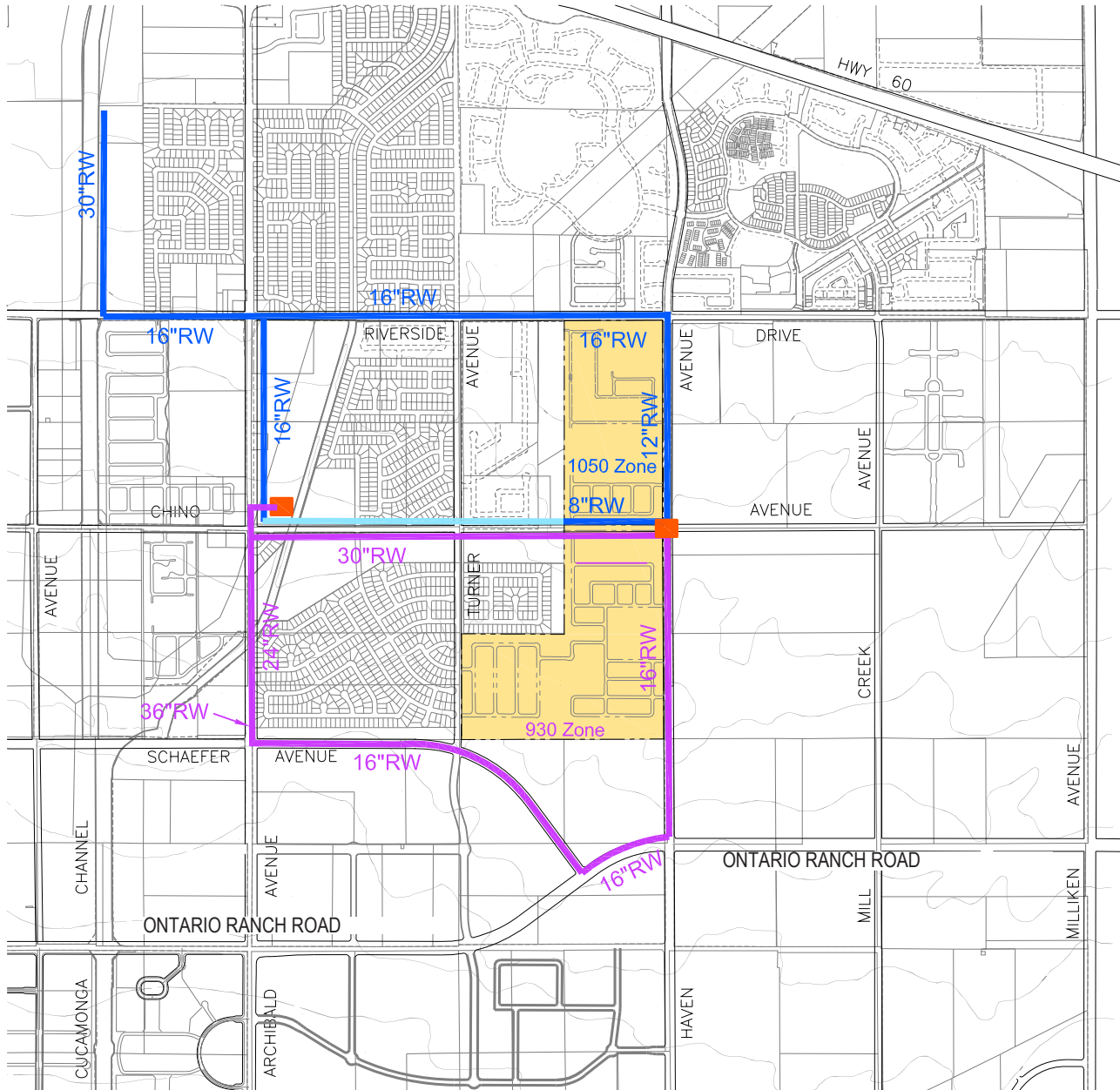
Edison Avenue from Haven Avenue to Schaefer Avenue, and a 16-inch main in Schaefer Avenue from Edison Avenue to Archibald Avenue. Initially, the recycled water from the 1050 Pressure Zone will be conveyed to the 930 Pressure Zone via two (2) master planned pressure reducing stations located in Archibald Avenue and Haven Avenue north of Chino Avenue. The ultimate source of recycled water to the Specific Plan within the 930 Pressure Zone is IEUA's RP-1 via the future 30-inch RP-1 Outfall Parallel located west of the Cucamonga Channel and delivered through master planned lines that connect to RP-1 Outfall at Chino Avenue, Schaefer Avenue, and other major intersections. The Project Site developers will be responsible for these new distribution lines. All recycled water lines required to serve the project, will be provided by the West Haven Specific Plan developer.

Within the project site, 8-inch recycled water mains are proposed to serve the site. The West Haven Specific Plan shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to the irrigation of parks, schools, street landscaping, recreational trails, HOA maintained common areas and commercial/industrial landscaping. The developer shall prepare and secure approval of an Engineering Report from the City of Ontario and the Department of Health Services prior to the use of recycled water. The proposed on-site recycled water system shall be constructed and cross any and all SCE easements within streets. Sizing of on-site system is subject to the approval of the hydraulic analysis and minimum requirements from the City.

There may be an interim period where recycled water supply does not have adequate pressure depending on the timing of development and construction of a regional booster station. If this is the case, the recycled water system will connect to the potable system initially, until such point that recycled water service is available.

The recycled water system improvements are illustrated in *Exhibit 5-6, "Master Plan Recycled Water Improvements."* The conceptual on-site recycled water system is illustrated on *Exhibit 5-7, "Conceptual On-Site Recycled Water System."*

# Section 5 • Infrastructure & Public Services Plan

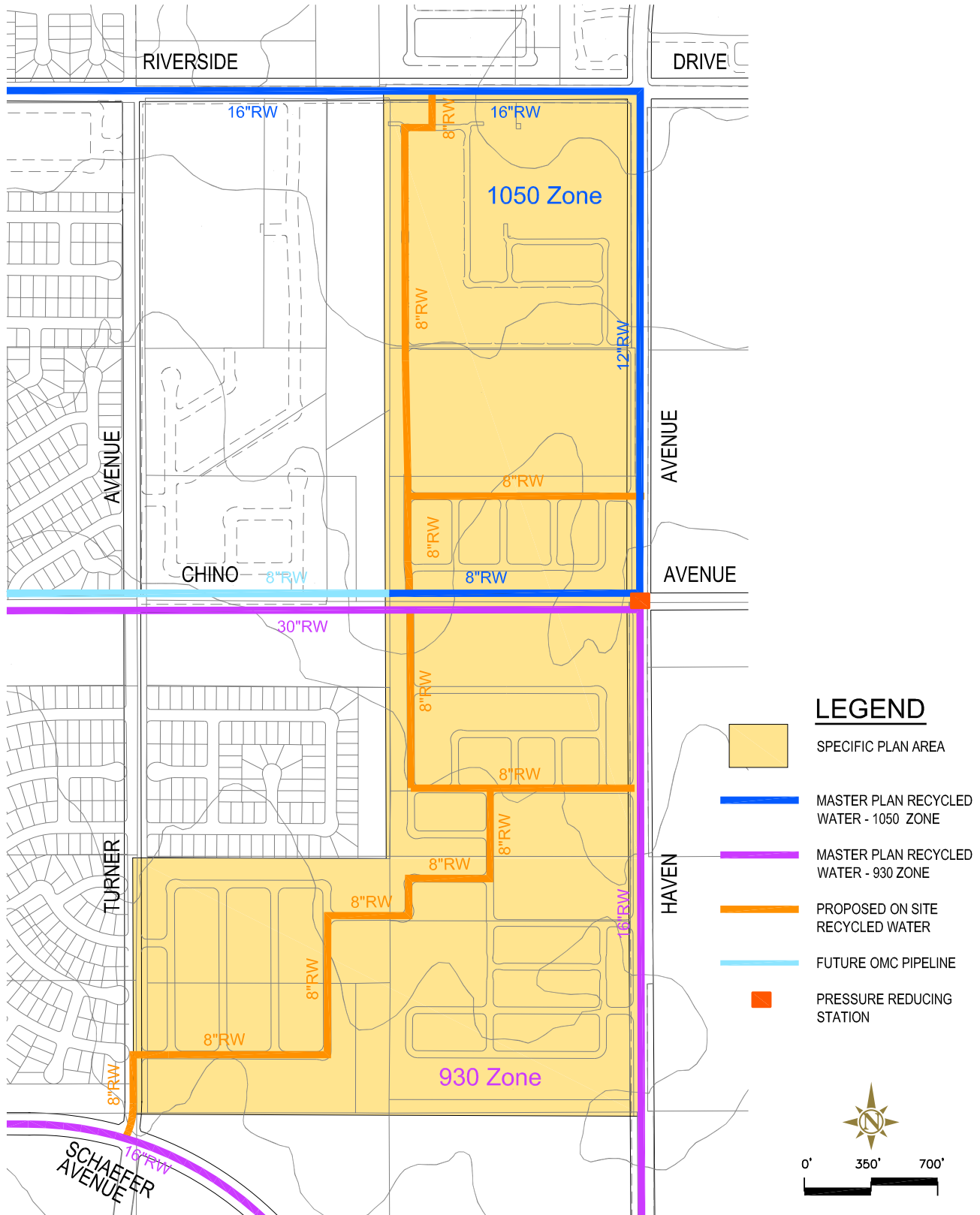


## LEGEND

- SPECIFIC PLAN AREA
- MASTER PLAN RECYCLED WATER - 1050 ZONE
- MASTER PLAN RECYCLED WATER - 930 ZONE
- FUTURE OMC PIPELINE
- PRESSURE REDUCING STATION

**EXHIBIT 5-6: Master Plan Recycled Water Improvements**

# Section 5 • Infrastructure & Public Services Plan



**EXHIBIT 5-7: Conceptual On-Site Recycled Water System**

**5.9 Solid Waste**

Solid waste collection and disposal will be accomplished by City crews through the City of Ontario Public Works Agency. The West Haven project anticipates utilizing a 3-bin system to accommodate recyclables and green waste and supports any City-sponsored recycle program and diversion of special wastes such as tires, construction material, etc.

Provisions for solid waste and recycling are as follows:

- Commercial – Developer shall comply with Municipal Code Section 6-3.314 Commercial Storage Standards, and Section 6-3.601 Business Recycling Plan.
- Apartment – For apartments using commercial bin service, the developer shall comply with Municipal Code Section 6-3.314 Commercial Storage Standards and Section 6-3.601 Business Recycling Plan.
- Residential – For curbside automated container service, developer shall comply with Municipal Code Section 6-3.308.9(a) and (d), Residential Receptacles, Placement.
- Recycling Requirements – Developer shall comply with Municipal Code Article 6 Recycling Requirements for Special Business Activity, Section 6-3.601 Business Recycling Plan, and Section 6-3.602 Construction and Demolition Recycling Plan.
- Site Improvement Plans shall follow the City of Ontario refuse collection standards.

**5.10 Fire Department Services**

The City of Ontario provides fire protection for the Project Site. The nearest fire station (2931 East Philadelphia Street) is approximately 1.1 miles northwesterly of the Project Site. Response time varies due to availability of units, according to Fire Department statements. The Ontario Plan calls for the construction of 4-5 fire stations to serve the Ontario Ranch. The location of a permanent fire station, within the vicinity of the Project Site, will be predicated by an acceptable Fire Department response goal. A fire station will be needed with Phase I occupancy.

**5.11 Police Department Services**

The City of Ontario provides police protection for the West Haven community. The police station (2500 South Archibald Avenue) is located approximately 1.7 miles northwesterly of the Project Site. Response time varies based on location of police units and type of calls according to Police Department statements.

**5.12 School Facilities**

The Project Site is located within the Mountain View School District, which serves the needs for K-8, and the Chaffey Joint Union High School District, which serves the needs for grades 9-12. A 10-acre elementary school is proposed in Planning Area 7 6 and will serve the Project Site for the elementary grades. A middle school has been Master Planned on the east side of Haven Avenue and will ultimately serve the Project Site. Colony High School (3850 East Riverside Drive) will serve the Project Site for grades 9-12. Development of the West Haven

Grades	Generation Factor	Estimated Student Population
K-5	.1073/D.U. to .1215/D.U.	.1073 x 1,142 = 123
		to .1215 x 1,142 = 139
6-8	.0407/D.U. to .0442/D.U.	.0407 x 1,142 = 47
		to .0442 x 1,142 = 51
9-12	.1132/D.U. to .1937/D.U.	.1132 x 1,142 = 130
		to .1937 x 1,142 = 222

(As Amended 2023)

Specific Plan area will generate an estimated student population as follows (based on student generation numbers supplied by the City of Ontario, “School Generation for Ontario Ranch”, March 15, 2022) and “Chaffey Joint Union High School District Fee Justification Report”, April 2020.

**5.13 Libraries**

## Section 5 • Infrastructure & Public Services Plan

The City of Ontario provides library service. There are two library locations within the City of Ontario. The main library is located within the vicinity of the Civic Center (*215 East “D” Street*). The Colony Branch Library is located east of the Project Site, approximately one-quarter of a mile from the intersection of Riverside Drive and Haven Avenue, within Colony High School (*3850 East Riverside Drive*). Both libraries will serve the Project Site. There will be a need for additional facilities over time. Currently, the City of Ontario has not planned for a library within the West Haven Specific Plan.

### 5.14 Public Transportation

Omnitrans currently provides fixed-route bus and “Access” services to the Project Site. Omnitrans’ Fixed Bus Route 70 currently operates along Riverside Drive, between Vineyard and Milliken Avenues. The Project Site is also served by the “Access” demand-response service for qualified persons with disabilities.

Omnitrans Route 70 uses three (3), forty-four (44) passenger buses operating from 6:30 a.m. to 6:50 p.m., Monday through Friday, and from 6:50 a.m. to 6:40 p.m. on Saturday and Sunday. “Access” uses 16 and 20 passenger mini-buses, which operate during the same hours as Route 70 and accepts telephone reservations from 8:00 a.m. to 5:00 p.m., Sunday through Saturday. Operating figures were received through statements by Omnitrans.

The proposed project is anticipated to result in an increased demand for extended service to cover the Project Site. Bus turnouts and shelters, to serve future Specific Plan residents, shall be provided by the West Haven Specific Plan as required by Omnitrans and approved by the City of Ontario.



## SECTION 6 OPEN SPACE AND RECREATION PLAN

### 6.1 Open Space and Recreation Plan Description

A major feature of the West Haven Specific Plan is the system of expanded landscaped parkways (neighborhood edges) and paseos, which link various facilities within the community. The proposed facilities provide an array of recreational opportunities in which all members of the community can participate. Further, these facilities incorporate a cohesive plan that interrelates with and links the various neighborhoods of the West Haven community with each other and to destination points, such as the proposed Neighborhood Park, the proposed Neighborhood Center and the regional trail system master planned within the Ontario Ranch area. Recreational opportunities vary from active, with potentially structured recreational programs, to passive.

The various recreational facilities are linked to each other and to other elements of the community with an extensive neighborhood edge and paseo/greenbelt system, which will be landscaped as discussed in *Section 8.8, “Landscape Design Guidelines.”* The neighborhood edge/paseos will, at a minimum, contain one or more pedestrian paths that are oversized. Bicycle paths (Class I) will be provided as shown on *Exhibit 4-1, “Circulation Plan”* and discussed in *Section 4.3, “Bicycle Plan”* of this document.

The project proposes a total of approximately 9.6 acres of parks/open space/recreation. This is based on:

- 7.0 +/- acres of proposed pocket parks and the 30-foot wide paseo to be developed within the Project Site Boundary.
- 2.6 acres of 30-foot wide paseo to be developed by West Haven within the SCE Easement, adjacent to the project boundary.

#### 6.1.1 Park and Recreational Opportunities

Recreational opportunities are those opportunities which are available for the use and enjoyment of residents of the West Haven community and the general public. They are discussed as follows:

##### *Elementary School*

An elementary school will be located on 10 net acres in Planning Area 7. Associated with and on the school grounds will be recreational equipment and fields for school children. Typical elementary school level recreational equipment and sports fields will include playground equipment, basketball courts and multi-purpose fields. The West Haven community and the Ontario Ranch may have access to these facilities during off school hours, subject to approval and agreement of the Mountain View School District.

##### *Parkway / Paseo System*

An expanded parkway system (neighborhood edge [N.E.]) will be located adjacent to backbone and higher volume roadways. The neighborhood edge system will be landscaped with turf, trees and various additional plant materials. Community “theme” signage will be located adjacent to the edges. Sidewalks will be provided within the neighborhood edge as well as a Class 1 Bike Path along Haven Avenue.

The landscaped paseos will be 30-feet in width and will incorporate existing Southern California Edison Company (SCE) property and easements (both onsite and off-site) and the Southern California Gas Company easement to provide a comprehensive paseo network. This network runs from the Project Site’s southern boundary, within the SCE parcel, north to Riverside Drive, within the adjacent off-site SCE easements/property.

This parkway/paseo system will provide approximately 7.6 acres of additional open space / park amenities. *Exhibit 3-1, “West Haven Land Use Plan,”* depicts the conceptual locations of the paseos.

## SECTION 6 • Open Space and Recreation Plan

### 6.2 Open Space And Recreation

#### Plan General Development Standards

1. General Development Standards to the Neighborhood Park will include the following:
  - The City shall approve all lighting design, fixture location(s) and lighting types within the park. The pathway and parking area lights shall be controlled by a timing system, programmed from dusk to dawn.
2. All recreational and open space areas shall be landscaped and contain permanent, recycled water irrigation systems.
3. All recreational facilities shall provide parking in accordance with the City of Ontario's Parking Ordinance.
4. Landscaping within recreation and open space areas shall be further governed by **Section 8.7.2, "Landscape General Development Standards,"** and **Section 8.8, "Landscape Design Guidelines"** of the West Haven Specific Plan.
5. Pocket park acreage calculations for residential development shall be based upon a minimum of two (2) acres per 250 dwelling units. Based on 1,142 total units, the pocket park requirement would total 9.1 acres.

## SECTION 7 GRADING PLAN

### 7.1 Grading Plan Description

The existing ground has a uniform slope of approximately 2% trending towards the southwest. The grading operation will generally consist of the removal of any manure left over from the dairy operations, clearing and grubbing, demolition of existing structures and moving surface soils to construct residential and commercial building pads and streets. Manure left over from dairy operations can be recycled into compost at a much reduced cost than removal to a landfill. This process, Residuals Composting, can take several weeks to a few months depending on the amount of material to be removed. A local contact providing this service is Ed Needham at Synagro and can be reached at (800) 661-7922 or [enedham@synagro.com](mailto:enedham@synagro.com).

Where slope conditions are present, the property line shall be located at the top of a slope. See *Exhibit 7-1, "Conceptual Pad Placement in Slope Conditions"*.

In areas adjacent to a ridgeline or in moderate slope areas, dwelling units and structures should be sited to:

- Use the natural ridgeline as a backdrop for structures;
- Use landscape plant materials as a backdrop; and

- Use structure to maximize concealment of cut slope.

If retaining walls are required, the following criteria shall be used:

- Exposed walls and fences facing roadways shall be no greater than 3-feet retaining (9-foot total wall) in height, except as necessary for acoustical purposes to satisfy the intent of the noise ordinance.
- Where retaining walls or fences face roadways, they shall be built, when feasible, of decorative materials consistent with the wall theme of the neighborhood.

The amount of removals and depth of overall excavation will vary within the properties in the West Haven Specific Plan depending on prior use of the land.

The Conceptual Grading Plan is included as *Exhibit 7-2, "Conceptual Grading Plan"*.

### 7.2 Grading Plan General Development Standards

Grading plans for each tract in the West Haven Specific Plan area will be prepared by a Registered Civil Engineer and reviewed and approved by the City of Ontario Building, Planning and Engineering Departments prior to the issuance of grading permits. All grading plans and activities will conform to the City Grading Ordinance dust control and erosion control requirements, as well as those outlined in the approved SWPPP.

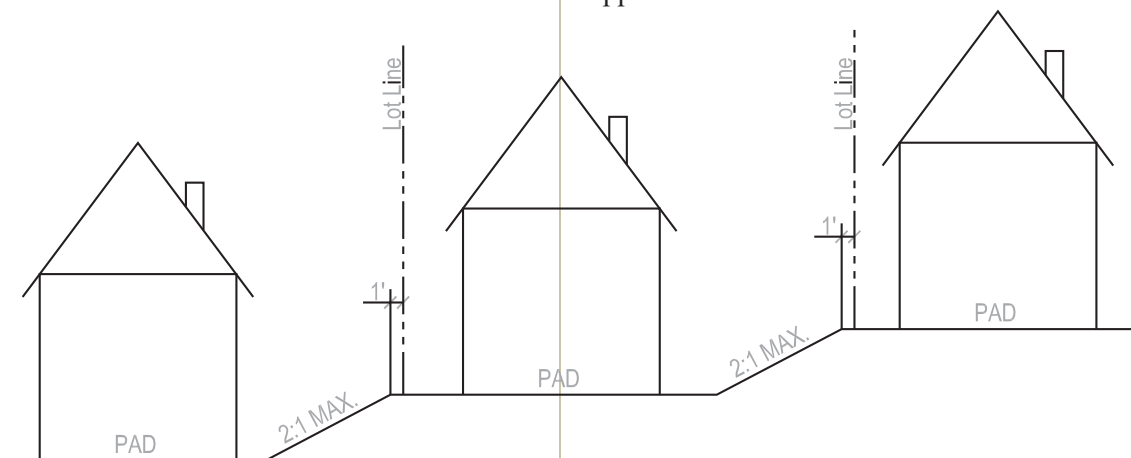


EXHIBIT 7-1: CONCEPTUAL PAD PLACEMENT IN SLOPE CONDITIONS

# SECTION 7 • Grading Plan

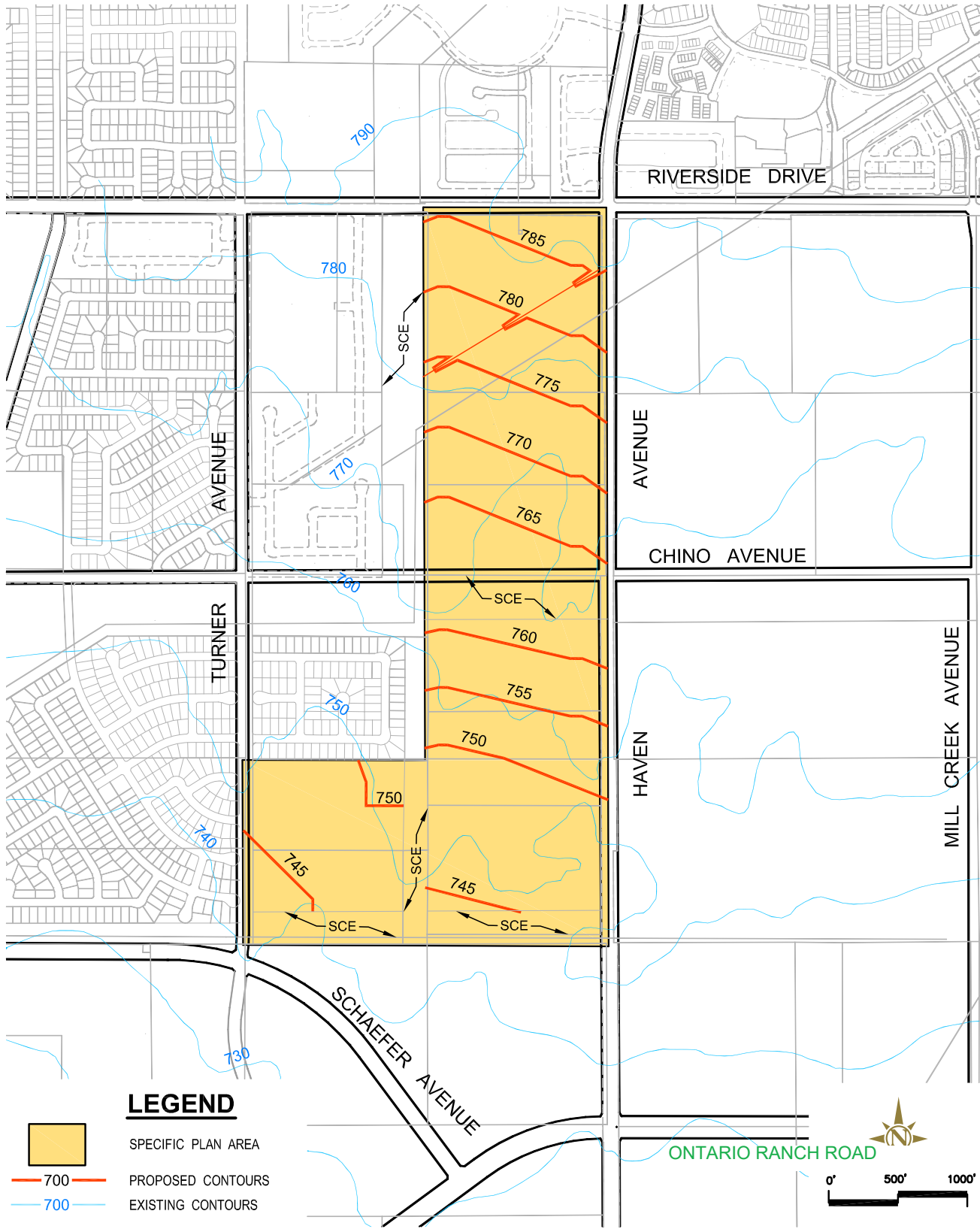


EXHIBIT 7-2: CONCEPTUAL Grading Plan

## SECTION 8 DESIGN GUIDELINES

### 8.1 Introduction

Building upon Ontario founder George Chaffey, Jr.'s vision of a walkable, traditional residential community, the West Haven community design is rooted in the hospitable small town ethos of Ontario's early 1900s era past while also adapting to the recreational requirements of today's active Southern California family lifestyles. West Haven will be a place where children and their parents can walk along shady tree lined sidewalks to school or to the store, or explore the wide open spaces along paseos and neighborhood parks, and neighbors join together to celebrate the Fourth of July with bicycle parades and block parties. Pedestrian friendly streets feature attractive landscaping, architecture-forward and rear access site planning with streetscenes and parks activated by authentic architecture with ample front porches and patios.

To realize West Haven's vision as both a nurturing and welcoming place to live, the development team has produced the West Haven Design Guidelines. Design guidelines create an identity and cohesiveness for West Haven. They ensure a unifying theme for the entire Specific Plan area, while accommodating the individual neighborhood design considerations as required by each of the Project site's uses which include Residential, Neighborhood Center Commercial, Educational and Recreational activities.

This section provides a general yet flexible standard set of concepts, goals and criteria for planning, architectural and landscaping encouraged in the design of homes and facilities of West Haven. The appropriate selection of architectural styles, materials, landscaping and massing are important to creating a quality living environment.

#### 8.1.1 Purpose

The purpose of the Design Guidelines is to provide advisory and supplemental guidance to implement the West Haven vision in order to direct its desired development outcome. This information is important to future project development because it describes the basic design and planning principles upon which more specific design standards are based. Observing these guidelines will help assure that the promise of the vision for West Haven will be fulfilled.

#### 8.1.2 Intent

The overriding design intent is the creation of a warm and friendly community environment that encourages walking, socializing, an appreciation of both nature and local culture, and an economically vitalized destination. The overall character is intended to convey an environment that is cognizant of the historical significance of West Haven while also relating to adjacent districts and the broader City of Ontario. Therefore, the designers of West Haven are encouraged to be mindful of the area's natural and cultural histories, local climate, and terrain. Each aspect of every project is viewed as a significant element in reinforcing the West Haven community concepts, and its expression of quality is highly influential on the overall essence and integrity of the whole.

The goal of the design guidelines is to create a unique community within the Ontario Ranch, yet reminiscent of Ontario's heritage. The guidelines express "intent" rather than "absolutes," thereby allowing certain flexibility in fulfilling the intended design goals and objectives. The principal design criteria and architectural styles are not intended to be restrictive, but are meant to assist in the design, processing, and implementation of a high level of design direction and quality. The goal is to promote both visual compatibility and variety in a community setting achieved by utilizing a number of compatible styles, and allow for quality architectural innovation. Great neighborhoods result from the synthesis of innovative architecture and successful site and landscape design techniques.

## SECTION 8 • Design Guidelines

Successful site design techniques will include: variable lot setbacks, pedestrian connections, shortened streets, curb separated sidewalks, street trees program, and a limited number of homes per neighborhood.

The graphic representations contained herein are for conceptual purposes only and are to be used as general visual aids in understanding the basic intent of the guidelines; they are not meant to depict any actual lot or building design.

These design guidelines, and the criteria they contain, will be implemented and enforced through the review of plans submitted by developers and official design review by the City of Ontario.

These guidelines are organized into the following sections:

- Residential Architectural Design
- Massing, Plotting and General Neighborhood Design Criteria
- Materials & Details
- Home Types
- Nonresidential Architectural Design
- Landscape Design
- Implementation

### 8.2 Residential Architectural Design

#### 8.2.1 Introduction & Guiding Principles

##### *Introduction*

The residential architectural design intent for West Haven is to emphasize a diversity of styles, floor plans, garage placements, materials and colors. In keeping with the overall community theme, the homes will be of high quality and contribute positively to the character of both the West Haven community and the City of Ontario. Overall, the design concept is to blend the traditional architectural styles found in Ontario and Southern California with contemporary lifestyles, current building methods and emergent technologies. Additionally, these styles incorporate

detailing appropriate to the setting. Diversity is a fundamental guiding principle at West Haven. This ensures that neighborhoods are varied and that blanket uniformity is avoided.

Conceptual emphasis is on specific interpretation of styles within the constraints and consistency of site planning, landscape and architecture, as well as on specific use and selection of details that correlate well with the designed floor plan, emphasizing such architectural concepts as:

- “Architecture forward” to support a pedestrian friendly environment,
- Varied garage placement and orientation to add richness and variety to the neighborhood,
- Variety of compatible architectural styles as well as a mix of detached and attached housing types and sizes,
- Wrap around architectural detailing, where appropriate; buildings may be viewed from all public areas, both inside and outside each neighborhood, including common open space areas, sidewalks, alleys and streets,
- Varied roof heights and pitches to create a feeling of richness, and
- Color palettes shall be selected per styles, using consistent materials and colors as a “unifying theme” to connect the varying residential products and nearby commercial and educational buildings.

The following characteristics in concept designs shall be avoided:

- Inappropriate scale,
- Poor selection and execution of details,
- Plotting of the same design adjacent to one another,
- Extreme interpretations of the characteristics for each style, and
- Lack of window treatments, which result in flat, blank walls, specifically on side and rear elevations facing streets or other public spaces.

### *Guiding Principles*

Guiding Principles of residential architectural design for West Haven:

Buildings should contribute to a qualitative nature of neighborhood.

- Appropriate scale and proportions should be used in massing and details.
- Transitional spaces between public and private spaces (courtyards, porches, low walls, etc.) should be implemented.
- Building setbacks at front and rear should be varied.
- Massing and articulation should be varied.
- Garage placement should vary from lot to lot.

Buildings should have an enduring quality.

- Design should draw inspiration from the rich and diverse Southern California architectural heritage.
- Native materials and colors should be used.
- Authentic details and ornamentation should be emphasized.

Buildings should be designed with architectural sensitivity to human scale.

- Doors, windows, indoor and outdoor spaces should be intimate and secure.
- Designs should not overpower the overall streetscape.

Buildings should be appropriate to the climate and context.

- Shading and shaded areas should be provided to protect from intense summer sun
- Protection from adverse weather should be considered using a variety of techniques in designs.
- Buildings should compliment and reflect the surrounding environment.
- Design should encourage outdoor interaction with the temperate Southern California climate.

Buildings should be designed of materials and techniques appropriate to achieving realistic hard cost objectives (see Simple Home Design section).

- Efficient structural systems should be considered.
- Consistent window and door sizes are encouraged.
- Use of standard modules and sizes is encouraged.

### **8.2.2 Residential Architectural**

#### **Philosophy**

Southern California has a rich legacy of early agriculturally based towns, such as Ontario, that have fostered a variety of traditional architectural styles. As these towns were being established, architectural styles were often imported from the Midwest and East Coast in the form of pattern books from which the builders chose the style and massing of their homes. Placed in the setting of “sunny” Southern California, the styles were then often modified to meet specific climatic influences of the region. Outdoor spaces became more prominent and useful year-round, colors were light earth tones and materials included a blend of plaster, stucco and siding.

Additionally, the Spanish history of Southern California also influenced the architecture of the region. Brought to the region by Spanish settlers and missionaries, these homes were well suited for the temperate climate of Southern California.

Therefore the theme of West Haven’s residential architecture is based on these architectural styles historically found in Ontario. West Haven’s homes shall age gracefully over time, contributing to the sustainability and vitality of the neighborhoods. All architectural styles have been chosen for their traditional forms and timeless character that reinforces the charming nature of the neighborhoods and historic Ontario.

All architectural styles outlined in these guidelines shall be interpreted with authenticity. Simple yet detailed forms are crucial to the success of the community. All architectural styles must be detailed with elements that represent the best interpretations.

## SECTION 8 • Design Guidelines

Homes shall be designed with a few particular styles in mind prior to the beginning of the design process. A home designed to a particular set of compatible styles is always stronger than a home that has a style applied after the floor plan has been designed.

Additionally, each home is expected to provide a “gift to the street” – a positive contribution to the public realm. Specific elements may include, but are not limited to, architecture forward, porches, recessed garages, covered terraces, enhanced elevations, and landscape. The resulting architectural expression should be sensible in its approach and unique in its outcome.

Builders are required to conform to the following variety of differing Floor Plans and Elevations:

Number of Dwelling Units	Number of Differing Floor Plans and Elevations
5-10	As required by Planning Commission
11-25	2
26-50	3
51-75	3
76-100	4
Over 100	4; +1 additional floor plan with 4 elevations for each additional 50 units exceeding 100

### Residential Architectural Design Objectives:

- Emphasize styles of architecture that are compatible, yet vary enough to create interest and diversity.
- Focus on traditional, more timeless styles of architecture.
- Interpretations of styles that are authentic to the extent feasible.
- Create a dynamic streetscape through variation in floor plan and elevation plotting.
- Emphasize articulated building massing.
- Emphasize front elevations that relate strongly to the street and contribute to the livability of that realm.
- Design certain homes specifically for corner conditions.

- Utilize authentic materials and colors that reinforce the overall design theme.

### **8.2.3 West Haven Architectural Styles**

The architectural character of West Haven’s neighborhoods shall consist of complementary traditional architectural styles. As an architectural pedigree, they reinforce West Haven’s connection to Ontario’s early beginnings, building upon a rich heritage of traditional neighborhood design. Additionally, the chosen styles complement one another through overall scale, massing, proportions, details, and the ability to establish a charming architectural backdrop that will age gracefully over time. The materials and colors of these home styles shall complement the overall landscape design of the neighborhoods. Each style shall be developed appropriate to the region, addressing the needs and lifestyles of the residents.

#### Acceptable residential architectural styles:

- American Colonial
- Italianate
- American Farmhouse
- Monterey
- Craftsman
- Plantation
- East Coast Traditional
- Spanish
- French Country
- West Coast Traditional

*Note: Builders may submit home designs using alternative architectural styles to those listed above, provided they are appropriate to the region, environment and setting and subject to the Planning Department’s review and approval.*

The styles selected for West Haven share similar design attributes. Specifically, these styles:

- Are compatible and complimentary, as well as support the community theme reflective of Ontario’s historic development pattern.
- Address the needs and lifestyles of Ontario’s residents, and are generally accepted by the market.
- Can be implemented using current building methodologies and techniques.



## SECTION 8 • Design Guidelines

- Can be creatively and diversely interpreted in a number of ways.
- Have an historic and/or stylistic relevance to the region, and therefore are timeless in nature.
- Can be interpreted in contemporary and/or regional adaptations.

It should be noted that Architectural Styles illustrated on *Exhibits 8-1* through *8-10*, are representative of architectural styles envisioned for the West Haven Specific Plan. The intention is to incorporate many of these design features into the proposed West Haven community. However, it must be acknowledged that these styles may be subject to future refinements based upon buyer preference, detailed engineering, and other factors. Therefore, the photographs shown are not intended to be exact duplicates of the future product types for West Haven, but samples of quality design elements.

The following examples for each of the ten architectural styles proposed are strongly encouraged and appropriate for the various West Haven neighborhoods.

### 8.2.3.1 American Colonial

#### *History and Character*

This classical style descends from the first saltbox homes built in the New England colonies in the 17th

century and later evolved into more neoclassical forms with America's increasing prosperity. There are many smaller American Colonial and Neoclassical Revival Bungalow homes in Ontario, mostly in and around the Downtown area. *Exhibit 8-1, "American Colonial Architectural Style"* illustrates the following:

#### *General Attributes*

##### Massing:

- Simple plan form & massing
- Symmetrical front façade, often with small centered porch

##### Roofs:

- Gable roof at medium to moderately steep pitch
- Architectural quality asphalt shingles or concrete roof tile with shingle look

##### Windows and Doors:

- Vertical gridded windows at front elevations and in high visibility areas, single-light windows on sides and rear elevations
- Windows are symmetrically balanced, typically rectangular double- or single-hung windows with wood or vinyl frames
- Doors are simple and typically stained or painted



***EXHIBIT 8-1: AMERICAN COLONIAL ARCHITECTURAL STYLE***

## SECTION 8 • Design Guidelines

### Details, Finishes & Colors:

- Simple porch columns and projecting pediment: either round or square Doric, Ionic, or Corinthian porch columns are required on 33% of homes in style per neighborhood
- Fine to light sand finish or light lace finish stucco, clapboard siding or blended clapboard siding and stucco in pastels to cool colors
- White trims/fascias, dentils or modillions and a wide frieze band with optional dentils or modillions
- Minimum 2x4 wood window and door trim
- Darker color shutters
- Garage door patterns complimentary to style
- Optional 2x6 wood window and door trim, stone and/or brick foundations and accents
- Simple colonnaded entry centered porch

### 8.2.3.2 American Farmhouse

#### *History and Character*

With roots traceable to both Midwestern and Colonial styles appearing in the mid-to-late-19th century during America's westward expansion, the American Farmhouse style represents a practical adaptation of balloon framing techniques of earlier rural American

architectural types. New England variations tend toward more symmetrical elevations with dormers and two-story massing, whereas the more picturesque and decorated asymmetrical facades are typical of the Midwestern variety. This Victorian-era style is included as a tribute to West Haven's dairy past. *Exhibit 8-2, "American Farmhouse Architectural Style"* illustrates the following:

#### *General Attributes*

#### Massing:

- Simple plan form, asymmetrical massing

#### Roofs:

- Medium to moderately steep roof pitch, often with front to back main gable roof
- Shallow to modest overhangs with open eaves
- Architectural quality asphalt shingles or smooth flat concrete roof tiles

#### Windows and Doors:

- Vertical gridded windows at front elevations and in high visibility public view areas
- Single-light windows on sides and rear elevations
- Minimum 2x4 white trimmed doors and windows (may be white vinyl or aluminum frame windows)
- Bay windows and single-hung windows with built up header trim at front



***EXHIBIT 8-2: AMERICAN FARMHOUSE ARCHITECTURAL STYLE***

Craftsman

Vertical double hung windows with divided upper mullioned lights

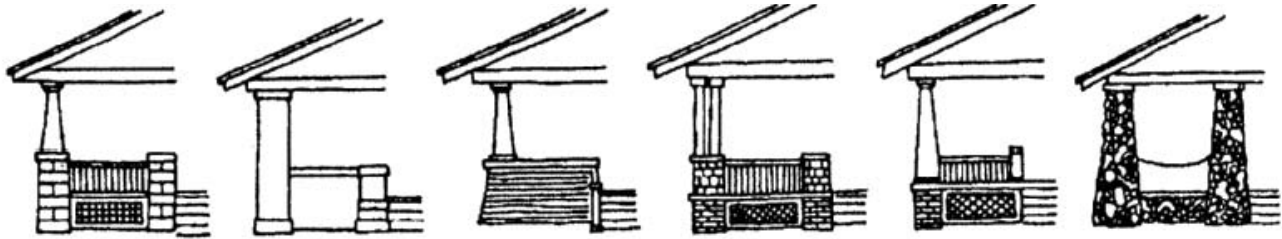


Entry porches with tapered posts on stone or brick piers  
Shingles texture concrete roof tile

Low to medium pitch roof with gables and generous overhangs  
Exposed rafter tails and braces



Blended wood clapboard siding, or shingles, and stucco



SOME TYPICAL PORCH SUPPORTS AND PORCH RAILINGS. LOW PIERS WITHOUT COLUMNS ABOVE ARE COMMON  
**EXHIBIT 8-3: CRAFTSMAN ARCHITECTURAL STYLE, PORCH SUPPORTS AND RAILINGS**

Details, Finishes & Colors:

- Light or medium sand finish stucco or blended siding and stucco
- White, light tinted or dark stucco wall colors: light earth tone bodies with contrasting cool or warm trims; white, light or dark complimentary color accent trims
- Porches with simple square wood columns and/or wood railings
- Stucco finish or horizontal siding wrapped chimney, garage door and shutter patterns complimentary to style

- Louvered attic vents
- Garage door patterns complimentary to style
- Optional roof ornamentation may include dormers, cupolas, weathervanes and dovescotes
- Optional wood pot shelves
- Optional tapered or shaped wood columns

**8.2.3.3 Craftsman**

*History and Character*

Developed as a contradiction to the Victorian era that preceded it, the Craftsman style evolved from the Arts and Crafts movement that originated in England in the late 1800s. It was the first style that emphasized natural materials and functionality; the details were simple, contradicting the gingerbread visage of the Victorian home. The wood is stained, instead of painted, and the homes feature built-in cabinets, buffets and benches. The moldings and

## SECTION 8 • Design Guidelines

other trim work are simple shapes, which can create complex designs.

There are several excellent examples of the Craftsman style in Ontario, along with an abundance of Craftsman Bungalows, which is the dominant home style in Ontario's historic neighborhoods. *Exhibit 83, "Craftsman Architectural Style, Porch Supports & Railings"* illustrates the following:

### *General Attributes*

#### Massing:

- Asymmetrical massing with horizontal proportions

#### Roofs:

- Horizontal gable roofs (or variations of the gable roof, i.e., cross gable, etc.), with dormers
- Low to medium roof pitch with moderate to generous overhang and exposed rafter tails
- Architectural quality asphalt shingles or shingles texture flat concrete roof tiles

#### Windows and Doors:

- Windows are typically individual casement,

vertically double or single-hung wood box with white vinyl frames

- Divided upper mullioned lights as grids at front elevation and in high visibility areas
- Doors are typically simple and can be stained. (Three-light colonial door beveled glass panels and sidelights with either stained or beveled glass to match front door are also used on larger homes.)

#### Details, Finishes & Colors:

- Large, either full or partial entry porches under roof supported by tapered square columns or by posts on piers
- Stone, brick, stucco or clapboard piers, columns and balustrades (often in combination)
- Blended wood clapboard siding (or shingles) and stucco of light to medium sand finish.
- Garage door patterns complimentary to style
- Decorative beams and knee braces
- Shaped wood header trim at windows and doors
- Arts and Crafts style lighting fixtures
- Optional stone or brick foundations, bases and chimneys
- Large, simple exposed attic vents
- Exposed wood beams and posts on porch structure
- Stained glass windows as an accent to an interior or exterior feature
- Painted color schemes typically consist of three (3) to five (5) colors
- Base colors are typically dark earth tones, usually browns or greens
- Trim colors are typically in contrast to the base color; darker homes use lighter color earth tones such as beiges and tans, with lighter homes using darker trim colors



**EXHIBIT 8-4: EAST COAST TRADITIONAL ARCHITECTURAL STYLE**

- Window frames and end rafters use a third accent color, closer in shade to the base color
- An alternative to the above color scheme would be mixing color palettes, for example, a maroon base, an olive green trim and a dark brown window frame
- Exposed roof and porch beams typically painted dark brown

**8.2.3.4 East Coast Traditional**

*History and Character*

One of the many Colonial Period Revival styles that became popular during the 1920s, the East Coast Traditional style took elements from America’s colonial past, including Cape Cod, Georgian, and Federal styles. The style is simple and symmetrical, yet has a variety of different roof forms. This style is also adapted as a variation of the Bungalow style. There are very few East Coast Traditional homes in Ontario, but there are many examples of the Colonial Revival Bungalow. *Exhibit 8-4, “East Coast Traditional Architectural Style,”* illustrates the following:

*General Attributes*

Massing:

- Symmetrical plan form massing with a vertical and a horizontal break

Roofs:

- Moderately pitched gabled or hipped roofs, often with a prominent central dormer
- Roof pitch over the porch breaking to a shallower pitch
- Roof overhangs vary per interpretation
- Boxed eaves with moulding
- Architectural quality asphalt shingles or smooth flat concrete roof tiles resembling slate and ranging in color from light brown to light gray
- Round attic vents
- Bungalow Variation: the Colonial Revival Bungalow has the elements of the East Coast Traditional style with one modification: Colonial Bungalows typically use a hipped gable roof, rather than just the straight gable or hipped roof

Windows and Doors:

- Typically individual single or double-hung wood frame or vinyl windows with 2x6 trim and shutters
- Vertical gridded windows at front elevations and in high visibility areas, single-pane windows at sides and rears
- Typically decorative solid and painted doors, often with glass sidelights

Details, Finishes & Colors:

- Entry colonnade porch that is either the entire or partial width of the house
- Blended wood clapboard (brick is also used, although not typical in Ontario) and stucco siding

## SECTION 8 • Design Guidelines



***EXHIBIT 8-5: FRENCH COUNTRY ARCHITECTURAL STYLE***

- Cornice trim at gable ends
- Base color of the building is typically lighter shades of blues, yellows and greens (typical colors were blue gray and sea foam green), trim and accent colors are typically white
- Darker color shutters
- Garage door patterns complimentary to style
- Optional decorative accent windows
- Balconies, roofed with simple wood or metal railings

### 8.2.3.5 French Country

#### *History and Character*

One of the many period revival styles that began in the 1920s and became popular in the late 1920s to early 1930s, the French Eclectic style replicated the cottages that dotted the French countryside, and were popular in fairy tales. Noted for its substantial use of rusticated stone, this asymmetrical, informal style should not be confused with the more decorative “Beaux-Arts” style. There are many examples of French Eclectic country homes in Ontario, primarily in the Rosewood Court Historic District. ***Exhibit 8-5, “French Country Architectural Style,”*** illustrates the following;

#### *General Attributes*

##### Massing:

- Asymmetrical massing with vertical proportions and either small or no porches

##### Roofs:

- Steep pitched gable roof (or variations of the gable roof, i.e., cross gable, etc.) often with subtly flared curves at the eaves
- Concrete tile roof to mimic wood shake

##### Windows and Doors:

- Windows are typically individual casement, double or single-hung gridded windows of either wood or vinyl frames
- Stained glass windows may be used to accent an interior or exterior feature
- Doors are typically simple, often with stained wood finish, and can include stained or beveled glass panels

##### Details, Finishes & Colors:

- Stucco exterior walls combined with a variety of exterior surface materials, often with stone or brick



**EXHIBIT 8-6: ITALIANATE ARCHITECTURAL STYLE**

- Large, often central chimneys
- Homes typically painted in color schemes consisting of three (3) colors
- Base colors are typically light earth tones; trim colors are typically in contrast to the base color
- Window frames tend to be dark colors
- Round silo type towers required on 33% of homes in style per neighborhood
- Optional curved roof ridge to simulate thatched roof or wood shake roof with wavy pattern

**8.2.3.6 Italianate**

*History and Character*

Like many Victorian-era styles, Italianate emphasized vertical proportions and richly decorative detailing on residential structures in America from about 1870 up until the turn of the century. Italianate is characterized by a low pitched hip roof, wide overhangs, bracketed cornice, a variety of fenestration, molded window surrounds, and occasionally a cupola or balustrade balcony. Simple Italianate structures have a hip roof, bracketed eaves, and molded window surrounds; Italianate townhomes feature wide projecting cornices that conceal a flat or low pitched roof behind. Some of Ontario’s commercial buildings were originally designed with Italianate elements. While not typically built in Ontario, the Italianate style is easily

compatible with Ontario’s historic neighborhoods. *Exhibit 8-6, “Italianate Architectural Style”* illustrates the following:

*General Attributes*

Massing:

- Simple plan form symmetrical massing and façade with emphasis on rectangular vertical proportions (two to four stories)
- Either small or no porches

Roofs:

- Low-pitched or flat roof with wide overhanging eaves
- Alternatively architectural quality asphalt shingles or concrete roof tile with shingle look as well as terra cotta styles

Windows and Doors:

- Full or segmented arched windows and doors
- Windows are typically very tall and narrow, double or single-hung one-over-one windows with wood frames and hood moldings
- Doors are often double, and heavily molded stained wood

## SECTION 8 • Design Guidelines



### *EXHIBIT 8-7: MONTEREY ARCHITECTURAL STYLE*

#### Details, Finishes & Colors:

- Light sand finish stucco massing, often with stone elements and either stone or cast concrete corner quoins
- Homes are typically painted a light, often earthtone, color with a second trim color; sometimes a third color is used on the window frames
- Optional square cupola, side bay window, tower(s), or decorative paired brackets and cornices
- Optional arcade porch topped with balustraded balcony

#### 8.2.3.7 Monterey

##### *History and Character*

The Monterey style is a cross between the adobe architecture of the Mission period in California and the New England Colonial architecture prevalent in the mid 1800s. The homes are a basic colonial house, typical of New England, with a second floor porch added to it. The home then took the common features in adobe architecture, including stucco walls, and incorporated them into the design. The Monterey style is rare in Ontario, with only a handful of examples. *Exhibit 8-7, "Monterey Architectural Style,"* illustrates the following:

#### *General Attributes*

##### Massing:

- Simple, straightforward volumes sometimes with a gable wing facing the street and opposing cantilevered balcony from second story floor

##### Roofs:

- Low to moderately-pitched red "mission" tile gable roof with a low pitched shed roof break over the balcony
- Alternatively, flat concrete tile roof to mimic wood shake
- Tight rake and extended eaves with exposed rafter tails

##### Windows and Doors:

- Windows are typically individual single-hung with wood or vinyl frames with simplified white window trim
- Simplified colonial style window shutters and door trim
- Doors are typically simple, painted or stained wood finish
- Enhanced front door surrounds with pediment trim above





***EXHIBIT 8-8: PLANTATION ARCHITECTURAL STYLE***

Details, Finishes & Colors:

- Wood or wrought iron balcony
- Round tile attic vents
- Ornate chimney top trim
- Vertical siding accents at gable ends
- Garage door patterns complimentary to style
- Plastered or stuccoed walls with sand to California Monterey stucco finish
- White painted brick
- Homes are typically painted either white or other light color with second trim color

**8.2.3.8 Plantation**

*History and Character*

Similar to the traditional rural East Coast styles to the north, the Plantation style draws its inspiration from the sun-drenched American Southeastern landscape with its emphasis on outdoor living areas and verandas. Both the New Acadian Greek revival estates and the Spanish Colonial porous limestone coquina of St. Augustine indicate the 18th and 19th century historical roots of the Plantation style; however, whimsical Victorian decorative elements found throughout the Caribbean islands are often blended into this Creole hybrid style. While not typically built in Ontario, the Plantation style is easily compatible with Ontario’s historic neighborhoods and is included, along with American Farmhouse, as a tribute to Ontario’s rural past. ***Exhibit 8-8, “Plantation Architectural Style,”*** illustrates the following:

*General Attributes*

Massing:

- Simple plan form massing and simple roof design

Roofs:

- Gable or hipped roof, often hipped gable or “Dutch” broken-pitch hip, at medium to moderate-pitch with wide overhanging eaves and decorative vents
- Architectural quality asphalt shingles or smooth flat concrete roof tiles

Windows and Doors:

- Gridded vertical windows in high visibility public view areas, with minimum 2x4 trim and contrasting shutters, with single-light windows as accents and on side and rear elevations
- Typically decorative, solid and painted doors, with minimum 2x4 trim

Details, Finishes & Colors:

- Wood details may include “Plantation” shutters, balustrade basket patterns, and cornice trim at gable ends balcony and railing

## SECTION 8 • Design Guidelines

- Garage door patterns complimentary to style
- Light or medium sand finish stucco or blended clapboard siding and stucco
- Colors range between naturals to pastels, plus one or two complimentary colors for siding and shutters; trim is typically white
- Optional full and two-story wood porches (with projecting pediment)
- Optional side lights at front doors
- Optional whimsical Victorian porch brackets

### 8.2.3.9 Spanish

#### *History and Character*

The Spanish style was developed as a direct result of the California Mission style and is a loose adaptation of features found in detailing from various influences, yet unified by the order of arches, strong form and mass, plain wall surfaces, and tile roofs. Most formal designs were influenced more by Italian architecture, and most informal designs were influenced by Spanish and Portuguese architecture. The style's close relation to outdoors is expressed through use of terraces, arcade porches, courtyards, colonnades and patios. The most famous example of the style is the Adamson House in Malibu.

There are only two known examples of the style in Ontario. The first is on Princeton Street, within the College Park Historic District. The second is the Old Post Office, which was designed by Paul Williams. *Exhibit 8-9, "Spanish Architectural Style with Window, Chimney, and Vent Details,"* illustrates the following:

#### *General Attributes*

##### Massing:

- Asymmetrical massing

##### Roofs:

- Low- to moderately-pitched terra cotta or concrete barrel or "S" shape tile roofs with modest to generous overhang
- Simple tile rakes and occasional eaves

##### Windows and Doors:

- Deeply recessed openings at major openings, which are often arched, or with occasional raised or molded pediments
- Typically individual casement windows with wood or white vinyl frames
- Vertically hung 9 and 12 paned windows on front façade
- Either wood or black wrought iron are used for window grates and balconies, which may also feature awnings designed for sun control
- Typically carved wood front doors, or other ornate wood (or fiberglass) doors of painted or stained finish; French doors

##### Details, Finishes & Colors:

- Frequent use of pergolas, arched stucco column porches, and formal axial garden design
- Decorative metalwork on window grills, doors, balconies, and roof supports
- Garage door patterns complimentary to style

# SECTION 8 • Design Guidelines

## Spanish

Light sand finish stucco massing

Decorative ironwork



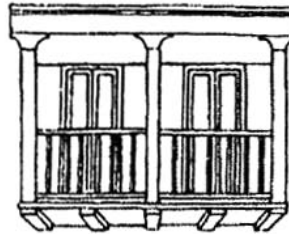
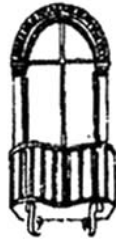
Garage pattern complimentary to style

Relation to outdoors through terraces and patios

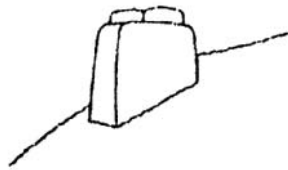
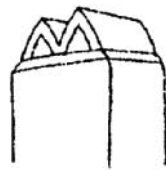
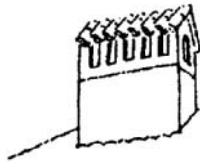
Low to medium pitch terracotta or concrete S-shape tile roofs



Deep recess at major openings



SPANISH WINDOW DETAILS



SPANISH CHIMNEY DETAILS



SPANISH VENT DETAILS

**Exhibit 8-9: SPANISH ARCHITECTURAL STYLE WITH WINDOW, CHIMNEY AND VENT DETAILS**

## SECTION 8 • Design Guidelines



**EXHIBIT 8-10: WEST COAST TRADITIONAL ARCHITECTURAL STYLE**

- Light sand finish or light lace finish stucco massing with simple vent holes in walls
- Stucco over foam window and door trim
- Typical wall material is smooth or lightly textured stucco ranging in color from off-white to beige with a second trim color; sometime a third color is used on the window frames
- Dark brown trims; typical accent colors are blue, dark green, ochre or red

### 8.2.3.10 West Coast Traditional

#### *History and Character*

The West Coast Traditional style is the late 20th century refinement of the Minimal Traditional style, which was a transition between the revival styles of the 1920s and 30s and the post-war Tract homes. The Minimal Traditional style referenced traditional styles without actually achieving them, incorporating elements common to many styles, but belonging exclusively to none, including columns, gables, chimneys, and shutters. Houses of this style may be built of virtually any traditional material; brick and stucco are common. Roofs always lack the eaves or overhangs found on more assertive styles. Earliest existing examples in Ontario are one or 1-½ stories in height. *Exhibit 8-10, “West Coast Traditional Architectural Style,”* illustrates the following:

#### *General Attributes*

#### Massing:

- Asymmetrical massing with single story wings and small front porch

#### Roofs:

- Gable roof with dormered windows, or occasionally saltbox roof forms
- Medium to moderately high roof pitch
- Flat concrete roof tile or shake appearance and moderate overhangs
- Front gable ends with cornice trim

#### Windows and Doors:

- Windows are typically vinyl or aluminum, double-hung with gridded panes in high visibility areas
- Round top accent or bay windows
- Doors are typically painted and may include glass panels

#### Details, Finishes & Colors:

- Garage door patterns complimentary to style
- Decorative details on windows, typically shutters
- Variety of exterior surface materials, often with siding or brick combined with stucco, changes occurring at inside corners

- Wrapped horizontal siding elements on sides and/or rear elevations
- Brick veneer chimney wrap
- Roof ornamentation may include cupolas, weather vanes or dovecotes
- Occasionally, wood window pot shelves, round or square Doric or Ionic columns with trim
- Light color or off-white body with a contrasting trim and often white, light or dark accent colors

### 8.3 Massing, Plotting & General Neighborhood Criteria

#### 8.3.1 Introduction

The following sections describe plotting and massing, garage placement and building elevation techniques that will assist in designing a successful streetscene for either detached or attached multifamily residential products. Appropriate use of these methods shall ensure the achievement of the desired results.

This section of the guidelines is intended to provide suggestions for creating neighborhoods and streetscenes that have a variety of building forms that are more proportionate to a human scale and more welcoming to the pedestrian. An important goal of these guidelines is to compose a street scene possessing both functional and visual variety. The plotting and massing, garage placement and building elevation criteria are intended to provide this desired variety as well as a sense of uniqueness for each home. Exterior massing of the home should reflect the general uses inside and be organized to create a positive street environment.

The required characteristics listed below describe the desired community setting and streetscene objectives for the neighborhoods of West Haven:

#### Objectives:

- Limit the numbers of homes per neighborhood.
- Integrate small open spaces into neighborhood entries.
- Provide linkages to the community paseo system.

- Shorten streets and provide curb-separated sidewalks.
- Vary lot sizes where appropriate.
- Minimize visual impact of garages.
- Give attention to composition of building mass.
- Provide innovative plans and avoid repetitious plans and footprints.
- Incorporate single-story elements in two-story buildings.
- Vary setbacks at porches, living and garage areas.
- Incorporate single story elements in two story buildings to minimize two-story dominance on streetscene, sidewalks and open spaces.
- Step back second stories and vary roof planes.
- Design with sensitivity to corner lot conditions, opening corner lots through selective plan form and single story elements.
- Use appropriate transition of scale.
- Use four-sided elevation design.

The Director of Planning may administratively approve modifications to the following standards up to 15% for innovative and quality designs that meet the intent of the provisions for this Specific Plan.

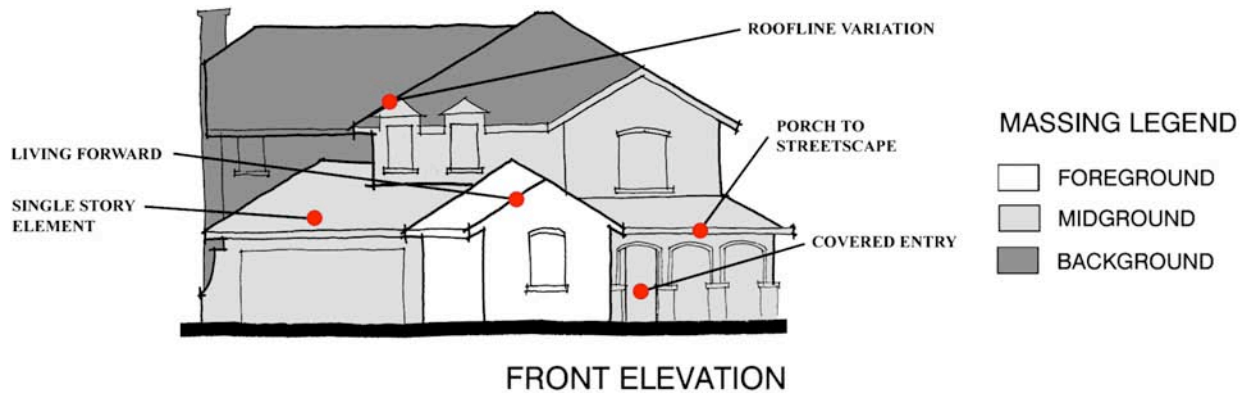
The following development standards shall apply in all residential categories in the West Haven Specific Plan area. Unless modified by the following development standards, criteria contained in Sec. 9-1.1410 of the City of Ontario Development Code shall apply.

#### 8.3.2 General Elements

The general elements of building massing & plotting include:

- Front Articulation
- Roof Form
- Garage Placement
- Balconies & Projections
- Rear Articulation
- Variable Setbacks & Lot Sizes
- Corner Lots & Critical Edge Conditions

## SECTION 8 • Design Guidelines



**EXHIBIT 8-11: FRONT FAÇADE MASSING**

### 8.3.2(a) Front Articulation and Scale

#### Intent:

The front elevation of the home is an important element in creating a quality community at West Haven. Special attention will be placed on these elevations and how they address the public realm. Emphasis on location and design of entries, living areas and garages will be to provide a special element or “gift” to the street. Placing an emphasis on variety of building massing creates a diverse streetscene. Please refer to *Exhibit 8-11, “Front Façade Massing.”*

#### Criteria:

- Building massing should be appropriate to architectural style.
- Building details such as doors and windows should be in proportion the overall building massing.
- All homes except American Colonial, Italianate and Plantation style homes should have at least three planes of variation in front elevation massing; American Colonial, Italianate and Plantation style homes should have at least two planes of variation in front elevation massing.
- Porches and loggias shall be 4’ minimum in cluster lots and attached homes, 6’ in depth is preferred. Porches intended to meet usable outdoor space requirements shall be a minimum 7’ depth, porch elements intended only as an architectural enhancement may be less than 7’.
- Massing elements should project enough to avoid elevations that appear to be “pasted on.”
- Building form is encouraged to reflect the interior uses of the home.

- When appropriate to style, “recessed” two-story elements are encouraged to create human scale buildings.
- Front elevations with a single-story element for two-story homes are encouraged.
- Front elevations are encouraged to emphasize the placement of living areas, porches, covered terraces, entries, and windows to address the neighborhood street and other areas exposed to public view.

### 8.3.2(b) Roof Form

#### Intent:

Roof form is an important design element as it relates to the character of the community, observed from both the external edges and inside the neighborhood. Variety of roof form along streets creates a positive visual edge to these public ways. Appropriate massing of roof forms help to create human scale architecture to the street.

#### Criteria:

- Roof forms shall reinforce the architectural style of the home and shall be composed of a series of simple roof forms.
- Roofs shall vary in massing along the streetscene and open spaces.
- No more than three of the same main span roof configurations (front to back or side to side framing) shall be adjacent to one another for variation in massing along the streetscene.
- Flat roof elements are encouraged only if appropriate to style.

- Mainspan roof directional changes at narrower lots are encouraged.
- Articulate the rear elevation and roof plane to minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights.
- Provide varied rear elevation roof forms when those forms are exposed to public view.
- Gable end wall planes shall be a minimum of 12' wide for lot sizes 50' and wider.

### 8.3.2(c) Garage Placement

#### Intent:

The location, configuration and orientation of the garage on its lot are important design elements, both for the composition of the dwelling and its contribution to the streetscape.

De-emphasizing the garage is an important community design element. The goal is to design homesites to pull living portions of the house toward the front of the lot to allow active, articulated architecture to address the streetscene.

Most plan variations should place entries, windows, front porches and living areas directly adjacent to the street. Placing living areas forward encourages “eyes on the street” for neighborhood safety and security while establishing neighborhood orientation to the pedestrian as opposed to the automobile.

To mitigate the negative impact of garages on the fronts of homes, each planning area is encouraged to incorporate a variety of the alternative garage placement configurations described below. (Where higher density neighborhoods are incapable of achieving these standards they shall incorporate those aspects that are practical and applicable.)

- Garage Forward
- Shallow Recessed Garage
- Mid-Recessed Garage
- Deep Recessed Garage
- Offset Garage
- Tandem Garage
- Swing-in Garage

- Rear-Loaded Garage
- Mansion Corner Lot Garages

#### Criteria:

- At least 75% of front accessed homes shall have “architecture forward” standards; no more than 25% of homes in any neighborhood area shall have street facing garages set back closer to the street than the living area (side loaded garages exempted from this ratio). To qualify as “architecture forward” the garage door plane must be set back from the forwardmost living area façade at least 5'.
- Garage door plane will vary at least 2' from the adjacent living area façade.
- Minimum interior garage dimensions for two-car side-by-side configuration is 20' x 20' clear, one step may encroach, but water heaters may not encroach into this area.
- Garage door patterns are encouraged to vary among elevation types and to reinforce the architectural theme of the dwelling.
- A minimum 2' offset is required where garages are adjacent on common property lines.
- 3-car side-by-side garage configurations are discouraged and are limited to a maximum of 25% of homes in any neighborhood; at least one garage door must be offset from the others 2' minimum.
- Garage door recess is encouraged to be a minimum of 8" from parallel walls.
- In front loaded garage homes, minimum driveway length from garage door shall be 18' from back of sidewalk.
- Deep recessed garages and patio covers shall maintain a 5' rear yard setback.

## SECTION 8 • Design Guidelines



**EXHIBIT 8-12: GARAGE PLACEMENT ALTERNATIVES**

- For garages on rear access lots, the minimum alley setback shall be 3' with a 5' average setback for second story elements over the garage.
- Alleys serving as access ways to residential parking facilities shall be designed in accordance with the following standards. At minimum, the alleys shall provide 30 feet of back up area as measured from the garage face.
- A minimum 24' clearance is required at all times along the length of the alley; on both sides of the alley, between each garage (approximately every 30 feet), a landscaped planter shall be installed and shall project 3' beyond the face of the garage toward the alley.

### *Examples of Garage Orientation Types*

(Please refer to *Exhibit 8-12, "Garage Placement Alternatives"*):

### Garage Forward

When garages are forward of the porch or front facing building elevation, a minimum driveway length of 20-feet shall be maintained from back of sidewalk (property line) to face of garage door. Garage forward configuration shall be limited to no more than 25% of the total number of units in a builder's plan package.

### Shallow Recessed Garage

Set the garage back a minimum of 2' from the adjacent living space façade of the house (excluding porches). This setback strives to reduce the overall visual mass of the garage.

### Mid-Recessed Garage

Set the garage back at the mid-point of the home to exposes more highly articulated, habitable architecture toward the street while the garage remains attached to the house is achievable in lower density neighborhoods.



### Deep Recessed Garage with Porte-Cochere

Set the garage back to the rear of the lot. This setback achieves more usable living space toward the street and created additional usable side yard outdoor space.

### Offset Garage

This garage layout breaks up the massing of the two-car garage by offsetting two one-car garages from each other.

### Garage with Casita

This garage layout breaks up the massing of the two-car garage by offsetting two one-car garages from each other.

### Tandem Garage

This garage layout de-emphasizes a third garage space by concealing it behind a standard two car side-by-side garage condition, permitting the tandem space to option into living space while still only showing the original two car garage to the street. This garage configuration can be shallow, mid-recessed or deep recessed garage design, however it is typically either shallow or mid recessed into the lot so as to be incorporated into the architecture of the home.

### Swing-in Garage

A single or two-car swing in garage may be used on a lot with a minimum width of 50' to break the continuous view of garage doors along a streetscene, allowing a more formal motorcourt entrance. Although not mandatory, a 60' wide lot provides for optimal configuration. Side entry garage conditions also allow a reduction in the required front setback as well as greater variation in the streetscene. The elevation facing the street shall have an architectural detail such as a window, reveal or pop-out.

A minimum 24' back up space is required; note that lots providing less than 24' feet of backup maneuvering room are subject to City approval of the alternative design standards.

### Rear Accessed Garage

Garages may be concealed by detaching and locating them to the rear of the lot. Garage accessways may be relocated off neighborhood streets to promote a more traditional, pedestrianfriendly streetscene. Garages accessed from an alley create a more traditional streetscene, without garages visible at the front side of the home. Recess garage door a minimum of 8" on alleyloaded garages.

### Mansion Corner Lot Garages

Having entry doors on the front elevation while the garage doors are located on a side elevation, mansion corner lot garages are plan forms that allow architectural enhancements to wrap around the home from front to side elevations. Corner lot garages may be addressed two ways; plans may be designed for corner orientation or interior lot plans may be adjusted to address corner conditions. The purpose of either solution should be to create substantial streetscene variation while the architecture wraps the exterior lot frontage. When a garage faces onto the street side, it shall be setback a minimum of 18 feet as measured from property line.

### **8.3.2(d) Balconies & Projections**

#### Intent:

As part of the overall composition of a two-story dwelling, balconies or projections provide relief and interest at the second story. Additionally, these elements create ideal outdoor rooms.

#### Criteria:

- Balconies shall be roofed when they exceed 4' in depth.
- Balconies and projections shall proportionally complement and be integrated into the overall massing of the home.
- Balconies shall not be located at outside edges of homes where they can overlook private spaces of adjacent homes.
- Balcony railings are encouraged to be consistent with the architectural style.
- Architectural projections such as media niches and chimneys are encouraged to be a maximum of 3'.

## SECTION 8 • Design Guidelines

- Covered balconies and living area cantilevers are encouraged to be appropriate to the architectural style.
- Opportunities for creating shaded areas and usable outdoor spaces are encouraged.
- Multiple balcony options should be considered based of effective solar orientation.
- Metal awnings are prohibited. Fabric awnings of solid accent colors are permitted in moderation.

### 8.3.2(e) Rear Articulation

#### Intent:

Particular attention will be placed on the design of those dwellings adjacent to or in close proximity of major community roadways, open spaces, or entry features. Whether viewed from distant or close range, massing requirements will be implemented to ensure positive community character in these locations. Generally, repetitious elements such as continuous gable ends and similar building silhouettes shall be avoided.

#### Criteria:

- Plans shall utilize projections and/or offsets that extend from the main wall plane.
- The stepping or use of projections on rear facades is encouraged to create the articulated massing important to the character of the community.
- Homes directly adjacent to arterial roadways, collector roads, entry drives, and open spaces are encouraged to be given particular attention in

their rear articulation, contributing positively to these edges.

- Building forms that are assemblies of interlocking masses are encouraged.
- Architectural massing and articulation appropriate to style is encouraged.
- Vertical and horizontal plane breaks are encouraged.

### 8.3.2(f) Variable Setbacks & Lot Sizes

#### Intent:

The key to quality neighborhood design is the emphasis on the “living” areas of the home orienting toward the street. To encourage this, reduced setbacks are allowed for living areas as measured from the back of walk. Additionally, variable front and rear setbacks for both living and garages are encouraged (and mandated through entitlement) to create diversity in streetscenes. Finally, vary lot sizes to increase buyer selection and variety in house and house and lot size combinations, where appropriate.

#### Criteria:

- Setbacks shall be appropriate and proportionate to the housing type and lot size.
- Variable rear setbacks are encouraged to create variety for edge conditions such as homes backing to collector roads and back-to-back homes on alleys.
- Monotonous repetition resulting from strict compliance to the minimum garage setbacks should be avoided.
- Variations in lot widths may be matched to floor

## OPTION 1



## OPTION 2



**EXHIBIT 8-13: NEIGHBORHOOD EDGE TREATMENTS**

plans so long as the average lot size specified for the product type is maintained.

- The minimum lot width for a flag lot, cul-de-sac, or knuckle at front property line may be reduced five feet (5') from standards. Lots at the end of cul-de-sacs and knuckles may vary from the minimum depth requirement provided a lot provides an adequate area for development.

### 8.3.2(g) Corner Lots & Critical Neighborhood Edge Conditions

Intent:

Single-story elements at corner conditions should be considered in West Haven. Creating a “human scale” edge utilizing single-story elements and other architectural details provide optimal massing forms oriented to pedestrians. Porches that wrap around two sides of the house provide a transition from the public realm of the street to the private home.

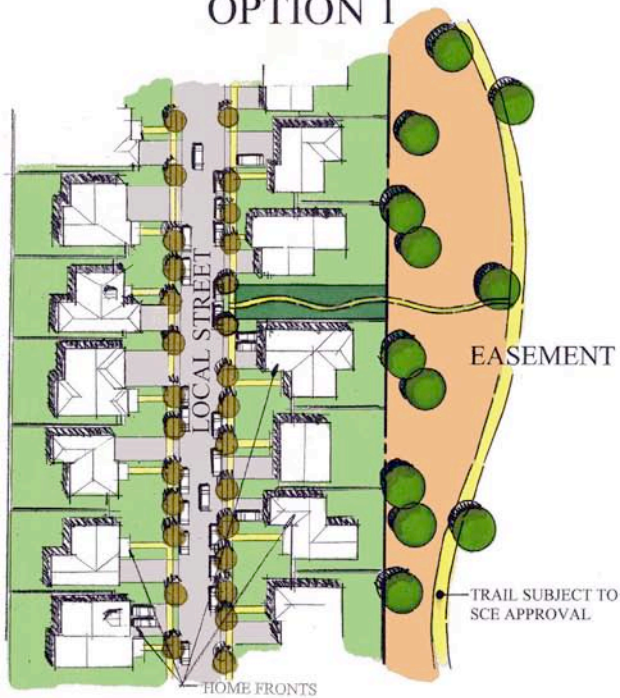
The continuous overly “walled” appearance along neighborhood perimeter streets may be avoided through special treatments in selected locations. Please refer to *Exhibit 8-13, “Neighborhood Edge Treatments.”* Possible treatments may include incorporation of hedges and neighborhood street tree programs in a conventional format (Option 1), and side on courtyards with open cul-de-sacs and trail connections (Option 2), view fencing, etc. These treatments will be consistent with *Exhibit 8-31, “Community Walls & Fences - Locations”* and *8-32, “Community Walls & Fences - Details.”*

Criteria:

- Provide plans that when plotted on corner lots have the flexibility to reposition the entry and

## SECTION 8 • Design Guidelines

### OPTION 1



### OPTION 2



**EXHIBIT 8-14: OPEN SPACE WALKWAYS**

garage to the exterior side. At least one plan type should be designed for corner lot plotting in order to be flexible.

- Similar massing and detailing utilized on the front elevations shall be incorporated on the side elevations facing the street.
- Homes on corner lots are encouraged to be designed for two-sided corner exposure.
- Corner homes shall have single story elements at corner edges.

### 8.3.3 Fronting on Parks, Paseos & Parkways

Homes fronting onto parks and greenbelts activate the open spaces as well as add a sense of security.

#### Intent:

Neighborhood layouts shall provide connections into the community paseo system to encourage pedestrian flow through the project.

Please refer to *Exhibit 8-14, "Open Space Walkways."*

#### Criteria:

- Encourage integrating small open spaces into neighborhood entries.
- Possible linkage treatments may include dedicated walkways (Option 1) or shared walkways with access to front doors (Option 2).

### 8.4 Residential Building Materials & Details

Strong architectural detailing is a key element to creating quality communities. During the design of West Haven, special attention has been given to the details of the homes. Appropriated focus should also be given to the design of the secondary elements of the architecture.

### 8.4.1 General Elements

The following elements are primary:

- Wall Finish
- Accent Materials
- Doors
- Windows
- Exterior Lighting
- Roofing Materials
- Eaves & Rakes
- Color
- Other Elements

### 8.4.2 Wall Finishes

Allowed Finishes:

- Stucco
- Exposed masonry walls (brick, slump block, etc.) • Stone, brick, adobe, brick veneers (accent materials)
- Fiber-cement plank siding
- Board and batten siding

Criteria:

- Footings shall be exposed no higher than 6” above finished grade
- The proposed stucco finishes must be approved by the Design Review Committee

### 8.4.3 Accent Materials

Intent:

Accent materials reinforce the architectural theme of the home and ensure diversity in character within the neighborhood.

Criteria:

- Accent materials shall be wrapped to coincide with an architectural element, and terminate at inside corners. Note: Accent materials may terminate at privacy wall conditions
- Natural stone, approved manufactured or cultured stone, painted or natural brick, precast concrete, ceramic tile, wrought iron, slump block, and horizontal or vertical wood siding (or approved manufactured siding, i.e. cementitious board) are encouraged
- Accent materials complementing the overall color and style of the home are encouraged.
- Architectural trim applied to all elevations is encouraged to be consistent with front elevation and the architectural style.

### 8.4.4 Doors

Criteria:

- Front entry doors shall be wood, composite fiberglass or MDF.
- Design of doors shall be consistent with the architectural style of the home.
- Doors shall be protected by deep recess or porch elements.
- Recessed doors are encouraged at two-story massing.
- Entry and garage doors expressing a level of detail appropriate to the style of the dwelling is encouraged.
- Maximum garage door height shall be 8’-0”
- Garage doors shall be recessed a minimum of 12”
- Garage door windows shall be consistent with the architectural style of the home.
- Setbacks in attached garages should be staggered in multi-family planning areas.
- Detailed garage door headers are encouraged.

## SECTION 8 • Design Guidelines

### 8.4.5 Windows

#### Criteria:

- Proportions and alignment shall be appropriate to style.
- No highly reflective glazing shall be used.
- Windows shall be aluminum or wood
- Grates, shutters and tile surrounds are encouraged as style dictates
- Inset windows are encouraged to be a minimum of 18” in depth.
- Full window trim is encouraged on all elevations (front, side, rear).
- Shutters shall be sized to match window width and have appropriate hardware.

### 8.4.6 Exterior Lighting

#### Criteria:

- Lighting used on walls and walkways shall focus light down and provide appropriate downcasting hardware to minimize glare.
- Surface mounted lights shall not be permitted in garage door soffits. Lighting fixtures shall be appropriate to the selected style of the home.
- Ambient light shall be cast downward to reduce impact.
- Light design shall be included as part of the architecture review package.

### 8.4.7 Roofing Materials & Skylights

#### Criteria:

- Particular attention shall be given to avoid repetition in continuous gable-ends and similar ridge heights.
- Concrete clay flat or S-tiles shall be used depending upon home style.
- Skylights are not allowed on sloped roofs facing public streets. Skylights shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze; white glazing is prohibited. The framing materials shall be colored to blend with the roof.
- Standing seam metal roofs painted in nonreflective neutral colors are allowed in appropriate architectural styles.
- All flashing, sheet metal, vent stacks and pipes

shall be colored to match the adjacent building surface.

### 8.4.8 Eaves and Rakes

#### Criteria:

- Rafter tails, when exposed, shall be a minimum of 4”, painted or stained.
- Attention related to the rake return detail is encouraged.
- Eaves are encouraged to be constructed of simple built-up stucco cornices (wrapped eaves).
- Appropriate to the home’s style, larger eave overhangs are encouraged to provide opportunities for shading.
- Proportions of eaves and rakes shall be appropriate to the home style.

### 8.4.9 Color

#### Intent:

Colors chosen for the homes of West Haven are important to establishing a community that blends continuously, yet leaves the impression that each home was designed on its own. Appropriate color selections will make each home unique but still look naturally and not out of place in the neighborhood.

#### Criteria:

- Color shall contribute to distinguishing the overall architectural character of the dwelling.
- Colors should reflect the natural hues found in Southern California while embracing the diversity and intensity of color found in this environment.
- Generally, the main body of the dwelling shall emphasize hues that are warm in character and saturated intensity.
- Hue variation in adjacent homes shall be provided to create diversity within the neighborhood.
- Soft earthen tones are encouraged at the stuccofinished portions of the dwelling.
- Diversity of color is encouraged.
- Saturated regional earth tone colors are encouraged.
- The exterior color character for the residences at West Haven shall draw from the site itself and the influences of Southern California.
- Roof tile colors are encouraged to be consistent

with architectural styles.

### 8.4.10 Other Elements Criteria

#### Antennas and Dishes:

- Antennas are generally restricted to the attic or interior of the residences.
- Dishes should be screened from public or adjacent homeowner views.

#### Chimneys and Decorative Accents:

- Use of chimneys and chimney caps as an architectural accent is encouraged.
- Clay pipe wall vents, decorative wall tile, floor pavers (concrete, clay or stone), fountains, benches, and flower pots are all elements that can enhance the overall appearance.

#### Residential Identification:

- Each residential unit is required to have illuminated address numerals at the front door and the garage door if the garage faces an alley.
- Each single family home will be required to have its address numerals painted on the curb with white reflective paint on a black background. Each homeowner will be responsible for the maintenance of these numerals.

#### Mailboxes:

- The type of box shall be integrated into the architecture and approved by the U.S. Postmaster.

#### Mechanical Equipment:

- Rooftop mechanical equipment is strictly prohibited
- Air conditioning/heating equipment shall be screened from the street and neighboring views.
- Pool, spa, water softening equipment and electric self-timer boxes for sprinklers or exterior lighting shall be screened from the street and neighboring views. Sound attenuation is encouraged.
- Television satellite dishes shall be prohibited.

#### Meters:

- Both gas and electric meters, and cable panels shall be screened from public view to the extent possible.

#### Gutters and Downspouts:

- Exposed gutters shall match roof or wall color.
- Faux copper patina is acceptable.

#### Patios & Accessory Structures:

- Patio structures, trellises, pergolas, and other exterior structures shall be constructed of a complimentary material and color, and integrated into the building form to add articulation to otherwise large unbroken wall masses. Today there are many new innovations that often make metal accessory structures acceptable.
- Any detached living structure, such as casitas, associated with the single-family lot shall be designed to match the style, massing and detail criteria of the primary building

#### Stairs and Steps:

- The design of exterior stairs providing access to second story living areas shall be incorporated into the theme of the home. Railings should be integral and should have detail.

#### Trash Containers:

- Space shall be provided in an adjacent side yard or interior portion of the garage to accommodate the size of at least three waste containers.

## 8.5 Simple Home Design

### *Introduction*

As a guide to designers and home builders, the following section has been developed to aid in the implementation of the aforementioned design criteria. As stated, the primary goal of the community developer is to balance the desire to create quality neighborhoods and homes within the realities of construction methodologies and target costs. By emphasizing the simple massing and structural forms of the home, costs may be reallocated to more authentic detailing and finishes. These elements of simple home design are intended to be used as tools to achieve hard cost budgets.

## SECTION 8 • Design Guidelines

### *Elements of Simple Home Design*

- Create a simple series of small span boxes when designing the floor plan.
- Reduce the number of truss spans for a given project by utilizing the same truss span in a number of locations throughout the project. This reduces the cost for the truss package on the project.
- Use ½ truss spans for the porches rather than using a new span and truss type.
- Use “shell construction” in one-story houses and eliminate three-point bearing trusses and interior bearing walls and trusses.
- Use girder trusses instead of interior bearing walls and footings.
- Eliminate “scissor” trusses and use flat ceilings instead. (Scissor profiles in short span trusses are economically inefficient.)
- Reduce window schedules to fewer sizes than usual. Utilize same window sizes in multiple locations. Traditional architectural vernaculars are best designed with a simple methodology in selecting window sizes and proportions.
- Keep windowsills a minimum of 18” from finish floor, eliminating the need for tempered glass.
- All ceiling heights should conform to Gypsum board Modules (8’-1”, 9’-1”, 10’-1”, 12’-1”).
- Show schedules for substitute beams at all locations so that paralam, Glulam, MicroLam, or dimensional lumber can be used.
- Design stair plans with straight legs, rather than curved forms.
- Develop a methodology utilizing a concise variety of modular pieces in kitchens, baths, and utility rooms with standardized cabinet modules.

## 8.6 Nonresidential Architectural Design Guidelines

### 8.6.1 Introduction

Situated at the intersection of Haven Avenue and Riverside Drive, West Haven’s primary entry point, the Neighborhood Center commercial land use area presents a unique opportunity to establish an appropriate and unifying theme to reinforce district identity. Likewise, the visibility and scale of the Elementary School located on Haven Avenue, south of Chino Avenue, will establish West Haven’s district identity as well as dominate the district’s architectural hierarchy. Thoughtful planning and design coordination of these two important community components will assure the goal of high design quality for West Haven will be achieved.

Neighborhood Commercial center and Elementary School developments present certain architectural opportunities and limitations due to building massing, parking requirements, pedestrian and service access, lighting, etc., that require master planning prior to any land subdivision or development in order to ensure the integrated development of Planning Areas 2 and 7 within the West Haven community. Therefore, this section provides a standard set of concepts, goals and criteria for Nonresidential architectural design that builders will use to achieve the goal of quality design. The objective is to create attractive Neighborhood Commercial center and Elementary School environments that are related in scale and aesthetic to the entire West Haven development.

Please refer to *Exhibit 8-15, “Neighborhood Commercial Center and Elementary School Concepts.”*

The following is a list of additional criteria, which apply to this land use area. It should be noted that site design and architectural standards not specified within this section shall be subject to the City’s Design Guidelines and Performance Standards (City of Ontario Development Code Article 16: Commercial and Professional Districts) and the Uniform Building Code. The West Haven Specific Plan takes precedence over regulations in the Development Code.



# SECTION 8 • Design Guidelines

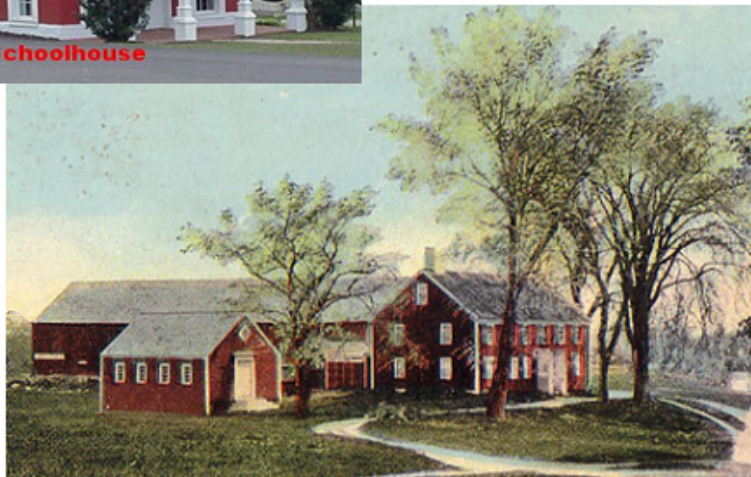
NEIGHBORHOOD  
CENTER  
COMMERCIAL  
CONCEPTS



Little Red Schoolhouse



ELEMENTARY  
SCHOOL  
CONCEPTS



*Exhibit 8-15: NEIGHBORHOOD COMMERCIAL CENTER AND ELEMENTARY SCHOOL CONCEPTS*

## SECTION 8 • Design Guidelines

### 8.6.2 Siting and Orientation

#### Intent:

- Buildings shall be designed using simple local historic forms integrated with public spaces and landscape elements that reinforce their functions as a community gathering places and architectural focal points for the West Haven community.
- All design shall incorporate the combination of compatible architecture and landscape forms to ensure that these developments achieve an image that is positively differentiated as distinctive, clearly understandable and unified.
- All designs shall appear as an integrated part of an overall design concept as well as including logical connections to adjacent uses.
- To unify the site, use common site design elements such as lighting and signage, enriched paving, and landscape treatments.
- Site design shall incorporate variations in elevations.
- Buildings shall be arranged, where possible, to create a variety of outdoor spaces (courts, eating areas, usable open space, etc.) large enough to be usable but not so large as to appear empty.
- Building units shall vary in orientation and be dispersed throughout the site to reduce the impact of development on neighboring residential areas.

### 8.6.3 Access and Parking Facilities

#### Criteria:

- On-site parking facilities should be shared to minimize curb cuts.
- Use enhanced paving to announce vehicular entries; their treatment and color should complement the building architecture and overall site design. Enhanced paving is to remain on private property.
- Vehicular and pedestrian circulation routes shall be well separated and defined by landscape and site design elements.
- Visitor parking shall be located in close proximity

to main entrances. Employee parking and loading zones shall be located to the side or rear of the buildings and attractively screened from public streets with landscaping or other site design elements.

- Screen on-site parking facilities from the street and adjacent residential uses. A combination of extensive plantings and decorative boundary walls should block views from and buffer adjacent residential properties; shrubs, earth berming, and/or low, decorative screen walls are recommended to screen views of parking facilities from the street.
- Mitigate the expansiveness of surface parking lots; shade trees and other plants should be provided within parking areas to enhance their appearance, reduce heat build-up, and help regulate storm water runoff.
- Illuminate parking areas for added security; however, security lighting should be consistent with the design character of the site, and directed and shielded to avoid impacts and minimize glare on neighboring residential uses.

### 8.6.4 Service Facilities

#### Intent:

- Locate service, loading and storage facilities away from public streets and outdoor spaces. As far as is feasible, these facilities should be unobtrusive and not sited as an afterthought.
- Screen impacts and views of service, loading and storage facilities from streets, outdoor spaces, and adjacent residential uses; appropriate screening strategies include compatible architectural treatment or decorative walls with complementary landscape. As far as feasible, these facilities should also be attractively screened from direct views from parking areas. Similarly screen utility transformer boxes placed within yard areas adjacent to a street and/or the public right-of-way.
- Introduce refuse enclosures and equipment as an integral part of the site design, including provisions for easy access by service vehicles. These facilities should be located within a screened enclosure built of high quality materials

that reflect the architectural style of the building. Enclosures shall be constructed to comply with all requirements as set forth by the City's Water Quality Division.

### 8.6.5 Form, Scale and Massing

#### Intent:

- Buildings shall be designed with well-articulated elevations and with openings and entries that are clearly defined.
- Scale (particularly for a supermarket if provided in the Neighborhood Commercial center) should be given careful consideration. Long, uninterrupted expanses of walls shall not be allowed.
- Employ simple, yet varied massing, with deep wall openings that create shadow lines and provide visual relief.
- Interconnection and lapping of building forms and heights, to break up long expanses of blank walls, help relieve monotony and are desirable.

#### Criteria:

- All building sides should be considered equally; the architectural concept must be consistent on all sides. Buildings may not have a special treatment only on the façade facing the street.
- Development of special design character at building entrances is required.
- Use fenestration, as well as changes in wall plane, material, texture, color, etc., to create shadow lines and articulate building walls.
- Extensive blank wall surfaces are not allowed, especially along sidewalks, outdoor spaces, and heavily trafficked areas.
- Used brick or used brick appearance is not acceptable. Exposed standard concrete block is not permitted as a finish material.
- Corrugated metal siding and metal panel wall systems are not acceptable.
- Exposed plywood sheathing is not acceptable.

### 8.6.6 Architectural Styles and Features

#### Intent:

- Promote architectural design that fits with and enhances its surroundings, emphasizing visually attractive buildings that bring interest to the street and add richness and variety to the community.
- Encourage compatibility between commercial, institutional and residential architecture within the Specific Plan area; the introduction of unifying elements such as common materials and colors should be considered.
- Building facades shall be based upon a pleasing set of proportions and a clear pattern of building openings.
- Fixtures and finishes should be selected for their contribution to the overall theme of the development.
- Require a high degree of street level transparency, especially along sidewalks, important outdoor spaces, and heavily trafficked areas.

#### Criteria:

- All buildings and structures shall comply with the applicable provisions of the City-wide Design Guidelines.
- American Farmhouse and Spanish architectural styles are designated styles for Planning Area 2 buildings, and American Farmhouse or Craftsman architectural styles are designated alternative thematic styles for Planning Area 7 buildings. (Refer to **Section 8.2.3, "West Haven Architectural Styles"** for American Farmhouse, Craftsman, and Spanish style descriptions.)
- Differentiate between the base, middle and top levels of a building; for instance, street oriented shops may feature 1) a bulkhead, 2) display windows, and 3) transom and detailed cornice.
- Use architectural details to enhance a building's appearance; careful detailing is especially appropriate at the base of buildings, along cornices, eaves, parapets or ridgetops, and around entries and windows.

## SECTION 8 • Design Guidelines

- Glass shall not be mirrored.
- Use of opaque and darkly tinted glass should be restricted.
- Pre-engineered metal buildings from any public view shall be prohibited.

### 8.6.7 Exterior Materials and Colors

#### Criteria:

- Materials are to be durable, relatively maintenance free, and sympathetic in scale and aesthetic to the overall Neighborhood Center commercial environment.
- Promote visual interest, using at least two different building materials; for instance, materials may be used to highlight a building entrance or distinguish the building base.
- Stucco textures are limited to machine spraying and light hand-trowel / float finishes.
- Finishes shall be non-reflective.
- Finishes should match or coordinate with stucco or masonry wall finishes. Textured surfaces applied to vertical walls should not be applied to exterior surfaces where roofing materials are normally applied.
- “Tacked-on” appearance of canopies or awnings and details that are not designed as an integral part of the building architecture is inappropriate and prohibited.

### 8.6.8 Roof Forms and Materials

#### Intent:

Express roofs in a visually interesting manner that complements the composition of the building and the surrounding area.

#### Criteria:

The following are appropriate to West Haven:

- Sculpted roof forms or a strong and attractively detailed cornice.

- Clay or concrete tile.
- Colored or prefinished standing seam metal roofs.
- Flat roof designs, when visible from adjacent properties, shall be crushed rock or mineral surfaced cap sheet resulting in a familiar uniform coverage treatment. Roof surfacing is to be an earthtone color.
- Flat roofs shall make-up no more than 75% of total roof area for any single unit or building composite.
- Skylights shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze; white glazing is prohibited. The framing materials shall be colored to blend with the roof.

#### Inappropriate / Prohibited:

- False facades and mansard roofs when unrelated to the style of the building.

### 8.6.9 Walls and Fences

#### Intent:

Decorative walls and/or walls screening yards, parking lot or enclosures are encouraged to provide security, privacy, and landscape definition, and they shall be designed to integrate with the architecture of the building, as well as the landscape design. This can be accomplished by gradually building up the massing of the walls as they attach to a building or creating openings for entry gates.

#### Criteria:

The following are appropriate to West Haven:

- Wall treatments will be consistent with *Exhibit 8-31, “Community Walls & Fences - Locations”* and *8-32, “Community Walls & Fences - Details.”*

#### Inappropriate / Prohibited:

- Wood, vinyl or other non-masonry fencing, framed (non-solid) stucco fencing, hollow nongrouted masonry less than four inches thick.

### 8.6.10 Accessory Structures and Services

#### Criteria:

The following are appropriate to West Haven:

- Any accessory building and/or enclosures, whether attached to the main building or not, shall be of similar design.
- Patio structures, trellises, pergolas, and other exterior structures shall be constructed of a complimentary material and color, and integrated into the building form to add articulation to otherwise large unbroken wall masses.

Inappropriate / Prohibited:

- Metal or other prefabricated structures.

### 8.6.11 Street/Plaza Furniture & Bus Shelters

Street/plaza furniture and bus shelters within the West Haven Specific Plan shall be designed to coordinate in design, style and color with the principal architectural themes and/or architectural details of the primary structure and building in the development. Bus shelters shall be as approved by the City of Ontario and Omnitrans.

### 8.6.12 Signage and Outdoor Lighting

Intent:

- Orient signs away from neighboring residences.
- Establish a hierarchy of illumination levels based on design intent; for example, the illumination of entry monumentation is highly encouraged.
- Require signs that are in balance and scaled to the building, site and surrounding area; avoid repetitive signage and visual clutter on a building frontage.
- Design monument signs to complement the building architecture and the streetscape; colors and materials should be consistent with the structures on site and enhance landscape elements.
- Design tenant identification signs to fit comfortably with the storefront architecture; wall signs and pedestrian-oriented signage should not obscure architectural features and should be incorporated as an integral part of the building

façade.

- Establish a coordinated sign program to accommodate multiple tenants; a commercial development's signs, including tenant identification signs, should complement, but not necessarily replicate the style of one another.
- Offer a clear, simple message; the number of lettering styles should be limited, and the use of identifiable symbols and logos is encouraged.
- Encourage external sign illumination using unobtrusive, yet attractive fixtures; this often permits better integration of wall sign and façade, although fixtures should not obscure the graphic of the sign.
- Provide sufficient lighting to ensure the safety and well being of the community; in addition, outdoor lighting should visually enhance the project by highlighting and accentuating architectural or landscape features.

Criteria:

The following are appropriate to West Haven:

- Orient signs away from neighboring residences.
- Construct high quality signs with durable materials; individual channel letters are encouraged for wall signs.
- Require a comprehensive program for outdoor lighting associated with all new developments, including security lighting within parking areas; the Planning and Police Departments shall approve all proposed lighting programs.
- Utilize attractive light fixtures and standards that complement the site and building architecture; in general, lighting standards and fixtures should be consistent in style, color and materials, maintaining uniformity throughout the project.
- Locate and direct outdoor lighting (including security lighting) to avoid unwanted glare and minimize impacts on neighboring residential uses.
- Encourage subtle lighting that provides a soft wash of light over illuminated objects.
- Encourage low, shielded walkway lighting.
- Screen site lighting from direct view by adjacent residential neighborhoods.

## SECTION 8 • Design Guidelines

### Inappropriate / Prohibited:

- Intensely bright or “hot” lighting of architectural and landscape features is discouraged.
- High-mast type fixtures should be avoided.
- Internally illuminated cabinet signs, painted signs, as well as paper and cloth signs are not allowed, although temporary signs (i.e., “grand opening” signs, etc.) are permitted subject to the restrictions of the City’s Sign Ordinance.
- Blinking and flashing signs are prohibited.
- The illumination of outdoor lighting shall not spill over and adversely affect adjacent properties.

### 8.6.13 Mechanical Equipment

#### Criteria:

The following are appropriate to West Haven:

- Parapets or other architectural elements that are fully integrated into the overall building design and massing are encouraged.
- All roof mounted mechanical equipment shall be screened from ground level view to a minimum sight distance of 1,320 feet and shall not be visible from public view. If the architectural parapets do not screen the roof mounted equipment additional screening shall be incorporated.
- No exposed electrical, mechanical or service equipment of any type shall be allowed.
- Downspouts or roof access ladders are not to be visible from any street.
- Use screening materials, which are similar or complementary to the external materials, used in the building architecture.

### Inappropriate / Prohibited:

- The final surface of screening materials shall not include plywood and/or open trellis or precision block.

## 8.7 Landscape Architecture

### 8.7.1 Landscape Description

This Section is general in scope. More detailed landscape concepts will be illustrated in the Landscape

Design Guidelines section of this document, *Section 8.8 “Landscape Design Guidelines.”*

Landscaping will be used to identify the hierarchy of the street system, distinguishing perimeter master planned roads and residential streets. Landscaping will be successfully implemented through the use of varying landscape materials, texture and color, to enhance the image of the West Haven Community.

Entry monument features at major intersections will provide the initial impression of the West Haven development, when approached via Haven Avenue and Riverside Drive. The project’s entry monumentation will be developed in a hierarchy format to include Major Community Entries, Secondary Community Entries, and Neighborhood Entries, which will identify each residential planning area.

### 8.7.2 Landscape General Development Standards

1. All detailed landscaping programs for Planning Areas and roadways will be prepared by a licensed Landscape Architect for review and approval by City of Ontario Planning Landscape Division.
2. Project entry statements will be designed with landscaping and architectural treatments that project a high quality image for the entire development. Please refer to *Section 8.9 “Community Elements.”*
3. Walls and fences along a public street shall be properly screened with plantings consistent with the streetscene sections contained in *Section 8.8.2 “Community and Neighborhood Streetscenes.”*
4. West Haven Specific Plan shall comply with the infiltration program required by the City of Ontario Engineering Department.
5. Final Improvement Plans for all Landscape Maintenance District or Homeowner Association landscaped areas shall be submitted to the City of Ontario Public Facilities Development Department for approval. The improvement plans shall include, but not be limited to:
  - a. *Final Grading Plan* – prepared by a

- registered Civil Engineer. Approved grading plans are required by the Department of Public Facilities Development Department prior to the review of landscape construction documents.
- b. *Site Construction Plans* – showing all hardscape, walls and fences. Approved grading plans are required by the Department of Public Facilities Development Department prior to the review of landscape construction documents.
  - c. *Site Irrigation Plans* – Approved grading plans are required by the Department of Public Facilities Development Department prior to the review of landscape construction documents.
  - d. *Site Planting Plans* – Approved grading plans are required by the Department of Public Facilities Development Department prior to the review of landscape construction documents.
  - e. *Site Details and Specifications* – Approved grading plans are required by the Department of Public Facilities Development Department prior to the review of landscape construction documents.
6. At the time of recordation of any final subdivision map, which may contain common greenbelts or open space areas, the subdivision shall have those common areas conveyed to a Homeowner’s Association or appropriate public maintenance agency (CFD) (either in fee title or as an easement).
  7. See **Section 8.9.5 “Maintenance Responsibility”** for maintenance of all common and private landscaped areas.
  8. All landscaping shall meet the City of Ontario Development Standards, Codes and Regulations, unless otherwise specified within the West Haven Specific Plan document.
  9. All loading/service and/or parking areas shall be screened with appropriate landscaping as approved by the City of Ontario.
  10. The applicant and/or Builder shall be responsible for the bonding of all landscape improvements to the satisfaction of the City of Ontario Planning and Public Facilities Development Departments.
  11. The minimum sizes for trees, shrubs and groundcover shall meet City Code requirements.
  12. All parking lot landscaping shall be consistent with the City of Ontario Development Code requirements, unless otherwise specified within the West Haven Specific Plan document.
  13. All utilities shall be screened with appropriate green walls and/or shrubs at the discretion of the City of Ontario.
  14. Graded/disturbed areas not to be developed within six months shall be temporarily planted and irrigated to provide dust and erosion control.
  15. Builders of each property shall ensure that mature plantings will not interfere with utility lines and traffic lines of sight.
  16. Street trees on interior streets shall be maintained by the HOA.
  17. New Model Colony Streetscape Master Plan, and the New Model Colony General Plan Amendment dated January 7, 1998 shall be a part of these Landscape Design Guidelines.

### 8.8 Landscape Design Guidelines

#### 8.8.1 Introduction

##### 8.8.1(a) Landscape Concept

The West Haven community is a part of the overall Ontario Ranch Master Planned Community in the City of Ontario. The planning concepts for the West Haven Specific Plan are implemented in several ways; implementing the Ontario Ranch vision for perimeter streets, creating a walkable pedestrian

## SECTION 8 • Design Guidelines

friendly environment and creating community spaces that allow people to gather and circulate through the community on one of the near by pedestrian paseos. Implementing the features of the West Haven Landscape Plan is the primary means of translating landscape themes and ideas into the community. See *Exhibit 8-16, “Conceptual Landscape Plan”* for further details.

### 8.8.1(b) Pedestrian Environment

The West Haven Specific Plan creates pedestrian connections through paseos and safe, pleasant streetscapes. Residents of West Haven may walk from home to adjoining neighborhoods, to scattered community pocket parks, and to the Neighborhood Park, frequently without crossing a street. his paseo system enables those who do not drive to have access to homes of friends and those community facilities they use most. Benches located at key intersections and along paseos provide rest stops and places for neighbors to visit.

### 8.8.1(c) Recreation

Pocket parks are programmed to include passive uses as well as child and adult active uses. Some pocket parks are planned within the neighborhood, while others are located in Planning Area 1 are within or adjacent to the Gas Company easement. Please refer to *Section 8.9.3 “Community Connections and Recreation”* which further describes community connections and recreation. The pocket park requirement for West Haven is 2 acres/250 units, with a minimum size of 10,890 square feet (1/4 acre).

### 8.8.1(d) Design Elements

Landscape design elements, are included in both landscape and structural features and occur at both community and neighborhood levels. They serve to establish and reinforce the design theme for West Haven. These elements include community monuments at entry points, community walls and fences, creation of streetscenes through street design,

median and neighborhood edge parkway landscapes and the relationship of the paseo and paseo system to recreational elements and homes. The pocket parks and paseos will be accessible to the public and will be maintained by a Homeowners Association, the SCE Easement paseo and linear park will also be accessible to the public and will be City (CFD) maintained. The Landscape Guidelines compliment the Architectural Guidelines, and together they define the ambiance of the West Haven Community.

## 8.8.2 Community and Neighborhood

### Streetscenes

The community streetscenes implement the planting and hardscape theme for each backbone street as described in the Streetscene Master Plan document, and as adopted by the City of Ontario.

The landscape treatment, referred to as Neighborhood Edges, for master planned roadways are designed to create an open, expansive feel with the use of generous streetscene panels on all backbone streets surrounding the West Haven Specific Plan.

The landscaped Neighborhood Edges vary in width from 30 feet to 45 feet, depending on the street, as described in the following streetscene sections.

### 8.8.2(a) Riverside Drive – Neighborhood Center Commercial Edge

Riverside Drive is adjacent to both Residential and Commercial (neighborhood center) land uses. The landscape development associated with the Commercial (neighborhood center) is illustrated in *Exhibit 8-17, “Riverside Drive Streetscene at Neighborhood Center Commercial,”* which is consistent with the Streetscape Master Plan, or as adopted by the City of Ontario. This streetscene consists of:

- 7’ wide curbside landscaping planted with shrubs and groundcover or turf, as adopted by the City of Ontario.
- 5’ wide sidewalk parallel with the street within the 12’ wide street parkway
- 23’ wide shrub zone between the sidewalk and the commercial development



Monument Features		
Key Number	Description	Exhibit
1	Major Community Monumentation	8-26
2	Typical Secondary Community Monumentation	8-27
3	Typical Neighborhood Residential Entry	8-28(a), 8-28(b)
4	Neighborhood Center Entry	8-29(a), 8-29(b), 8-30

Streetscene Sections		
Key Number	Description	Exhibit
9	Riverside Drive Streetscene at Neighborhood Center Commercial	8-17
10	Riverside Drive Streetscene at Residential	8-18
11	Haven Avenue Streetscene at Neighborhood Center Commercial	8-19
12	Haven Avenue Streetscene at Residential	8-20
13	Turner Avenue Streetscene at Residential	8-21
14	Chino Avenue Streetscene at Residential and SCE Easement	8-22
15	Typical Interior Neighborhood Streetscene	8-23
16	Residential Entry Streetscene	8-24

Parks and Open Space		
Key Number	Description	Exhibit
<del>5</del>	<del>5 Acre Neighborhood Park</del>	<del>8-34</del>
6	SCE Easement Paseo and Linear Park	8-35, 8-36
7	Pocket Park Within Gas Company Easement	8-37, 8-38
8	Typical Pocket Parks	8-39, 8-40, 8-41

Site Sections		
Key Number	Description	Exhibit
17	Neighborhood Center at Residential Edge	8-25

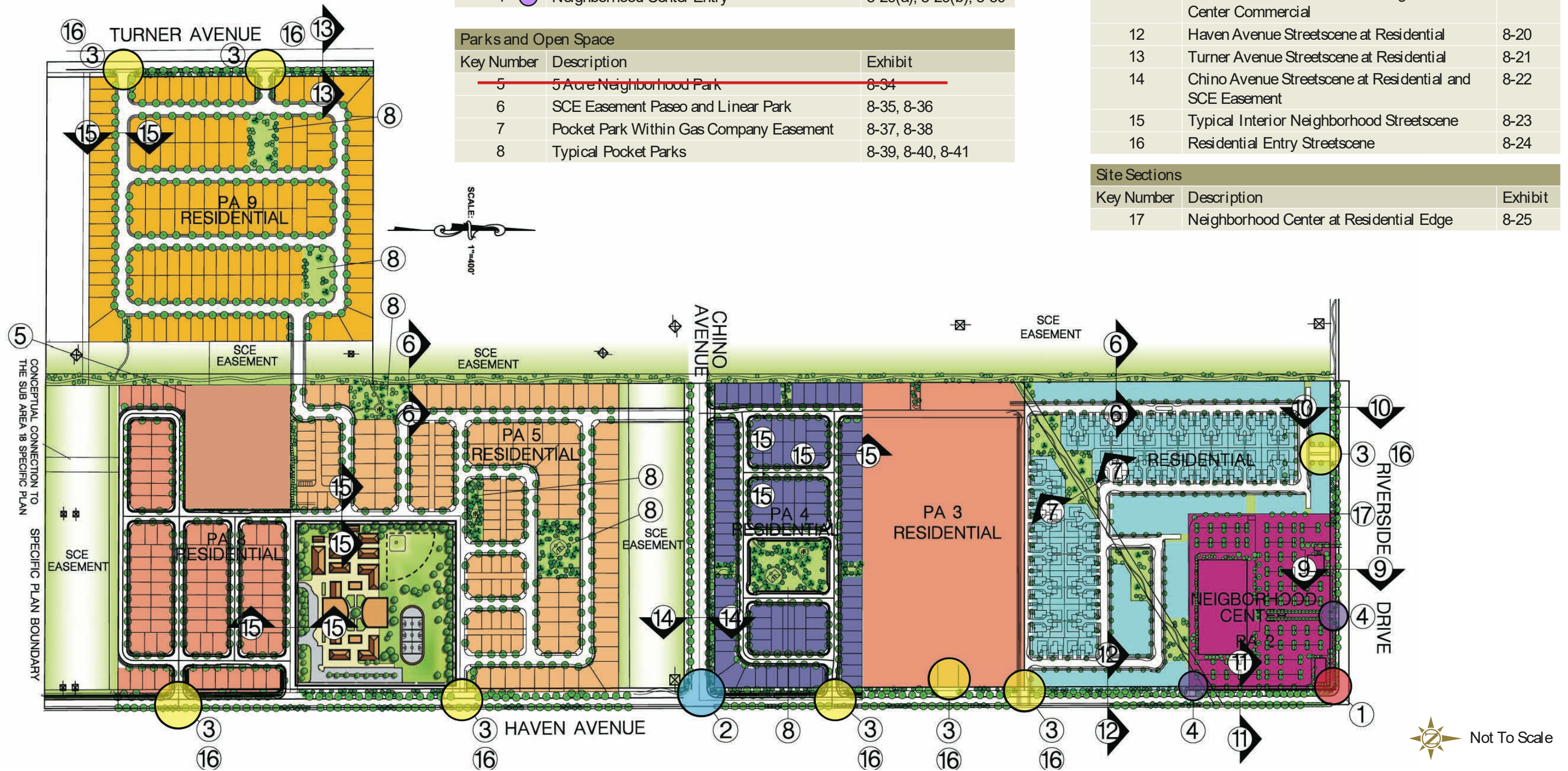
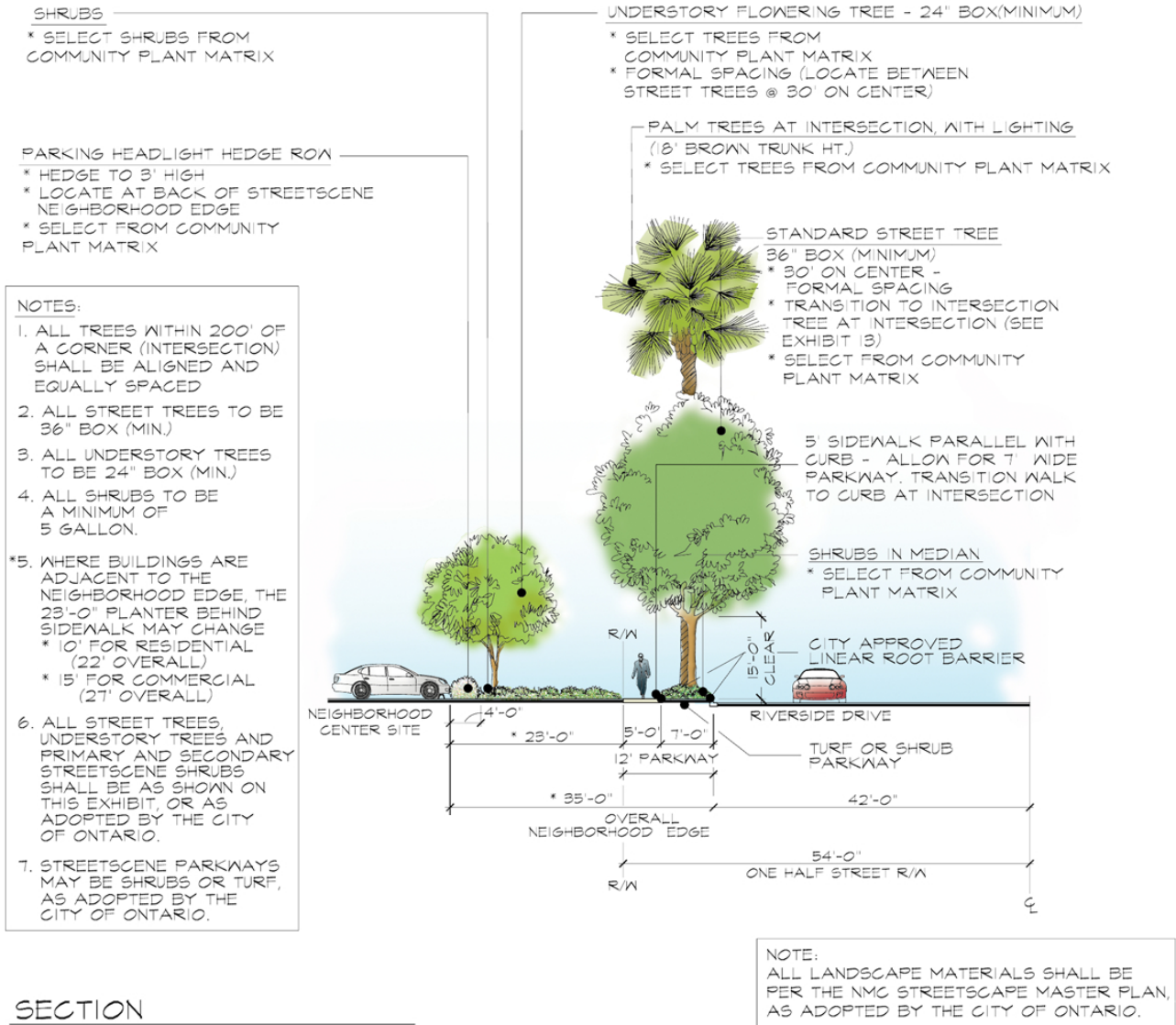


Exhibit 8-16: Conceptual Landscape Plan

## SECTION 8 • Design Guidelines

This page intentionally left blank.

# SECTION 8 • Design Guidelines



## SECTION

SCALE: N.T.S.

**Exhibit 8-17: RIVERSIDE DRIVE STREETSCENE AT NEIGHBORHOOD CENTER COMMERCIAL**

# SECTION 8 • Design Guidelines

<b>TREES</b>		Riverside Drive (Per OR* Streetscape Master Plan)	Haven Avenue (Per OR* Streetscape Master Plan)	Chino Avenue (Per OR* Streetscape Master Plan)	Turner Avenue	Specimen Tree at Monumentation Corners and Entries	Palm Accent at Community Intersections	Community Intersection Accent Trees	Vertical Evergreen Screen Trees	Neighborhood Entry Trees (At Neighborhood Entry Roads)	Park and Pocket Park Evergreen and Deciduous Grove Trees	Park Accent Trees	Neighborhood Street Trees	Southern Californian Edison Easement Trees	Neighborhood Commercial Parking Lot Trees	Neighborhood Commercial Entry Accent Trees
BOTANICAL NAME	COMMON NAME															
<i>Albizia julibrissin</i>	Silk Tree									●						
<i>Arbutus Marina</i>	NCN			●				●		●	●		●			
<i>Arbutus Unedo</i>	Strawberry Tree													●		
<i>Bauhinia blakeana</i>	Hong Kong Orchid Tree			●				●								
<i>Brachychiton acerifolius</i>	Flame Tree									●						
<i>Brachychiton populneus</i>	Bottle Tree			●					●		●					
<i>Callistemon viminalis</i>	Weeping Bottlebrush			●							●					
<i>Cassia excelsa</i>	Crown of Gold									●						
<i>Cassia leptophylla</i>	Gold Medallion Tree			●				●		●			●			
<i>Cercis occidentalis</i>	Western Redbud													●		
<i>Chitalpa tashkentensis</i>	Chitalpa Tree									●			●			
<i>Cinnamomum camphora</i>	Camphor Tree				●							●				●
<i>Cupaniopsis anacardioides</i>	Carrot Wood Tree												●		●	
<i>Dodonaea viscosa</i>	Hopseed Bush													●		
<i>Elaeocarpus decipiens</i>	Japanese Blueberry Tree									●			●			
<i>Eucalyptus nicholii</i>	Nichol's Willow Gum			●					●		●					
<i>Eucalyptus sideroxylon 'Rusea'</i>	Red Ironbark			●					●		●					
<i>Ficus rubiginosa</i>	Rusty Leaf Fig											●				
<i>Fraxinus oxycarpa 'Raywood'</i>	Raywood Ash												●			
<i>Geijera parviflora</i>	Australian Willow			●							●		●			
<i>Gleditsia triacanthos inermis 'shademaster'</i>	Honey Locust			●							●		●			

\*Ontario Ranch

**Table 8-1: Community Plant Matrix**

# SECTION 8 • Design Guidelines

<b>TREES</b>		Riverside Drive (Per OR* Streetscape Master Plan)	Haven Avenue (Per OR* Streetscape Master Plan)	Chino Avenue (Per OR* Streetscape Master Plan)	Turner Avenue	Specimen Tree at Monumentation Corners and Entries	Palm Accent at Community Intersections	Community Intersection Accent Trees	Vertical Evergreen Screen Trees	Neighborhood Entry Trees (At Neighborhood Entry Roads)	Park and Pocket Park Evergreen and Deciduous Grove Trees	Park Accent Trees	Neighborhood Street Trees	Southern Californian Edison Easement Trees	Neighborhood Commercial Parking Lot Trees	Neighborhood Commercial Entry Accent Trees
BOTANICAL NAME	COMMON NAME															
<i>Heteromeles arbutifolia</i>	Toyon													●		
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree										●		●			
<i>Laurus nobilis</i>	Bay Laurel												●			
<i>Layerstroemia indica</i> (hybrids)	Crape Myrtle			●						●			●			
<i>Liriodendron tulipifera</i>	Tulip Tree									●						
<i>Maytenus boaria</i>	Mayten Tree			●							●					
<i>Melaleuca linarifolia</i>	Flaxleaf Paperbark								●		●					
<i>Melaleuca nesophila</i>	Pink Melaleuca													●		
<i>Melaleuca quinquinervia</i>	Cajeput Tree										●					
<i>Metrosideros excelsus</i>	New Zealand Christmas Tree									●			●			
<i>Olea europaea</i> (fruitless)	Fruitless Olive				●							●				●
<i>Phoenix dactylifera</i>	Date Palm														●	●
<i>Pinus canariensis</i>	Canary Island Pine								●		●					
<i>Pinus eldarica</i>	Afgan Pine								●		●					
<i>Pittosporum rhombifolium</i>	Queensland Pittosporum										●		●			
<i>Pittosporum undulatum</i>	Victorian Box										●		●			
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree									●	●					
<i>Platanus racemosa</i>	California Sycamore											●				
<i>Podocarpus gracilior</i>	Yew Pine										●		●			

\*Ontario Ranch

# SECTION 8 • Design Guidelines

## TREES

BOTANICAL NAME	COMMON NAME	Riverside Drive (Per OR* Streetscape Master Plan)	Haven Avenue (Per OR* Streetscape Master Plan)	Chino Avenue (Per OR* Streetscape Master Plan)	Turner Avenue	Specimen Tree at Monumentation Corners and Entries	Palm Accent at Community Intersections	Community Intersection Accent Trees	Vertical Evergreen Screen Trees	Neighborhood Entry Trees (At Neighborhood Entry Roads)	Park and Pocket Park Evergreen and Deciduous Grove Trees	Park Accent Trees	Neighborhood Street Trees	Southern Californian Edison Easement Trees	Neighborhood Commercial Parking Lot Trees	Neighborhood Commercial Entry Accent Trees
<i>Prosopis x phoenix</i> thornless	Mesquite										●		●			
<i>Prunus caroliniana</i> 'Compacta'	Carolina Laurel Cherry				●				●					●		
<i>Quercus agrifolia</i>	Coast Live Oak					●						●				●
<i>Quercus ilex</i>	Holly Oak										●		●			
<i>Rhus lancea</i>	African Sumac										●		●		●	
<i>Sapium sebiferum</i>	Japanese Pagoda Tree												●			
<i>Shinus molle</i>	California Pepper Tree					●										●
<i>Tabebuia chrystricha</i>	Golden Trumpet Tree							●		●						
<i>Tipuana tipu</i>	Tipu Tree										●					●
<i>Tristania conferta</i>	Brisbane Box				●				●		●					
<i>Tristania laurina</i>	Water Gum								●		●					
<i>Ulmus parvifolia</i> 'Drake'	Evergreen Drake Elm										●		●		●	

\*Ontario Ranch

## SECTION 8 • Design Guidelines

### SHRUBS

BOTANICAL NAME	COMMON NAME	Riverside Drive Understory Shrubs (Per OR* Streetscape Master Plan)	Haven Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Chino Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Turner Avenue Understory Shrubs	Community Monumentation Shrubs	Neighborhood Entry Shrubs	Park and Pocket Park Shrubs	Neighborhood Shrubs (General Landscaping)	Southern California Edison Easement Shrubs	Neighborhood Commercial Site Shrubs	Neighborhood Commercial Entry Shrubs
Acacia rodolens 'Desert Carpet'	Creeping Acacia									●		
Agapanthus spp.	Lily Of The Nile				●	●	●	●	●		●	●
Anigozanthos species	Kangaroo Paw				●	●	●	●	●		●	●
Arbutus unedo 'Compacta'	Strawberry Tree				●	●	●	●	●	●	●	●
Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita									●		
Arctostaphylos edmundsii	Little Sur Manzanita									●		
Artemisia 'Powis Castle'	Wormwood									●		
Artemisia arborescens	Sagebrush									●		
Asteriscus maritimus	Gold Chip									●		
Baccharis 'Centennial' and 'Starn'	Hybrid Coyote Bush							●		●		
Baccharis pilularis	Coyote Bush				●			●	●	●		
Bougainvillea	Bougainvillea				●	●	●	●	●		●	●
Buxus japonica 'green beauty'	Boxwood				●	●	●	●	●		●	●
Calliandra haematocephala	Pink Powder Puff				●	●	●	●	●		●	●
Callistemon citrinus 'little john'	Lemon Bottlebrush				●			●	●	●	●	
Camellia sasaqua	Sun Camellia				●		●		●			●
Carissa species	Natal Plum				●	●	●	●	●		●	●
Cassia sturtii	Senna									●		
Cercis occidentalis	Western Redbud									●		
Chamaerops humilis	Mediterranean Fan Palm				●	●	●	●	●			●
Chamelaucium uncinatum	Geraldton Wax Flower									●		
Cistus 'Doris Hibberson'	Rockrose				●			●	●	●		
<b>Cistus purpureus</b>	<b>Orchid Rockrose</b>				●			●	●	●		

\*Ontario Ranch

# SECTION 8 • Design Guidelines

## SHRUBS

BOTANICAL NAME	COMMON NAME	Riverside Drive Understory Shrubs (Per OR* Streetscape Master Plan)	Haven Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Chino Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Turner Avenue Understory Shrubs	Community Monumentation Shrubs	Neighborhood Entry Shrubs	Park and Pocket Park Shrubs	Neighborhood Shrubs (General Landscaping)	Southern California Edison Easement Shrubs	Neighborhood Commercial Site Shrubs	Neighborhood Commercial Entry Shrubs
<i>Clivia miniata</i>	Clivia lily				●				●			
<i>Cotoneaster</i> species	Cotoneaster				●			●	●	●		
<i>Cuphea hyssopifolia</i>	False Heather				●	●	●	●	●		●	●
<i>Cupressus sempervirens</i>	Italian Cypress				●				●			
<i>Dianella tasmanica variegata</i>	Variegated Flax Lily										●	
<i>Dietes bicolor</i>	African Iris				●	●	●	●	●		●	●
<i>Dietes vegeta</i>	Fortnight Lily				●	●	●	●	●		●	●
<i>Dodonaea viscosa</i>	Hopseed Bush				●			●	●	●	●	
<i>Echium fastuosum</i>	Pride of Madeira									●		
<i>Elaeagnus pungens</i>	Silverberry									●		
<i>Encelia californica</i>	Coast Sunflower									●		
<i>Euonymus japonica</i> species	Evergreen Euonymus				●	●	●	●	●		●	●
<i>Euryops pectinatus</i>	Gray Leaved Euryops				●	●	●	●	●	●	●	●
<i>Feijoa sellowiana</i>	Pineapple Guava				●			●	●	●		
<i>Festuca mairei</i>	Atlas Fescue										●	
<i>Garrya elliptica</i>	Coast Silktassel									●		
<i>Gaura lindheimeri</i>	Gaura									●		
<i>Gazania rigens leucolaena</i>	NCN									●		
<i>Hakea suaveolens</i>	Sweet Scented Hakea									●		
<i>Helictotrichon sempervirens</i>	Blue Oat Grass				●	●	●	●	●	●	●	●
<i>Hemerocallis</i> hybrids	Daylily				●	●	●	●	●		●	●
<i>Hesperaloe parvifolia</i>	Red Yucca									●		
<i>Heteromeles arbutifolia</i>	Tayan							●		●		

\*Ontario Ranch



## SECTION 8 • Design Guidelines

### SHRUBS

BOTANICAL NAME	COMMON NAME	Riverside Drive Understory Shrubs (Per OR* Streetscape Master Plan)	Haven Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Chino Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Turner Avenue Understory Shrubs	Community Monumentation Shrubs	Neighborhood Entry Shrubs	Park and Pocket Park Shrubs	Neighborhood Shrubs (General Landscaping)	Southern California Edison Easement Shrubs	Neighborhood Commercial Site Shrubs	Neighborhood Commercial Entry Shrubs
Hibiscus syriacus	Rose of Sharon									●		
Ilex species	Holly				●	●	●	●	●		●	●
Jasminum mesnyi	Promrose jasmine				●			●	●			
Jasminum officinale	Common White Jasmine				●			●	●			
Kniphofia uvaria	Red Hot Poker				●	●	●	●	●	●	●	●
Lantana montevidensis	Trailing Lantana				●	●	●	●	●		●	●
Lavandula species	Lavender				●	●	●	●	●		●	●
Lavatera bicolor	NCN									●		
Lavatera maritima	Tree Mallow									●		
Leonotis leonurus	Lion's Trail				●	●	●	●	●		●	●
Leptospermum scoparium	New Zealand Tea Tree				●	●	●	●	●		●	●
Ligustrum japonica 'Texanum'	Texas Privet				●	●	●	●	●		●	●
Limonium perezii	Sea Lavender				●	●	●	●	●		●	●
Liriope gigantea	Giant Lily Turf				●	●	●	●	●		●	●
Liriope muscari	Lily Turf				●	●	●	●	●		●	●
Lonicera japonica 'Halliana'	Hall's Japanese Honeysuckle				●			●	●			
Mimulus species	Monkey Flower										●	
Muhlenbergia rigens	Deer Grass										●	
Murraya paniculata	Orange Jasmine				●	●	●	●	●		●	●
Myoporum 'Pacificum'	Myoporum				●	●	●	●	●		●	●
Myoporum parvifolium	NCN				●	●	●	●	●		●	●
Myrtus communis 'Compacta'	Dwarf Myrtle				●	●	●	●	●		●	●
Myrtus communis	Greek Myrtle				●	●	●	●	●		●	●

\*Ontario Ranch

# SECTION 8 • Design Guidelines

## SHRUBS

BOTANICAL NAME	COMMON NAME	Riverside Drive Understory Shrubs (Per OR* Streetscape Master Plan)	Haven Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Chino Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Turner Avenue Understory Shrubs	Community Monumentation Shrubs	Neighborhood Entry Shrubs	Park and Pocket Park Shrubs	Neighborhood Shrubs (General Landscaping)	Southern California Edison Easement Shrubs	Neighborhood Commercial Site Shrubs	Neighborhood Commercial Entry Shrubs
Nandina 'Gulf Stream'	Heavenly Bamboo				●	●	●	●	●		●	●
Opuntia ficus indica	Thornless Beavertail Cactus									●		
Penstemon azureus	Azare Penstemon									●		
Penstemon spectabilis	Showy Penstemon									●		
Perovskia artiplicifolia	Russian Sage				●	●	●	●	●	●	●	●
Phlomis frulicosa	Jerusalem Sage				●	●	●	●	●		●	●
Phoenix roebelenii	Pigmeay Date Palm				●	●	●	●	●		●	●
Photinia fraseri	NCN				●	●	●	●	●		●	●
Pittosporum tobira 'Turner Dwarf'	Tobria Turners Varigated				●	●	●	●	●		●	●
Plumbago auriculata	Cape Plumbago				●			●	●			
Podocarpus henkelii	Long Leaved Yellowwood				●		●		●		●	
Podocarpus macrophyllus	Yew Pine				●		●		●		●	
Podocarpus maki	Shrubby Yew Pine				●		●		●		●	
Prunus caroliniana 'Compacta'	Compact Carolina Cherry				●	●	●	●	●		●	●
Pyracantha species	Firethorn				●	●	●	●	●		●	●
Rhamnus californica	Coffeeberry									●		
Rhamnus californica 'Eve Case'	Coffeeberry									●		
Rhamnus crocea	Redberry									●		
Rhaphiolepis 'Majestic Beauty'	NCN				●	●	●	●	●		●	●
Rhaphiolepis species	India Hawthorn				●	●	●	●	●		●	●
Rhus integrifolia	Lemonade Berry									●		
Ribes species	Currant									●		

\*Ontario Ranch

## SECTION 8 • Design Guidelines

### SHRUBS

BOTANICAL NAME	COMMON NAME	Riverside Drive Understory Shrubs (Per OR* Streetscape Master Plan)	Haven Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Chino Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Turner Avenue Understory Shrubs	Community Monumentation Shrubs	Neighborhood Entry Shrubs	Park and Pocket Park Shrubs	Neighborhood Shrubs (General Landscaping)	Southern California Edison Easement Shrubs	Neighborhood Commercial Site Shrubs	Neighborhood Commercial Entry Shrubs
Romneya coulteri	Matilija Poppy									●		
Rosa 'Iceberg' and groundcover	Rose				●	●	●	●	●		●	●
Rosa banksiae	Lady Bank's Rose				●	●			●			●
Rosmarinus species	Rosemary				●	●	●	●	●	●	●	●
Russelia equisetiformis	Firecracker Plant				●			●	●	●		
Salvia 'Bee's Bliss'	Sage				●			●	●	●		
Salvia species	Sage				●			●	●	●		
Salvia leucantha	Mexican Bush Sage				●	●	●	●	●	●	●	●
Santolina chamaecyparissus	Lavender Cotton				●	●	●	●	●	●	●	●
Sarcococca ruscifolia	Sweet Box				●				●			
Sedum species	Stonecrop				●	●			●			●
Senecio mandraliscae	NCN				●	●	●		●		●	●
Sisyrinchium bellum	Blue Eye Grass									●		
Stachys byzantina	Lamb's Ear				●	●	●		●			●
Strelitzia nicolai	Giant Bird of Paradise				●	●	●	●	●		●	●
Strelitzia reginae	Bird of Paradise				●	●	●	●	●		●	●
Tecoma stans 'lonesp'	Yellow Trumpet Flower				●	●	●	●	●		●	●
Tecomaria capensis	Crape Honeysuckle				●			●	●			
Ternstroemia japonica	NCN				●	●	●	●	●		●	●
Teucrium chamaedrys 'Prostratum'	Bush Germander									●		
Tibouchina urvilleanc	Princess Flower				●				●			
Trachelospermum jasminoides	Star Jasmine				●	●	●	●	●		●	●

\*Ontario Ranch

# SECTION 8 • Design Guidelines

## SHRUBS

BOTANICAL NAME	COMMON NAME	Riverside Drive Understory Shrubs (Per OR* Streetscape Master Plan)	Haven Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Chino Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Turner Avenue Understory Shrubs	Community Monumentation Shrubs	Neighborhood Entry Shrubs	Park and Pocket Park Shrubs	Neighborhood Shrubs (General Landscaping)	Southern California Edison Easement Shrubs	Neighborhood Commercial Site Shrubs	Neighborhood Commercial Entry Shrubs
Trichostema lanatum	Woolly Blue Curls									●		
Tulbaghia violacea	Society Garlic				●	●	●	●	●		●	●
Viburnum suspensum	Sandankwa Viburnum				●				●		●	
Viburnum tinus 'Spring Bouquet'	Laurustinus				●	●	●	●	●		●	●
Westringia fruticosa 'Morning Light'	Westringia				●	●	●	●	●	●	●	●
Xylosma congestum 'Compacta'	Shiny Xylosma				●	●	●	●	●		●	●

## VINES

BOTANICAL NAME	COMMON NAME	Riverside Drive Understory Shrubs (Per OR* Streetscape Master Plan)	Haven Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Chino Avenue Understory Shrubs (Per OR* Streetscape Master Plan)	Turner Avenue Understory Shrubs	Community Monumentation Shrubs	Neighborhood Entry Shrubs	Park and Pocket Park Shrubs	Neighborhood Shrubs (General Landscaping)	Southern California Edison Easement Shrubs	Neighborhood Commercial Site Shrubs	Neighborhood Commercial Entry Shrubs
Bougainvillea	Bougainvillea				●	●	●	●	●		●	●
Distictis buccinatoria	Red Trumpet Vine				●	●	●	●	●		●	●
Ficus pamila	Creeping Fig				●				●			
Hardenbergia violacea 'Happy Wanderer'	Lilac Vine				●	●	●	●	●		●	●
Pandorea jasminoides	Bower Vine				●	●	●	●	●		●	●
Parthenocissus tricuspidata	Boston Ivy				●	●	●	●	●		●	●
Polygonum aubertii	Silver Lace vine				●	●	●	●	●		●	●
Wisteria sinensis	Chinese Wisteria				●	●	●	●	●		●	●

## TURF

100% Tall Fescue - Sod or Seed

\*Ontario Ranch

- 35' wide overall streetscene Neighborhood Edge
- Standard form street trees, 36" box minimum size, planted at 30' on center spacing (formal spacing), centered in the 7' wide curb side planting area. Select street trees from **Table 8-1 "Community Plant Matrix."**
- Understory flowering trees 24" box minimum size, planted in the 23' wide additional landscaped tree/shrub zone behind sidewalk or selected from the **Table 8-1 "Community Plant Matrix."**
- A 3' high parking headlight hedge row planted along the back edge of the neighborhood edge. Select from **Table 8-1 "Community Plant Matrix."**
- Skinned hybrid Washingtonia filifera (Californian Fan Palm) with lighting are located at the intersection of Riverside Drive and Haven Avenue and shall be spaced at 20' on center.
- All shrubs and trees to be selected from **Table 8-1 "Community Plant Matrix"** or as adopted by the City of Ontario.
- City approved linear root barriers shall be installed per the streetscene section – Exhibit 8-26, "Riverside Drive Streetscene at Neighborhood Center Commercial".
- Standard form street trees, 36" box minimum, planted at 30' ± spacing. Select from **Table 8-1 "Community Plant Matrix."**
- Understory trees, 24" box minimum or flowering trees planted in the shrub zone behind bikeway and sidewalk. Select trees from **Table 8-1, "Community Plant Matrix."**
- A 3' high parking headlight hedge row planted along the back edge of the Neighborhood Edge. Select from **Table 8-1 "Community Plant Matrix."**
- Skinned hybrid Washingtonia filifera (Californian Fan Palm) at intersection of Haven and Riverside, spaced at 20' on center, and shall be lighted.
- All landscape materials shall be per NMC Streetscene Master Plan.
- All shrubs and trees to be selected from **Table 81, "Community Plant Matrix"** or as adopted by the City of Ontario.
- Bikeway and walkway to transition to the curb at the intersection.
- Scored concrete at the intersection.
- All trees within 200' of the intersection shall be formally spaced.
- A 16' wide median island planted with trees, shrubs and groundcover.
- Parkway tree patterns shall extend into the median island.
- Permanent automatic irrigation system using recycled water.
- Commercial Neighborhood Edge to be planted by the Neighborhood Center Commercial Owner and shall be maintained by the City of Ontario (CFD).
- City approved linear root barriers shall be installed per the streetscene section **Exhibit 8-19, "Haven Avenue Streetscene at Neighborhood Center Commercial."**

### 8.8.2(b) Riverside Drive – Residential Edge

The landscape development associated with the Riverside Drive Residential edge is illustrated

## SECTION 8 • Design Guidelines

in *Exhibit 8-18*, “Riverside Drive Streetscene at Residential” and is consistent with the New Model Colony Streetscape Master Plan, or as adopted by the City of Ontario. This streetscene consists of:

- 7’ wide street parkway landscaping planted with shrubs and groundcovers or turf, as adopted by the City of Ontario.
- 5’ wide sidewalk parallel with the street within the street parkway.
- 23’ wide additional landscaped tree/shrub zone between the sidewalk and the property line wall.
- 35’ wide overall streetscene Neighborhood Edge.
- Standard form street trees, 36” box minimum, centered in the 7’ wide street parkway landscaping at 30’ on center spacing. Select street trees from *Table 8-1 “Community Plant Matrix.”*
- Randomly spaced street tree back up tree, 24” box minimum, or as adopted by the City of Ontario.
- Randomly spaced understory trees, 24” box minimum, in groupings, with 250’ minimum between groupings. Select street trees from *Table 8-1 “Community Plant Matrix.”*
- The primary and secondary understory shrubs consistent with the commercial section above, or as adopted by the City of Ontario.
- All shrubs and trees to be selected from Table 8-1 “Community Plant Matrix” or as adopted by the City of Ontario
- Community solid wall at back of the Neighborhood Edge, shall be located on the Residential side of the Property Line – Pilasters shall not be allowed to encroach onto City right-of-way along Neighborhood Edges.
- Permanent automatic irrigation using recycled water.

- Streetscene Neighborhood Edge to be planted by the builder and maintained by the City of Ontario (CFD).

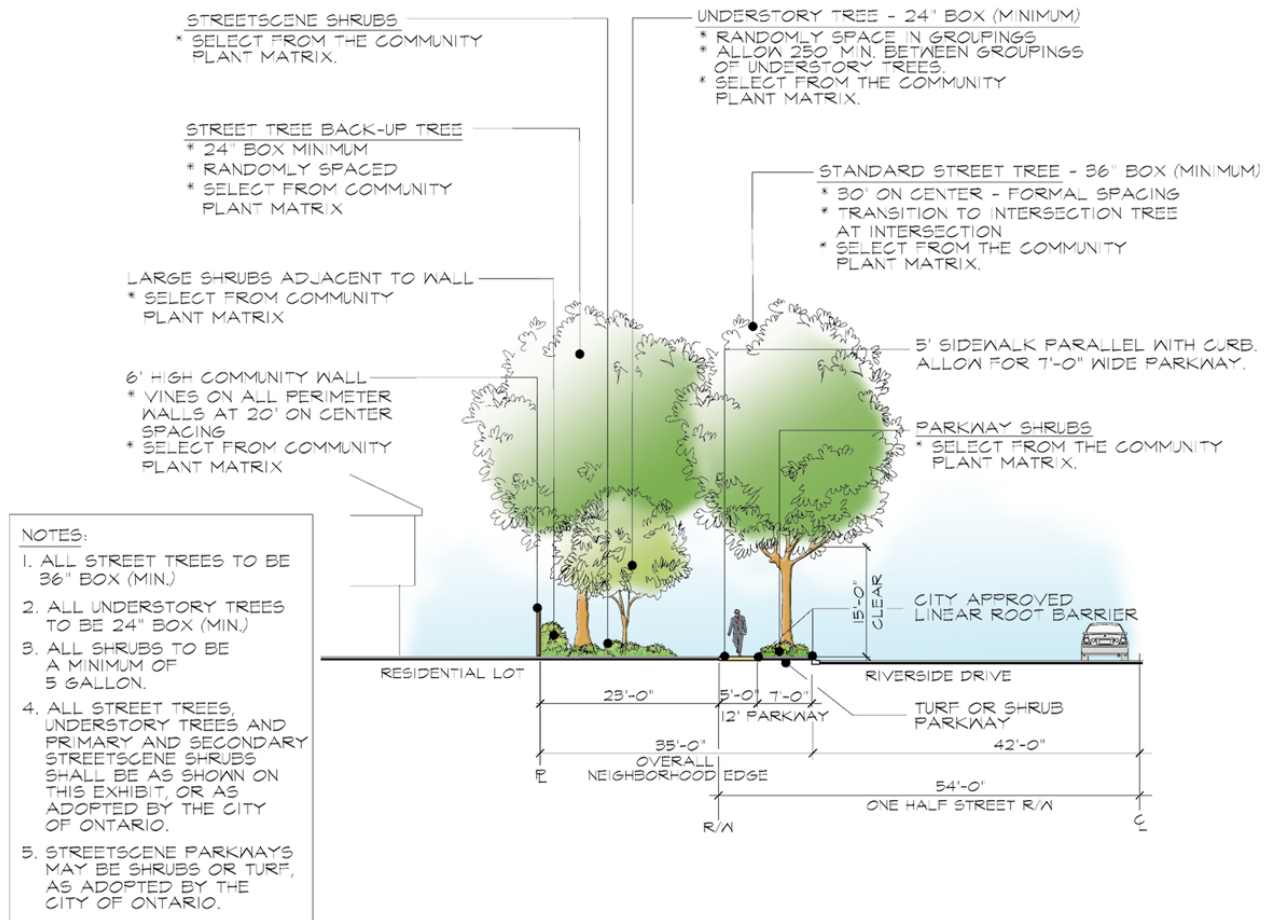
- City approved linear root barriers shall be installed per the streetscene section – *Exhibit 8-18, “Riverside Drive Streetscene at Residential.”*

### 8.8.2(c) Haven Avenue – Neighborhood Center Commercial Edge

Haven Avenue streetscene within the West Haven Specific Plan is adjacent to both residential and Neighborhood Center Commercial land uses. The landscape development associated with the Neighborhood Center is illustrated in *Exhibit 8-19, “Haven Avenue Streetscene at Neighborhood Center Commercial”* and is consistent with the New Model Colony Streetscape Master Plan or as adopted by the City of Ontario. This streetscene consists of:

- Ten foot (10’) wide curbside landscaping planted with shrubs and groundcover, or turf, as adopted by the City of Ontario.
- Thirteen foot (13’) wide multi-use trail, parallel with the street with a five foot (5’) concrete sidewalk and an eight foot (8’) decomposed granite trail, ten feet (10’) from curb.
- 40’ wide overall streetscene Neighborhood Edge.
- Standard form street trees, 36” box minimum, planted at 30’ ± spacing. Select from *Table 8-1 “Community Plant Matrix.”*
- Understory trees, 24” box minimum or flowering trees planted in the shrub zone behind bike-way and sidewalk. Select trees from Table 8-1, “Community Plant Matrix.”
- A 3’ high parking headlight hedge row planted along the back edge of the Neighborhood Edge. Select from Table 8-1 “Community Plant Matrix.”

# SECTION 8 • Design Guidelines

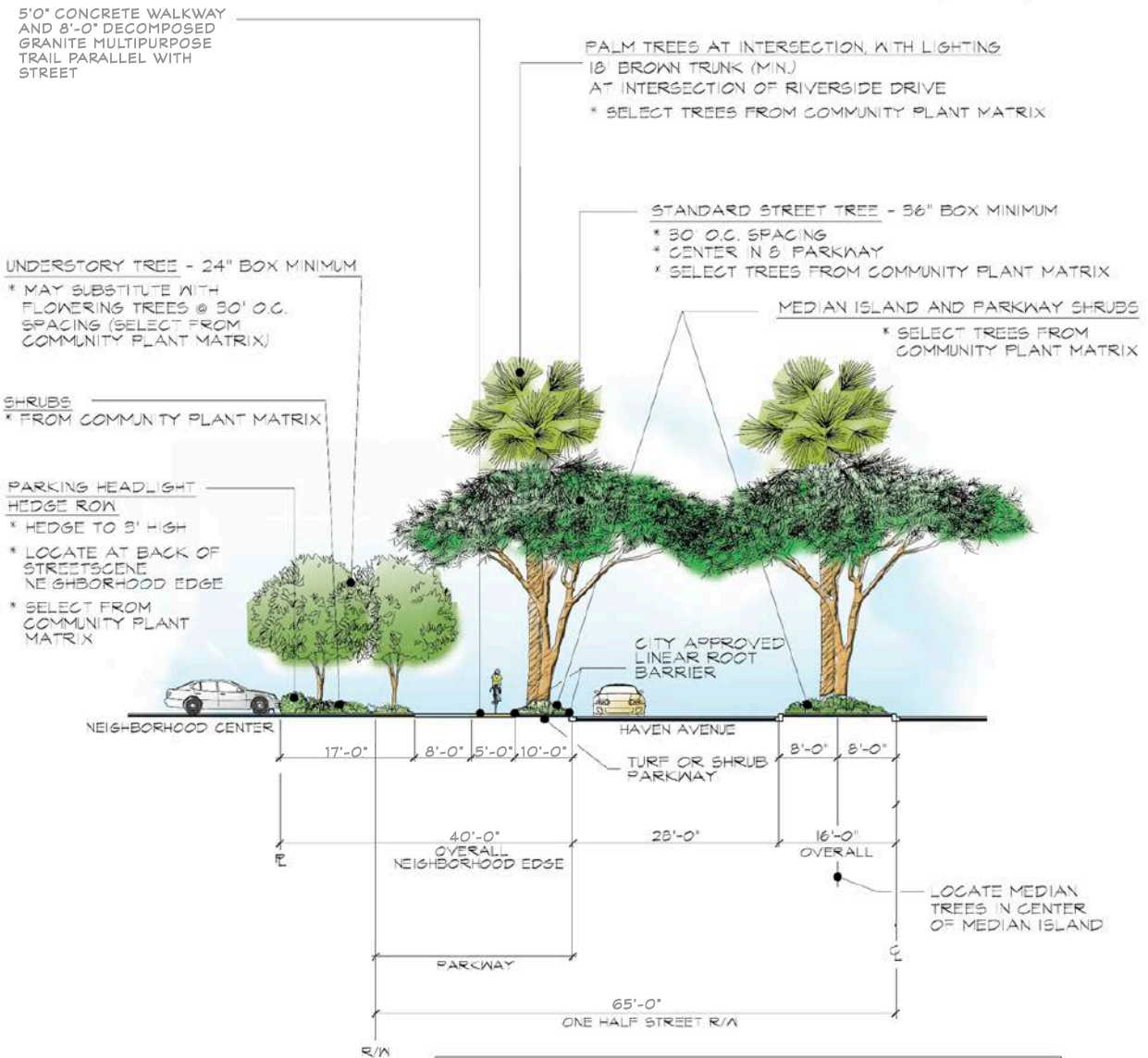


SECTION  
SCALE: N.T.S.

NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-18: Riverside Drive Streetscene At Residential**

# SECTION 8 • Design Guidelines



NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

SECTION  
SCALE: N.T.S.

- NOTES:
1. ALL STREET TREES TO BE 36" BOX (MIN.)
  2. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
  3. ALL SHRUBS TO BE A MINIMUM OF 5 GALLON.
  4. DELETE STREET TREES WHEN TOTAL PARKWAY WIDTH MEASURES LESS THAN 5' TO CURB.
  5. ALL STREET TREES, UNDERSTORY TREES AND PRIMARY AND SECONDARY STREETSCENE SHRUBS SHALL BE AS SHOWN ON THIS EXHIBIT, OR AS ADOPTED BY THE CITY OF ONTARIO.
  6. STREETSCAPE PARKWAYS MAY BE SHRUBS OR TURF, AS ADOPTED BY THE CITY OF ONTARIO.
  7. ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN.

**Exhibit 8-19: Haven Avenue Streetscene At Neighborhood Center Commercial**



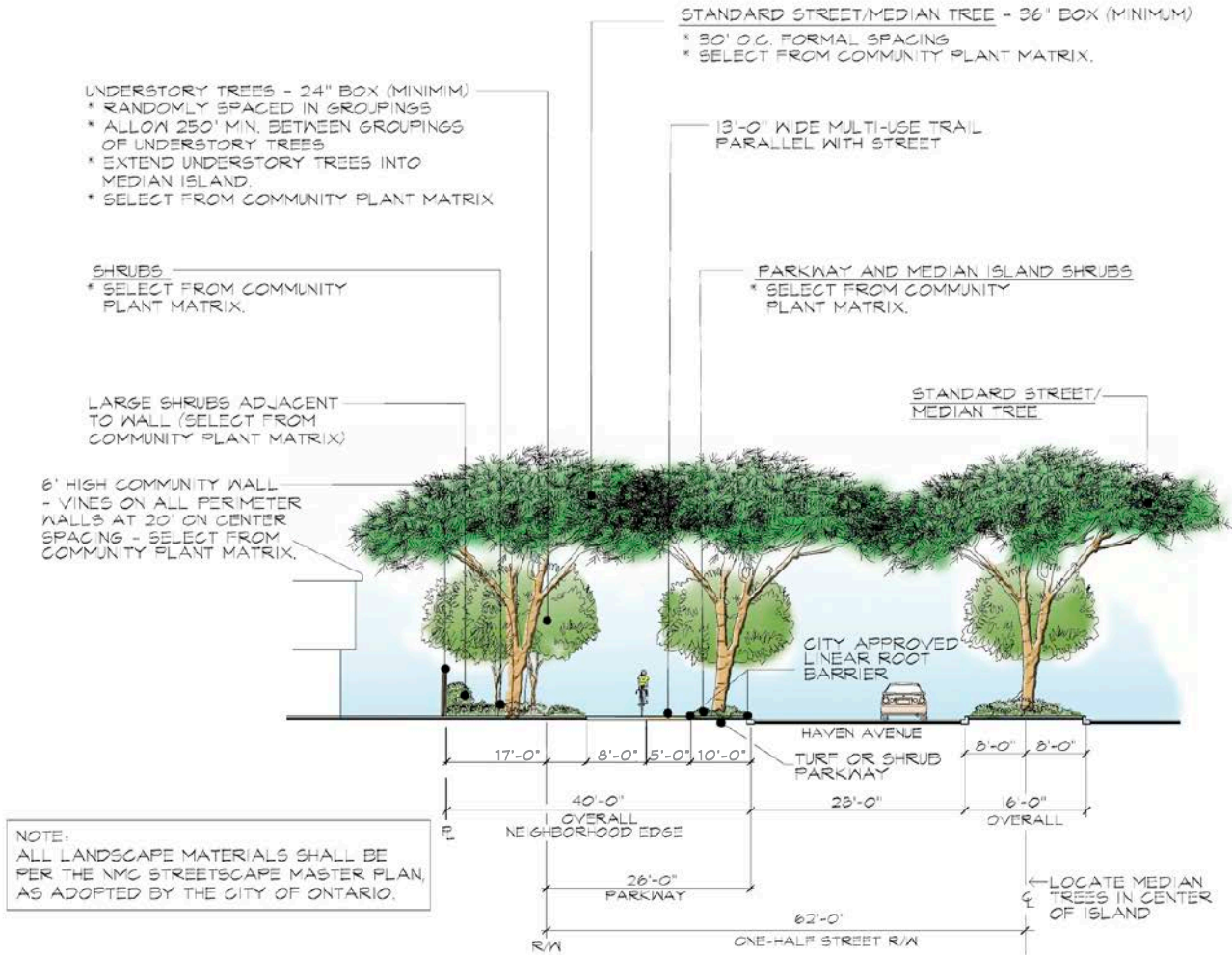
- Skinned hybrid *Washingtonia filifera* (Californian Fan Palm) at intersection of Haven and Riverside, spaced at 20' on center, and shall be lighted.
- All landscape materials shall be per NMC Streetscene Master Plan.
- All shrubs and trees to be selected from Table 8-1, "Community Plant Matrix" or as adopted by the City of Ontario.
- Bikeway and walkway to transition to the curb at the intersection.
- Scored concrete at the intersection.
- All trees within 200' of the intersection shall be formally spaced.
- A 16' wide median island planted with trees, shrubs and groundcover.
- Parkway tree patterns shall extend into the median island.
- Permanent automatic irrigation system using recycled water.
- Commercial Neighborhood Edge to be planted by the Neighborhood Center Commercial Owner and shall be maintained by the City of Ontario (CFD).
- City approved linear root barriers shall be installed per the streetscene section *Exhibit 8-19, "Haven Avenue Streetscene at Neighborhood Center Commercial."*

### 8.8.2(d) Haven Avenue – Residential Edge

The landscape development for the residential edge on Haven Avenue is illustrated in *Exhibit 8-20, "Haven Avenue Streetscene at Residential"* and is consistent with the Streetscape Master Plan, or as adopted by the City of Ontario. This streetscene panel consists of:

- Ten foot (710') wide curbside landscaping planted with shrubs and groundcovers, or turf, as adopted by the City of Ontario.
- Thirteen foot (13') wide multi-use trail, parallel with the street with a five foot (5') concrete sidewalk and an eight foot (8') decomposed granite multipurpose trail, seven feet (7') from curb.
- 40' wide overall streetscene Neighborhood Edge.
- Standard form street trees, 36" box minimum, planted at 30' on center spacing. Select from *Table 8-1 "Community Plant Matrix."*
- Randomly spaced street tree back up tree, 24" box minimum. Select from *Table 8-1 "Community Plant Matrix."*
- Randomly spaced understory trees, 24" box minimum in groupings, allow 250' minimum between groupings. Select from *Table 8-1 "Community Plant Matrix."*
- All shrubs and trees to be selected from *Table 81, "Community Plant Matrix"* or as adopted by the City of Ontario.
- Community solid wall at back of the Neighborhood Edge on the Residential property line (wall located out of neighborhood edge).
- Permanent automatic irrigation using recycled water.
- Streetscene Neighborhood Edge to be planted by the Builder and maintained by the City of Ontario (CFD).
- City approved linear root barriers shall be installed per the streetscene section – *Exhibit 8-20, "Haven Avenue Streetscene at Residential."*

# SECTION 8 • Design Guidelines



NOTE: (SECTION E) AT SCHOOL DELETE LARGE SHRUBS AND COMMUNITY WALL. REPLACE WALL WITH 6" WIDE CONCRETE MAINTENANCE CURB AND REPLACE SHRUBS WITH TURF PER PLANNING DEPARTMENT REVIEW AND APPROVAL.

**SECTION**  
 SCALE: N.T.S.

- NOTES:**
1. ALL STREET TREES TO BE 36" BOX (MIN.)
  2. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
  3. ALL SHRUBS TO BE A MINIMUM OF 5 GALLON.
  4. DELETE STREET TREES WHEN TOTAL PARKWAY WIDTH MEASURES LESS THAN 5' TO CURB.
  5. ALL STREET TREES, UNDERSTORY TREES AND PRIMARY AND SECONDARY STREETSCENE SHRUBS SHALL BE AS SHOWN ON THIS EXHIBIT, OR AS ADOPTED BY THE CITY OF ONTARIO.
  6. STREETSCENE PARKWAYS MAY BE SHRUBS OR TURF, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-20: HAVEN AVENUE STREETSCENE AT RESIDENTIAL**

**8.8.2(e) Turner Avenue – Residential Edge (East Side)**

Turner Avenue landscape development along the residential edge is illustrated in *Exhibit 8-21 “Turner Avenue Streetscene at Residential (East Side),”* and is consistent with the Streetscene Master Plan, or as adopted by the City of Ontario. This streetscene consists of:

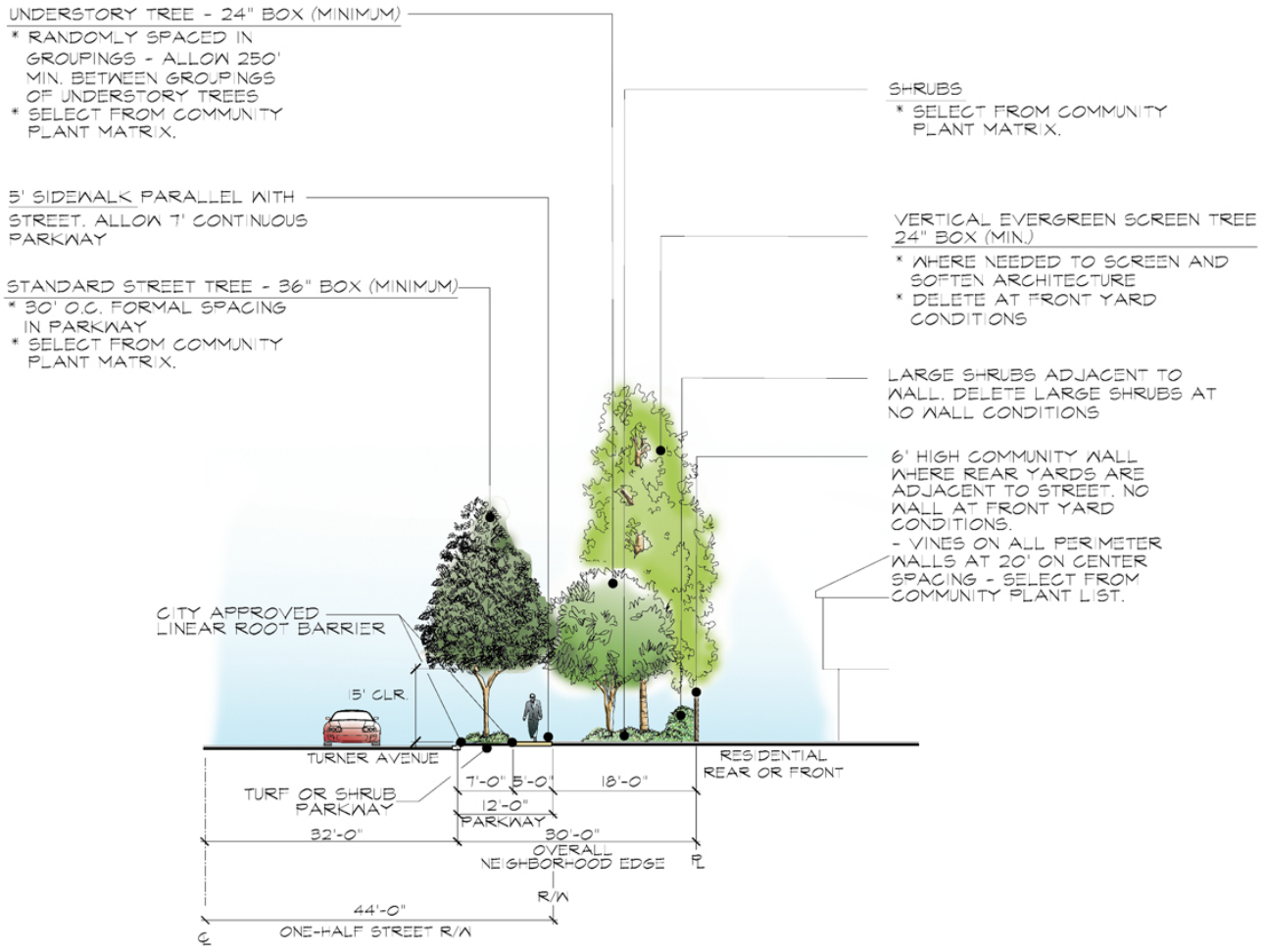
- 7’ wide curb side landscaping planted with shrubs, groundcover or turf, within the 12’ wide street parkway as adopted by the City of Ontario.
- 5’ sidewalk parallel with street, within the parkway.
- 18’ wide additional landscaped tree/shrub zone between sidewalk and the property line wall or residential front yard.
- 30’ wide overall streetscene Neighborhood Edge.
- Standard form street trees, 36” box minimum, centered in the 7’ wide curb side landscaping area at 30’ on center spacing.
- Vertical evergreen screen tree, 24” box minimum, randomly spaced behind sidewalk to screen and soften rear architectural elevations. Delete evergreen screen trees when front yards face the street.
- Randomly spaced understory trees, 24” box minimum, in groupings behind sidewalk, with 250’ minimum between groupings.
- All shrubs and trees to be selected from *Table 81, “Community Plant Matrix”* or as adopted by the City of Ontario.
- Community solid wall at back of the Neighborhood Edge, where rear yards face the street. Locate wall out of the Neighborhood Edge. Delete wall when front yards are facing the street.
- Permanent automatic irrigation using recycled water.
- Streetscene Neighborhood Edge to be planted by the Builder and maintained by the City of Ontario (CFD).
- City approved linear root barriers shall be installed per the streetscene section *Exhibit 8-21, “Turner Avenue Streetscene at Residential.”*

**8.8.2(f) Chino Avenue – Residential Edge**

Chino Avenue landscape development along the residential edge is illustrated in *Exhibit 8-22, “Chino Avenue Streetscene at Residential and SCE Easement”* and is consistent with the Streetscene Master Plan, or as adopted by the City of Ontario. This streetscene consists of:

- 7’ wide curb side landscaping within the 12 foot parkway planted with shrubs, groundcovers or turf, as adopted by the City of Ontario.
- 5’ wide sidewalk parallel with the street.
- 8’ wide decomposed granite multipurpose trail along the north side of Chino Avenue.
- ~~18’~~ 10’ wide additional landscaped tree/shrub zone between the sidewalk and the property line wall.
- 30’ wide overall streetscene Neighborhood Edge
- Standard form street tree centered in the 7’ wide parkway spaced at 30’ on center spacing.
- Street tree back up tree randomly spaced at 30’ minimum on center spacing.
- Randomly spaced understory trees planted in groupings with 250’ minimum between groupings.
- All shrubs and trees to be selected from *Table 81, “Community Plant Matrix”* or as adopted by the City of Ontario.
- Community solid wall at back of the Neighborhood Edge on the Residential Property Line. (Locate wall out of Neighborhood Edge, on the residential lot).
- Neighborhood Edge to be planted by the Builder and maintained by the City of Ontario (CFD).
- Permanent automatic irrigation, using recycled water.
- City approved linear root barrier shall be installed per the streetscene section – *Exhibit 8-22, “Chino Avenue Streetscene at Residential and SCE Easement.”*

# SECTION 8 • Design Guidelines



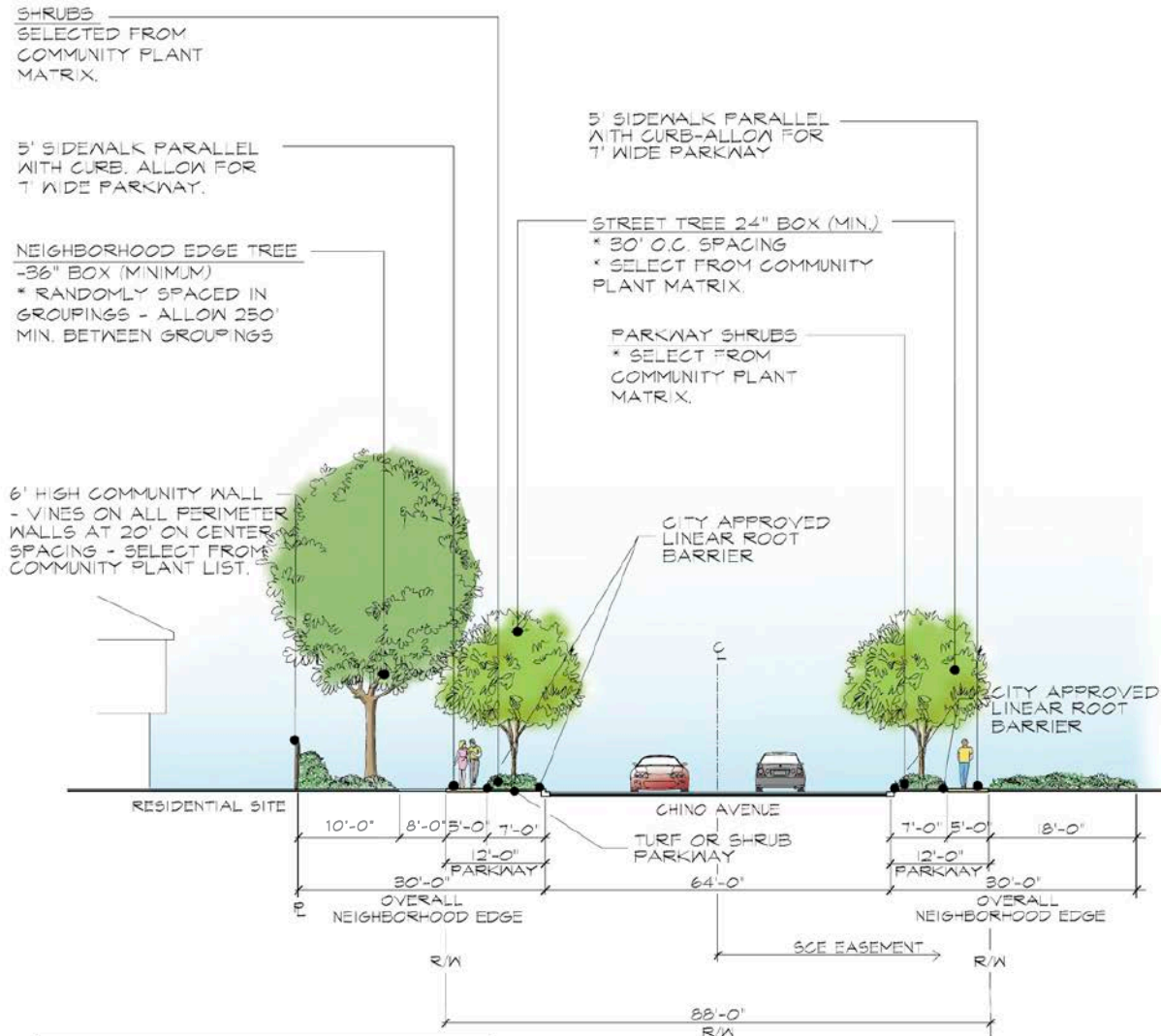
NOTE:  
 ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

SECTION  
 SCALE: N.T.S.

- NOTES:
1. ALL STREET TREES TO BE 36" BOX (MIN.)
  2. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
  3. ALL VERTICAL EVERGREEN SCREEN TREES TO BE 15 GALLON (MIN.)
  4. ALL SHRUBS TO BE A MINIMUM OF 5 GALLON.
  5. ALL STREET TREES, UNDERSTORY TREES AND PRIMARY AND SECONDARY STREETSCENE SHRUBS SHALL BE AS SHOWN ON THIS EXHIBIT, OR AS ADOPTED BY THE CITY OF ONTARIO.
  6. STREETSCENE PARKWAYS MAY BE SHRUBS OR TURF, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-21: TURNER AVENUE STREETSCENE AT RESIDENTIAL (EAST SIDE)**

# SECTION 8 • Design Guidelines



NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE  
PER THE NMC STREETSCAPE MASTER PLAN  
AS ADOPTED BY THE CITY OF ONTARIO.

SECTION  
SCALE: N.T.S.

- NOTES:
1. ALL STREET TREES TO BE 36" BOX (MIN.)
  2. ALL UNDERSTORY TREES TO BE 24" BOX (MIN.)
  3. ALL SHRUBS TO BE A MINIMUM OF 5 GALLON.
  5. ALL STREET TREES, UNDERSTORY TREES AND PRIMARY AND SECONDARY STREETSCAPE SHRUBS SHALL BE AS SHOWN ON THIS EXHIBIT, OR AS ADOPTED BY THE CITY OF ONTARIO.
  6. STREETSCAPE PARKWAYS MAY BE SHRUBS OR TURF, AS ADOPTED BY THE CITY OF ONTARIO.

Exhibit 8-22: CHINO AVENUE STREETSCENE AT RESIDENTIAL AND SCE EASEMENT

## SECTION 8 • Design Guidelines

### 8.8.2(g) Chino Avenue – SCE Easement Edge

Chino Avenue along the SCE Easement edge is illustrated in *Exhibit 8-22, “Chino Avenue Streetscene at Residential and SCE Easement”* and consists of:

- 7’ wide curb side landscaping within the 12 foot parkway planted with shrubs, groundcovers, or turf as adopted by the City of Ontario.
- 5’ wide sidewalk parallel with street.
- 8’ wide decomposed granite multipurpose trail along the north side of Chino Avenue.
- 18’ wide shrub zone behind sidewalk.
- 30’ wide overall streetscene Neighborhood Edge.
- Standard form street tree, 36” box minimum centered in the 7’ wide parkway, spaced at 30’ on center spacing.
- All trees within the SCE Easement require Southern California Edison approval.
- All shrubs and trees shall match residential side of the street and shall be selected from *Table 8-1, “Community Plant Matrix”* or as adopted by the City of Ontario.
- The Neighborhood Edge is planted by the Builder and maintained by the City of Ontario (CFD).
- Permanent automatic irrigation, using recycled water.
- City approved linear root barrier shall be installed per the streetscene section – *Exhibit 8-22, “Chino Avenue Streetscene at Residential and SCE Easement.”*
- All SCE Easement area beyond the 30’ wide Neighborhood Edge is to be maintained by the Homeowners Association (HOA).

### 8.8.2(h) Interior Residential Streets

Neighborhood streetscenes are characterized as a traditional streetscene, with generous parkways, large enough to accommodate a variety of tree sizes, per *Exhibit 8-23, “Typical Interior Neighborhood Streetscene.”*

A distinct character for each neighborhood street will be created using different trees on each street. Neighborhood streetscenes consist of:

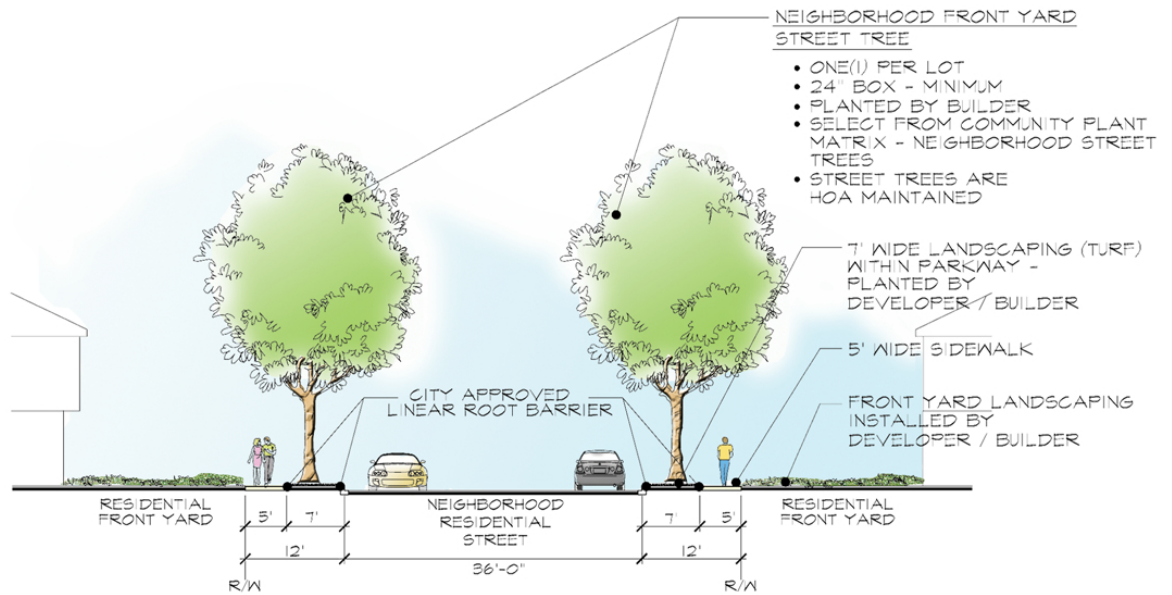
- 7’ wide curbside landscaping planted with turf within a 12 foot wide parkway.
- 5’ wide sidewalk.
- Where residential side yards are adjacent to a neighborhood street, an additional 5’ wide shrub zone is planned between the sidewalk and the side yard wall.
- Street trees 24” box minimum are planted by the Builder and maintained by Homeowners Association (HOA).
- Turf parkway and side yards additional landscape areas are planted by the Builder and Homeowner maintained.
- Resident’s may not remove street trees.
- Permanent automatic irrigation.
- City approved linear root barriers shall be installed per the streetscene section illustrated in *Exhibit 8-23, “Typical Interior Neighborhood Streetscene.”*
- Front yard landscaping installed by the Builder and Homeowner maintained.
- All shrubs and trees shall be selected from *Table 8-1, “Community Plant Matrix”* or as adopted by the City of Ontario.

### 8.8.2(i) Primary Residential Entry Street

Residential entries occur when neighborhood street (refer to *Exhibit 8-24, “Residential Entry Streetscene”*) join to a master planned street, and is also described in *Section 8.9.1(c) “Typical Primary Neighborhood Entry.”* Neighborhood Entry streets consist of:

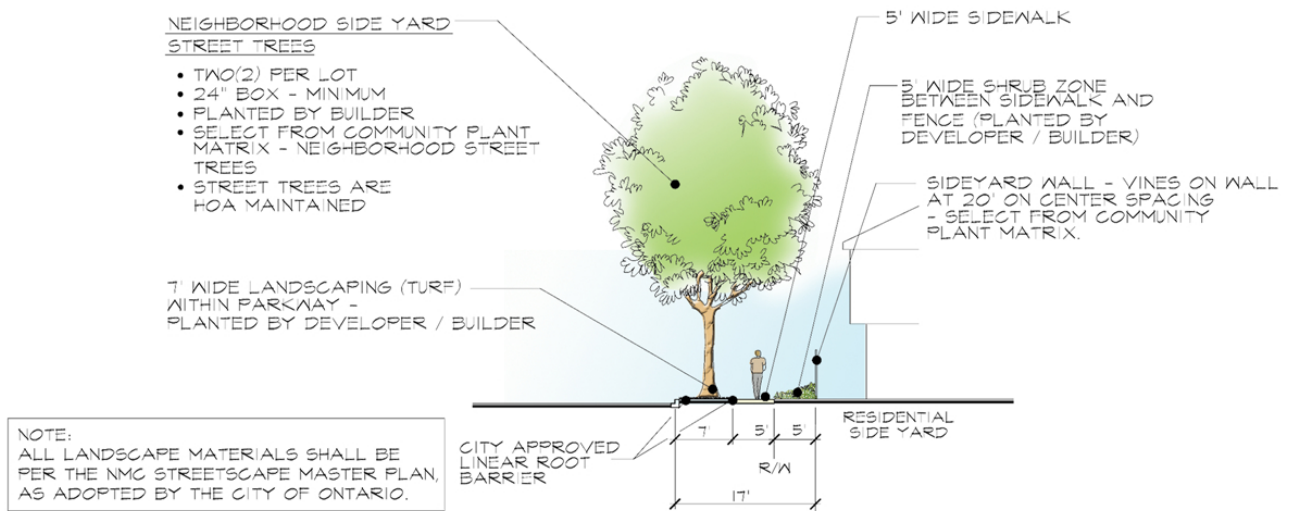
- 7’ wide parkway planted with turf – each side.
- 5’ wide sidewalk – each side.
- 12’ wide shrub zone between sidewalk and Residential property line wall.
- Neighborhood Entry Road Street tree – 36” box minimum selected from *Table 8-1, “Community Plant Matrix.”*

# SECTION 8 • Design Guidelines



## SECTION

TYPICAL NEIGHBORHOOD RESIDENTIAL STREETSCENE-FRONT YARD  
SCALE: N.T.S.

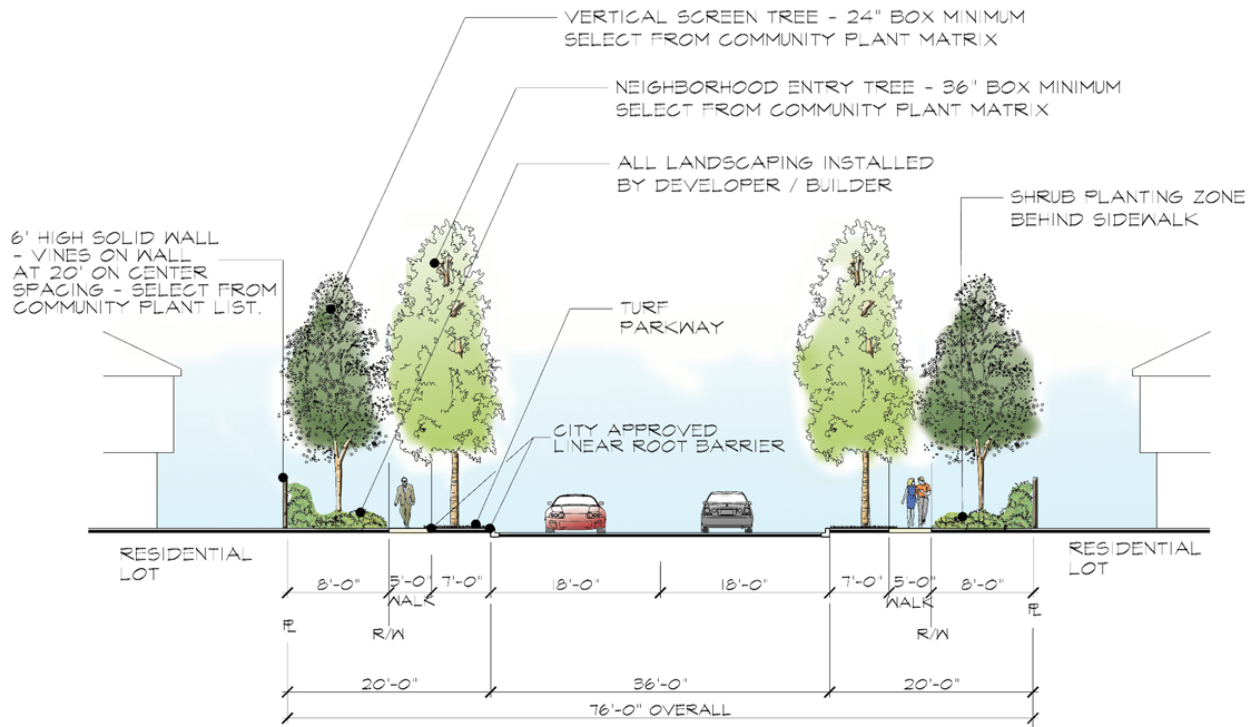


## SECTION

TYPICAL NEIGHBORHOOD STREETSCENE-SIDE YARD  
SCALE: N.T.S.

**Exhibit 8-23: TYPICAL INTERIOR NEIGHBORHOOD STREETSCENE**

# SECTION 8 • Design Guidelines



## ELEVATION - ENTRY

TYPICAL RESIDENTIAL STREET AT ENTRY  
SCALE: N.T.S.

NOTE:  
1. ALSO SEE EXHIBIT 8-28 (A)  
2. ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETScape MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-24: RESIDENTIAL ENTRY STREETSCENE**



- Vertical screen trees (Back up trees to Entry Road Street tree) – 24” box minimum select from **Table 8-1, “Community Plant Matrix.”**
- Permanent automatic irrigation, using recycled water.
- Solid community wall at Homeowner property line locate wall on residential lot.
- Landscaping is planted by the Builder and maintained by the local Homeowners Association (HOA).
- All shrubs and trees shall be selected from **Table 8-1, “Community Plant Matrix”** or as adopted by the City of Ontario.

### 8.8.3 Community Edge Conditions and Boundaries

#### 8.8.3(a) Neighborhood Center to Residential Edge

Neighborhood Center development adjacent to a Residential Edge consists of two (2) conditions, a residential yard or a neighborhood street adjacent to the commercial property. See **Exhibit 8-25, “Neighborhood Center at Residential Edge.”**

Where residential yards are adjacent to a commercial land use, the following applies:

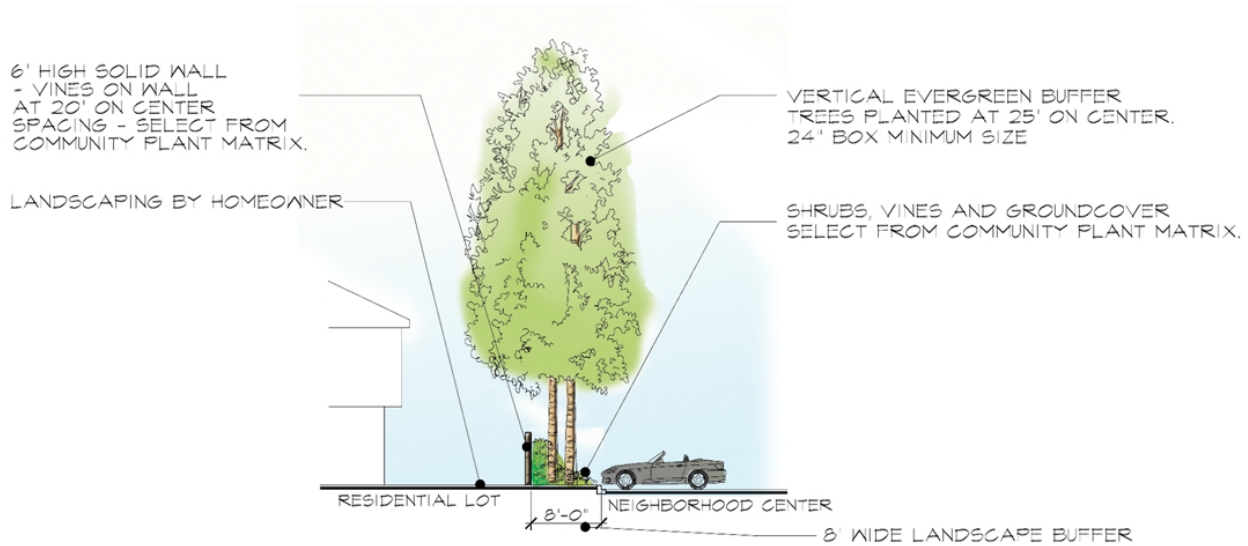
- 6’ high community solid wall on property line.
- 8’ wide landscape buffer on commercial property (planted and maintained by Commercial Builder).
- Landscape buffer planted with trees, shrubs, groundcover and vines.
- Landscape buffer permanently irrigated and watered using recycled water.
- Vertical evergreen buffer trees, 24” box minimum, planted at twenty-five (25’) on center spacing, centered in landscape buffer.

- Shrubs, groundcovers, vines and trees shall be selected from **Table 8-1, “Community Plant Matrix”** or as adopted by the City of Ontario.
- Landscape buffer planted and maintained by the Commercial Owner/Builder.

Where neighborhood streets are adjacent to a commercial land use, the following applies:

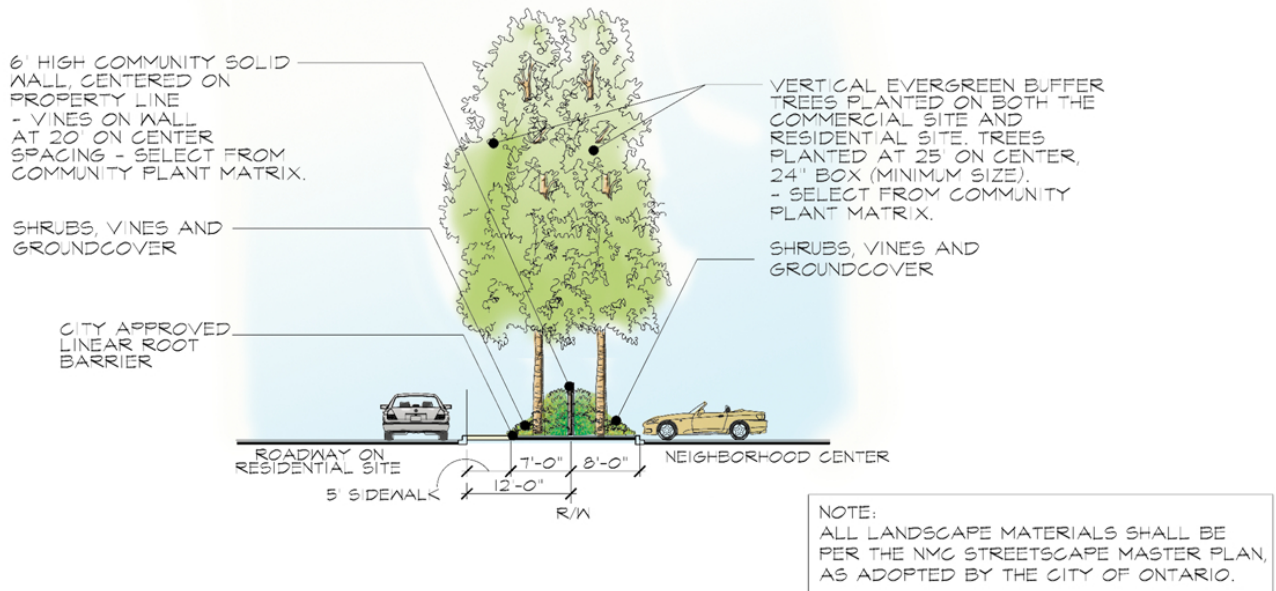
- 6’ foot high community solid wall on property line.
- 8’ foot wide landscape buffer on the commercial side and a 7 foot wide landscape buffer on the residential side of the property line, a fifteen foot (15’) total distance.
- Landscape buffers planted with trees, shrubs, groundcover and vines.
- Landscape buffers permanently irrigated and watered using recycled water.
- Vertical evergreen buffer trees, 24” minimum, planted at twenty-five (25’) on center spacing centered in each landscape buffer.
- Landscape buffer on residential side planted by residential builder and HOA maintained.
- Landscape buffer on commercial side planted and maintained by Commercial Builder.

# SECTION 8 • Design Guidelines



## LANDSCAPE BUFFER-NEIGHBORHOOD CENTER/RESIDENTIAL REAR YARD EDGE

SCALE: N.T.S.



## LANDSCAPE BUFFER-NEIGHBORHOOD CENTER/RESIDENTIAL ROADWAY EDGE

SCALE: N.T.S.

### Exhibit 8-25: NEIGHBORHOOD CENTER AT RESIDENTIAL EDGE

## 8.9 Community Elements

### 8.9.1 Community Entry Monumentation

#### - Introduction

The Major Community Monumentation is established at the intersection of Haven Avenue and Riverside Drive. This entry provides a sense of arrival and establishes the unique identity of the West Haven Community. Monumentation materials, colors and theming are repeated at secondary, neighborhood and commercial entries, serving to reinforce the identity of West Haven as a distinct community within the overall Ontario Ranch Master Planned Community.

#### 8.9.1(a) Major Community Monumentation at Haven Avenue and Riverside Drive (Neighborhood Center Commercial Corner)

The Major Community Monumentation at the intersection of Haven Avenue and Riverside Drive incorporates enriched scored concrete paving at the corner, a low stone planter wall, with community graphics and benches, which frame a specimen tree. Thematic stone pilasters flank the intersection and repeat the use of stone. The planter wall at this corner is four feet (4') high to allow visibility into the commercial center. (See *Exhibit 8-26, "Major Community Monumentation at Haven Avenue and Riverside Drive (Neighborhood Center Commercial Corner)."*)

Skinned hybrid Washingtonia Palms with lighting are used on both streets near the intersection to create a framework around the entry. This Major Community Monumentation features the following:

- A fifty-five (55') minimum corner cut – off (expanded landscape zone at corner) as measured from face of curb to the back of the neighborhood edge.
- Enriched scored concrete paving at corner.
- 4'-0" high stone monumentation wall with lighted graphics.
- Gateway stone pilasters flanking the intersection (one (1) on each street)
- Benches – One (1) on each street. (See Section 8.10.6 "Site Furniture").
- Trash receptacle. (See Section 8.10.6 "Site Furniture").

- Specimen tree with lighting – 60 inch box minimum.
- Skinned hybrid Washingtonia filifera (Californian Fan Palm) with lighting, a minimum of 18' brown trunk (matched), planted at twenty feet (20') on center spacing, on both Riverside Drive and Haven Avenue near the intersection.
- Formally spaced street trees, 36" box minimum (beyond intersection) at 30' on center spacing. (See streetscene section).
- Formally spaced understory trees or flowering trees, 24" box minimum at 30' on center spacing, behind sidewalk. (See streetscene section).
- 3' high hedge row (head light wall) at back of streetscene Neighborhood Edge.
- Permanent automatic irrigation, using recycled water.
- City approved linear root barriers shall be installed per *Exhibit 8-26, "Major Community Monumentation at Haven Avenue and Riverside Drive (Neighborhood Center Commercial Corner)."*
- The streetscene Neighborhood Edge adjacent to a commercial land use is installed by the Commercial Builder and maintained by the City of Ontario (CFD).
- Refer to *Table 8-1 "Community Plant Matrix"* for major community monumentation shrub and tree list.

#### 8.9.1(b) Typical Secondary Community Monumentation

Secondary community monumentation occur at the intersection of Haven and Chino Avenues (both northwesterly and southwesterly corners). (See *Exhibit 8-27, "Typical Secondary Community Monumentation"*). The secondary community monumentation incorporates some of the major community design elements and features, including a specimen tree, three foot (3') high stone wall and stone pilasters. The secondary community monumentation features the following:

- Three foot (3') high stone monumentation wall with lighted graphics. – 28' minimum setback from intersection.
- Gateway stone pilasters (match major community monumentation).



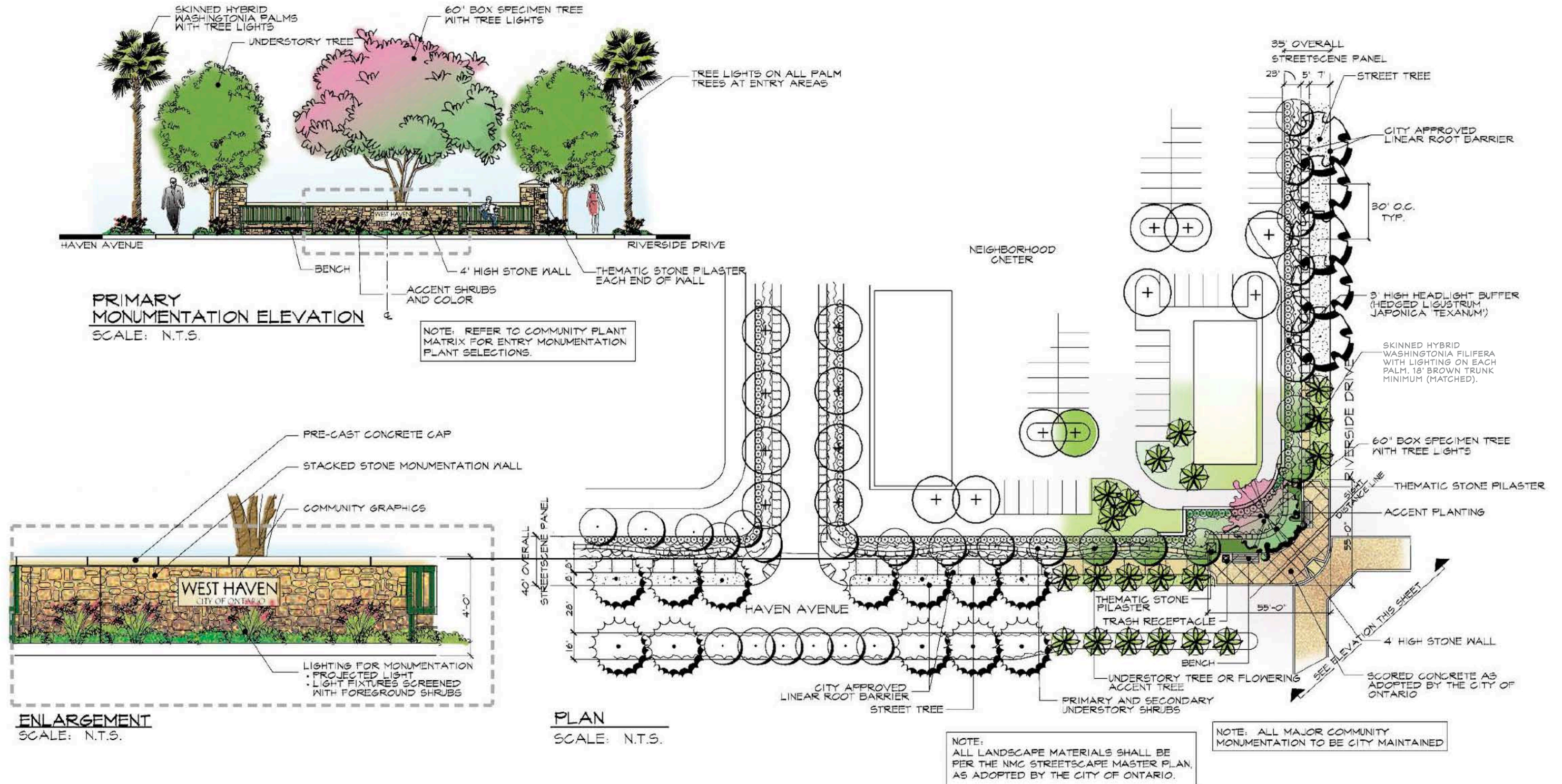
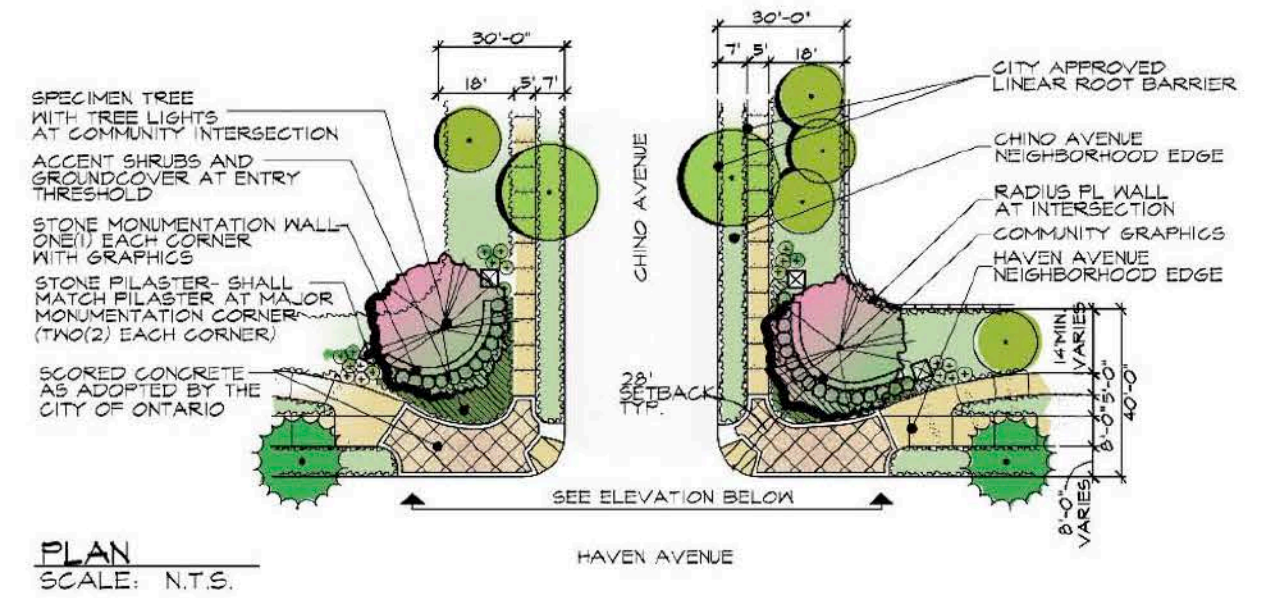
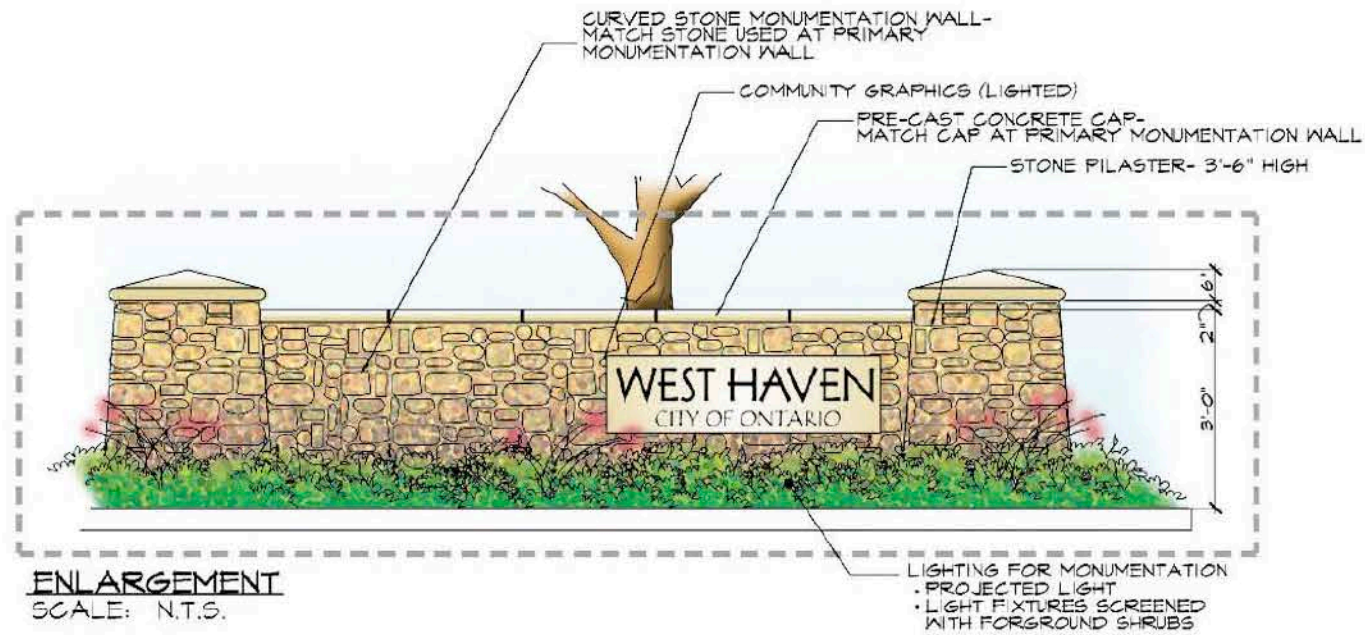
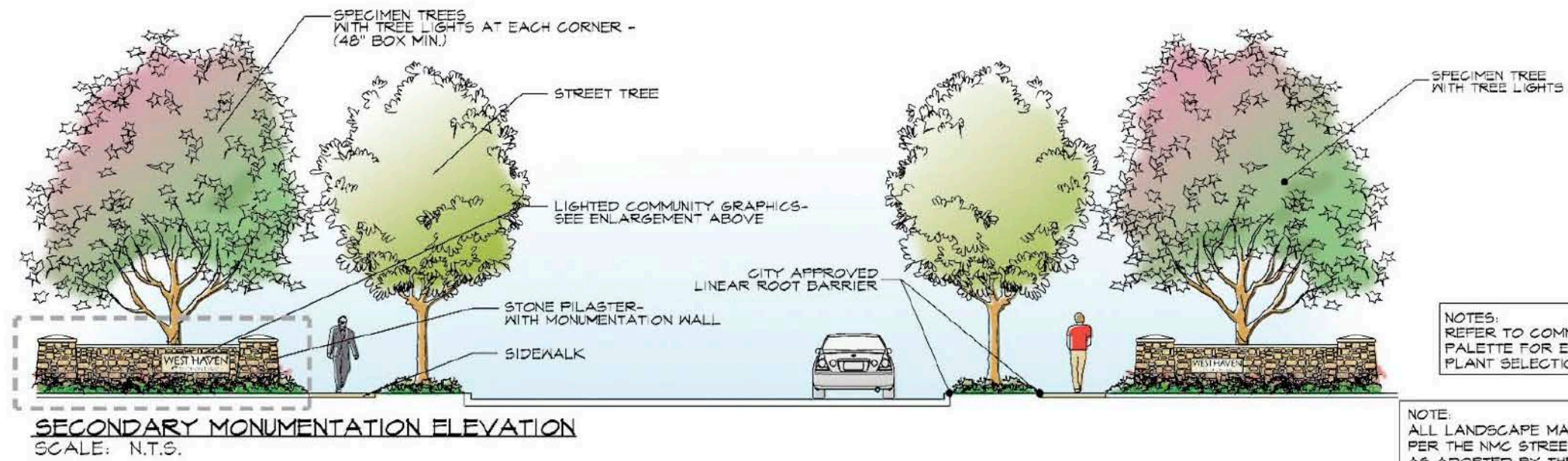


Exhibit 8-26: MAJOR COMMUNITY MONUMENTATION AT HAVEN AVENUE AND RIVERSIDE DRIVE (NEIGHBORHOOD CENTER COMMERCIAL CORNER)





NOTE: ALL SECONDARY COMMUNITY MONUMENTATION TO BE CITY MAINTAINED



NOTES:  
REFER TO COMMUNITY PLANT PALETTE FOR ENTRY MONUMENTATION PLANT SELECTIONS.

NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NYC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

Exhibit 8-27: Typical Secondary Community Monumentation





- Accent scored concrete at intersection (match major community monumentation).
- Specimen trees with lighting at each corner – 48” box minimum.
- Permanent automatic irrigation using recycled water.
- The streetscene neighborhood edge and monumentation are installed by the Builder and are maintained by the City of Ontario (CFD).
- Refer to **Table 8-1, “Community Plant Matrix”** for secondary community monumentation shrub and tree list.

### 8.9.1(c) Typical Neighborhood Residential Entry

Neighborhood Entry Monuments are the final residential iteration of the community monument theme. (See **Exhibits 8-28(a), “Typical Neighborhood Residential Entry”** and **8-28(b), “Typical Neighborhood Residential Entry—Elevation”**). The Neighborhood Entry Monuments are similar in design to the larger community monuments, and are located at the entry to each neighborhood, where the neighborhood streets join to backbone streets. A shortened version of the community theme wall, stone pilasters on either side of the entry road and accent trees impart the sense that each neighborhood is connected to the larger community. The typical neighborhood entry monumentation features the following:

- Gateway stone pilasters each side of the entry road. (See **Exhibits 8-28(a), “Typical Neighborhood Residential Entry”** and **8-28(b), “Typical Neighborhood Residential Entry—Elevation”**).
- Upgrade full height slump block wall at lots directly adjacent to the neighborhood entry road
- Specimen tree with lighting at each corner – 48” box minimum.
- Special neighborhood entry road trees along both sides of the street, 36” box minimum.
- Permanent automatic irrigation using recycled water.
- The neighborhood entry panel is installed by the Builder and HOA maintained.
- Refer to **Table 8-1, “Community Plant Matrix”** for neighborhood monument shrub and tree list.

### 8.9.1(d) Neighborhood Center Entry Feature

Entries into the Neighborhood Center site are designed and built by the Commercial builder. All commercial entry monumentation and signage are to be placed outside the public right-of-way. All commercial entries shall conform to the City of Ontario standards for commercial/retail. (See **Exhibits 829(a), “Neighborhood Center Entry – Haven Avenue,” 8-29(b) “Neighborhood Center Entry – Riverside Drive,”** and **8-30, “Neighborhood Center Entry—Elevation.”**)

The incorporation of community theming elements, such as the use of stone accents and stone pilasters on entry sign features is encouraged.

Neighborhood Center entries feature the following:

- Four foot (4’) high stone monumentation wall with lighted graphics (both sides of entry drive).
- Three foot (3’) high stone gateway pilasters.
- Pedestrian walkway connection from streetscene sidewalk.
- Specimen entry tree, lighted. (Both sides of entry drive) 48” box minimum.
- Skinned hybrid Washingtonia filifera Palm trees in groupings may replace the above entry tree. All Palm trees used at the entry area are to be lighted.
- Shrubs and trees selected from **Table 8-1, “Community Plant Matrix”** or as adopted by the City of Ontario.
- Three foot (3’) high hedge row at parking areas.

### 8.9.2 Walls and Fences - Introduction

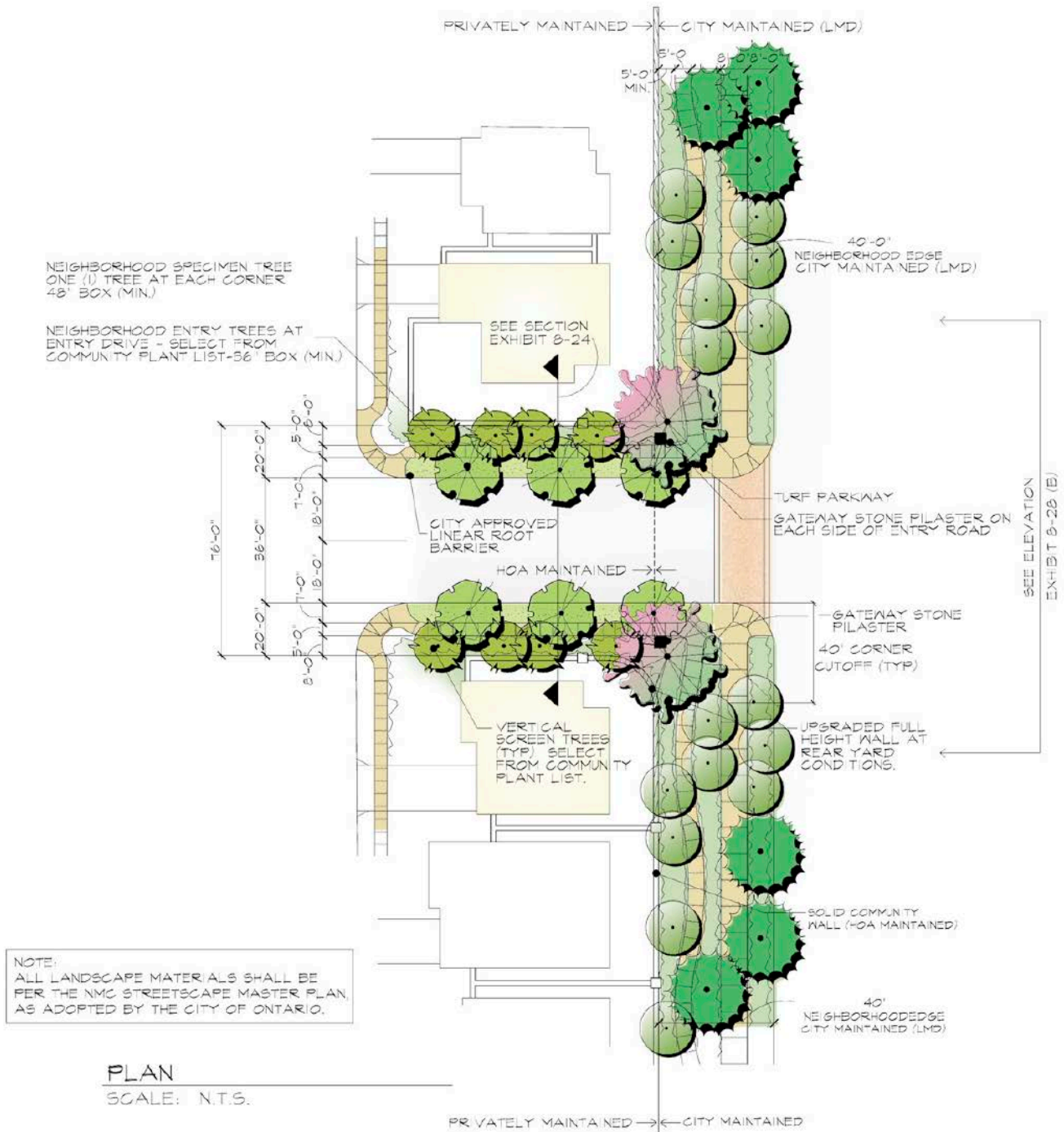
Walls and fences that are used throughout West Haven Specific Plan provide streetscene theming and delineate property boundaries. (See **Exhibit 831, “Community Walls and Fences—Locations,” Exhibit 8-32, “Community Walls and Fences—Details”** and **Exhibit 8-33 Community Wall Plan.**)

#### 8.9.2(a) Residential Fencing

General guidelines for use of residential walls and fences are provided below:

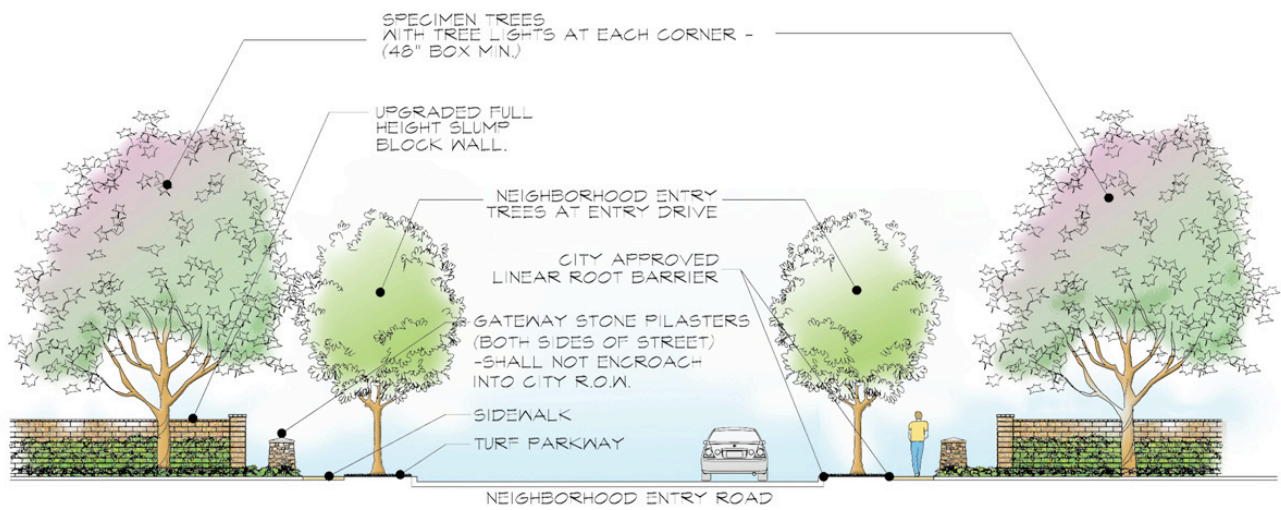
- 6’ high walls are used to provide privacy for all homes.
- Since West Haven is a flat site, there is not opportunity for the use of any view fencing.

# SECTION 8 • Design Guidelines



**Exhibit 8-28(a): TYPICAL NEIGHBORHOOD RESIDENTIAL ENTRY**

# SECTION 8 • Design Guidelines

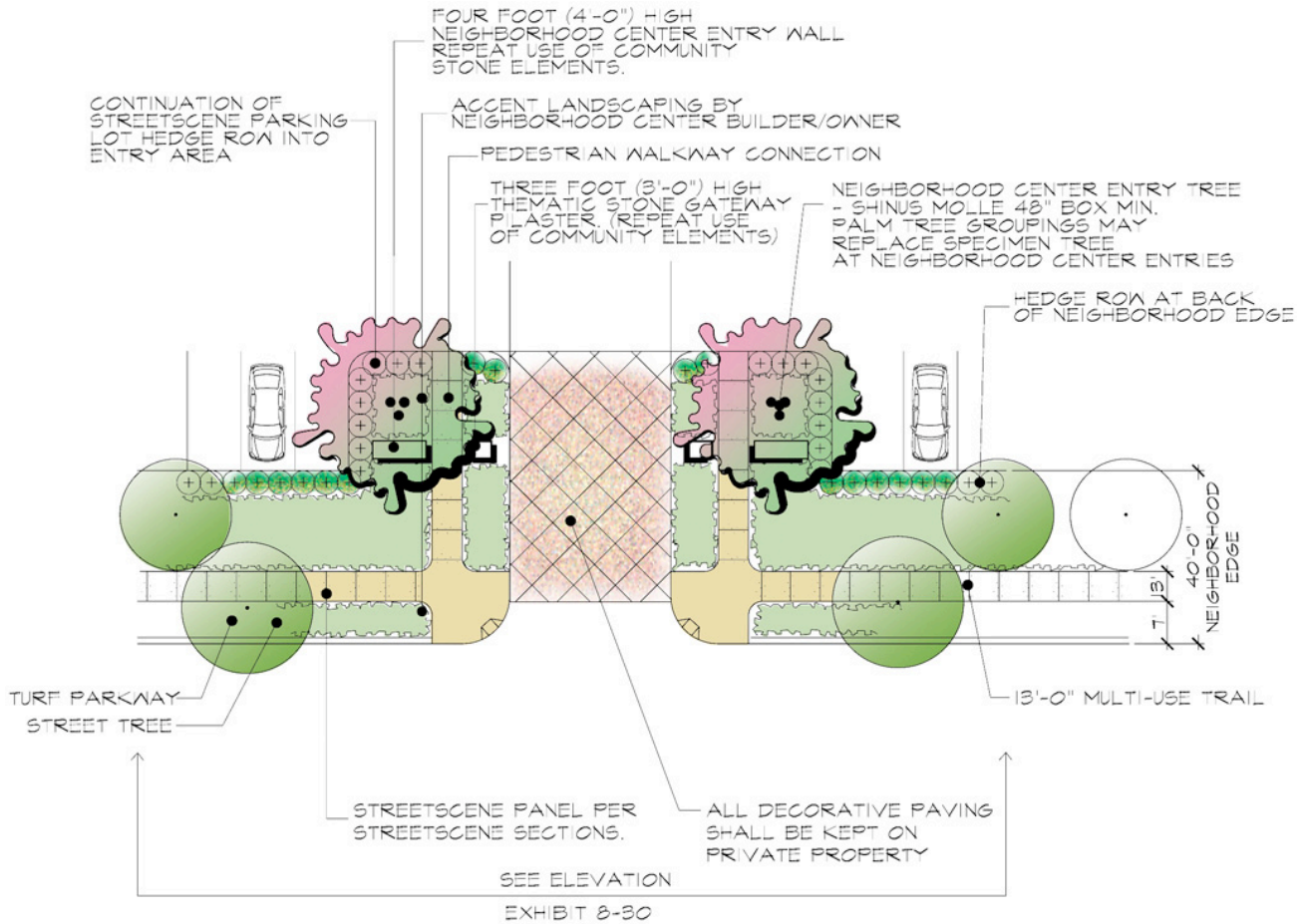


ELEVATION  
SCALE: N.T.S.

NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NYC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-28(b): TYPICAL NEIGHBORHOOD RESIDENTIAL ENTRY – ELEVATION**

# SECTION 8 • Design Guidelines



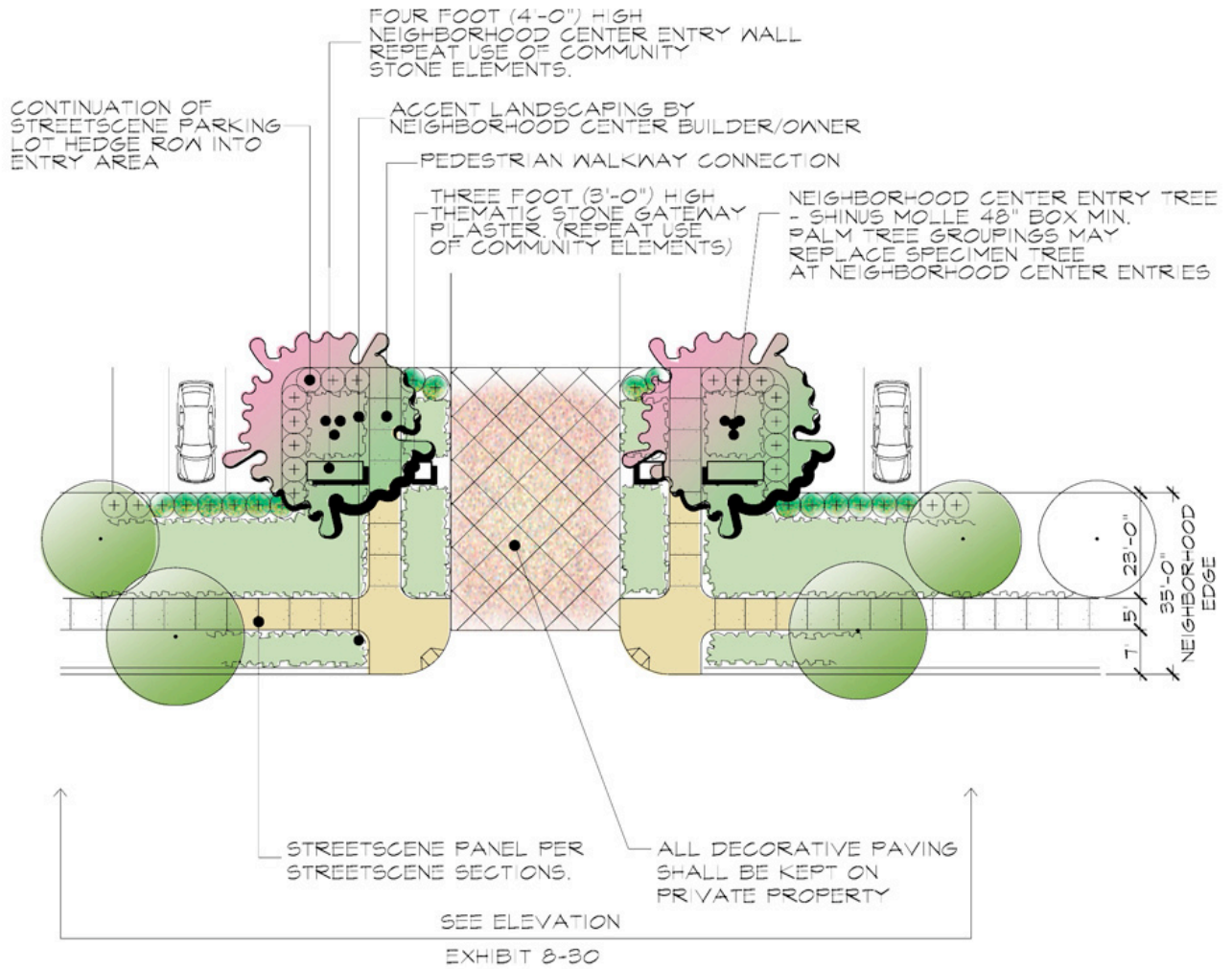
NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

NOTE:  
THIS PLAN IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL SITE PLAN CONFIGURATION WILL CHANGE DURING THE FINAL SITE PLAN PREPARATION.

PLAN  
SCALE: N.T.S.

**Exhibit 8-29(a): NEIGHBORHOOD CENTER ENTRY – HAVEN AVENUE**

# SECTION 8 • Design Guidelines



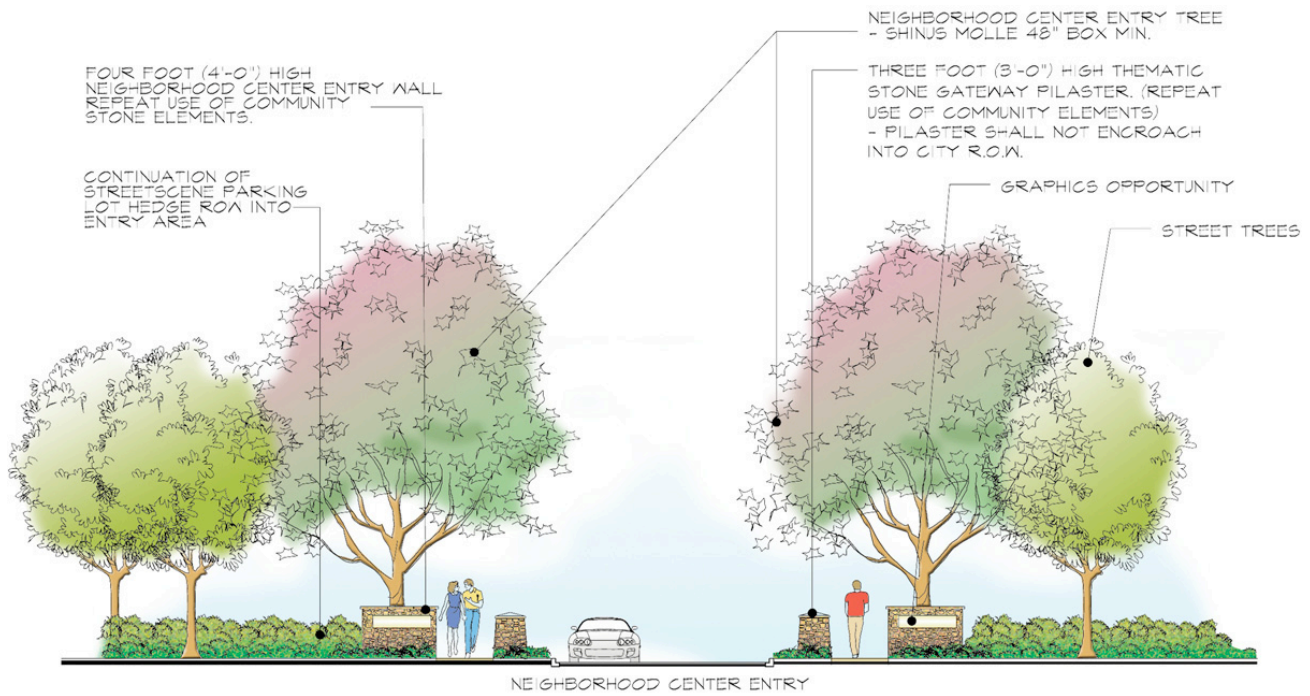
NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

NOTE:  
THIS PLAN IS FOR REPRESENTATIONAL PURPOSES ONLY. FINAL SITE PLAN CONFIGURATION WILL CHANGE DURING THE FINAL SITE PLAN PREPARATION.

**PLAN**  
SCALE: N.T.S.

**Exhibit 8-29(b): NEIGHBORHOOD CENTER ENTRY – RIVERSIDE DRIVE**

# SECTION 8 • Design Guidelines

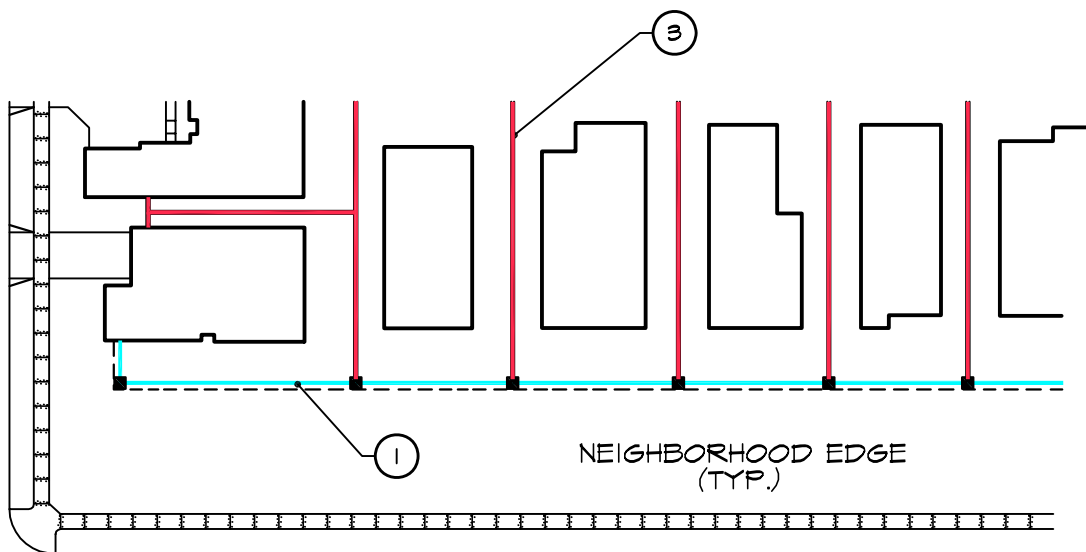
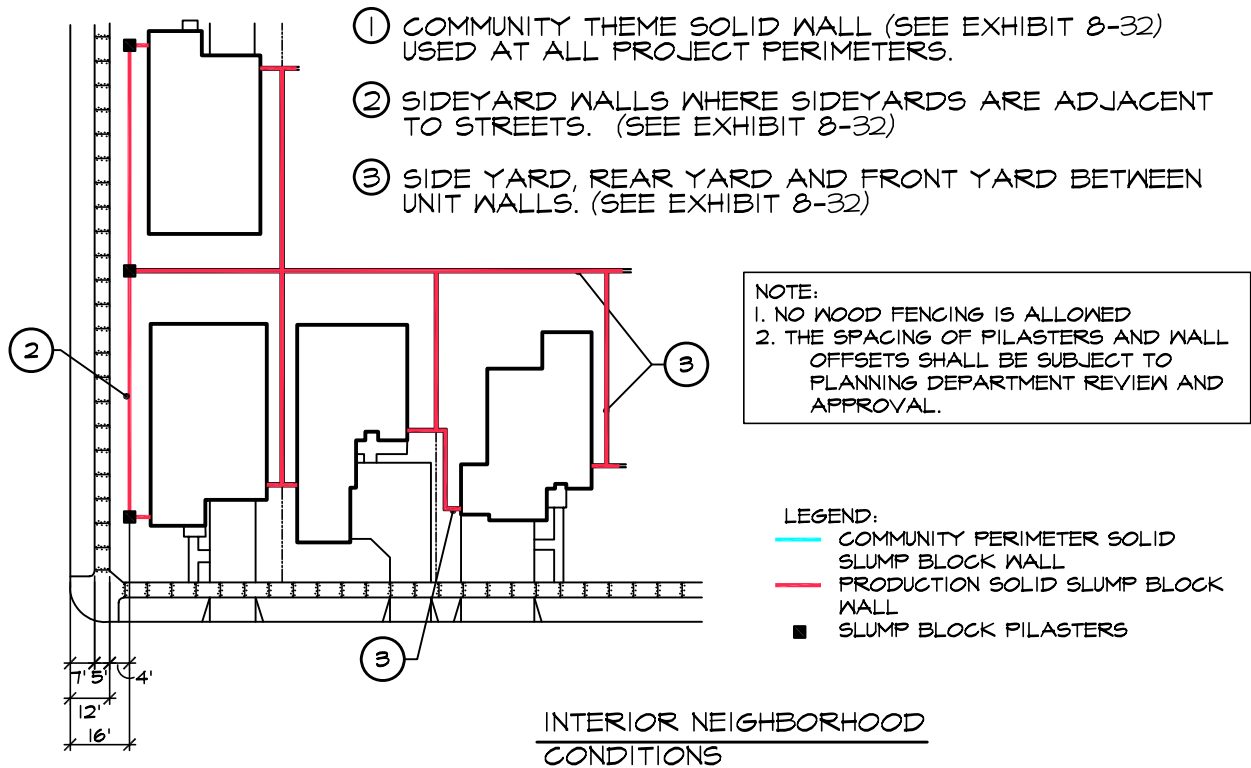


ELEVATION  
SCALE: N.T.S.

NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-30: NEIGHBORHOOD CENTER ENTRY – ELEVATION**

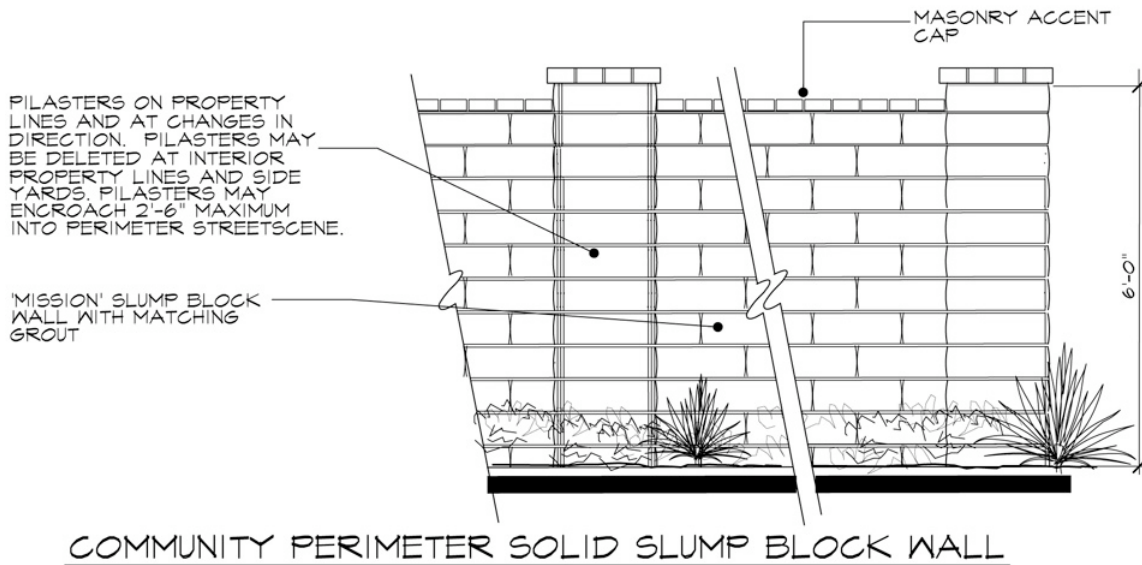
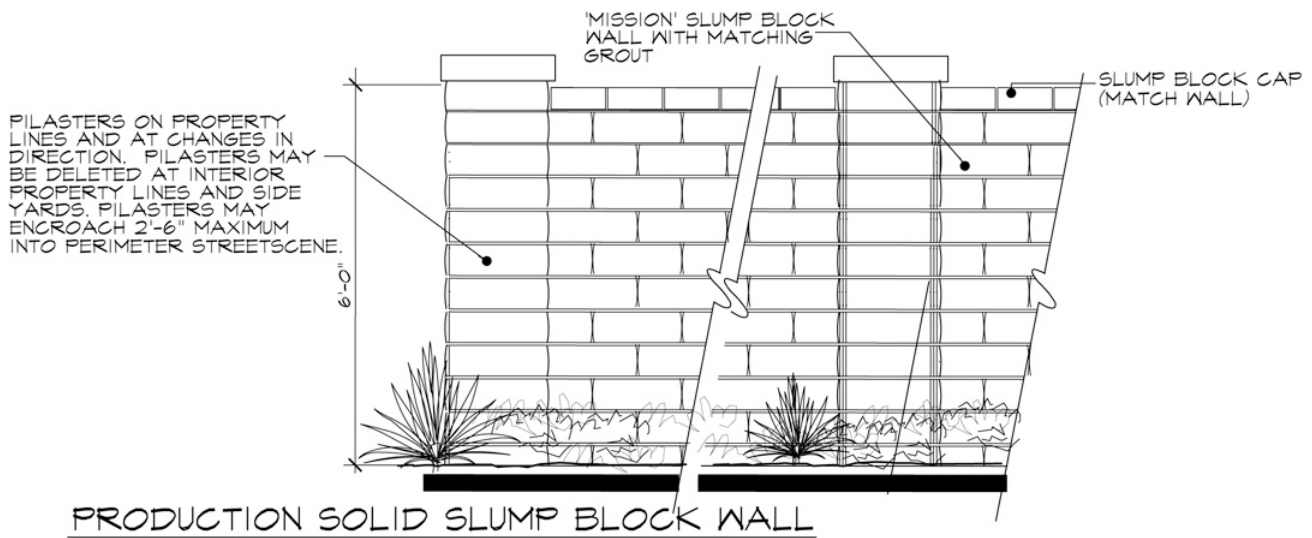
# SECTION 8 • Design Guidelines



SCALE: N.T.S.

**Exhibit 8-31: COMMUNITY WALLS AND FENCES – LOCATIONS**

# SECTION 8 • Design Guidelines



- NOTES:
1. ALL PERIMETER WALLS ALONG STREETSCENES SHALL BE LOCATED ON THE HOMEOWNER SIDE OF THE PROPERTY LINE
  2. PILASTERS MAY ENCROACH A MAXIMUM OF 2'-6" INTO THE STREETSCENE NEIGHBORHOOD EDGE, AS APPROVED BY THE CITY
  3. ALL PERIMETER WALLS ARE HOA MAINTAINED
  4. ALL WALLS ON HOMEOWNER LOTS SHALL BE HOMEOWNER MAINTAINED
  5. THE SPACING OF PILASTERS AND WALL OFFSETS SHALL BE SUBJECT TO PLANNING DEPARTMENT REVIEW AND APPROVAL

**Exhibit 8-32: COMMUNITY WALLS AND FENCES – DETAILS**

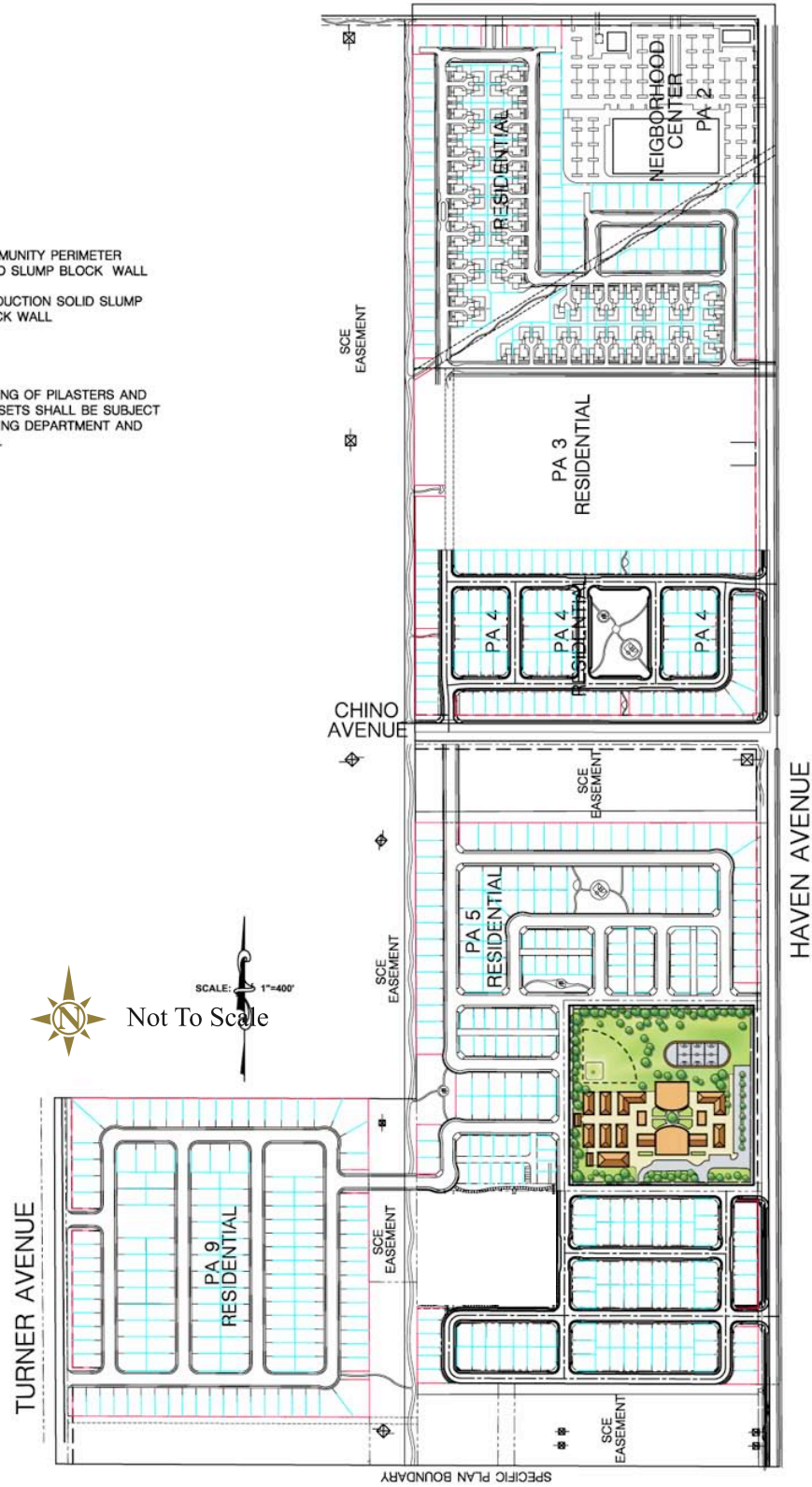


# SECTION 8 • Design Guidelines

**LEGEND**

- COMMUNITY PERIMETER SOLID SLUMP BLOCK WALL
- PRODUCTION SOLID SLUMP BLOCK WALL

**NOTE:**  
THE SPACING OF PILASTERS AND WALL OFFSETS SHALL BE SUBJECT TO PLANNING DEPARTMENT AND APPROVAL



**Exhibit 8-33: CONCEPTUAL COMMUNITY WALL PLAN**  
(ILLUSTRATIVE ONLY, SUBJECT TO CHANGE DURING TTM APPROVAL)

## SECTION 8 • Design Guidelines

- The block wall along all perimeter edges and between residential units shall be constructed of ‘Mission’ slump block (or other decorative block) with solid masonry cap. Wall grout shall match block color. (See *Exhibit 8-32, “Community Walls and Fences—Details”* and *Exhibit 8-33 “Community Wall Plan.”*)
- A 6’ high block wall or wrought iron fence shall be used at all residential side yards, rear yards and front yard between house fencing.
- Front yard fencing higher than thirty inches (30”) high shall not extend into the front yard beyond the front elevations of the house. No walls or fences may be erected within the street right-of-way.
- All walls and fencing shall conform to applicable State of California and City of Ontario pool codes, whichever is more stringent.

### 8.9.2(b) Neighborhood Center Fencing

General guidelines for walls and screening of service areas are provided below:

- Trash deposit areas shall be enclosed by a 6’ minimum height solid wall with service gate. All trash enclosures are to be located out of public view.
- Perimeter walls are allowed on the side and rear of the commercial site and shall match the community solid wall. The wall shall be constructed of ‘mission’ slump block with solid masonry cap.
- No walls are permitted beyond the front elevation of the commercial building.
- No wood fence, chain link fence, wire fences, plain concrete block walls or grapestake fence is allowed.

### 8.9.3 Community Connections and Recreation

*Exhibit 8-16, “West Haven Conceptual Landscape Plan”* illustrates the location of the pocket parks and paseos.

#### 8.9.3(b) Community Connections

One primary design element demonstrated in the West Haven Specific Plan is the principle that communities should support pedestrian movement. This goal is achieved in several ways. First, all streets include a sidewalk or paseo system that is separated from the street by a parkway. Second, greenbelts and pedestrian paseos meander through the Southern California Edison (SCE) easement and the gas company easement serve to connect neighborhoods to each other and to other community elements.

Sidewalks along the community’s backbone streets are separated from vehicular travel by a landscaped parkway. The sidewalks along local neighborhood streets are 5’ feet wide with a 7’ foot wide curbside landscaping zone. These parkway widths have been planned to accommodate appropriate street tree planting with concern for or taking into account the health of trees or destruction of the sidewalk by tree roots. Linear tree root barriers shall be installed adjacent to the edge of sidewalks and curbs when a tree is planted closer than five feet (5’) to a curb or sidewalk.

To further encourage walking in the community a series of greenbelt paseos are planned and continue throughout the community.

#### 8.9.3(c) SCE Easement Paseo and Linear Parks

Paseos within the SCE easement shall be accessible to the public, and serve as the primary pedestrian circulation system throughout the West Haven community. The developer shall be responsible for the construction of paseo and linear park usage on their property for the area on which they have underlying ownership. Paseo connections to neighborhoods are planned to allow residents easy access to the paseo system. Additionally, park uses are planned within the easement to allow those utilizing the SCE paseo system opportunities to better utilize the space. Trees, with a maximum

height of fifteen feet (15') are allowed within the SCE easement, as well as drought tolerant and native shrubs. The SCE Easement paseo and linear parks within the easement feature the following: (Refer to *Exhibit 8-35, "SCE Easement Paseo and Linear Park Plan View"* and *Exhibit 8-36, "SCE Easement Paseo and Linear Park Section."*)

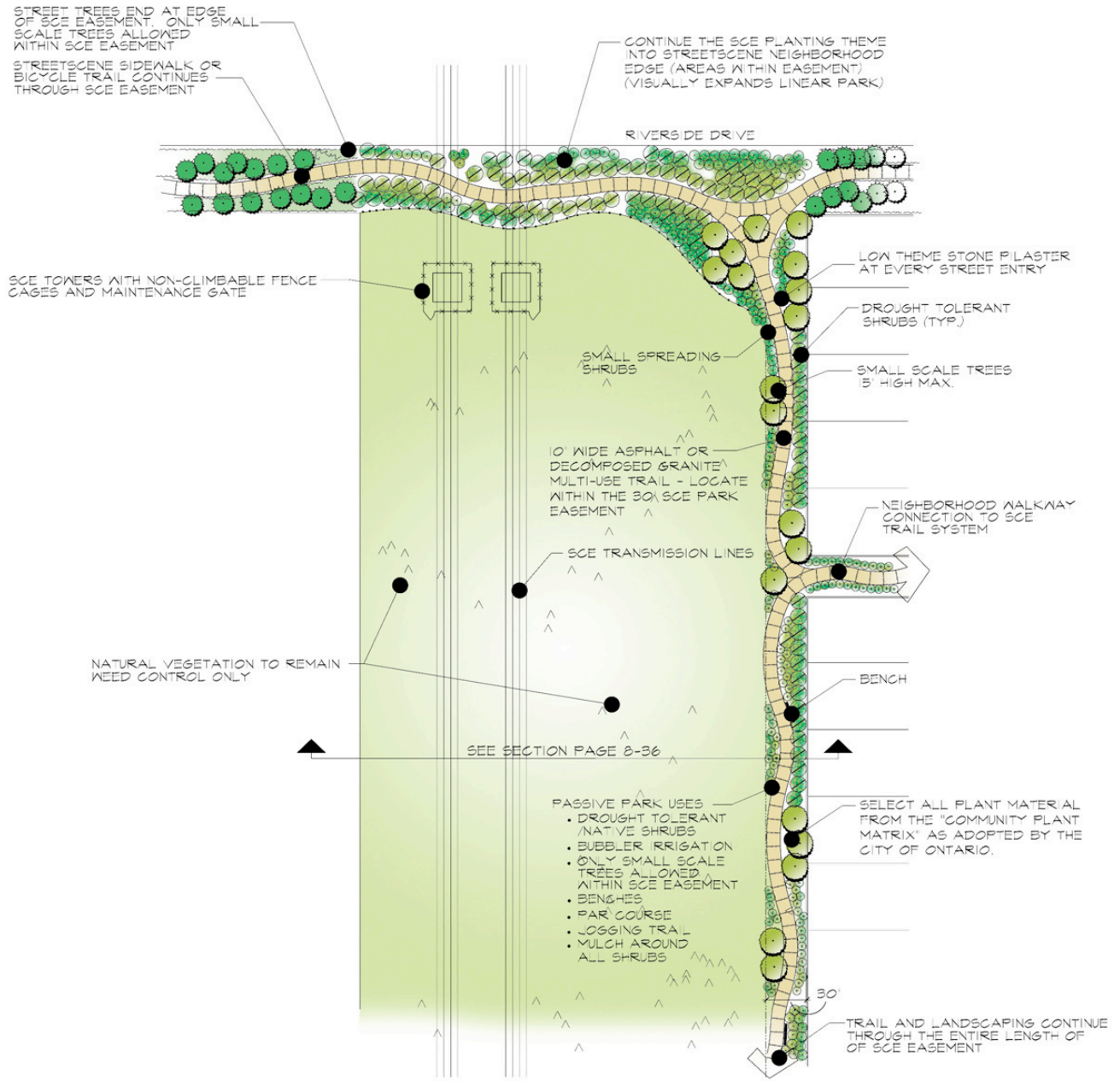
- A total of a 30' wide paseo and linear park development zone within the SCE Easement.
- 10' wide meandering asphalt or decomposed granite paseo (meanders within the 30' wide development zone).
- Benches.
- Drought tolerant, native shrubs and trees to be selected from select from *Table 8-1, "Community Plant Matrix"* or as adopted by the City of Ontario.
- Bubbler irrigation. (No drip or spray irrigation allowed in the SCE Easement).
- Par stations along the paseo.
- Neighborhood connections to the SCE Easement paseo system.
- All remaining areas within the SCE Easement not within the 30' wide Park Development Zone shall receive 'weed control' as part of on-going Southern California Edison maintenance.
- All improvements within the SCE easement are to be implemented by the Builder and are City (CFD) maintained.
- Final Development Plans within the easement require Southern California Edison approval.
- Trees, 15' feet in height (maximum) are allowed within the SCE Easement.
- Notes:
  - 1) No lighting is allowed within the SCE Easement.
  - 2) No irrigation controllers or main line allowed within the SCE Easement.
  - 3) Irrigation lateral lines and bubbler irrigation heads are the irrigation equipment allowed with the easement.
  - 4) No trees over fifteen feet (15') in height are allowed within the easement.

### 8.9.3(d) Gas Company Easement/Pocket Parks

A 30' wide existing gas company easement lies within Residential Planning Area 1. Pocket parks are a gas company approved use within their easement. Six foot (6') high community walls (except at wall returns) will be utilized at the edge of the easement at residential rear and side yards that are adjacent to the easement. Final lot plotting and wall locations will be further refined during the preparation of the Tentative Map. A ten foot (10') wide service road/pedestrian walkway meanders through the easement with pedestrian walkway connections at neighborhood streets. Pedestrian connections to the SCE easement trail, as well as a pedestrian walkway connection to adjacent neighborhood center will be accommodated. The pocket parks within and adjacent to the gas company easement shall be accessible to the public, and feature the following: (Refer to *Exhibit 8-37, "Typical Pocket Park within Gas Company Easement"* and *Exhibit 8-38, "Gas Easement/Pocket Park Edge"*).

- 30' wide easement.
- 10' wide asphalt meandering service road/pedestrian walkway and jogging trail. Walkway no closer than 10' to a residential rear or side yard wall.
- Passive park uses.
- Benches
- Turf open play areas.
- 6' high community wall at residential property lines.
- Shrub buffer along residential property lines.
- No deep rooted trees, select from *Table 8-1, "Community Plant Matrix"* or as adopted by the City of Ontario.
- Walkway connections to SCE easement trail system.
- Walkway connection to the neighborhood center planned for Planning Area 2.
- No tree (ultimate drip line) shall be any closer than 10' to the gas line.
- All improvements within the gas company easement shall be made by the Planning Area builder in which they fall, and shall be professionally maintained by the HOA.
- Final development plans within the gas company

# SECTION 8 • Design Guidelines

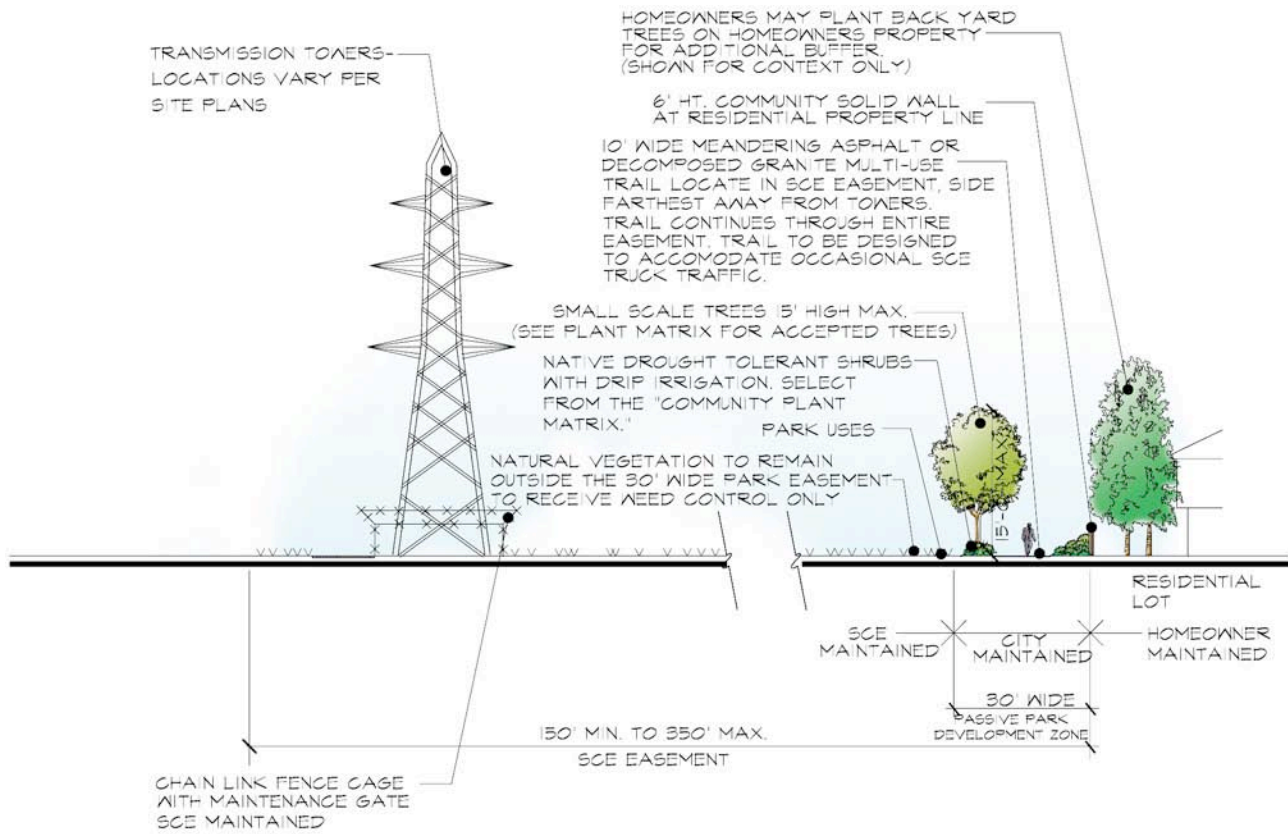


PLAN

NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-35: SCE EASEMENT PASEO AND LINEAR PARK PLAN VIEW**

# SECTION 8 • Design Guidelines



SECTION

SCALE: N.T.S.

NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE  
PER THE NMC STREETSCAPE MASTER PLAN,  
AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-36: SCE EASEMENT PASEO AND LINEAR PARK SECTION**

## SECTION 8 • Design Guidelines

easement require gas company approval.

- Gas Company easement pocket parks shall count towards required pocket park acreage.

### 8.9.3(e) Pocket Parks

As indicated in the City of Ontario New Model Colony General Plan Amendment, the formula for determining acreage for Pocket Parks indicates for every 250 dwelling units, 2 acres of pocket parks are required. The size and location of the neighborhood pocket parks vary depending on the location and acreage required. As each residential neighborhood is designed, the final acreage, configuration and final locations of pocket parks will be determined. The pocket parks shall be accessible to the public, and shall be built by the West Haven Builders and shall be maintained by the HOA.

These pocket parks create open spaces where neighbors can visit near their homes. Depending on the intended use, the design of these parks will vary. Some may include tot lot and open play spaces for young children. Some may include facilities designed for more active adults, such as a multi-purpose sports park. Others may contain more passive spaces with gardens, seating areas, walkways and open turf areas. Generally, parks planned within a residential parcel should be designed to front on three (3) neighborhood streets. Three possible examples are illustrated in *Exhibit 8-39, "Typical Child Active Pocket Park," Exhibit 8-40, "Typical Passive Pocket Park"* and *Exhibit 8-41, "Typical Adult Active Pocket Park."* These are very general in nature and should not be interpreted as design plans.

Some pocket parks, at City discretion, may be located within the Gas Company easement within Planning Area 1. This park counts toward, and more than satisfies, the pocket park acreage required for that planning area. The total acreage for the Gas Company easement and all pocket park totals approximately 6.3 acres, which satisfies the 6.02 acre pocket park requirement, as calculated below. Also note the pocket park requirement in Planning Area 8 will be satisfied in Planning Area 4 due to the proximity of the Neighborhood Park adjacent to Planning Area 8.

What follows is the calculated pocket park acreage required for each Planning Area:

#### Planning Area 1:

451 Dwelling Units (451 / 250 du x 2.0 ac = 1.38  
3.61 acres of pocket parks)

#### Planning Area 2:

Neighborhood Center Commercial (no park requirements)

#### Planning Area 3:

203 Dwelling Units (203 / 250 du x 2 ac = 1.6  
acres of pocket parks)

#### Planning Area 4:

106 Dwelling Units (106 / 250 du x 2 ac = .85  
acres of pocket parks)

#### Planning Area 5:

149 Dwelling Units (149 / 250 du x 2.0 ac = 1.2  
acres of pocket parks)

#### Planning Area 6:

10 Acre School Site (no park requirements).

#### Planning Area 6:

90 Dwelling Units (90 / 250 du x 2 ac = .72 acres  
of pocket parks)

#### Planning Area 8:

143 Dwelling Units (143 / 250 du x 2 ac = 1.14  
acres of pocket parks)

#### Total acreage of Pocket Park Requirement:

9.13 Acres

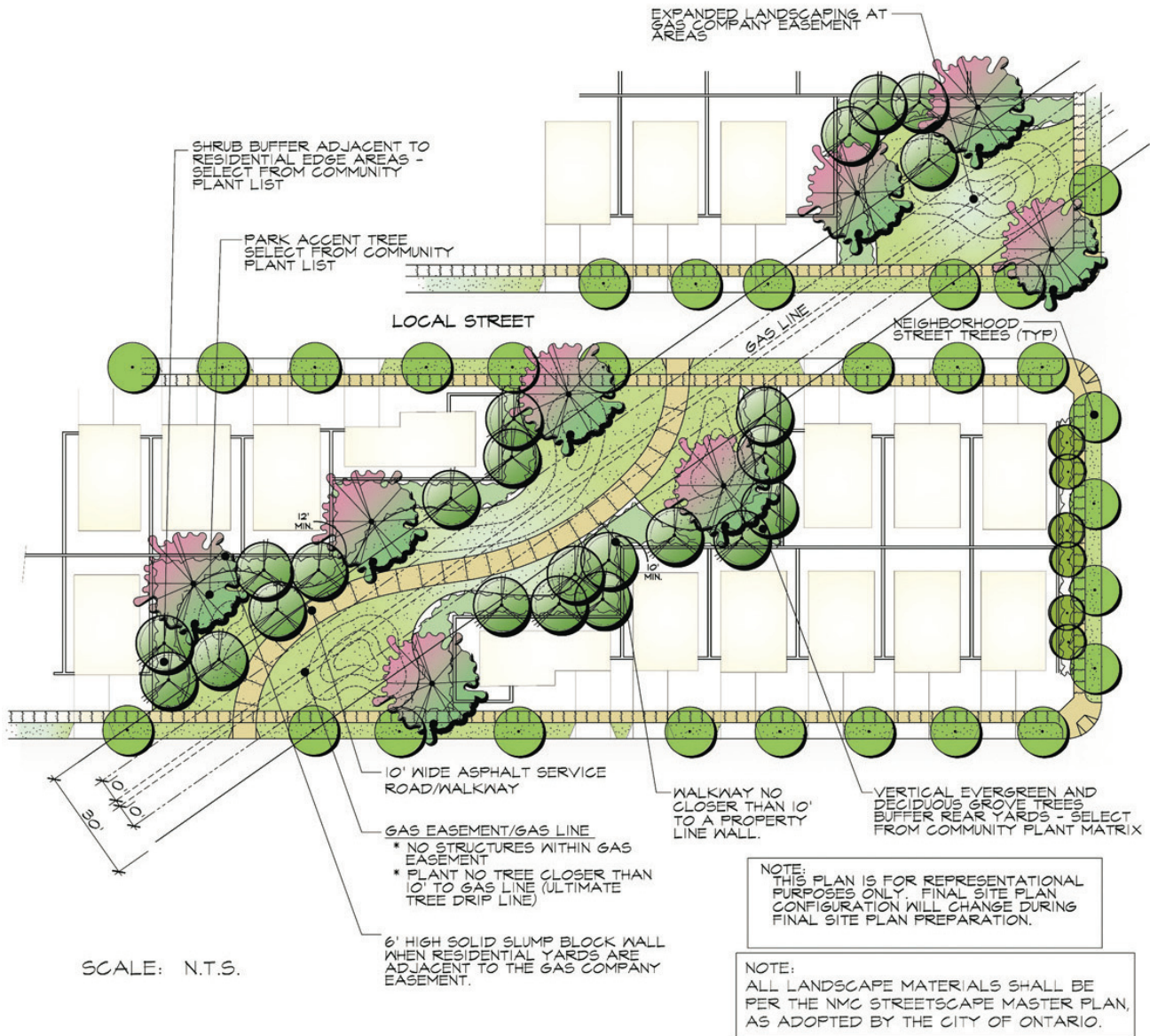
The two pocket parks within Planning Area 8 shall be named "Arnaud Minnaberry Park" and "James D. Fahs, Jr. Park" as illustrated on *Exhibit 9-6, "Planning Area 9 – Conceptual Lotting."*

## 8.9.4 Landscape Requirements

### 8.9.4(a) Residential

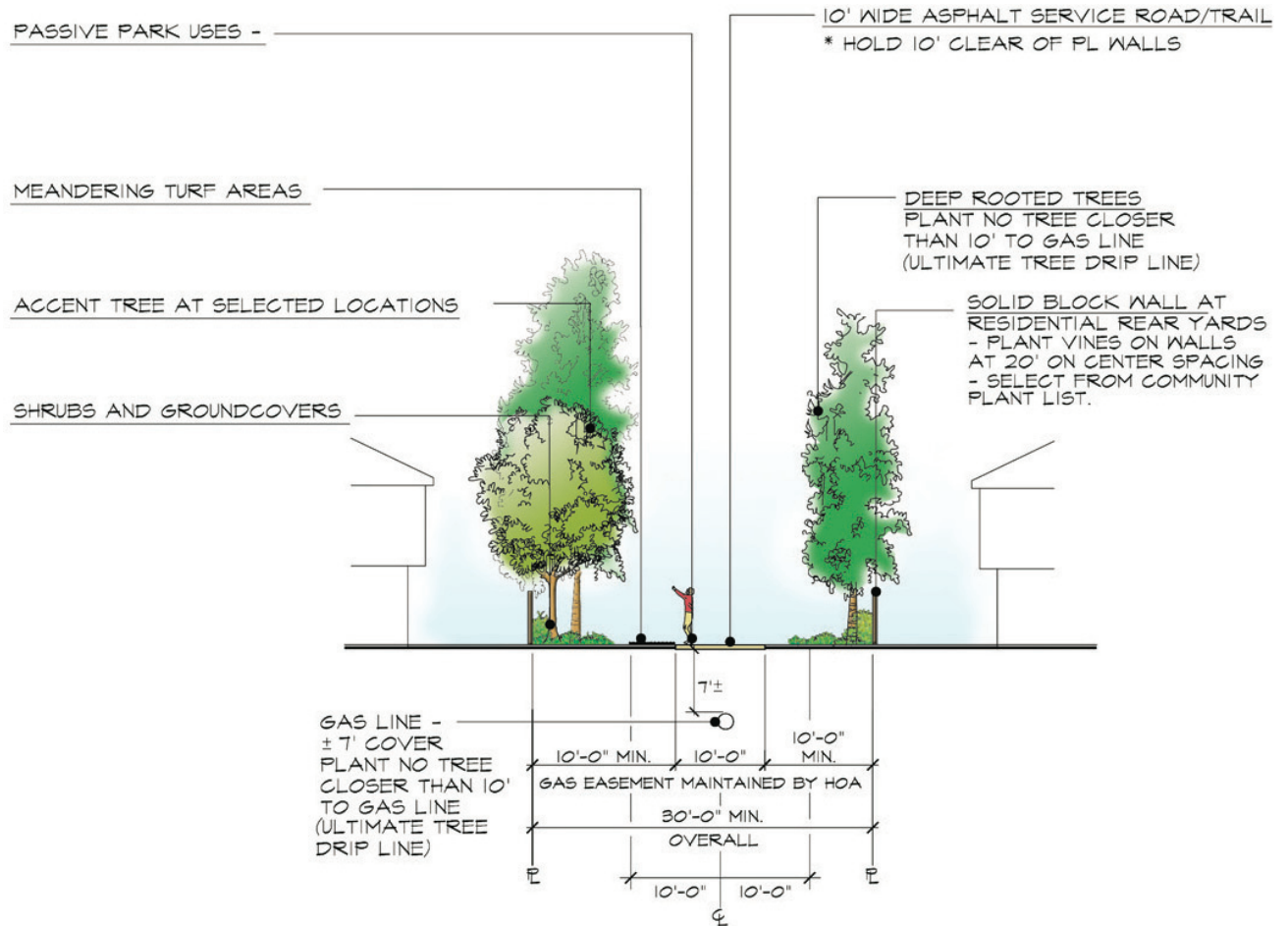
The Streetscape Master Plan indicates tree varieties, sizes and spacing for backbone streets. All plant material selected from the above Master Plan and as shown in this Specific Plan are subject to change, as adopted by the City of Ontario.

Each Planning Area residential lot shall receive a minimum of one (1), twenty-four inch (24") box size



**Exhibit 8-37: TYPICAL POCKET PARK WITHIN GAS COMPANY EASEMENT**

# SECTION 8 • Design Guidelines



**SECTION**  
SCALE: N.T.S.

**NOTE:**  
1. SELECT ALL PLANT MATERIAL FROM COMMUNITY PLANT MATRIX AS ADOPTED BY THE CITY OF ONTARIO.  
2. ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

**Exhibit 8-38 : GAS EASEMENT/POCKET PARK EDGE**





## SECTION 8 • Design Guidelines

street tree planted in the right-of-way, (centered in the parkway). Corner lots shall receive a minimum of two (2) twenty-four inch (24") box Street trees also planted in the side yard right-of-way parkway. (See *Exhibit 8-42, "Typical Neighborhood Landscape Plan"*).

Note: Homeowners may not remove street trees.

One (1) species of tree shall be selected for each residential street to enforce the individual neighborhood streetscene identity. All neighborhood street trees shall be selected from *Table 8-1 "Community Plant Matrix."*

### 8.9.4(b) Neighborhood Center

- All on-site trees shall be placed so as to integrate the Neighborhood Center site into the overall community setting. No on site trees shall be planted within the streetscene Neighborhood Edge.
- Groupings of Palm trees shall be integrated into the Neighborhood Center site. At a minimum, Palm tree groupings shall be located at corners of the parcel and at focal points within the site. Palm tree groupings may also be used at the entry areas.
- Refer to *Section 8.9.2(b), "Neighborhood Center Fencing"* for wall design criteria.
- All Neighborhood Center entry drives shall incorporate a pedestrian sidewalk. The use of community entry thematic elements such as specimen trees, Palm trees, stone walls and pilasters serve to tie the Neighborhood Center site into the overall community.
- All areas not occupied by buildings or parking lot shall be landscaped using a combination of turf, shrubs and trees, in accordance with the City of Ontario Standards. All plant material to be selected from *Table 8-1, "Community Plant Matrix"* or as adopted by the City of Ontario.
- The driveway and the entry planters shall be installed and maintained by the parcel owner. The driveway paving, walk, entry monument wall, lighting equipment, and landscaping shall also be maintained by the parcel owner.
- Visual impact of parking areas shall be minimized by location and arrangement of parking spaces. The use of landscape screening plant materials and berms is encouraged.

- Parking requirements shall conform to regulations and ordinances of the City of Ontario.
- Truck and service vehicle parking must be provided in a designated area separate from the auto parking. It is to be located at the side or rear of the building and visually screened.
- All off-street parking spaces shall be a minimum of nine (9') feet in width and nineteen feet (19') in depth.
- Parking stalls with a side abutting a wall, shall be two (2') feet wider than the standard required width.
- All parking areas and drives shall be separated from landscaped areas by concrete curbs, which serve as automobile wheel stops, unless 0" curb to comply with DMPs, NPDES, etc, in which case separate wheel stops will be provided.
- Parking area landscaping is required for the screening of large parking areas to limit their visual impact. Landscaped islands shall be provided at the ends of stall rows to break up parking areas. These islands shall be a minimum of five feet (5') in width (excluding curbs) to allow for planting of trees, as well as fingers within the parking area.
- At a minimum one (1) fifteen (15) gallon tree shall be planted within the parking lot for every ten (10) parking stalls.

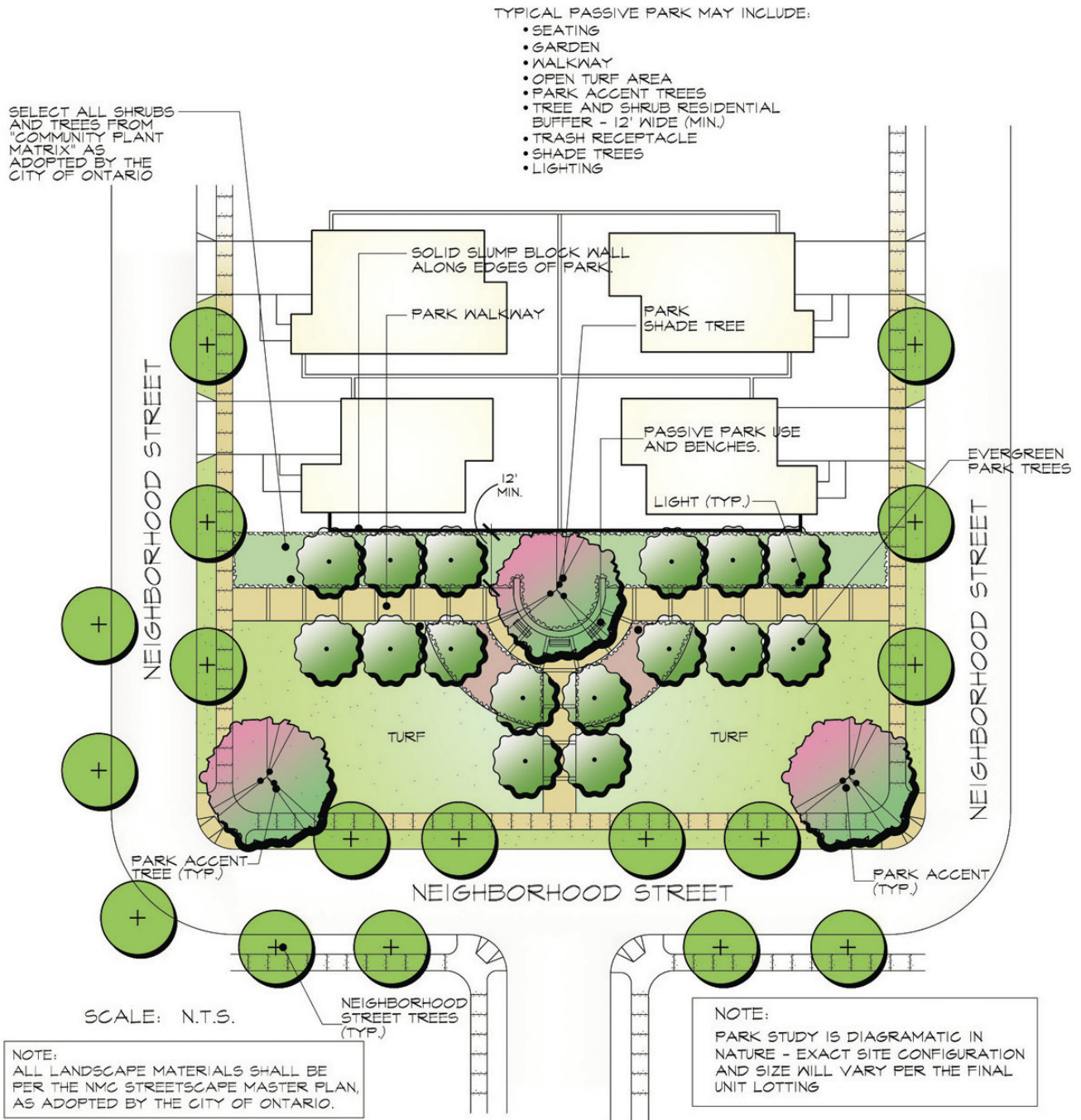
### 8.9.5 Maintenance Responsibility

Maintenance and installation responsibility is shared between the Homeowners, the Builder, Homeowner Association, the City of Ontario (CFD) and the Neighborhood Center Parcel Owner. (See *"Maintenance Responsibility Matrix", Section 10, Table 10-2.*)

#### 8.9.5(a) General Maintenance Procedures

In general the landscape maintenance shall be performed on a daily basis by a Licensed Landscape Contractor under contract with the Homeowner Association (HOA). All work shall be performed based on an annual maintenance calendar of monthly

# SECTION 8 • Design Guidelines



**Exhibit 8-40: TYPICAL PASSIVE POCKET PARK**

# SECTION 8 • Design Guidelines

TYPICAL PASSIVE PARK MAY INCLUDE:

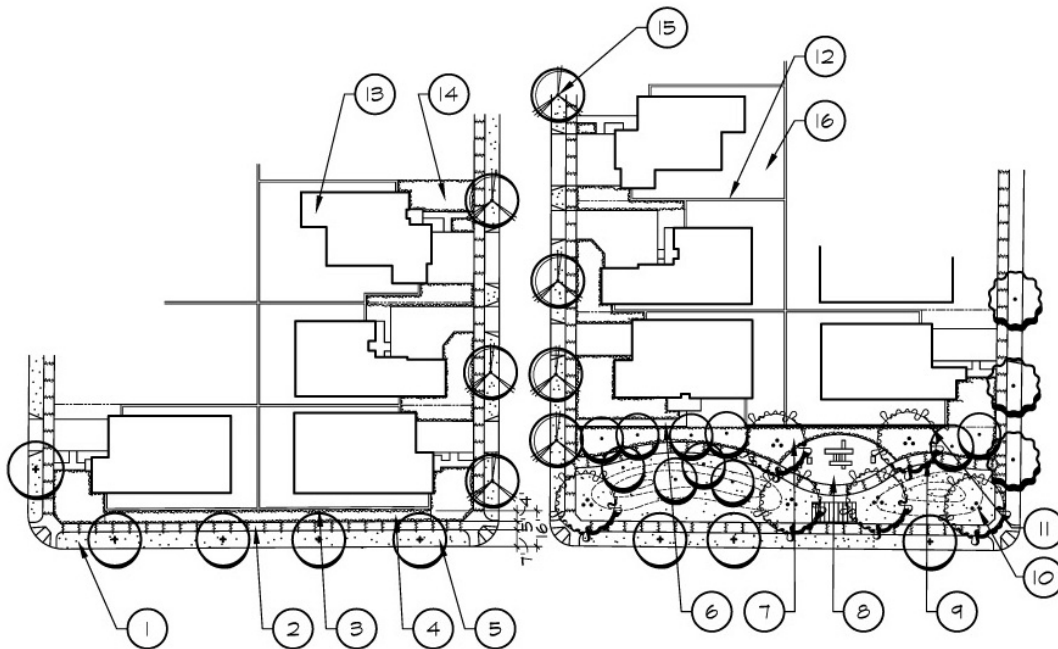
- SEATING
- GARDEN
- WALKWAY
- OPEN TURF AREA
- PARK ACCENT TREES
- TREE AND SHRUB RESIDENTIAL BUFFER-12' WIDE(MIN.)
- TRASH RECEPTACLE
- SHADE TREES
- DRINKING FOUNTAIN
- LIGHTING



**Exhibit 8-41: Typical Adult Active Pocket Park**

# SECTION 8 • Design Guidelines

- |  |  |  |
|--|--|--|
| ① 7'-0" TURF PARKWAY                     | ⑦ SHRUB BUFFER AT RESIDENTIALEDGE                            | ⑬ TYPICAL HOUSE PLOTTING   |
| ② 5'-0" SIDEWALK                         | ⑧ PASSIVE OR ACTIVE POCKET PARK                              | ⑭ FRONT YARD LANDSCAPING BY THE DEVELOPER  |
| ③ 6'-0" HIGH WALL                        | ⑨ PARK WALK  | ⑮ EACH NEIGHBORHOOD STREET PLANTED WITH A DIFFERENT SPECIES OF TREE. ENFORCE STREETSCENE IDENTITY. |
| ④ 4'-0" WIDE SIDEYARD SHRUB ZONE.        | ⑩ PARK ACCENT TREE   | ⑯ REAR YARD LANDSCAPING BY HOMEOWNER   |
| ⑤ NEIGHBORHOOD STREET TREE - 24" BOX     | ⑪ 6'-0" HIGH SOLID COMMUNITY WALL (WHEN SIDEYARD FACES PARK) |  |
| ⑥ RESIDENTIAL FRONT YARD (MAY FACE PARK) | ⑫ 6'-0" HIGH REAR AND SIDE YARD PROPERTY LINE WALL           |  |



- STREET TREES • ONE (1) PER LOT OR 30' ON CENTER SPACING (FRONT YARD)
  - TWO (2) STREET TREES ON SIDEYARDS (MINIMUM)
  - STREET TREES SELECTED FROM THE COMMUNITY PLANT LIST
- ALL TREES AND SHRUBS TO BE SELECTED FROM THE COMMUNITY PLANT LIST
- ALL STREET TREES TO BE 24" BOX MINIMUM
- ALL STREET TREES TO BE HOA MAINTAINED

NOTE:  
ALL LANDSCAPE MATERIALS SHALL BE PER THE NMC STREETSCAPE MASTER PLAN, AS ADOPTED BY THE CITY OF ONTARIO.

SCALE: N.T.S.

**Exhibit 8-42: TYPICAL NEIGHBORHOOD LANDSCAPE PLAN**

## SECTION 8 • Design Guidelines

and weekly maintenance tasks.

Landscape maintenance shall include, but not be limited to the following:

- Irrigation System Maintenance
  - a. Water Management
  - b. Submittal of monthly water usage records
  - c. Repair irrigation systems on a daily basis
  - d. Monitor the irrigation for clogged heads or malfunctions.
- Annual horticultural soil test to confirm seasonal fertilizer recommendations.
- Work Near Utilities
  - a. Notify the appropriate utility company/ "Underground Service Alert" before performing maintenance work around utilities.
- Weeding/Mulching
  - a. Weeding shall be performed on a weekly basis. Utilize mulch, proper watering and pre-emergents as necessary to control weeds.
- Mowing
  - a. All lawns shall be mowed weekly during the growing season and as needed throughout the non-growing season. Dispose of all clippings in a approved recycling site.
- Trimming Trees and Shrubs
  - a. Trim all trees annually to shape trees, and prevent heavy limbs from damage in the wind. Perform safety pruning of low hanging limbs immediately when noticed.
  - b. Street tree canopies shall be trimmed to 7'-0" clear.
  - c. All shrubs in public view areas shall be trimmed to grow no higher than 3'-0".
- Rodent/Insect Control
  - a. Treat the site and plant material for rodents and insects whenever noticed.
- Hardscape
  - a. Keep all walks clear of debris at all times.

- Trash Collection
  - a. Collect and remove trash from the site on an as needed basis.
- Drainage Facilities
  - a. Maintain all landscape drainage facilities on a on-going basis.
- Safety Procedures
  - a. Review all safety procedures with the maintenance staff on a weekly basis. Steps shall be taken at all times to protect the public from all equipment used on the site. Set up protected work areas as necessary when performing landscape maintenance.
- Monthly Maintenance Review
  - a. Perform a monthly maintenance review of all areas with the HOA, and generate a list of items to be completed during the next month.
- Grading and Drainage

The following grading and drainage guidelines shall apply to all Landscape areas, as approved by the City of Ontario.

- a. All Landscape areas shall have a positive surface flow from high points at 2% minimum.
- b. Maximum grade for turf – 5:1.

### 8.9.6 Landscape Lighting

All perimeter and neighborhood streets shall receive uniform lighting standards to insure project consistency. All street lights shall be per the City of Ontario Standards and Regulations, and shall be in conformance with Southern California Edison Company. All other site lighting shall be uniform and unobtrusive and shall comply with City and Police Department Standards. To also aid in project consistency, no neon or low-pressure sodium lighting will be permitted. All lighting shall comply to the following:

- The following areas are to be illuminated
  - a. Entry Monumentation
  - b. Streetscenes

- c. Pocket Parks
- d. Neighborhood Park
  - e. Paseos not within the SCE Easement
- Per Southern California Edison (SCE) restrictions, no lighting will be allowed within the SCE Easement.
- Outdoor lighting shall comply with any and all applicable requirements and policies of the City of Ontario. Energy conservation, safety, and security should be emphasized when designating any lighting system.
- All lighting plans shall be prepared by a State of California Licensed Electrical Engineer, or as approved by the City of Ontario.
- All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.
- All exterior lights should be shielded and focused to minimize spill light into adjacent properties.
- Light globes shall be of unbreakable plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal resistant, yet should not look institutional. All light fixtures shall meet all City of Ontario Public Works requirements and standards for light fixtures used in public spaces.
- The following shall receive area lighting as follows:
  - a. *Community Monumentation Walls Graphics* – Lighted with flood lights (wash wall with light), illuminating graphics. Lights shall be screened with low shrubbery, as approved by the City of Ontario
  - b. *Palm Trees at Monumentation Corners* – Washingtonia Palms at entry monumentation areas shall be lighted using spot lights (two (2) per tree), attached to Palm trunk, threequarter (3/4) up the trunk – as approved by the City of Ontario
- d. *Specimen Tree at Major, Secondary and Neighborhood Entries* – Lighted with tree up-lights (two (2) per tree). Lights shall be screened with low shrubbery – as approved by the City of Ontario.
- e. *Neighborhood Park and Pocket Park Walkways* – Lighted by either a decorative pole light (15’ high maximum) or a decorative bollard type light fixture – as approved by the City of Ontario (also see **Section 8.10.6 “Site Furniture”**).
- f. *Parking Lots* – lighted by a decorative pole light (25’ minimum height) – as approved by the City of Ontario (also see **Section 8.10.6 “Site Furniture”**).
- g. *Street Lights* – Lighted using a Southern California Edison approved street light – as approved by the City of Ontario. (also see **Section 8.10.6 “Site Furniture”**).
- h. *Alleys* – Exterior wall mounted lights with a photo cell – as approved by the City of Ontario.
- All exterior lighting design should develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of public spaces. Entry areas (both pedestrian and vehicular), public plazas, community facilities, and highly used recreation areas shall be creatively lit to develop a sense of place and arrival.
- All exterior lighting designs shall address the issue of security. Parking lots, alleys, pedestrian walkways, and building entrances shall be well lighted for security reasons.
- No freestanding residential lighting fixtures shall exceed fifteen feet (15’) in height; parking lot light standards shall not exceed twenty-five feet (25’). In no case shall overwash occur beyond the property lines.
- Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover should occur outside the service

## SECTION 8 • Design Guidelines

area. The light source is not to be visible from the street. The use of wall packs shall be avoided.

- All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility or shall be screened with appropriate plant materials.

### 8.10 Plant Material Guidelines

#### 8.10.1 Introduction

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to West Haven. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance. Wherever possible, overall plant material selection for given project areas, shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

#### 8.10.2 Planting Constraints

There are several planting and hardscape restrictions, constraints and considerations that occur with the West Haven Community as follows:

- No tree planted closer than 4' to a hardscape element – trees closer than 5' require a linear type root barrier adjacent to sidewalk and curb, as approved by the City of Ontario.
- Walkways within the greenbelt and SCE Easement are to be no closer than 10 feet (10') to a property line wall, to allow for adequate screening.
- Walkways within the Gas Company Easement are to be no closer than ten feet (10') to a property line wall to allow for adequate screening.
- Trees within the Gas Company Easement shall be deep rooted trees. The ultimate drip line of all trees shall be held 10' clear of the existing gas line.
- Trees within the Linear Park area in the SCE Easement shall be small drought tolerant trees, not higher than fifteen feet (15') high.

#### 8.10.3 Planting Schedule

Installation of plant materials during the coldest winter months (December through February) and the hottest summer months (July through September) can be difficult. Container plant material not acclimated to the area can easily suffer from frost damage or sun/heat exposure resulting in partial or entire foliage loss even though such materials are perfectly suited to the temperature ranges once established. If planting is done during these difficult periods, plant establishment may be difficult, and may require a prolonged period of time.

#### 8.10.4 Horticultural Soils Test

##### Requirements

Soil characteristics within the West Haven project will vary due to the current dairy operations. The owners of parcels shall procure a horticultural soils report prior to landscaping to determine the proper soil preparation, planting amendments and maintenance required for all plant material. In addition to agricultural suitability, testing shall also be performed to establish the percolation rate of the soil to determine its suitability for retention and infiltration of storm water runoff from paved areas of the site. The horticultural soils testing shall be performed by a qualified soils testing laboratory and shall include soil fertility, agricultural suitability analysis and preplanting and post-planting recommendations.

#### 8.10.5 Irrigation

All irrigation systems installed in any commonly irrigated lots, and which are maintained by the Homeowner Association or a Landscape Maintenance District shall be designed to conform to the states Water Conservation Assembly Bill 325 and any City of Ontario Water Conservation Guidelines currently in effect. All irrigation systems shall be installed in conformance with all City of Ontario Standards.

All landscaped areas to include neighborhood parkways and residential front yards shall be watered with a permanent underground irrigation system, and shall be designed with head to head 100 percent double coverage. Landscape areas within the SCE Easement shall be watered using 'point irrigation' bubbler systems. Spray irrigation heads and drip



irrigation shall not be used in the SCE Easement area. No irrigation controllers or irrigation main line are allowed within the SCE Easement.

All HOA or City CFD maintained areas shall be designed using treated recycled water.

Water saving irrigation equipment shall be used, including flow sensors, moisture sensors, and using CIMIS irrigation management system.

The following shall be incorporated into all irrigation designs and installations:

- Water Meter – per City of Ontario requirements.
- Electrical Meters – per City of Ontario requirements.
- Basket Strainer – for Reclaimed Irrigation Systems.
- Backflow Device – for Domestic Irrigation Systems.
- Irrigation Pumps – if required (no plastic).
- Remote Control Master Irrigation Valves
- Pressure Regulators – if required, based on pressure.
- Quick Coupler Valves – 100’ on center.
- Remote Irrigation Control Valves
- Flow Sensors
- Gate Valves
- Irrigation Controllers – shall be Central Control Irrigation System, per the City of Ontario.
- Communication Conduit/Cable – provide conduit and pull boxes and cable.
- Irrigation PVC Mainline – provide purple pipe reclaimed mainline for all reclaimed irrigation systems.
- Irrigation Lateral Lines – purple pipe.
- Irrigation Sleeves – provide irrigation wire and pipe sleeves under all streets and hardscape.
- Irrigation common and control wires per City of Ontario.
- Irrigation Turf Heads – provide 6” pop up heads for all turf areas.

- Shrub Heads – provide 12” pop up heads for all shrub areas.
- Pressure Compensating Screens – provide pressure compensating screens to adjust to all spray heads.

### 8.10.6 Site Furniture

Site furniture in addition to landscape materials, color, texture and theming create the overall identity of the West Haven specific Plan Area, making it different from other communities within the Ontario Ranch Planned Community.

Some examples of the West Haven site furniture imagery are as follows (*all the following are pending following final adoption by the City of Ontario*):

#### 8.10.6(a) Overall Site Furniture at Community Level Imagery

(See *Exhibits 8-43(a)* through *(d)* “*Community Site Furniture Imagery.*”)

- Benches at the major community monumentation •
- Trash receptacles
- Stone at monumentation walls with lighting
- Stone pilasters
- Street light
- Bus stop shelter
- Mail boxes

## SECTION 8 • Design Guidelines

### 8.10.6(b) Overall Site Furniture at Parks and Paseo Areas Imagery

(See *Exhibits 8-44(a)* through *(f)* “*Park and Paseo Site Furniture Imagery.*”)

- Benches
- Trash receptacles
- Picnic tables
- Brazier
- Bike rack
- Drinking fountain
- Picnic shelter (Polygon shelter with slatted roof)
- Tot-lot
- Walkway and area lighting.

## SECTION 8 • Design Guidelines

TRASH RECEPTACLE AT MAJOR  
COMMUNITY MONUMENTATION AND AT  
BUS STOPS



- IRONSITES TRASH, ASH AND RECYCLING RECEPTACLES  
COLOR: BLACK  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

VICTOR STANLEY, INC.  
PO DRAWER 330  
DUNKIRK, MD 20754  
301-855-8300  
800-368-2573  
FAX: 410-257-7579

AVAILABLE THROUGH:  
DAVE BANG ASSOCIATES  
PO BOX 1088  
TUSTIN, CA 92781  
800-669-2585



BENCH AT MAJOR COMMUNITY  
MONUMENTATION AND AT BUS STOPS

- BENCH  
MODEL 58-60 6' BENCH/ 58-80 8' BENCH  
COLOR: BLACK  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

DUMOR, INC.  
PO BOX 142  
MIFFINTOWN, PA 17055  
714-430-2106  
FAX: 717-430-9839

AVAILABLE THROUGH:

WAKEFIELD CO.  
ATTN: RYAN MIJA  
949-552-1130  
949-552-1626



- COLORED CONCRETE WITH BOMANITE FINISH  
PATTERN: ASHLAR SLATE  
COLOR: DESERT TAN  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

BOMANITE CORPORATION  
PO BOX 599  
MADERA, CA 93639-0599  
559-673-2411  
fax: 559-673-8246

AVAILABLE THROUGH:

SULLIVAN CONCRETE TEXTURES  
1111 BAKER STREET  
COSTA MESA, CA 92626

714-556-7633  
714-755-5541

### *Exhibit 8-43(a): COMMUNITY SITE FURNITURE IMAGERY*

## SECTION 8 • Design Guidelines

### BUS STOP SHELTER



- PER NMC STREETScape MASTER PLAN

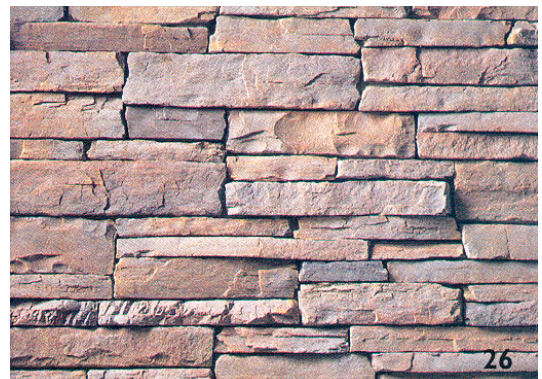
### STONE AT MONUMENTATION WALLS AND PILASTERS

- COUNTRY LEDGESTONE  
COLOR: SHALE LEDGESTONE (CSV-20044)  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

CULTURED STONE  
OWENS CORNING  
ONE OWENS CORNER PARKWAY  
TOLEDO, OHIO 43659  
(800) 255-1727

AVAILABLE THROUGH:

CULTURED STONE  
27702 CROWN VALLEY PKWY #151 SUITE D-4  
LADERA RANCH, CA 92694  
(949) 347-6904



### *Exhibit 8-43(b): COMMUNITY SITE FURNITURE IMAGERY*

### STREET LIGHTING

THE SELECTED STREET LIGHT WILL BE THE SCE CARPINTERIA POLE AND TEAR DROP FIXTURE WITH 250 WATT OPTICS, AVAILABLE FROM:  
SOUTH COAST LIGHTING  
1391 CALLE AVENZADO  
SAN CLEMENTE, CA 92673  
PHONE: 949-276-8850  
FAX: 949-276-8855



THE ALUMINUM CARPINTERIA POLE AND FIXTURE WILL BE PAINTED BLACK. THE ONLY EXCEPTION TO THE SELECTED FIXTURE WILL BE ON THE SOUTH SIDE OF RIVERSIDE DRIVE. COBRAHEAD FIXTURES WILL BE INSTALLED ON THE SOUTH SIDE TO MATCH THE EXISTING ONES ON THE NORTH



### *Exhibit 8-43(c): COMMUNITY SITE FURNITURE IMAGERY*

## SECTION 8 • Design Guidelines



- MAILBOX  
COURTYARD POST  
4XD1-8008-CY-SI-103-SI-025  
COLOR: BLACK

CUSTOM HOME ACCESSORIES, INC.  
11300 TRADE CENTER DRIVE, STE. A  
RANCHO CORDOVA, CA 95742

800-265-0041  
916-635-0228  
CONTACT: STEVE WHISENHUNT

*Exhibit 8-43(d): COMMUNITY SITE FURNITURE IMAGERY*

TRASH RECEPTACLE AT ALL PARKS AND IN PASEOS



- IRONSITES TRASH, ASH AND RECYCLING RECEPTACLES  
COLOR: BLACK  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

VICTOR STANLEY, INC.  
PO DRAWER 330  
DUNKIRK, MD 20754  
301-855-8300  
800-368-2573  
FAX: 410-257-7579

AVAILABLE THROUGH:

DAVE BANG ASSOCIATES  
PO BOX 1088  
TUSTIN, CA 92781  
800-669-2585

*Exhibit 8-44(a): PARK AND PASEO SITE FURNITURE IMAGERY*

## SECTION 8 • Design Guidelines

### BIKE RACK- NEIGHBORHOOD PARK AND POCKET PARKS



- BIKE RACK  
125-130 SERIES  
COLOR: BLACK  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

AVAILABLE THROUGH:

DUMOR, INC.  
PO BOX 142  
MIFFINTOWN, PA 17055  
717-430-2106  
FAX: 717-430-9839

### DRINKING FOUNTAIN- NEIGHBORHOOD PARK AND POCKET PARKS



#3511 FR

#3511

- DRINKING FOUNTAIN  
PEDESTAL FOUNTAIN #3511  
COLOR: BLACK  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

AVAILABLE THROUGH:

HAWS CORPORATION  
MANUFACTURES REPRESENTATIVE:  
R.V. AND ASSOCIATES  
JACKIE  
707-745-3655  
3200 BAYSHORE ROAD  
BENICIA, CA 94510  
FAX: 707-745-2059

### PICNIC SHELTER



- SCOTTS DALE SERIES  
16' X 16' MODEL  
COLOR: BLACK POSTS WITH TERRA COTTA  
STEEL ROOF  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

CLASSIC RECREATION SYSTEMS, INC.  
(800) 697-2195

AVAILABLE THROUGH:

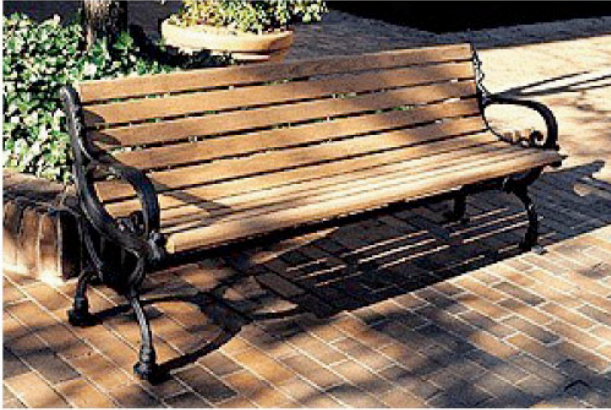
HANSON ASSOCIATES  
18448 WARD ST.  
FOUNTAIN VALLEY, CA 92708  
(714) 593-1060

### *Exhibit 8-44(b)* PARK AND PASEO SITE FURNITURE IMAGERY



## SECTION 8 • Design Guidelines

### PARK BENCH



- BENCH  
MODEL C-10: CLASSIC SERIES  
6-FOOT LENGTH  
COLOR: BLACK  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

VICTOR STANLEY, INC.  
P.O. DRAWER 330  
DUNKIRK, MD 20754  
301-855-8300  
800-368-2573  
FAX: 410-257-7579

AVAILABLE THROUGH:  
DAVE BANG ASSOCIATES, INC.  
PO BOX 1088  
TUSTIN, CA 92781  
(800) 669-2585

### PARK BRAZIER



- PEDESTAL GRILL  
MODEL 205-X  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

IRON MOUNTAIN FORGE  
LITTLE TIKES COMMERCIAL PLAY SYSTEM INC.  
P.O. BOX 89  
ONE IRON MOUNTAIN DRIVE  
FARMINGTON, MI 63640  
573-756-4591  
800-325-8828

AVAILABLE THROUGH:  
PACIFIC DESIGN CONCEPTS  
PO BOX 1909  
HUNTINGTON BEACH, CA  
(800) 367-7325

### *Exhibit 8-44(c): PARK AND PASEO SITE FURNITURE IMAGERY*

## SECTION 8 • Design Guidelines



PICNIC TABLE

- PEDESTAL TABLE  
MODEL 264-4XR  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

IRON MOUNTAIN FORGE  
LITTLE TIKES COMMERCIAL PLAY SYSTEM INC.  
P.O. BOX 897  
ONE IRON MOUNTAIN DRIVE  
FARMINGTON, MI 63640  
573-756-4591  
800-325-8828  
FAX: 573-756-0319

AVAILABLE THROUGH:  
PACIFIC DESIGN CONCEPTS  
PO BOX 1909  
HUNTINGTON BEACH, CA  
(800) 367-7325



- PEDESTAL TABLE  
MODEL 266-6XR  
ADA ACCESSIBLE  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

IRON MOUNTAIN FORGE  
LITTLE TIKES COMMERCIAL PLAY SYSTEM INC.  
P.O. BOX 897  
ONE IRON MOUNTAIN DRIVE  
FARMINGTON, MI 63640  
573-756-4591  
800-325-8828  
FAX: 573-756-0319

AVAILABLE THROUGH:

PACIFIC DESIGN CONCEPTS  
PO BOX 1909  
HUNTINGTON BEACH, CA  
(800) 367-7325

PICNIC TABLE  
ADA ACCESSIBLE

### *Exhibit 8-44(d): PARK AND PASEO SITE FURNITURE IMAGERY*

## SECTION 8 • Design Guidelines



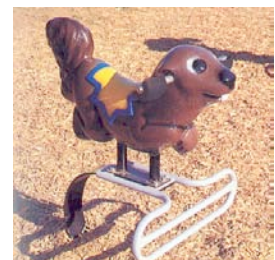
PLAY STRUCTURE EXAMPLE  
7-12 YEARS OLD

- ALL TOT-LOT EQUIPMENT PLAY WORLD, LANDSCAPE STRUCTURES OR AS APPROVED BY THE CITY OF ONTARIO PARKS AND MAINTENANCE DEPARTMENT.

PLAYWORLD SYSTEMS  
1000 BUFFALO ROAD  
LEWISBERG, PA 17837  
(800) 233-8404  
SOUTHERN CALIFORNIA REPRESENTATIVE  
RECWEST OUTDOOR PRODUCTS, INC.  
31320 VIA COLINAS, SUITE 108  
WESTLAKE VILLAGE, CA 91362  
(818) 735-3838

ROOFS- FOREST GREEN  
UNDER STRUCTURE- SAND AND YELLOW  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

PLAY STRUCTURE  
EXAMPLE  
TODDLERS



**Exhibit 8-44(e): PARK AND PASEO SITE FURNITURE IMAGERY**

# SECTION 8 • Design Guidelines

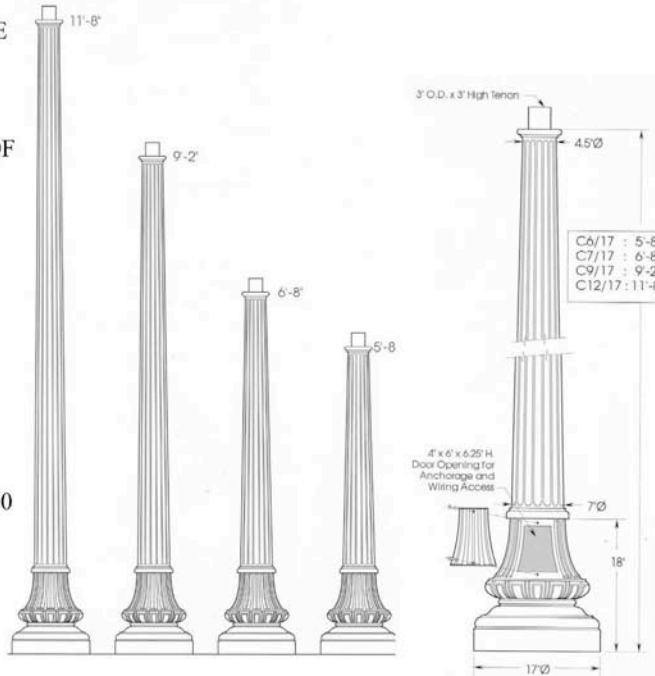
## WALKWAY AND AREA LIGHTING IMAGERY

- CAST IRON POSTS -17" DIA. BASE  
CAPITOL SERIES  
(CLAM-SHELL STYLE BASE)  
COLOR: BLACK  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

ANTIQUÉ STREET LAMPS, INC.  
PO BOX 150279  
AUSTIN, TX, 78715-0279  
512-295-3585  
FAX: 512-295-3330

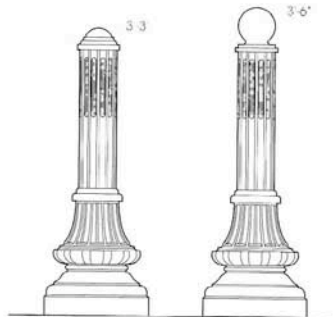
AVAILABLE THROUGH:

PACIFIC LIGHTING SALES, INC.  
23666 BUTCHER DRIVE, SUITE 100  
LAKE FOREST, CA 92630  
949-597-1633  
FAX: 949-597-1753



ALL LIGHTING MUST BE METAL HALIDE IN ORDER TO PROJECT TRUE COLORS AND PROVIDE CLEAR VISIBILITY

## BOLLARD LIGHT IMAGERY



- BOLLARDS  
WASHINGTON SERIES  
(OR AS ADOPTED BY THE CITY OF ONTARIO)

ANTIQUÉ STREET LAMPS, INC.  
PO BOX 150279  
AUSTIN, TX, 78715-0279  
512-295-3585  
FAX: 512-295-3330

AVAILABLE THROUGH:

PACIFIC LIGHTING SALES, INC.  
23666 BUTCHER DRIVE, SUITE 100  
LAKE FOREST, CA 92630  
949-597-1633  
FAX: 949-597-1753

### Exhibit 8-44(f): PARK AND PASEO SITE FURNITURE IMAGERY

## SECTION 9 DEVELOPMENT STANDARDS

### 9.1 Introduction

The following is a general description of planning objectives, which pertain to the West Haven Specific Plan development. Development standards specific to each of the 9 Planning Areas are addressed in *Section 9.3, “Planning Area Development Standards.”* Residential development standards pertaining to minimum lots sizes are presented in Section 9.4, “Residential Development Standards.” Commercial development standards are presented in *Section 9.5 “Neighborhood Center Commercial Development Standards.”*

### 9.2 Planning Objectives

The West Haven Specific Plan is being prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. In addition to considering issues such as engineering feasibility, market acceptance, economic viability, city General Plan goals and objectives, development phasing and local community goals, additional planning objectives were identified to assure the environmental compatibility, aesthetic satisfaction and functional integrity of the Specific Plan as a whole. With these planning objectives in mind, the West Haven Specific Plan:

- Considers topographic, prior land uses, geologic and hydrologic environmental opportunities and constraints to create a design that conforms to the character of the land. The project will require minimal alteration of existing landforms, since the West Haven site is uniformly and gently sloping.

- Reflects anticipated marketing needs and public demand by providing a range of architectural styles, which will be marketable within the developing economic profile of the City of Ontario.
- Provides residential development, adequate support facilities (Neighborhood Center/commercial, parks, paseos, schools, open space and recreation) and circulation in a convenient and efficient manner.
- Provides planning provisions for a safe and efficient circulation system composed of a network of planned local roadways designed for appropriate traffic and user needs.
- Establishes a unique open space environment utilizing a greenbelt/paseo system, neighborhood edges and expanded parkways to link the Neighborhood Park, recreation areas, school and Neighborhood Center.
- Constructs the required on-site and off-site infrastructure improvements in order to provide a coordinated development schedule consistent with surrounding land uses and in accordance with requirements and needs of the City’s local utility and service districts.
- Encourages architectural forward residential building design, incorporating innovative architectural styles along with successful site planning techniques, which together bring about unique streetscenes.
- Allows transfer of residential units within the Specific Plan area.

## SECTION 9 • Development Standards

### 9.2.1 Residential Unit Transfer Between Planning Areas

*Exhibit 3-1, “West Haven Land Use Plan”* and *Table 3-1, “Residential Summary”* set forth the planning area identification, total residential acreage, density and total dwelling units planned for each residential Planning Area. Residential unit transfer allows for the redistribution of residential units from one Planning Area to another. For example, if the number of units developed within a Planning Area is below the designated units, then the remainder of those units may be transferred to another Planning Area. The City of Ontario shall approve a change in the designated units for a Planning Area upon a determination that the transfer meets all of the following conditions:

- a. The total number of approved residential units and the total number of projected future residential units, when combined, shall not exceed the allowed maximum of 1,142 dwelling units.
- b. A developer may transfer unused residential units from a previously approved Planning Area (or Planning Areas) to a proposed Planning Area(s) as unused residential units, eligible for residential unit transfer. When a development application is submitted to the City for a Planning Area(s), the developer must submit, concurrently with the application, a project residential unit reconciliation summary that identifies units previously declared eligible for residential unit transfer and the total number of projected future residential units remaining to be developed in the balance of the project.
- c. The number of excess residential units identified for transfer to a Planning Area(s) may not exceed 10% of the total residential units in the receiving Planning Area, as identified in *Table 3-1, “Residential Summary.”*
- d. There would be no significant adverse effect on projected demands on parks, schools, infrastructure and community facilities.
- e. Grading and landform alteration would substantially comply with that previously approved for the Specific Plan.
- f. No new significant environmental issues would result.

## 9.3 Planning Area Development Standards

### 9.3.1 Introduction

For specific Residential Development Standards, please refer to *Section 9.4, “Residential Development Standards.”*

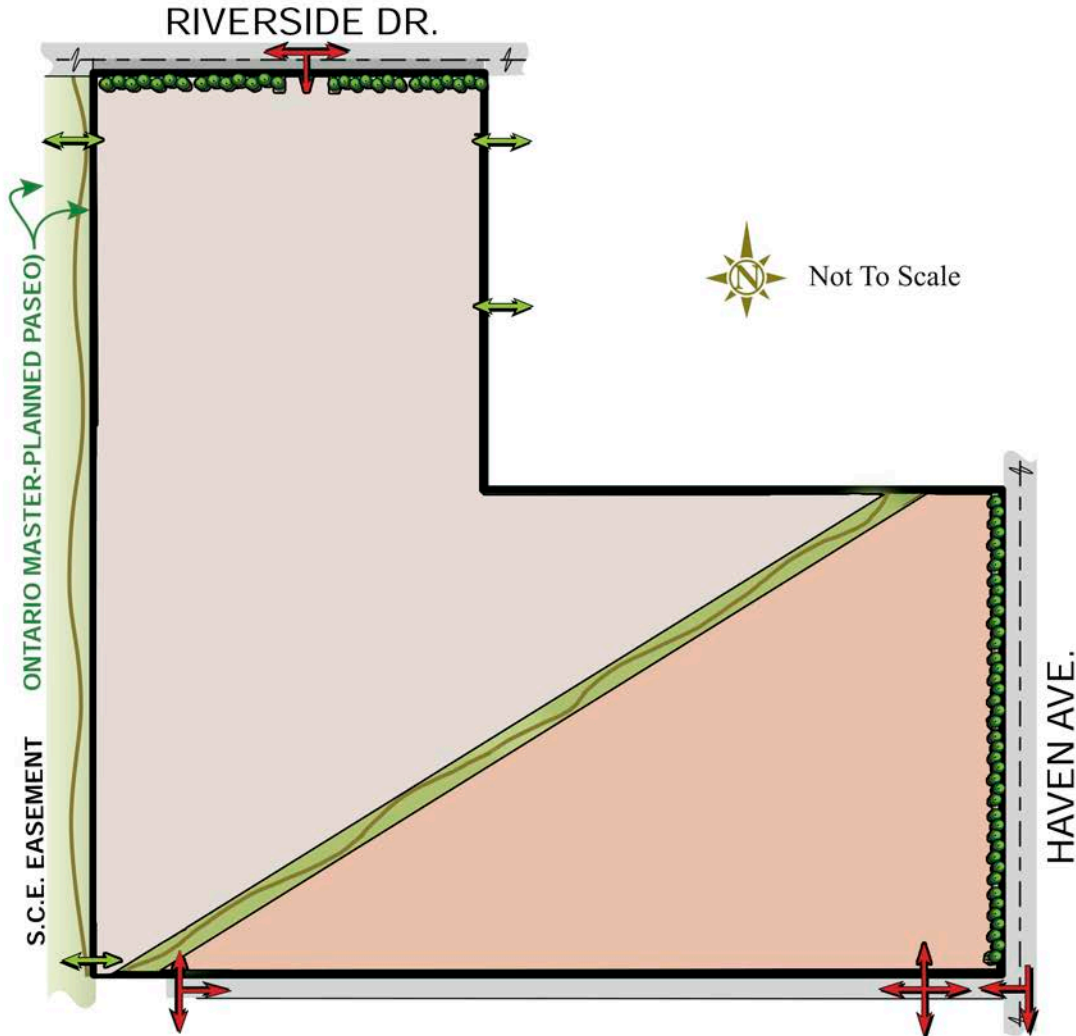
Likewise, refer to the following sections for additional general development standards that apply site-wide:

- *Section 3, “Land Use Plan”*
- *Section 4, “Circulation Plan”*
- *Section 5, “Infrastructure and Public Services Plan”*
- *Section 6, “Open Space and Recreation Plan”*
- *Section 7, “Grading Plan”*
- *Section 8, “Design Guidelines”*

What follows is a description of standards for Planning Areas within the West Haven Project.

#### 9.3.1(a) Planning Area 1: Residential Description

Planning Area 1, as depicted in Exhibit 9-1, “Planning Area 1 – Conceptual Lotting,” provides for 28.52 gross acres (25.51 net acres) of single-family detached (SFD). A total of 451 dwelling units (DU), consisting of diverse product types, are



**EXHIBIT 9-1: PLANNING AREA 1 – CONCEPTUAL LOTTING**

planned at a density of 15.81 DU/Net AC. Pocket parks, at various configurations, are provided along the SCG Easement. Specific lot and street configurations shall be determined at the Tentative Map stage.

**Planning Area 1: Planning Standards**

1. Access into Planning Area 1 shall be provided from Riverside Drive and Haven Avenue with internal access through Planning Area 3. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to **Section 8, “Design Guidelines”** for specific residential architectural and landscaping guidelines.
3. Neighborhood edge landscape treatments shall be provided along Riverside Drive and Haven Avenue. Refer to **Exhibit 8-18, “Riverside Drive Streetscene at Residential”** and **Exhibit 8-20, “Haven Avenue Streetscene at Residential.”**
4. A 30-foot paseo is provided within the SCE easement along the western boundary of the Planning Area and within the SCG easement, which runs diagonally through the Planning Area with multiple pedestrian connections. A minimum of one (1) connection to the westerly SCE easement paseos will be provided.

## SECTION 9 • Development Standards



**EXHIBIT 9-2: PLANNING AREA 2 – CONCEPTUAL NEIGHBORHOOD CENTER SITE PLAN**

### 9.3.1(b) Planning Area 2: Neighborhood Center Description

Planning Area 2 provides for approximately 9.3 net acres (approximately 11.7 acres gross), including 87,000 square feet of building area and a parking lot(s).

#### *Planning Area 2: Planning Standards*

1. Access into Planning Area 2 shall be provided from Riverside Drive and Haven Avenue. Specific location of these access points shall be determined at the Entitlement stage.
2. Please refer to **Section 8, “Design Guidelines”** for specific commercial architectural and landscaping guidelines.
3. A major community monumentation and landscaping is provided at the corner of Riverside Drive and Haven Avenue. Refer to **Exhibit 8-26,**

*“Major Community Monumentation at Haven Avenue and Riverside Drive (Neighborhood Center Commercial Corner).”*

4. Neighborhood edge landscape treatments shall be provided along Riverside Drive and Haven Avenue. Refer to **Exhibit 8-17, “Riverside Drive Streetscene at Neighborhood Center Commercial”** and **Exhibit 8-19, “Haven Avenue Streetscene at Neighborhood Center Commercial.”**

Please refer to **Exhibit 9-2, “Planning Area 2 – Conceptual Neighborhood Center Site Plan.”** Please note that specific building and parking configurations shall be determined at the Entitlement stage.

### 9.3.1(c) Planning Area 3: Residential Description

Planning Area 3 provides for 19.17 gross acres (18.93 net acres) of Residential Medium Density uses. A total of 203 dwelling units (DU) are planned



## SECTION 9 • Development Standards

at a density of 10.01 DU/Net AC. Single-family detached, and attached product types are proposed for future development.

### *Planning Area 3: Planning Standards*

1. Access into Planning Area 3 shall be provided from Haven Avenue, with internal access through Planning Areas 1 and 4. Specific location of the access point shall be determined at the Tentative Map stage.
2. Please refer to *Section 8, "Design Guidelines"* for specific residential architectural and landscaping guidelines.
3. Neighborhood edge landscape treatments shall be provided along Haven Avenue. Refer to *Exhibit 8-20, "Haven Avenue Streetscene at Residential."*
4. A 30-foot paseo shall be provided within the SCE easement along the western boundary of the Planning Area. A minimum of one (1) connection to the paseo will be provided.
5. A westerly local street right-of-way will be provided to connect with Planning Areas 1 and 4 to provide for circulation and utility connections.

Specific lot sizes, lotting, and street configurations shall be determined at the Tentative Map stage.

### **9.3.1(d) Planning Area 4: Residential Description**

Planning Area 4 provides for 20.11 gross acres (17.18 net acres) of residential use. A total of 106 dwelling units (DU), at 3,825 square foot minimum lot size, are planned at a density of 6.17 DU/Net AC. Single family detached product types are proposed for development.

### *Planning Area 4: Planning Standards*

1. Access into Planning Area 4 shall be provided from Haven and Chino Avenues, with internal access through Planning Area 3. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to *Section 8, "Design Guidelines"* for specific residential architectural and landscaping guidelines.



**EXHIBIT 9-3: PLANNING AREA 4 – APPROVED LOTTING (Tract Maps 18026 and 18027)**

## SECTION 9 • Development Standards

3. A Secondary Community Entry Monumentation and landscaping is provided at the northwesterly corner of Haven and Chino Avenues. Refer to *Exhibit 8-27, "Typical Secondary Community Monumentation."*
4. Neighborhood edge landscape treatments shall be provided along Haven and Chino Avenues. Refer to *Exhibit 8-20, "Haven Avenue Streetscene at Residential"* and *Exhibit 8-22, "Chino Avenue Streetscene at Residential and SCE Easement."*
5. A 30-foot paseo shall be provided within the SCE easement along the western boundary of the Planning Area. Access will be provided along the neighborhood edge along Chino Avenue.

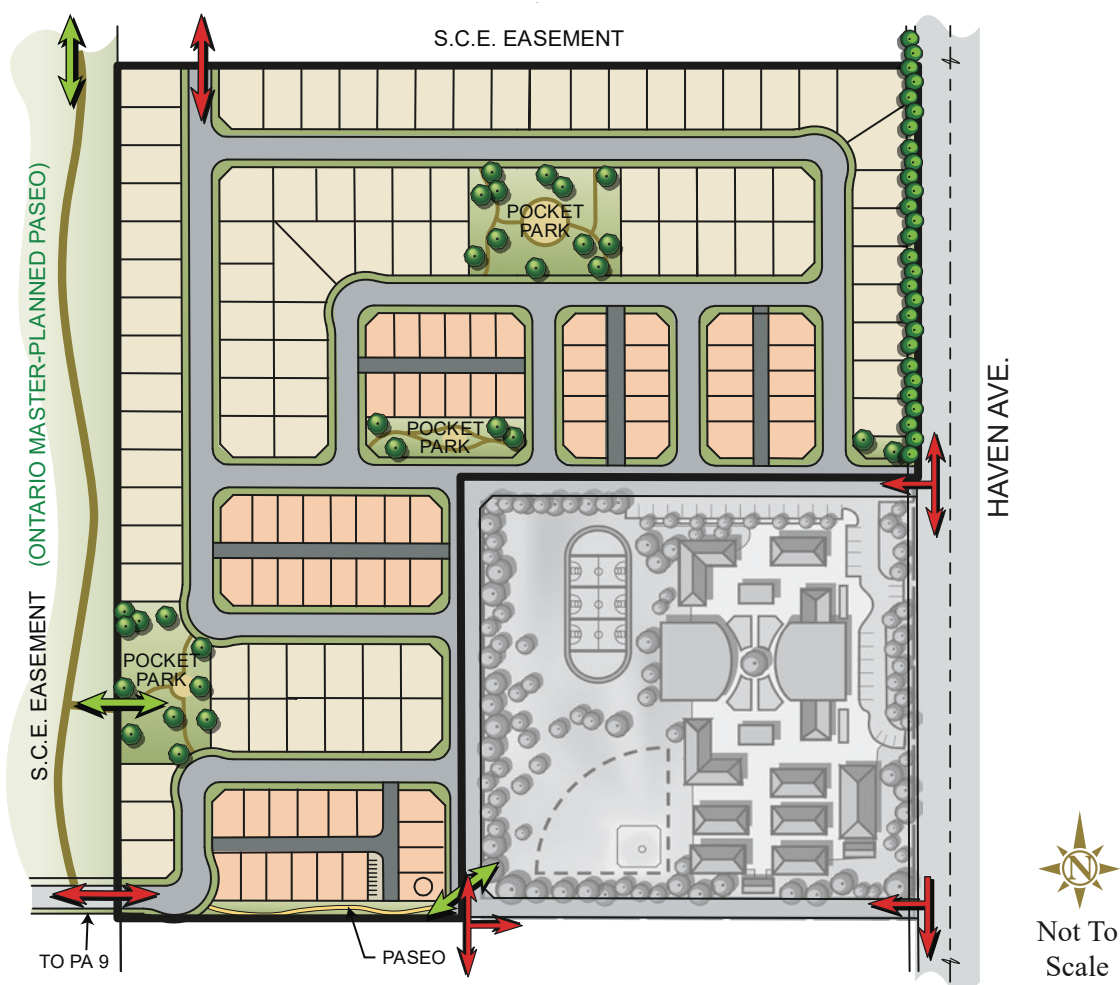
Please refer to *Exhibit 9-3 "Planning Area 4 – Conceptual Lotting."* Specific lot and street configurations shall be determined at the entitlement stage.

### 9.3.1(e) Planning Area 5: Residential Description

Planning Area 5 provides for 38.21 gross acres (27.08 net acres) of residential use. A total of 149 dwelling units (DU), with minimum lot sizes of 2,800 and 5,100 square feet, are planned at a density of 5.50 DU/Net AC. Higher density detached or attached product types may be provided in the area around the Neighborhood Park.

#### Planning Area 5: Planning Standards

1. Access into Planning Area 5 is provided from Haven Avenue, with possible internal access through Planning Area 8. Specific location of these access points shall be determined at the Tentative Map stage.
2. Please refer to *Section 8, "Design Guidelines"* for specific residential architectural and landscaping guidelines.



**EXHIBIT 9-4: PLANNING AREA 5 – CONCEPTUAL LOTTING**

## SECTION 9 • Development Standards

3. A Secondary Community Entry Monumentation and landscaping is provided at the southwesterly corner of Haven and Chino Avenues. Refer to *Exhibit 8-27, "Typical Secondary Community Monumentation."*
4. Neighborhood edge landscape treatments shall be provided along Haven and Chino Avenues and along the Planning Area 7. Refer to *Exhibit 820, "Haven Avenue Streetscene at Residential"* and *Exhibit 8-22, "Chino Avenue Streetscene at Residential and SCE Easement."*
5. A 30-foot paseo shall be provided within the SCE easement, along the western boundary of the Planning Area, Access to the western paseos shall be provided.
6. The Planning Area will provide access to both the five (5) acre Neighborhood Park and ten (10) acre elementary school along the access street from Haven Avenue.
7. A westerly local street right-of-way will be provided to connect with Planning Area 8 to provide for circulation and utility connections.

Please refer to *Exhibit 9-4, "Planning Area 5 – Conceptual Lotting."*

### 9.3.1(g) Planning Area 6: Elementary School Description

Planning Area 7 6 provides 10.0 net acres for elementary school uses. This elementary school site is within the Mountain View School District and the school district will determine the final configuration of parking, buildings and other relevant school uses.

#### *Planning Area 6: Planning Standards*

1. Access into Planning Area 6 is provided from Haven Avenue, via a local street. Specific location of these access points shall be determined at the Entitlement stage.

2. The elementary school Design Guidelines will be determined at the time of build-out and coordinated with Mountain View School District.
3. Neighborhood edge landscape treatments shall be provided along Haven Avenue and along Planning Area 5. Refer to *Exhibit 8-20, "Haven Avenue Streetscene at Residential."*

### 9.3.1(h) Planning Area 7: Residential Description

Planning Area 7 provides for 29.00 gross acres (15.07 net acres) of residential use. A total of 94 dwelling units (DU), at 4,150 square foot minimum lot size, are planned at a density of 3.24 DU/Net AC.

#### *Planning Area 7: Planning Standards*

1. Access into Planning Area 7 shall be provided from Haven Avenue, with possible internal access through Planning Area 5. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to *Section 8, "Design Guidelines"* for specific residential architectural and landscaping guidelines.
3. Neighborhood edge landscape treatments shall be provided along Haven Avenue. Refer to *Exhibit 8-20, "Haven Avenue Streetscene at Residential."*
4. A 30-foot paseo shall be provided within the SCE easement/property, along the western boundary of the Planning Area, and within the SCE easement, along the southern boundary of the Planning Area. Connections to these paseos are provided along the western and southern boundaries of this Planning Area.

Please see *Exhibit 9-5, "Planning Area 7 – Conceptual Lotting."*

## SECTION 9 • Development Standards



**EXHIBIT 9-5: PLANNING AREA 7 – CONCEPTUAL APPROVED LOTTING (Tract Maps 18026 and 18027)**

**Not To Scale**

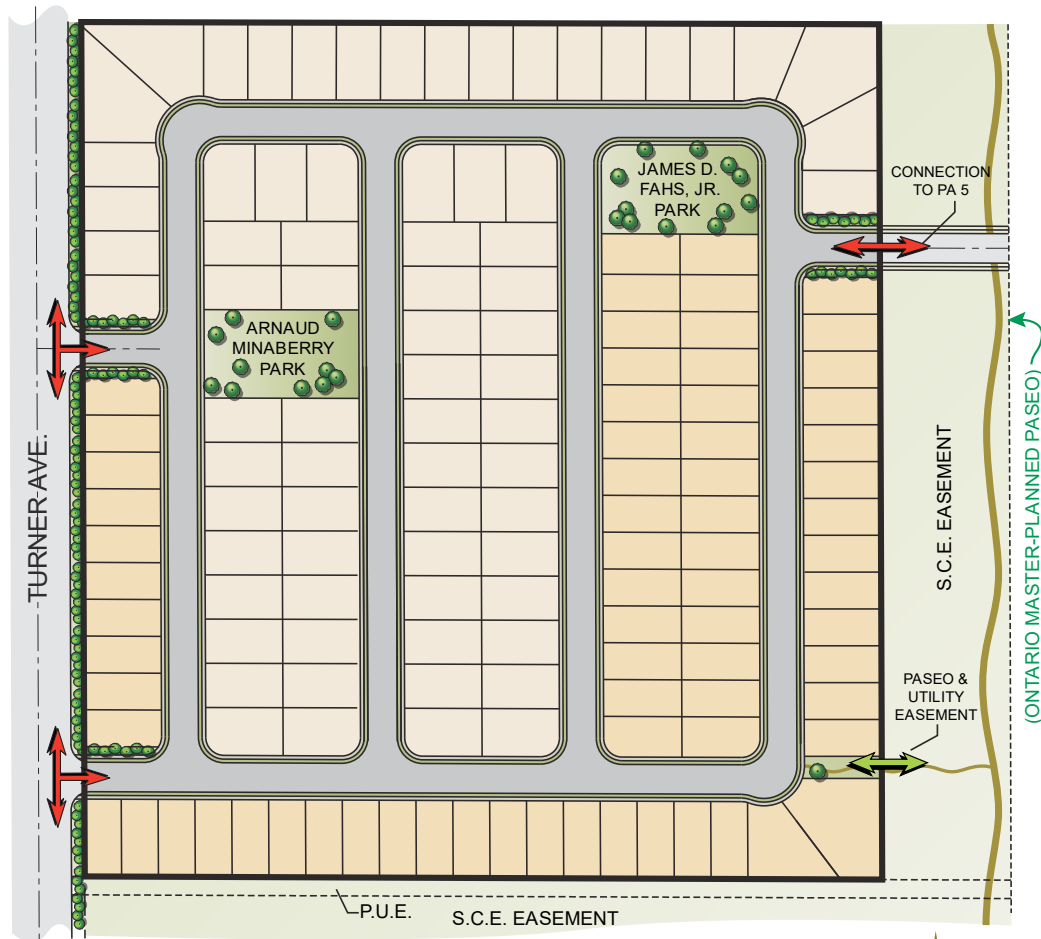
### 9.3.1(i) Planning Area 8: Residential Description

Planning Area 8 provides for 30.74 gross acres (28.84 net acres) of residential use. A total of 143 dwelling units (DU), with minimum lot sizes of 5,250 and 6,300 square feet, are planned at a density of 4.65 DU/Net AC. Single-family detached product types are proposed for development.

#### *Planning Area 8: Planning Standards*

1. Access into Planning Area 8 shall be provided by two (2) points along Turner Avenue. Specific location of the access points shall be determined at the Tentative Map stage.
2. Please refer to **Section 8, “Design Guidelines”** for specific residential architectural and landscaping Guidelines.
3. Neighborhood edge landscape treatments shall be provided along Turner Avenue Refer to **Exhibit 8-21, “Turner Avenue Streetscene at Residential (East Side).”**
4. A 30-foot paseo shall be provided within the SCE easement, along the easterly boundary of the Planning Area. Paseo connections will be provided in these paseos.
5. The two pocket parks within Planning Area 8 shall be named “Arnaud Minaberry Park” and James D. Fahs, Jr. Park” as illustrated on **Exhibit 9-6, “Planning Area 8 – Conceptual Lotting.”**

Please refer to **Exhibit 9-6, “Planning Area 8 – Conceptual Lotting.”** Also note that specific building and parking configurations shall be determined at the entitlement stage.



*EXHIBIT 9-6: PLANNING AREA 8 – CONCEPTUAL LOTTING*

## 9.4 Residential Development Standards

### 9.4.1 Introduction

A variety of housing types are offered at West Haven utilizing an architectural program composed of detached and attached housing. This diversity in housing types ensures a range of choices and a mix of homes within each neighborhood. Residences including detached courtyard homes, alley-loaded duplexes and triplexes, as well as conventional detached homes are articulated in traditional architectural styles. Providing a multitude of various housing programs will allow for a diverse array of family types and the opportunity for families to move-up within the community as their lifestyles and needs change through time.

The siting of the various housing types included consideration of orientation to edge conditions and

internal open space areas (including the elementary school and neighborhood park), streets and pathway types.

The following pages reference the location of defined parcels, their appropriate housing type allocation, and a vignette showing a conceptual image of house orientation on a lot as well as its relationship to other homes.

Unless modified by the following criteria, the criteria contained in Sec. 9-1.1410 of the City of Ontario Development Code shall apply.

# SECTION 9 • Development Standards

## 9.4.2 Single Family Detached Courtyard Development Standards

Planning Area 1 - Detached Condominium Clusters	
Lot Criteria	
Maximum Number of Units per Cluster	4
Minimum Lot Square Feet	18,000 Sq. Ft.
Minimum Lot Width at Front Setback Line for Standard Lot	132'
Minimum Lot Width on Corner	139'
Minimum Lot Depth	130'
Garage Access	Front Access
Minimum Building Setbacks, Forward of Cluster	
<i>Front Setbacks</i> <sup>(1)</sup>	
To Porch or Balcony	5'
To Livable, 1 <sup>st</sup> / 2 <sup>nd</sup> Story	10'
To Livable, 3 <sup>rd</sup> Story	15'
To Garage	18'
<i>Side Setbacks</i> <sup>(2)</sup>	
To Porch/Garage/Porte Cochere	4'
To Livable	15' <sup>(3)</sup>
Corner to Porch/Garage/Porte Cochere	8'
Corner to Livable	19' <sup>(3)</sup>
Minimum Building Setbacks, Backward of Cluster	
<i>Side Setbacks</i> <sup>(2)</sup>	
Interior to Livable/Garage	4'
Exterior to Livable	4' <sup>(3)</sup>
Corner to Livable	8' <sup>(3)</sup>
<i>Rear Setbacks</i>	
To Livable/Garage	5'
Minimum Building Setback to Shared Driveway	4'
Minimum Building Separation	8'
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Garage Offset <sup>(5) (6)</sup>	5'

Planning Area 1 - Detached Condominium Clusters	
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> All Setbacks are measured from property lines.

<sup>(2)</sup> Side yard slopes may not encroach more than 50% into side yard setback areas.

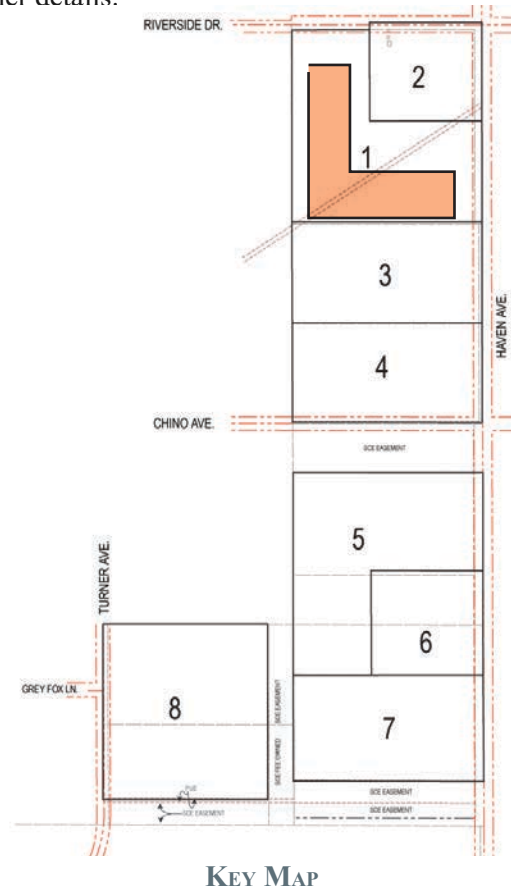
<sup>(3)</sup> A minimum 15-feet by 15-feet clear usable open space area is required.

<sup>(4)</sup> A minimum of 70 square feet clear space is required.

<sup>(5)</sup> Garages shall be set back a minimum of 5-feet behind the main living area.

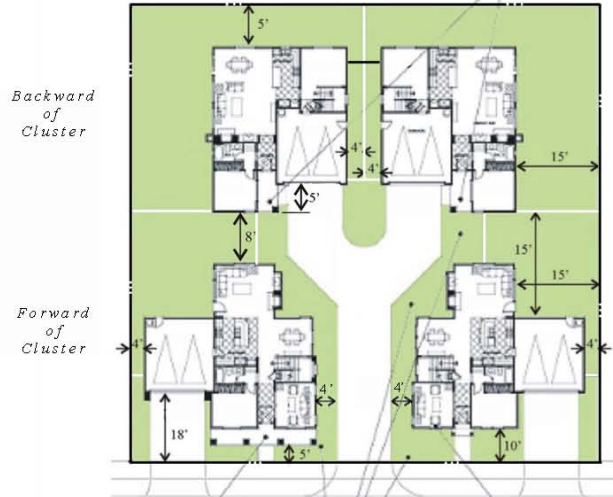
<sup>(6)</sup> Garage aprons at backward of cluster shall be a minimum of 16-feet in width and 19-feet in length.

Please refer to **Exhibit 9-7 “Single Family Detached Courtyard Plotting, 3D View and Street Scene”** for further details.



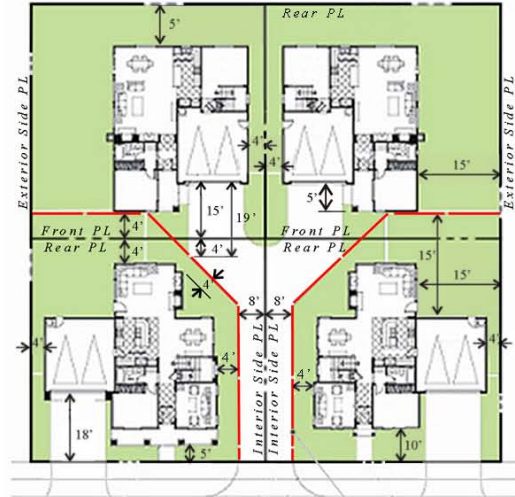
# SECTION 9 • Development Standards

## DETACHED CONDOMINIUM CONFIGURATION



PORCHES ORIENTED TOWARD COMMON DRIVE

## INDIVIDUAL LOT CONFIGURATION



EASEMENT LINE

PORCH ORIENTED TOWARD STREETSCAPE

ADEQUATE LANDSCAPE AREAS ALONG COMMON DRIVES

LIVING AREA FORWARD



AMERICAN FARMHOUSE

AMERICAN COLONIAL



**Exhibit 9-7: SINGLE FAMILY DETACHED COURTYARD PLOTTING, 3D VIEW AND STREET SCENE**

# SECTION 9 • Development Standards

## 9.4.3 Single Family Detached Courtyard Development Standards

Planning Area 1 - Individual Lot Clusters	
<b>Lot Criteria</b>	
Maximum Number of Units per Cluster	4
Minimum Lot Square Feet	3,950 Sq. Ft.
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	66'
Minimum Lot Width on Corner	70'
Minimum Lot Depth	60'
Garage Access	Front Access
<b>Minimum Building Setbacks, Forward of Cluster</b>	
<i>Front Setbacks</i> <sup>(1)</sup>	
To Porch or Balcony	5'
To Livable, 1 <sup>st</sup> / 2 <sup>nd</sup> Story	10'
To Livable, 3 <sup>rd</sup> Story	15'
To Garage	18'
<i>Side Setbacks</i> <sup>(2)</sup>	
Interior to Livable	12'
Exterior to Porch/Garage/Porte Cochere	4'
Exterior to Livable	15' <sup>(3)</sup>
Corner to Porch/Garage/Porte Cochere	8'
Corner to Livable	19' <sup>(3)</sup>
<i>Rear Setbacks</i>	
To Livable	4'
To Garage	11' <sup>(3)</sup>
<b>Minimum Building Setbacks, Backward of Cluster</b>	
<i>Front Setbacks</i> <sup>(1)</sup>	
To Porch or Balcony	4'
To Livable, 1 <sup>st</sup> / 2 <sup>nd</sup> Story	4'
To Livable, 3 <sup>rd</sup> Story	8'
To Garage <sup>(5)</sup>	15'
<i>Side Setbacks</i> <sup>(2)</sup>	
Interior to Livable/Garage	4'
Exterior to Livable	4' <sup>(3)</sup>

Planning Area 1 - Individual Lot Clusters	
Corner to Livable	8' <sup>(3)</sup>
<i>Rear Setbacks</i>	
To Livable/Garage	5'
Minimum Building Setback to Shared Driveway	4'
Maximum Building Height	40'
Minimum Porch Depth <sup>(4)</sup>	7'
Garage Offset <sup>(5) (6)</sup>	5'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> All Setbacks are measured from property lines.

<sup>(2)</sup> Side yard slopes may not encroach more than 50% into side yard setback areas.

<sup>(3)</sup> A minimum 15-feet by 15-feet clear usable open space area is required.

<sup>(4)</sup> A minimum of 70 square feet clear space is required.

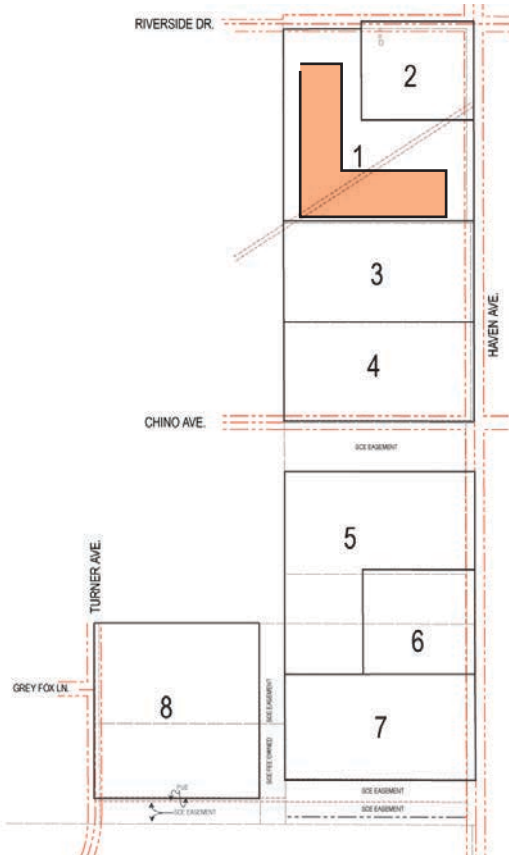
<sup>(5)</sup> Garages shall be set back a minimum of 5-feet behind the main living area.

<sup>(6)</sup> Garage aprons at backward of cluster shall be a minimum of 16-feet in width and 19-feet in length.

Please refer to **Exhibit 9-7 “Single Family Detached Courtyard Plotting, 3D View and Street Scene”** for further details.



# SECTION 9 • Development Standards



KEY MAP

# SECTION 9 • Development Standards

## 9.4.4 2,800 S.F. Alley-Loaded Duplex/Triplex “Manor” Development Standards

Planning Area 5	
<b>Lot Criteria</b>	
Minimum Lot Square Feet	2,800 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	40'
Minimum Lot Width on Corner	45'
Minimum Lot Depth	70'
Garage Access	Alley
<b>Minimum Building Setbacks <sup>(2)</sup></b>	
<i>Front Setbacks <sup>(3)</sup></i>	
To Porch or Balcony	8'
To Livable, 1 <sup>st</sup> Story	12'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	12'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Livable, 3 <sup>rd</sup> Story	15'
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch or Balcony	6'
Corner to Livable	10'
<i>Rear Setbacks</i>	
To Livable, 1 <sup>st</sup> Story	5'
To Livable, 2 <sup>nd</sup> Story	3'
To Livable, 3 <sup>rd</sup> Story	3'
To Garage	3'-5' or 18'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the building setback. All minimum side and rear yard setbacks shall be maintained at all times.

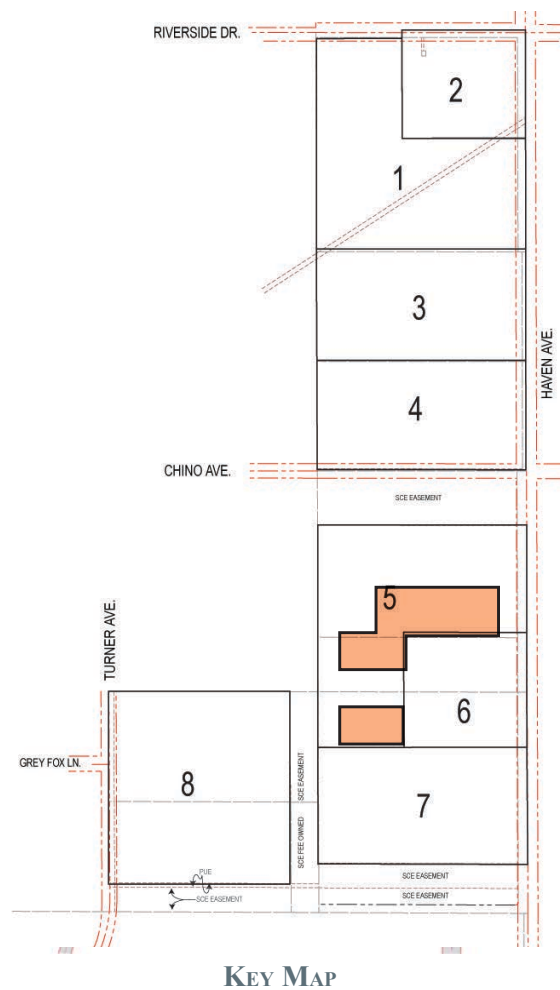
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

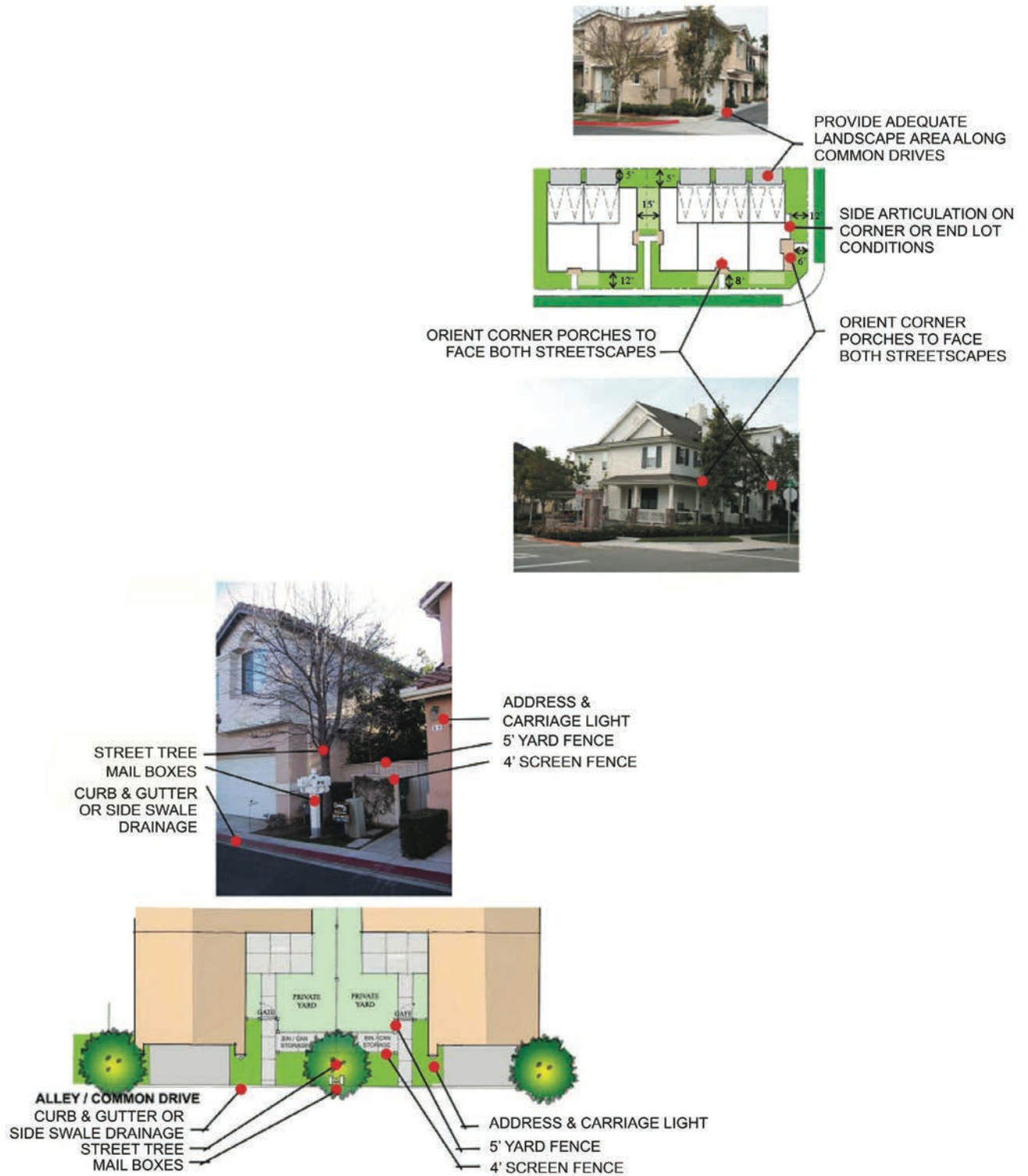
<sup>(4)</sup> A minimum of 70 square feet clear space is required.

<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in Section 8.3.2(a), “Front Façade Massing” of the Specific Plan.

Please refer to **Exhibit 9-8 “2,800 S.F. Alley-Loaded Duplex/Triplex “Manor” Plotting and Lane Edge”** for further details.



# SECTION 9 • Development Standards



**Exhibit 9-8: 2,800 S.F. ALLEY-LOADED DUPLEX/TRIPLEX “MANOR” PLOTTING AND LANE EDGE**

# SECTION 9 • Development Standards

## 9.4.5 2,800 S.F. Alley-Loaded Single Family Detached Development Standards

Planning Area 5	
<b>Lot Criteria</b>	
Minimum Lot Square Feet	2,800 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	40'
Minimum Lot Width on Corner	45'
Minimum Lot Depth	70'
Garage Access	Alley
<b>Minimum Building Setbacks <sup>(2)</sup></b>	
<i>Front Setbacks <sup>(3)</sup></i>	
To Porch or Balcony	8'
To Livable, 1 <sup>st</sup> Story	12'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	12'
To Livable, 3 <sup>rd</sup> Story	15'
<i>Side Setbacks</i>	
Interior to Livable	7.5'
Corner to Porch or Balcony	6'
Corner to Livable	10'
<i>Rear Setbacks</i>	
To Livable, 1 <sup>st</sup> Story	5'
To Livable, 2 <sup>nd</sup> Story	3'
To Livable, 3 <sup>rd</sup> Story	3'
To Garage	3'-5'
Lot Coverage	55% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the building setback. All minimum side and rear yard setbacks shall be maintained at all times.

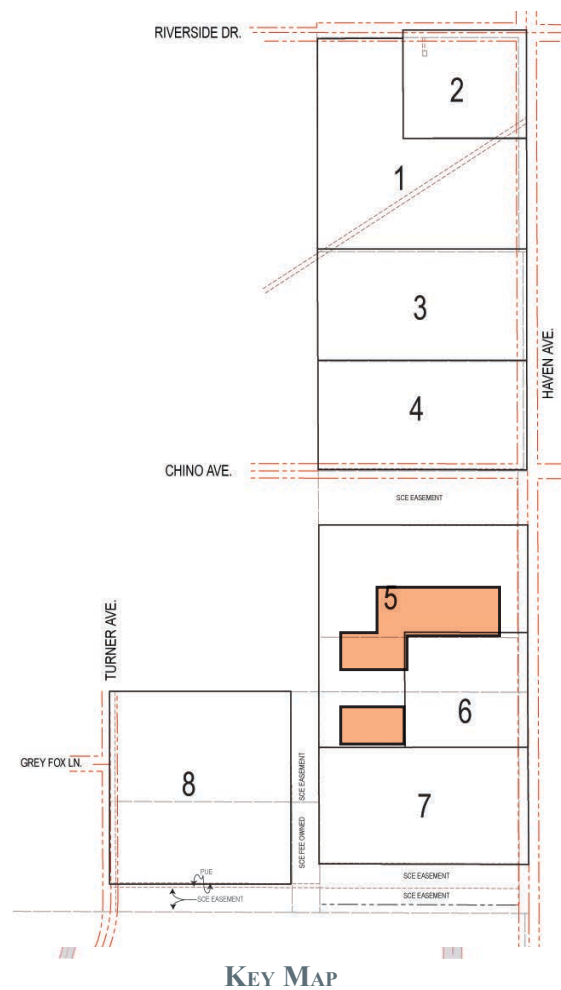
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

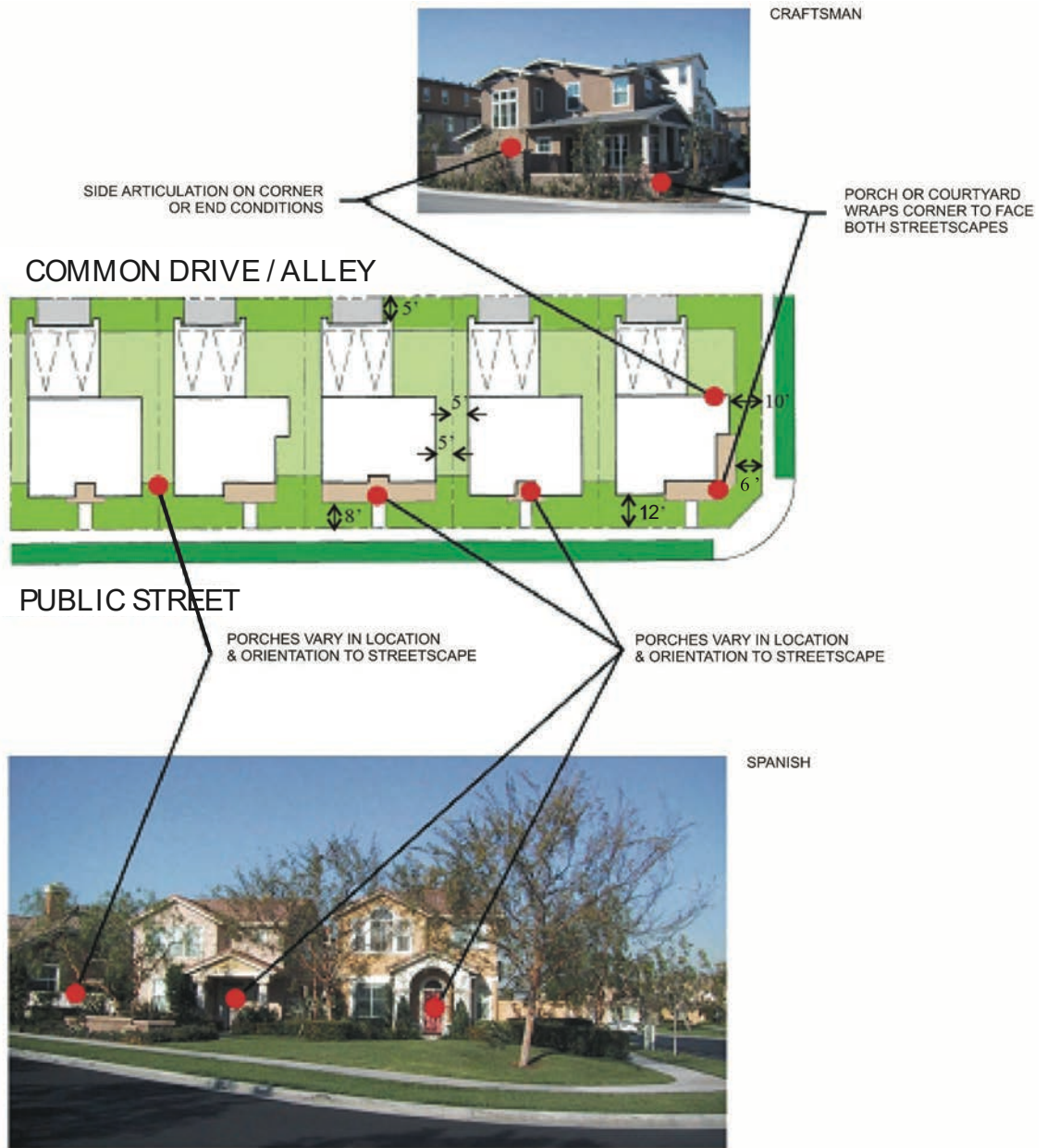
<sup>(4)</sup> A minimum of 70 square feet clear space is required.

<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in **Section 8.3.2(a), "Front Façade Massing"** of the Specific Plan.

Please refer to **Exhibit 9-9 "2,800 S.F. Alley-Loaded Single Family Detached Plotting and Street Scene"** for further details.



# SECTION 9 • Development Standards



**Exhibit 9-9: 2,800 S.F. ALLEY-LOADED SINGLE FAMILY DETACHED PLOTTING AND STREET SCENE**

# SECTION 9 • Development Standards

## 9.4.6 3,825 S.F. Single Family Detached Development Standards

Planning Area 4	
Lot Criteria	
Minimum Lot Square Feet	3,825 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	45'
Minimum Lot Width on Corner	50'
Minimum Lot Depth	85'
Garage Access	Front
Minimum Building Setbacks <sup>(2)</sup>	
<i>Front Setbacks</i> <sup>(3)</sup>	
To Porch	8'
To Livable, 1 <sup>st</sup> Story	10'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	10'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Livable, 3 <sup>rd</sup> Story	15'
To Garage (or Side on Street Facing)	18'
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch	5'
Corner to Livable	10'
<i>Rear Setbacks</i>	
To Livable,	10'
To Non-Livable	5'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the building setback. All minimum side and rear yard setbacks shall be maintained at all times.

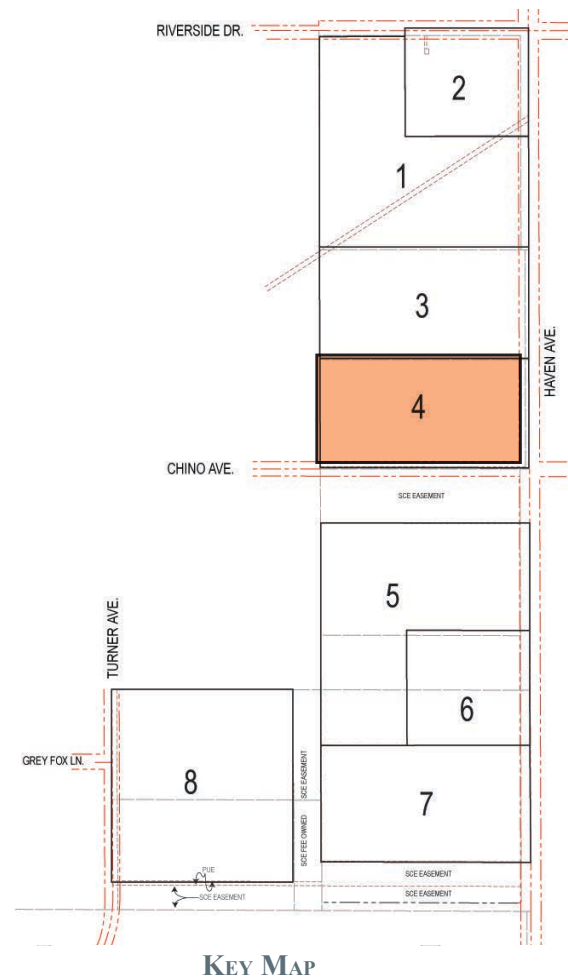
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

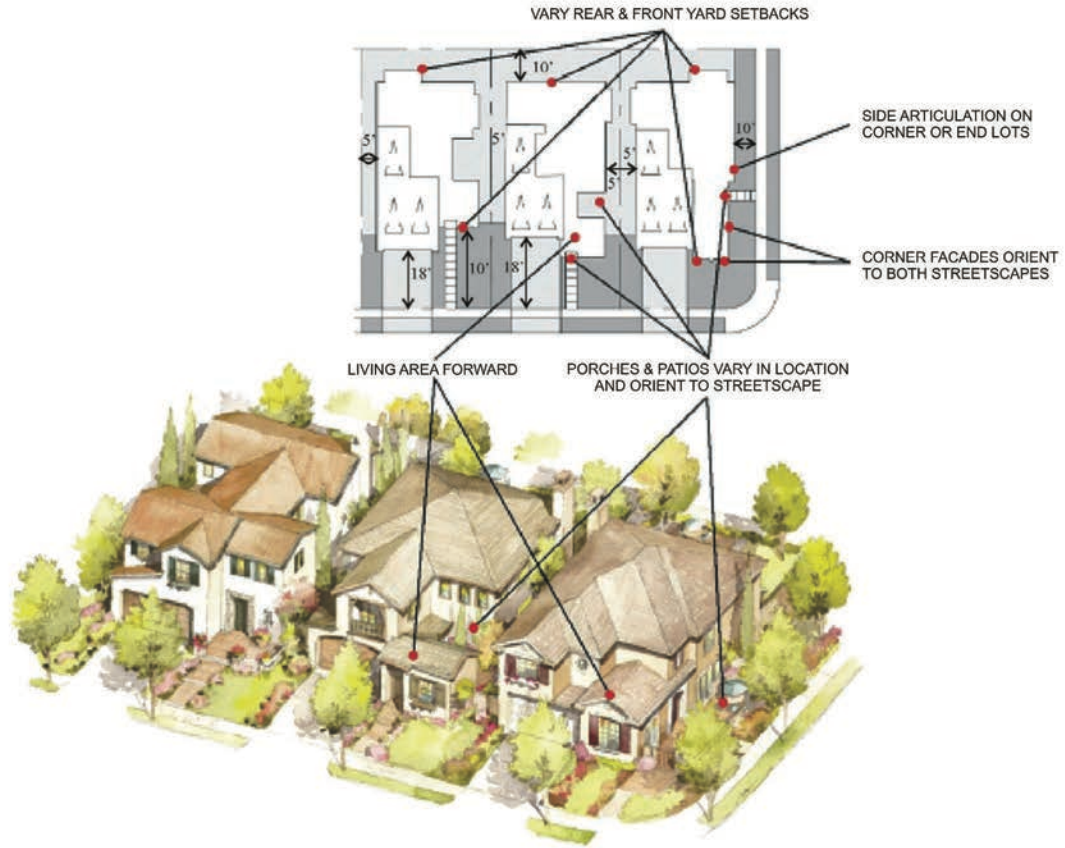
<sup>(4)</sup> A minimum of 70 square feet clear space is required.

<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in Section 8.3.2(a), "Front Façade Massing" of the Specific Plan.

Please refer to *Exhibit 9-10 "3,825 S.F. Single Family Detached Plotting, 3D View and Street Scene"* for further details.



# SECTION 9 • Development Standards



**Exhibit 9-10: 3,825 S.F. SINGLE FAMILY DETACHED PLOTTING, 3D VIEW AND STREET SCENE**

# SECTION 9 • Development Standards

## 9.4.7 4,000 S.F. Single Family Detached Development Standards

Planning Area 1	
<b>Lot Criteria</b>	
Minimum Lot Square Feet	4,000 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	50'
Minimum Lot Width on Corner	55'
Minimum Lot Depth	80'
Garage Access	Front/Corner
<b>Minimum Building Setbacks <sup>(2)</sup></b>	
<i>Front Setbacks <sup>(3)</sup></i>	
To Porch	8'
To Livable, 1 <sup>st</sup> Story	10'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	10'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Livable, 3 <sup>rd</sup> Story	15'
To Garage	18', 10' (if Side Accessed)
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch	5'
Corner to Livable	10'
Corner to Garage	18', 10' (if Side Accessed)
<i>Rear Setbacks</i>	
To Livable,	10'
To Non-Livable	5'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the

building setback. All minimum side and rear yard setbacks shall be maintained at all times.

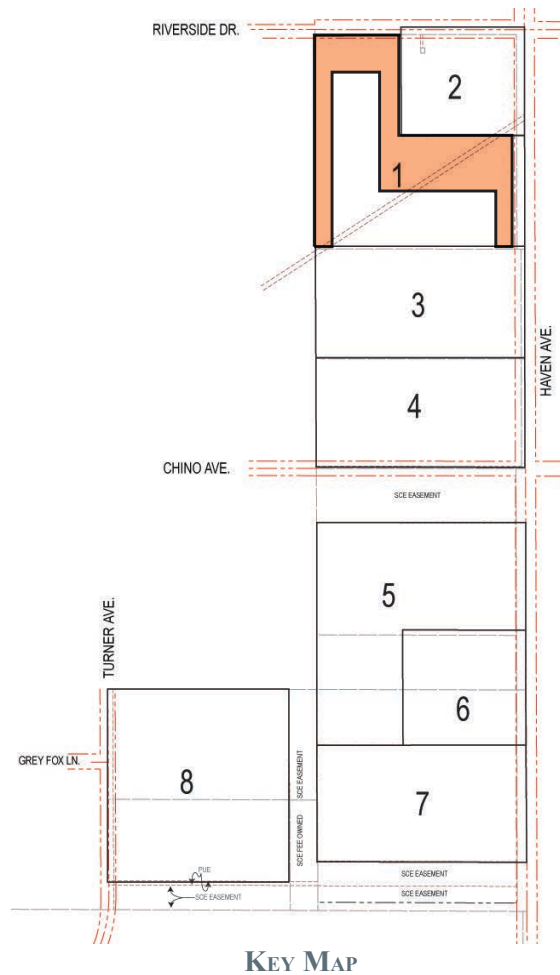
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

<sup>(4)</sup> A minimum of 70 square feet clear space is required.

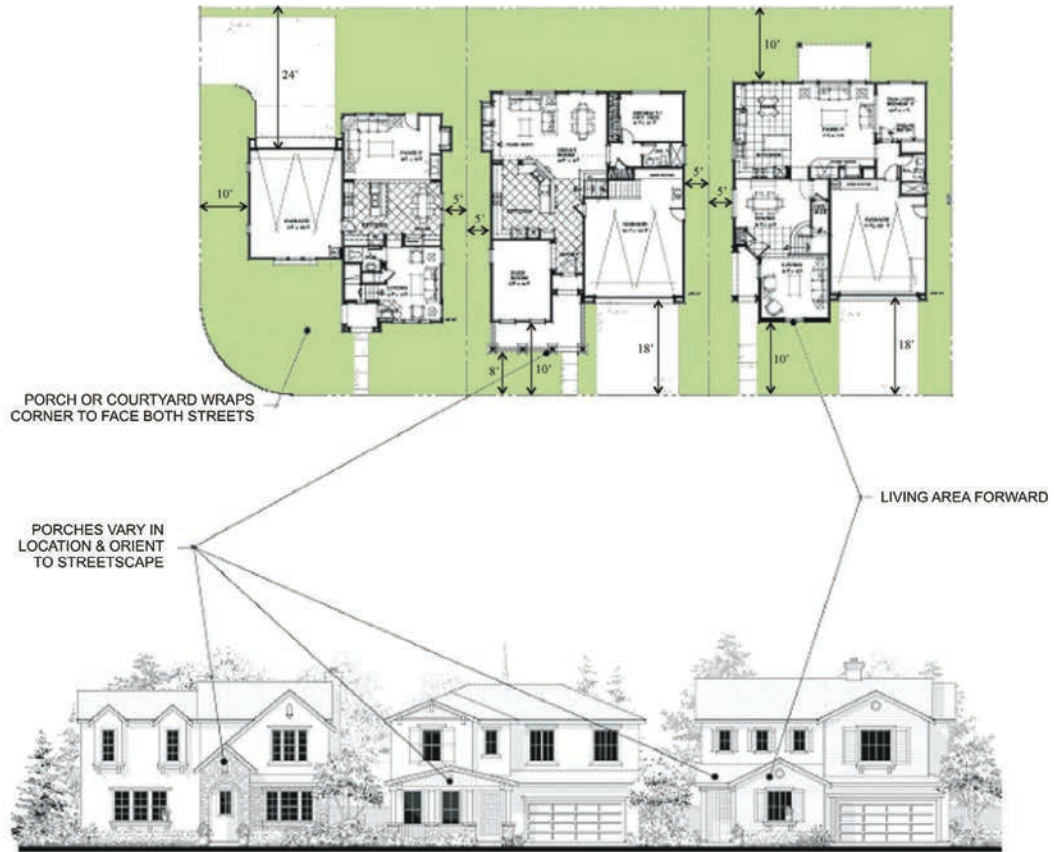
<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in **Section 8.3.2(a), "Front Façade Massing"** of the Specific Plan.

Please refer to **Exhibit 9-11 "4,000 S.F. Single Family Detached Plotting, 3D View and Street Scene"** for further details.





# SECTION 9 • Development Standards



FRENCH COUNTRY

CRAFTSMAN

WEST COAST TRADITIONAL

**Exhibit 9-11: 4,000 S.F. SINGLE FAMILY DETACHED PLOTTING, 3D VIEW AND STREET SCENE**

# SECTION 9 • Development Standards

## 9.4.8 4,150 S.F. Single Family Detached Development Standards

Planning Area 8	
Lot Criteria	
Minimum Lot Square Feet	4,150 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	50'
Minimum Lot Width on Corner	55'
Minimum Lot Depth	83'
Garage Access	Front/Corner
Minimum Building Setbacks <sup>(2)</sup>	
<i>Front Setbacks</i> <sup>(3)</sup>	
To Porch	8'
To Livable, 1 <sup>st</sup> Story	10'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	10'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Livable, 3 <sup>rd</sup> Story	15'
To Garage	18', 10' (if Side Accessed)
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch	5'
Corner to Livable	10'
Corner to Garage	18', 10' (if Side Accessed)
<i>Rear Setbacks</i>	
To Livable,	10'
To Non-Livable	5'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the

building setback. All minimum side and rear yard setbacks shall be maintained at all times.

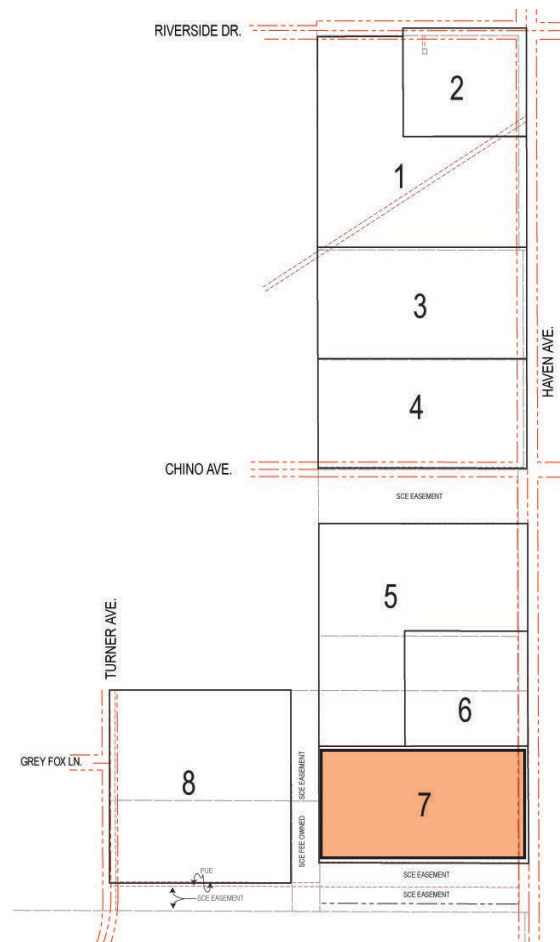
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

<sup>(4)</sup> A minimum of 70 square feet clear space is required.

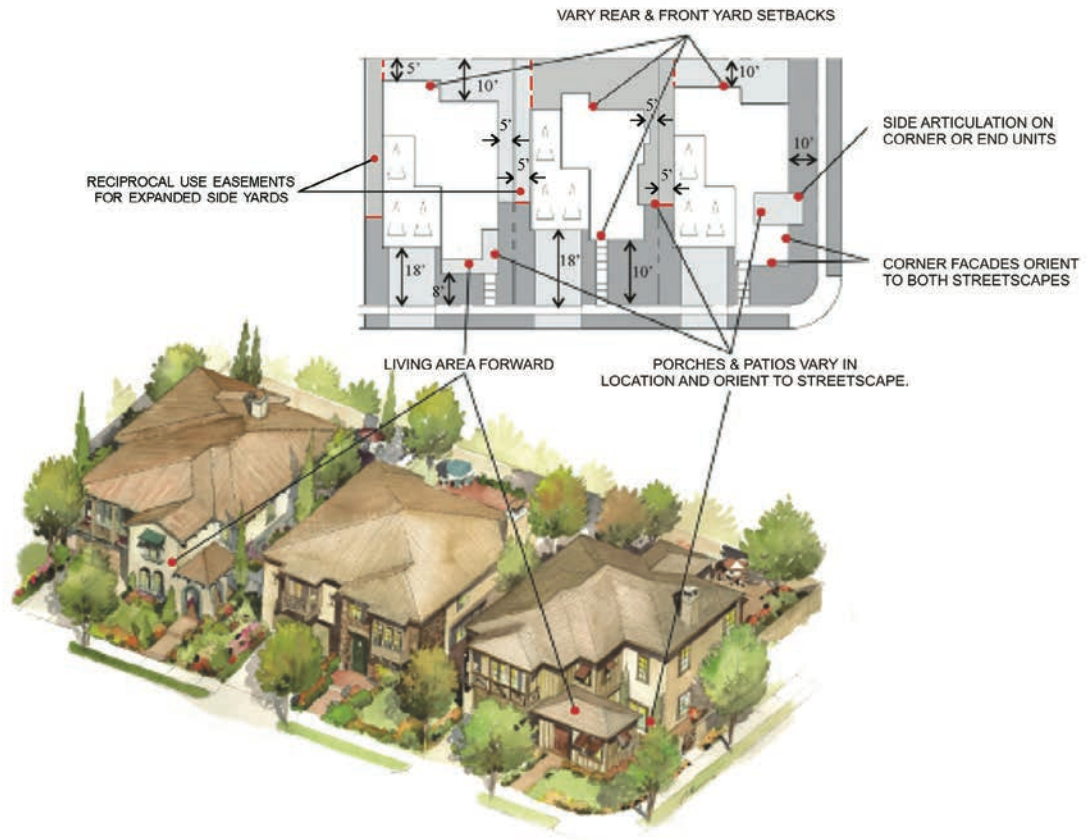
<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in **Section 8.3.2(a), "Front Façade Massing"** of the Specific Plan.

Please refer to **Exhibit 9-12 "4,150 S.F. Single Family Detached Plotting, 3D View and Street Scene"** for further details.



KEY MAP

# SECTION 9 • Development Standards



**Exhibit 9-12: 4,150 S.F. SINGLE FAMILY DETACHED PLOTTING, 3D VIEW AND STREET SCENE**

# SECTION 9 • Development Standards

## 9.4.9 4,950 S.F. Single Family Detached Development Standards

Planning Area 3	
Lot Criteria	
Minimum Lot Square Feet	4,950 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	55'
Minimum Lot Width on Corner	60'
Minimum Lot Depth	90'
Garage Access	Front/Corner
Minimum Building Setbacks <sup>(2)</sup>	
<i>Front Setbacks</i> <sup>(3)</sup>	
To Porch	8'
To Livable, 1 <sup>st</sup> Story	12'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	12'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	17'
To Livable, 3 <sup>rd</sup> Story	20'
To Garage	20', 10' (if Side Accessed)
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch	8'
Corner to Livable	10'
Corner to Garage	18', 10' (if Side Accessed)
<i>Rear Setbacks</i>	
To Livable,	10'
To Non-Livable	5'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the

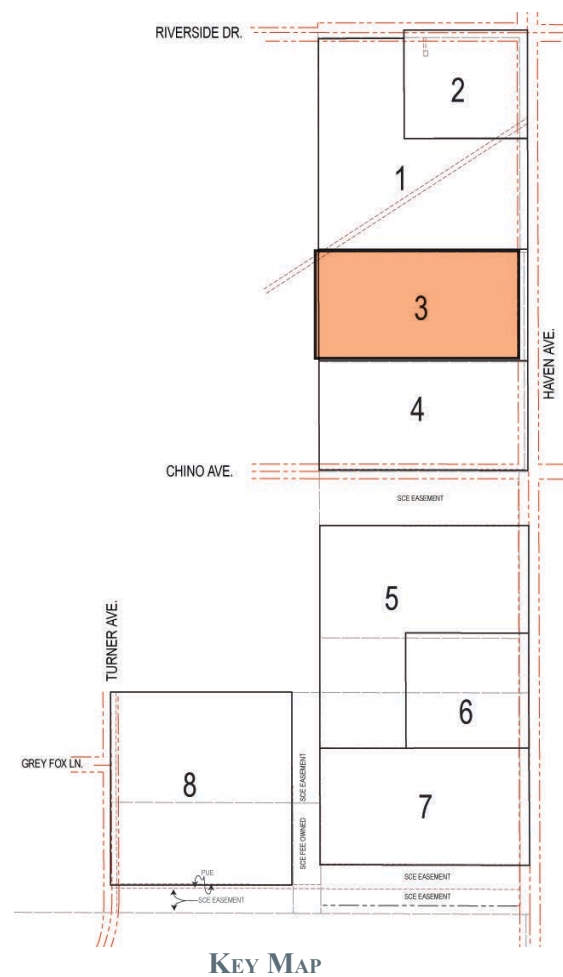
building setback. All minimum side and rear yard setbacks shall be maintained at all times.

<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

<sup>(4)</sup> A minimum of 70 square feet clear space is required.

<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in **Section 8.3.2(a)**, "Front Façade Massing" of the Specific Plan.



# SECTION 9 • Development Standards

# SECTION 9 • Development Standards

## 9.4.10 5,100 S.F. Single Family Detached Development Standards

Planning Area 5	
<b>Lot Criteria</b>	
Minimum Lot Square Feet	5,100 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	60'
Minimum Lot Width on Corner	65'
Minimum Lot Depth	85'
Garage Access	Front/Corner
<b>Minimum Building Setbacks <sup>(2)</sup></b>	
<i>Front Setbacks <sup>(3)</sup></i>	
To Porch	8'
To Livable, 1 <sup>st</sup> Story	15'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Livable, 3 <sup>rd</sup> Story	20'
To Garage	20', 10' (if Side Accessed)
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch	8'
Corner to Livable	10'
Corner to Garage	18', 10' (if Side Accessed)
<i>Rear Setbacks</i>	
To Livable,	10'
To Non-Livable	5'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the

building setback. All minimum side and rear yard setbacks shall be maintained at all times.

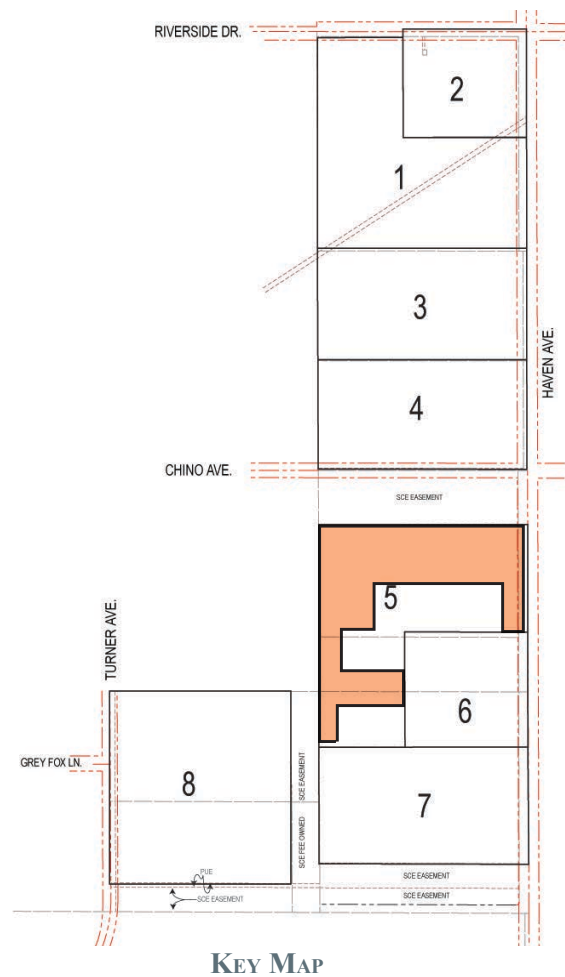
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

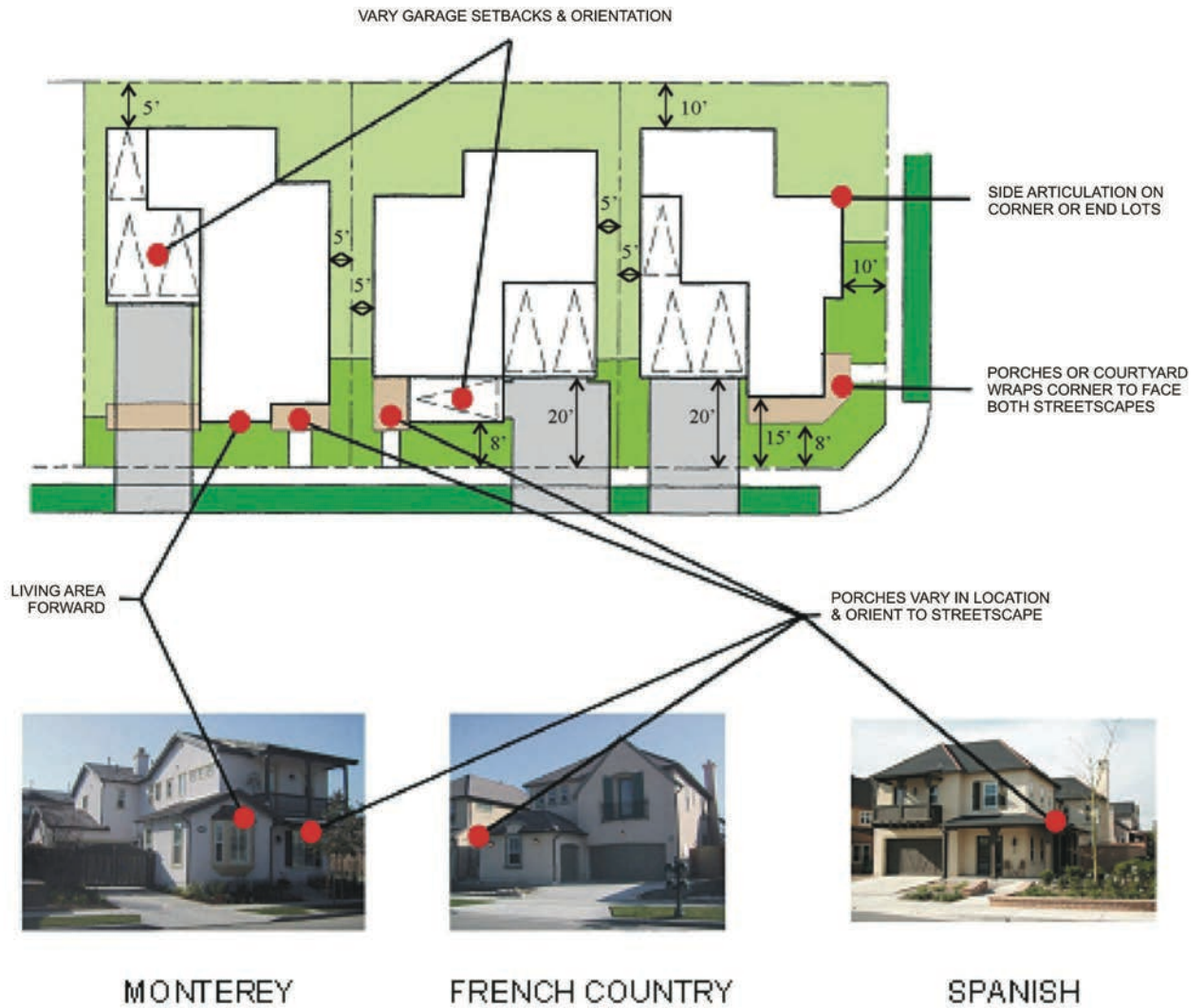
<sup>(4)</sup> A minimum of 70 square feet clear space is required.

<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in Section 8.3.2(a), "Front Façade Massing" of the Specific Plan.

Please refer to **Exhibit 9-13 "5,100 S.F. Single Family Detached Plotting and Street Scene"** for further details.



# SECTION 9 • Development Standards



**Exhibit 9-13: 5,100 S.F. SINGLE FAMILY DETACHED PLOTTING AND STREET SCENE**

# SECTION 9 • Development Standards

## 9.4.11 5,250 S.F. Single Family Detached Development Standards

Planning Area 9	
<b>Lot Criteria</b>	
Minimum Lot Square Feet	5,250 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	50'
Minimum Lot Width on Corner	55'
Minimum Lot Depth	105'
Garage Access	Front/Corner
<b>Minimum Building Setbacks <sup>(2)</sup></b>	
<i>Front Setbacks <sup>(3)</sup></i>	
To Porch	8'
To Livable, 1 <sup>st</sup> Story	12'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	12'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	17'
To Livable, 3 <sup>rd</sup> Story	17'
To Garage	18', 10' (if Side Accessed)
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch	8'
Corner to Livable	10'
Corner to Garage	18', 10' (if Side Accessed)
<i>Rear Setbacks</i>	
To Livable,	10'
To Non-Livable	5'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the

building setback. All minimum side and rear yard setbacks shall be maintained at all times.

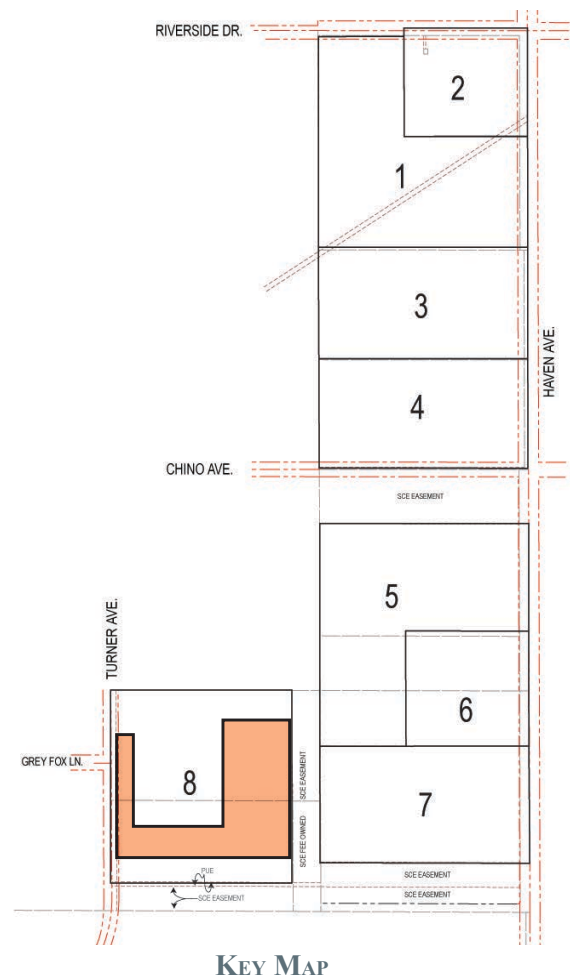
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

<sup>(4)</sup> A minimum of 70 square feet clear space is required.

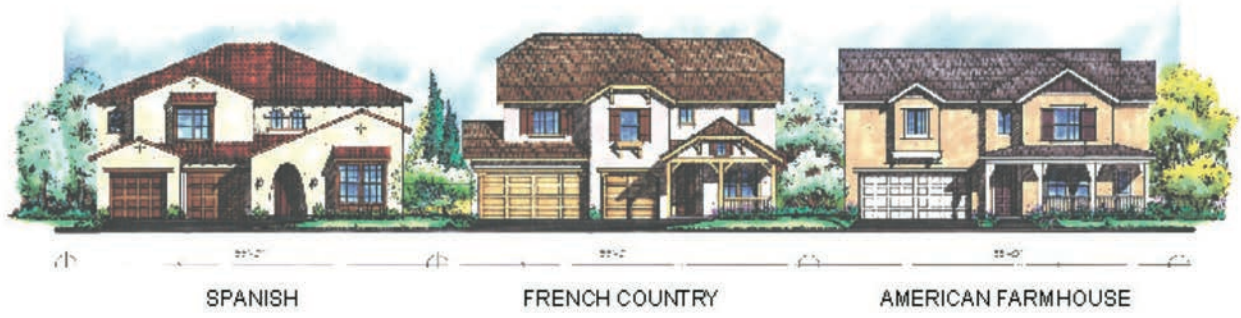
<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in **Section 8.3.2(a)**, "Front Façade Massing" of the Specific Plan.

Please refer to **Exhibit 9-14 "5,250 S.F. Single Family Detached Plotting, 3D View and Street Scene"** for further details.





# SECTION 9 • Development Standards



**Exhibit 9-14: 5,250 S.F. SINGLE FAMILY DETACHED PLOTTING, 3D VIEW AND STREET SCENE**

# SECTION 9 • Development Standards

## 9.4.12 6,300 S.F. Single Family Detached Development Standards

Planning Area 9	
<b>Lot Criteria</b>	
Minimum Lot Square Feet	6,300 Square Feet
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	60'
Minimum Lot Width on Corner	65'
Minimum Lot Depth	105'
Garage Access	Front/Corner
<b>Minimum Building Setbacks <sup>(2)</sup></b>	
<i>Front Setbacks <sup>(3)</sup></i>	
To Porch	10'
To Livable, 1 <sup>st</sup> Story	15'
To Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Corner Livable, 2 <sup>nd</sup> Story <sup>(5)</sup>	15'
To Livable, 3 <sup>rd</sup> Story	20'
To Garage	20', 10' (if Side Accessed)
<i>Side Setbacks</i>	
Interior to Livable	5'
Corner to Porch	8'
Corner to Livable	10'
Corner to Garage	20', 10' (if Side Accessed)
<i>Rear Setbacks</i>	
To Livable,	15'
To Non-Livable	5'
Lot Coverage	60% (Max.)
Maximum Building Height	35'
Minimum Porch Depth <sup>(4)</sup>	7'
Parking	2 Garage Spaces (20' x 20' Inside Dimension)

Notes: <sup>(1)</sup> Lots within cul-de-sac, standard knuckle or modified knuckle configurations shall provide a minimum 35-foot lot width at front property line and shall meet the minimum lot width established for the Planning Area at the

building setback. All minimum side and rear yard setbacks shall be maintained at all times.

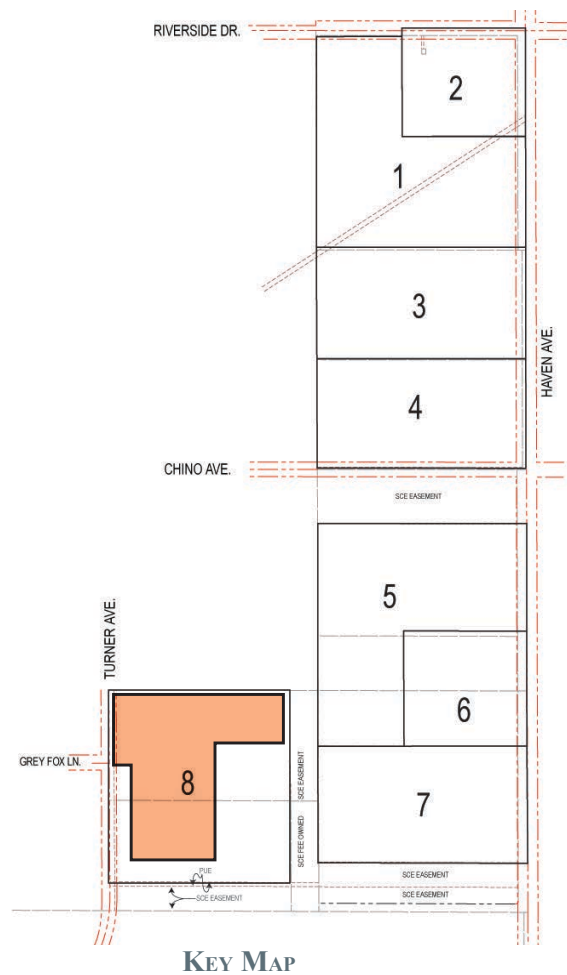
<sup>(2)</sup> All Setbacks are measured from property line.

<sup>(3)</sup> Lot widths on cul-de-sac, standard knuckle or modified knuckle street configurations shall be a minimum of 40' at front setback.

<sup>(4)</sup> A minimum of 70 square feet clear space is required.

<sup>(5)</sup> First and second story massing shall be consistent with the criteria outlined in Section 8.3.2(a), "Front Façade Massing" of the Specific Plan.

Please refer to **Exhibit 9-15 "6,300 S.F. Single Family Detached Plotting, 3D View and Street Scene"** for further details.



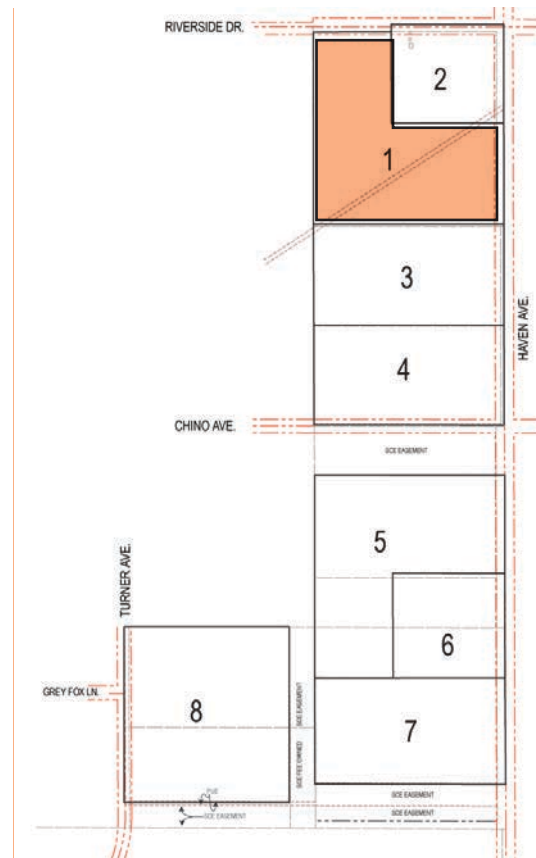
# SECTION 9 • Development Standards



**Exhibit 9-15: 6,300 S.F. SINGLE FAMILY DETACHED PLOTTING, 3D VIEW AND STREET SCENE**

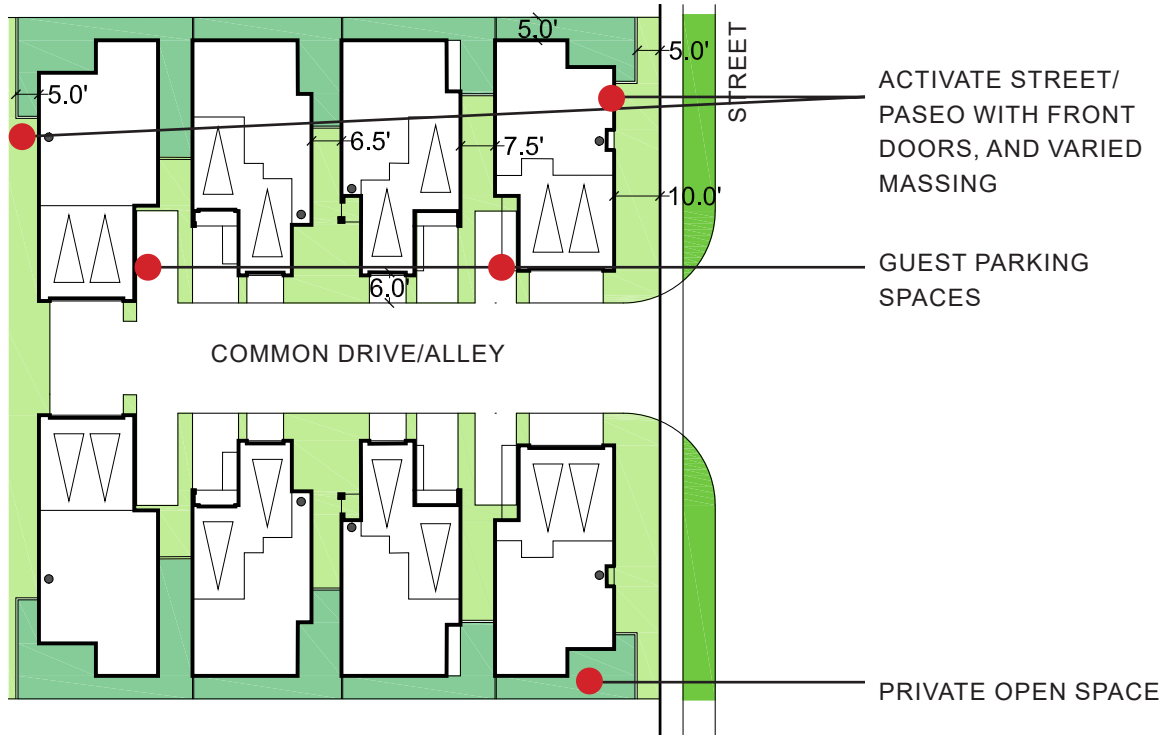
# SECTION 9 • Development Standards

## 9.4.13 Motorcourt SFD Development Standards



KEY MAP

# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Lot area	1,850 s.f.
Lot width	30'
Lot depth	62'

### Building Separation (Minimum)

6'-6"

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	5'
Living from common drive	7'
Garage from common drive	5'

### Side Setbacks

To porch/balcony/fence	5'
To living	5'
Corner to living	10'

### Rear Setbacks

Living space	5'
To garage	5'

### Garage Setbacks

Garage face to garage face	30'
Garage face to driveway (apron)	5'*

Note: Lane width may be increased to 24' when the lane length exceeds 150'.

### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
Second floor cantilever over garage	2'

### Private Open Space Per Unit

Minimum dimension	6'
Total per unit	100 s.f.

### Parking

2 Garage Spaces	(10' x 20' Clear)
-----------------	-------------------

### Building Height

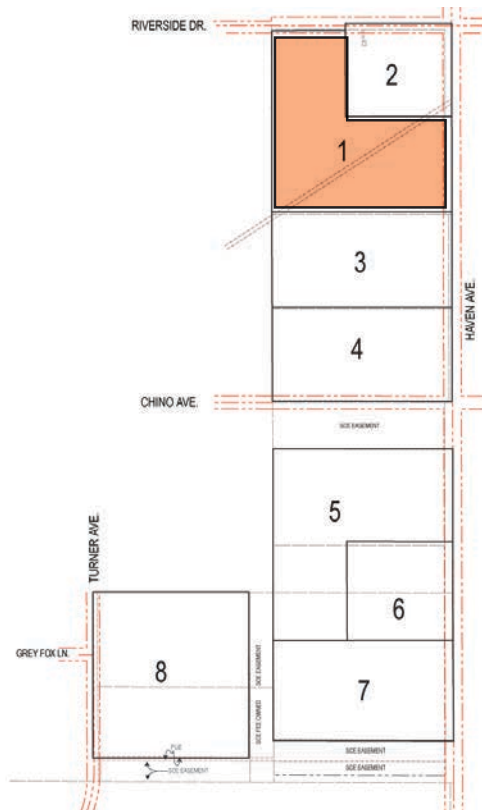
35'

\* Measurement is to be taken from inside of the curb

*Exhibit 9-16 Motorcourt SFD Plotting and Development Standards*

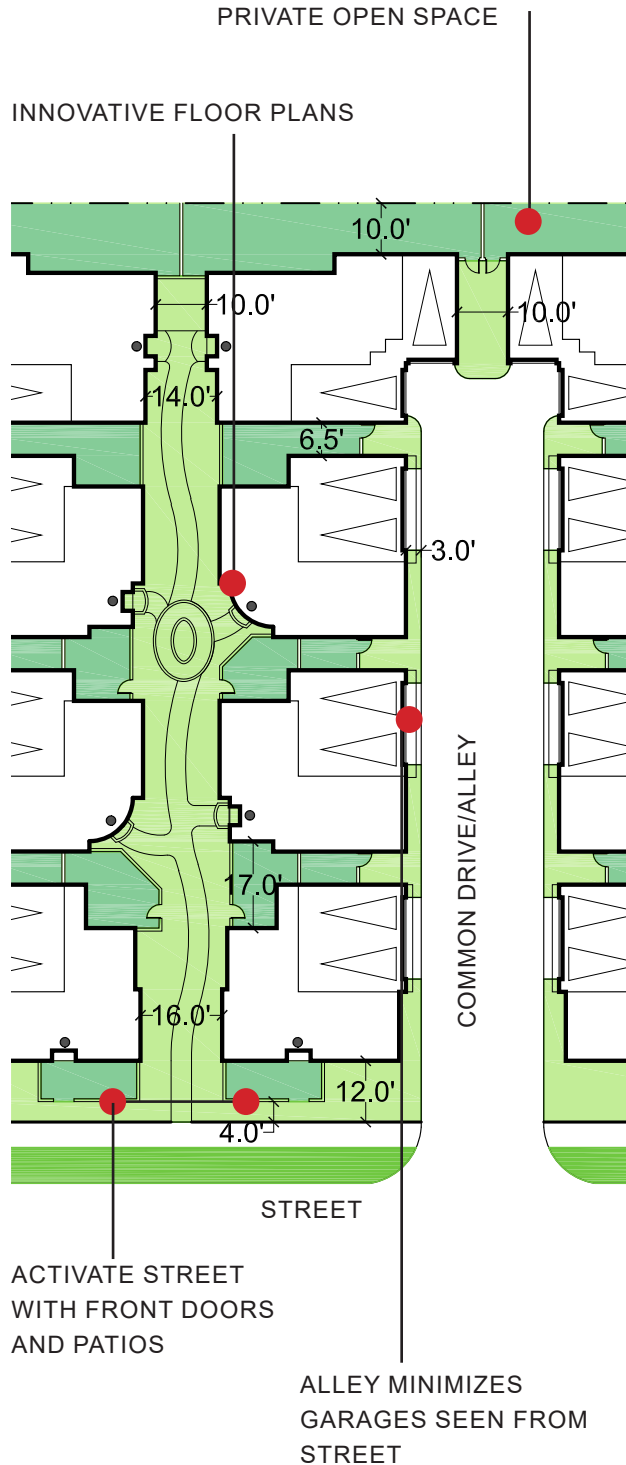
# SECTION 9 • Development Standards

## 9.4.14 6 and 8-Pack Greencourt Development Standards



KEY MAP

# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Maximum Number of Units per Cluster	8
Lot width	N/A
Lot depth	N/A

### Building Separation (Minimum)

6'-6"

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	4'
Living from common drive	3'
Garage from common drive	3'

### Side Setbacks

To porch/balcony/fence	4'
To living	5'
Corner to living	10'
To garage from property line	10'

### Rear Setbacks

To living from common drive	3'
To living from property line	10'
To garage from common drive	3'
To garage from property line	10'

### Garage Setbacks

Garage face to garage face	30'
Garage face to driveway (apron)	5'*
Note: Lane width may be increased to 24' when the lane length exceeds 150'.	

### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
Second floor cantilever over garage	2'

### Private Open Space Per Unit

Minimum dimension	6'
Total per unit	100 s.f.

### Parking

2 Garage Spaces	(20' x 20' Clear)
-----------------	-------------------

### Building Height

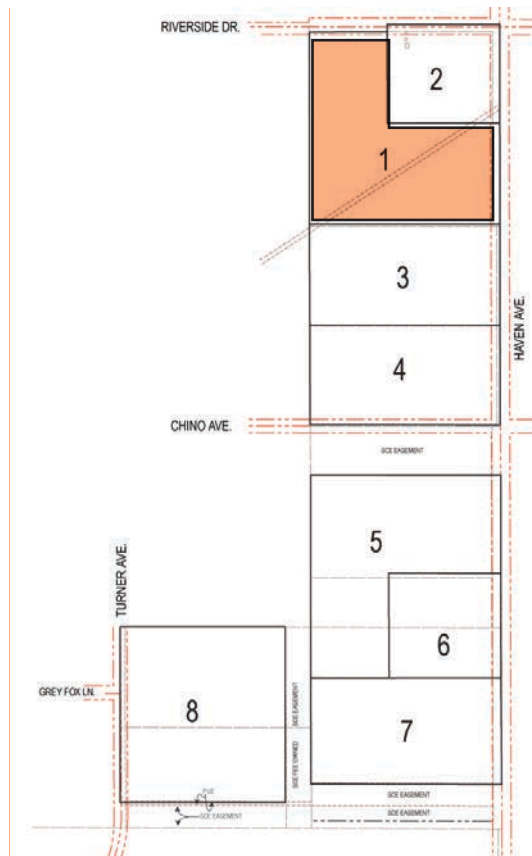
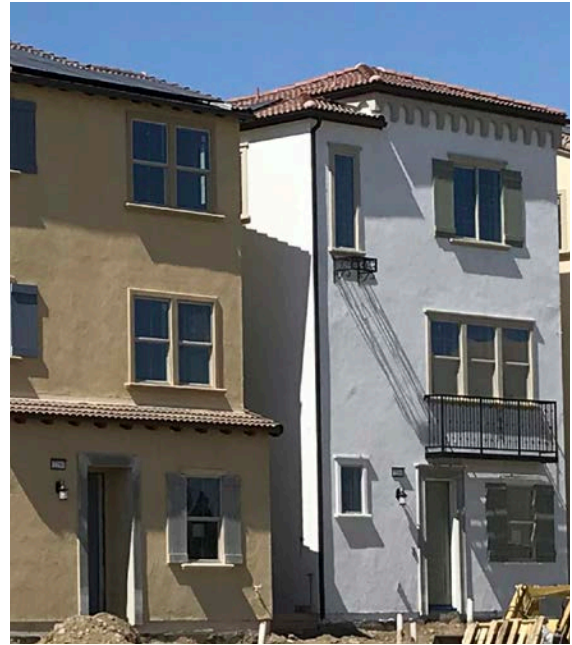
35'

\* Measurement is to be taken from inside of the curb

*Exhibit 9-17 6 and 8-Pack Greencourt Plotting and Development Standards*

# SECTION 9 • Development Standards

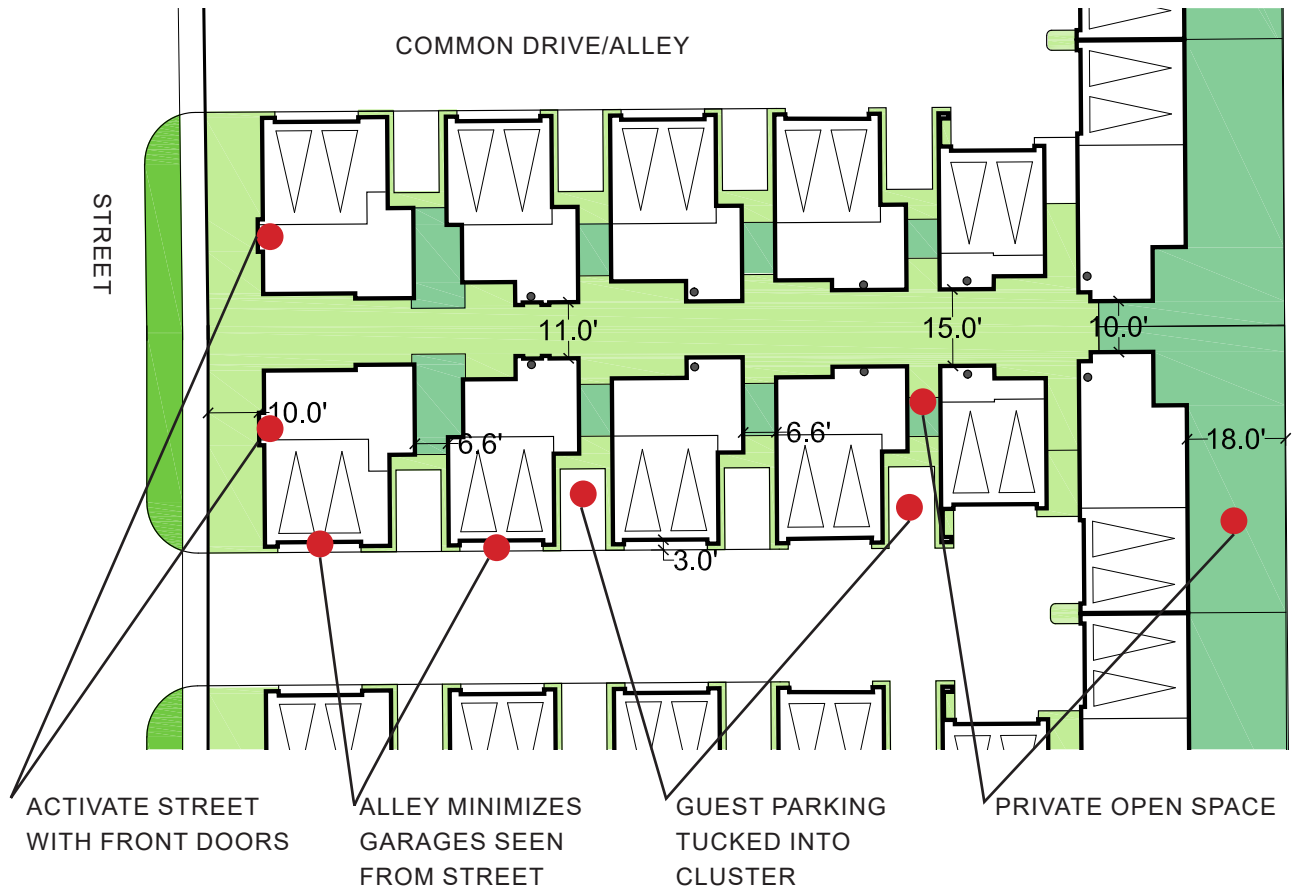
## 9.4.15 12-Pack Greencourt Development Standards



KEY MAP



# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Maximum Number of Units per Cluster	12
Lot width	N/A
Lot depth	N/A

### Building Separation (Minimum) 6'-6"

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	4'
Living from common drive	3'
Garage from common drive	3'

### Side Setbacks

To porch/balcony/fence	4'
To living	5'
Corner to living	10'
To garage from property line	10'

### Rear Setbacks

To living from common drive	3'
To living from property line	10'
To garage from common drive	3'
To garage from property line	10'

### Garage Setbacks

Garage face to garage face	30'
Garage face to driveway (apron)	5'*
Note: Lane width may be increased to 24' when the lane length exceeds 150'.	

### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
Second floor cantilever over garage	2'

### Private Open Space Per Unit

Minimum dimension	6'
Total per unit	100 s.f.

### Parking

2 Garage Spaces	(20' x 20' Clear)
-----------------	-------------------

### Building Height

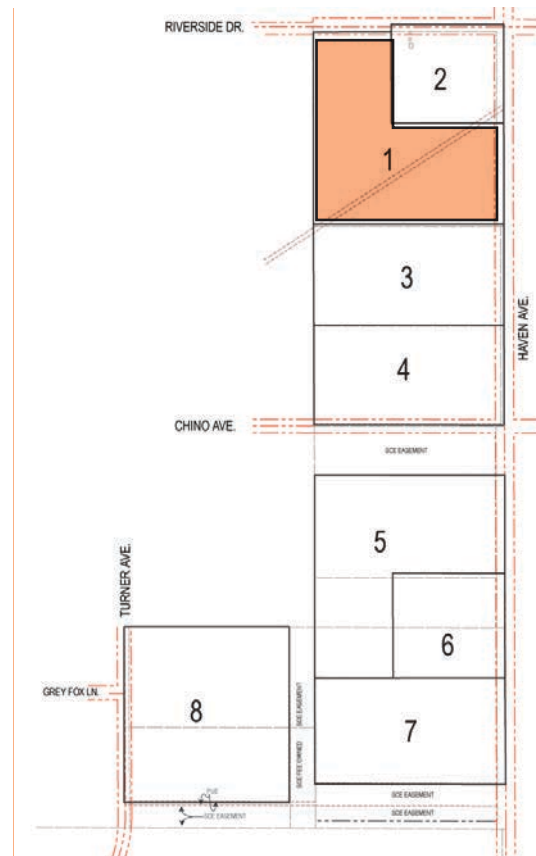
35'

\* Measurement is to be taken from inside of the curb

*Exhibit 9-18: 12-Pack Greencourt Plotting and Development Standards*

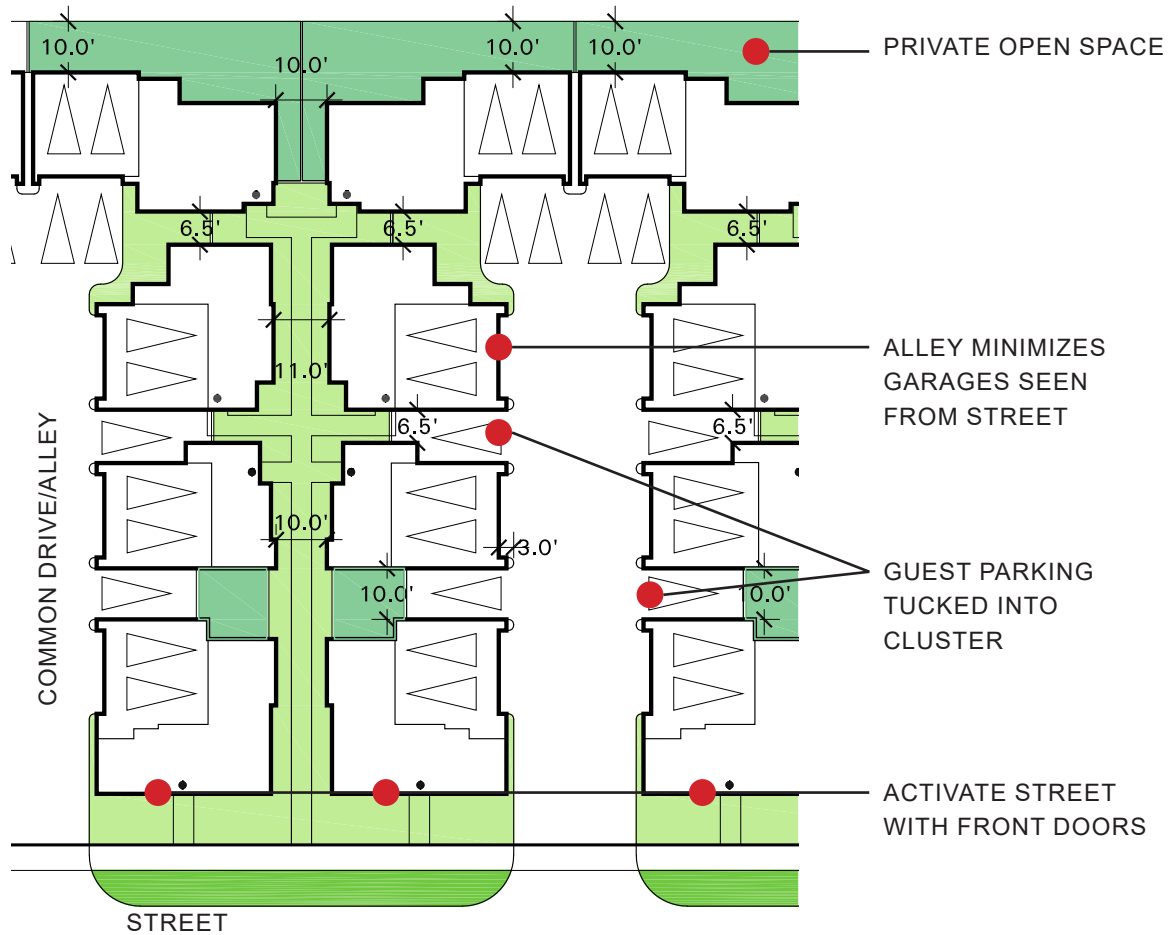
# SECTION 9 • Development Standards

## 9.4.16 8-Pack Greencourt Development Standards



KEY MAP

# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Maximum Number of Units per Cluster	8
Lot width	N/A
Lot depth	N/A

### Building Separation (Minimum)

6'-6"

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	4'
Living from common drive	3'
Garage from common drive	3'

### Side Setbacks

To porch/balcony/fence	4'
To living	5'
Corner to living	10'
To garage from property line	10'

### Rear Setbacks

To living from common drive	3'
To living from property line	10'
To garage from common drive	3'
To garage from property line	10'

### Garage Setbacks

Garage face to garage face	30'
Garage face to driveway (apron)	5'*
Note: Lane width may be increased to 24' when the lane length exceeds 150'.	

### Maximum Encroachments into Building Setbacks

Fireplace, media niche (8' max length), bay windows (cantilevered), potshelves, brackets, etc.	2'
Second floor cantilever over garage	2'

### Private Open Space Per Unit

Minimum dimension	6'
Total per unit	100 s.f.

### Parking

2 Garage Spaces	(20' x 20' Clear)
-----------------	-------------------

### Building Height

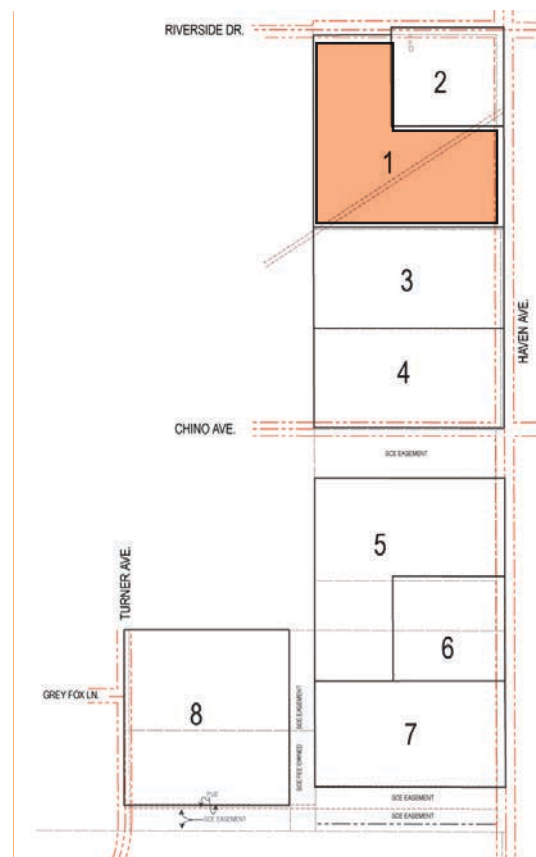
35'

\* Measurement is to be taken from inside of the curb

*Exhibit 9-19: 8-Pack Greencourt Plotting and Development Standards*

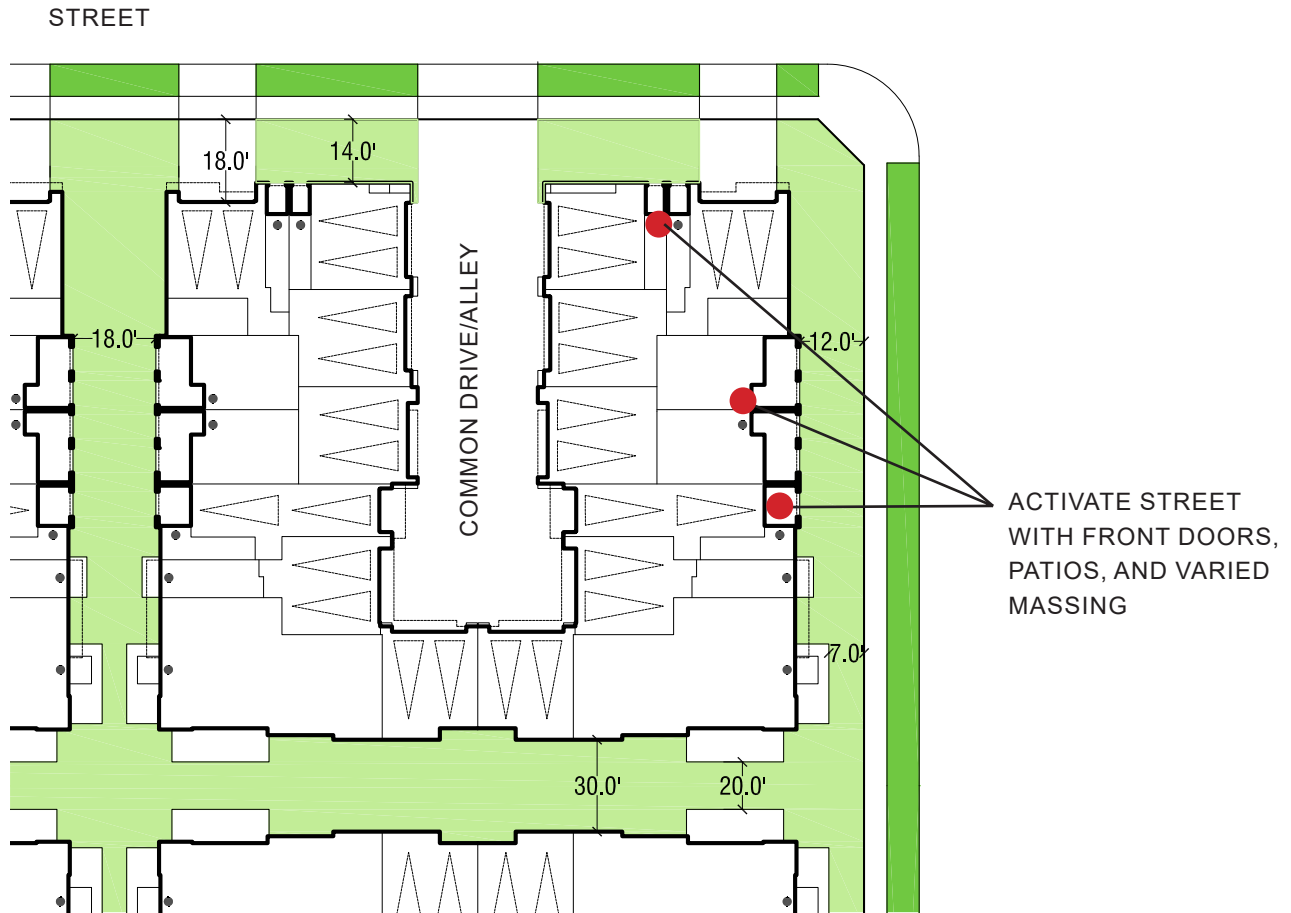
# SECTION 9 • Development Standards

## 9.4.17 Attached Motorcourt Development Standards



KEY MAP

# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Lot area	N/A
Lot width	N/A
Lot depth	N/A

### Lot Coverage

60% Max

### Minimum Porch Depth

4'

### Parking

2 Garage Spaces

(20' x 20'  
Clear)

Tandem Permitted

(10' x 40'  
Clear)

### Building Separation (Minimum)

Living to living	18'
------------------	-----

### Building Height

35'

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	7'
To garage	18'

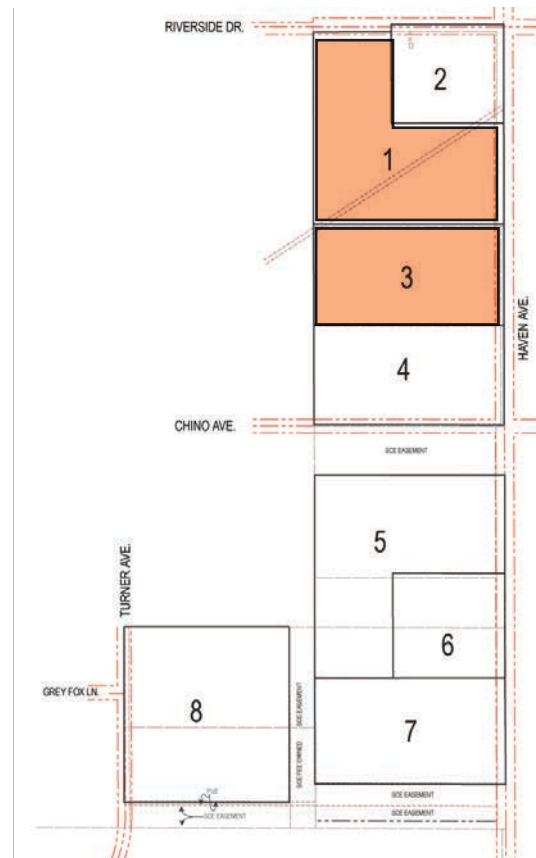
### Side Setbacks

To living	12'
Corner to porch or balcony	7'
Corner to living	10'

*Exhibit 9-20: Attached Motorcourt Plotting and Development Standards*

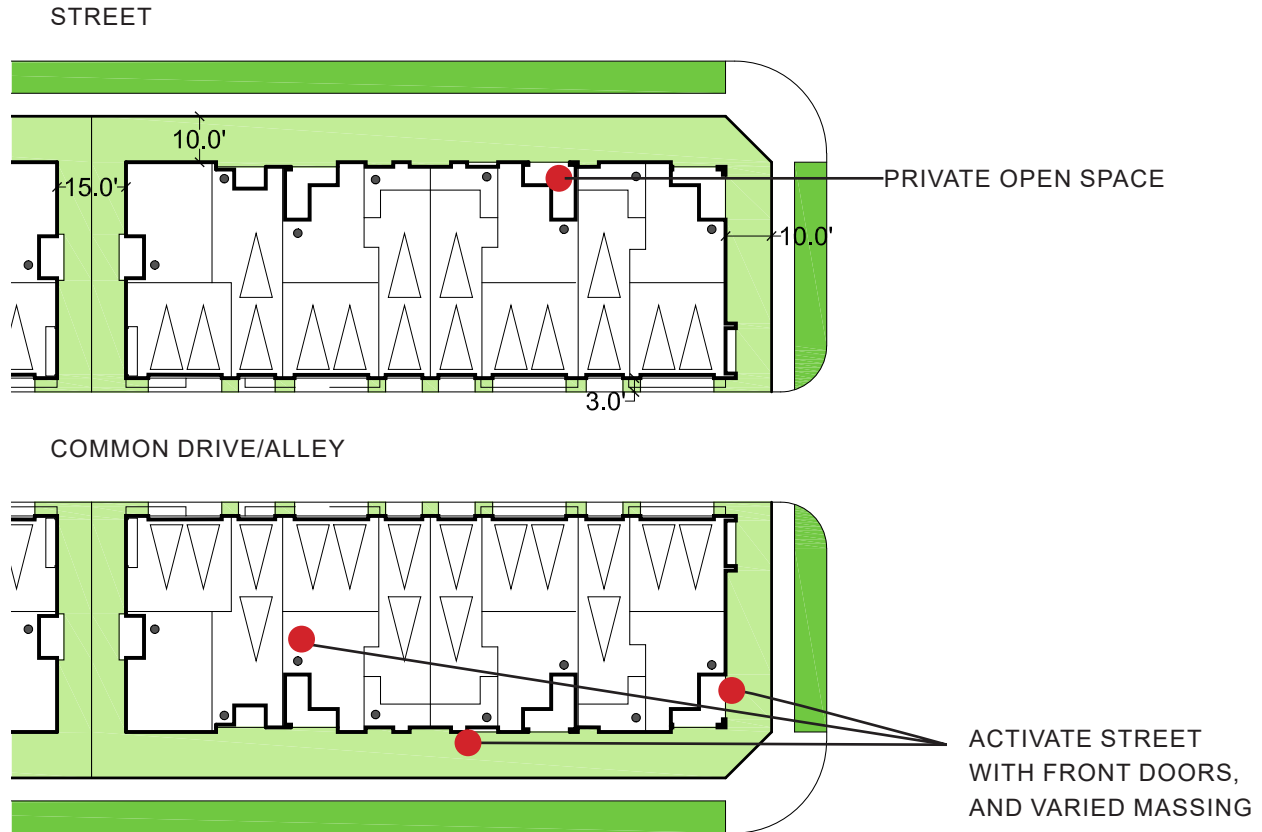
# SECTION 9 • Development Standards

## 9.4.18 3-Story Townhome Development Standards



KEY MAP

# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Lot area	N/A
Lot width	N/A
Lot depth	N/A

### Lot Coverage

60% Max

### Minimum Building Setback to Shared Driveway

3'

### Minimum Porch Depth

4'

### Building Separation (Minimum)

Living to living	15'
------------------	-----

### Parking

2 Garage Spaces	(20' x 20' Clear)
Tandem Permitted	(10' x 40' Clear)

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	7'

### Building Height

40'

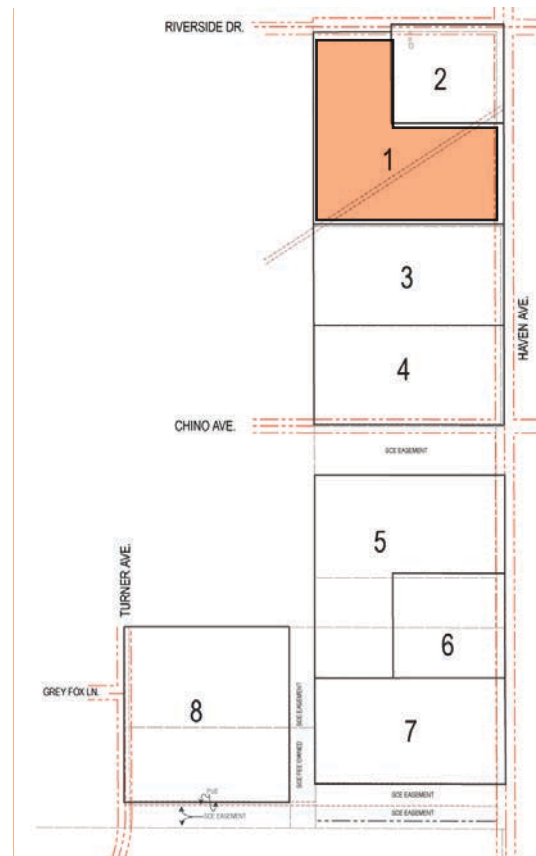
### Side Setbacks

To living	10'
Corner to porch or balcony	7'
Corner to living	10'

*Exhibit 9-21: 3-Story Townhome Plotting and Development Standards*

# SECTION 9 • Development Standards

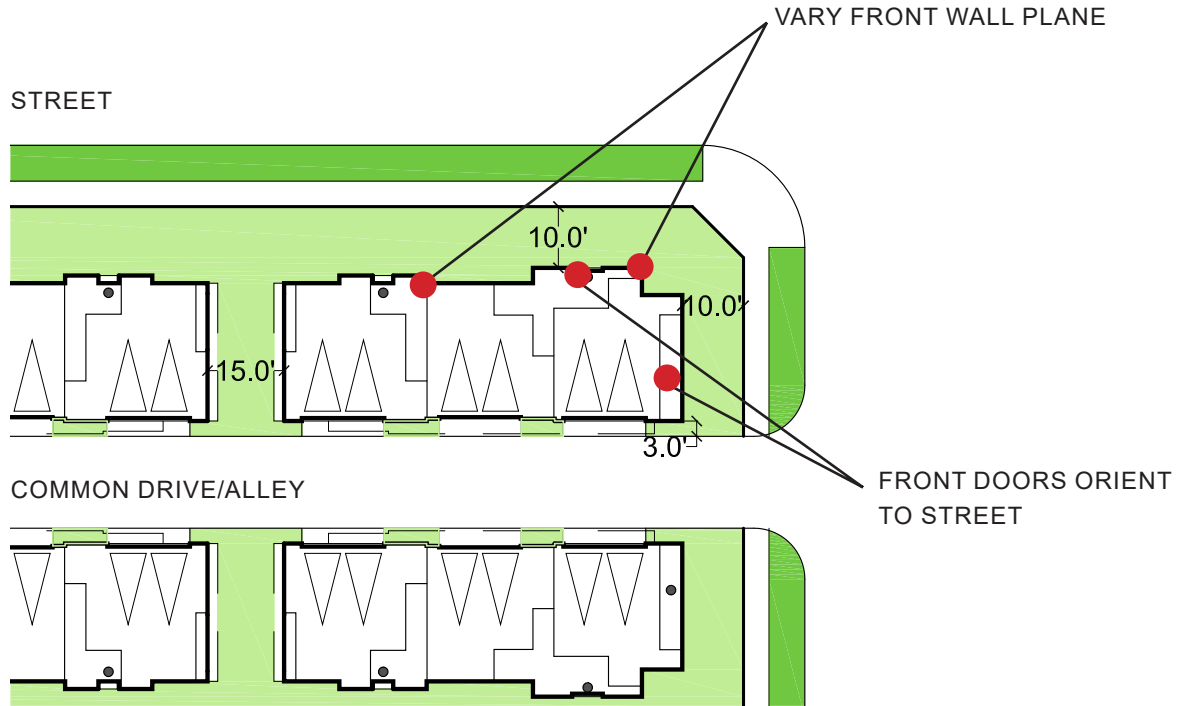
## 9.4.19 3-Story Triplex Development Standards



KEY MAP



# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Lot area	N/A
Lot width	N/A
Lot depth	N/A

**Lot Coverage** 60% Max

**Minimum Building Setback to Shared Driveway** 3'

**Minimum Porch Depth** 4'

### Building Separation (Minimum)

Living to living 15'

**Parking**  
2 Garage Spaces (20' x 20' Clear)

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	6'

**Building Height** 40'

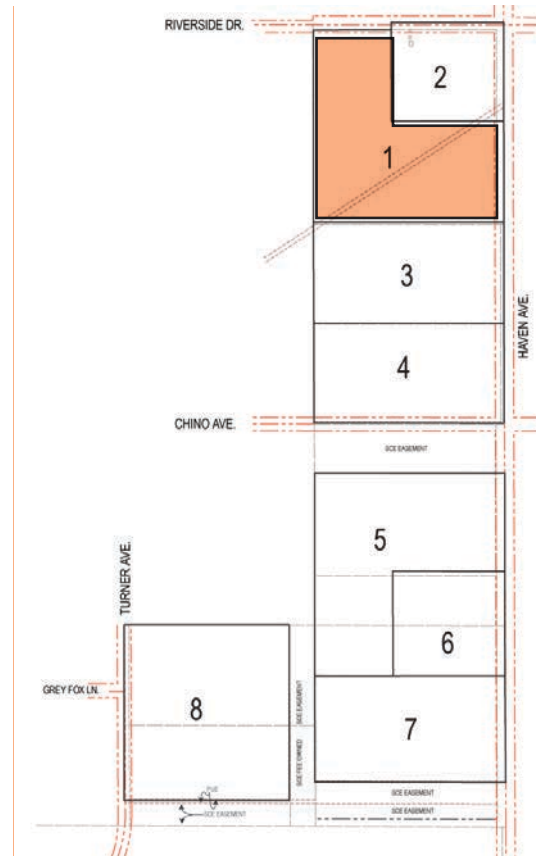
### Side Setbacks

To living	10'
Corner to porch or balcony	6'
Corner to living	10'

*Exhibit 9-22: 3-Story Triplex Plotting and Development Standards*

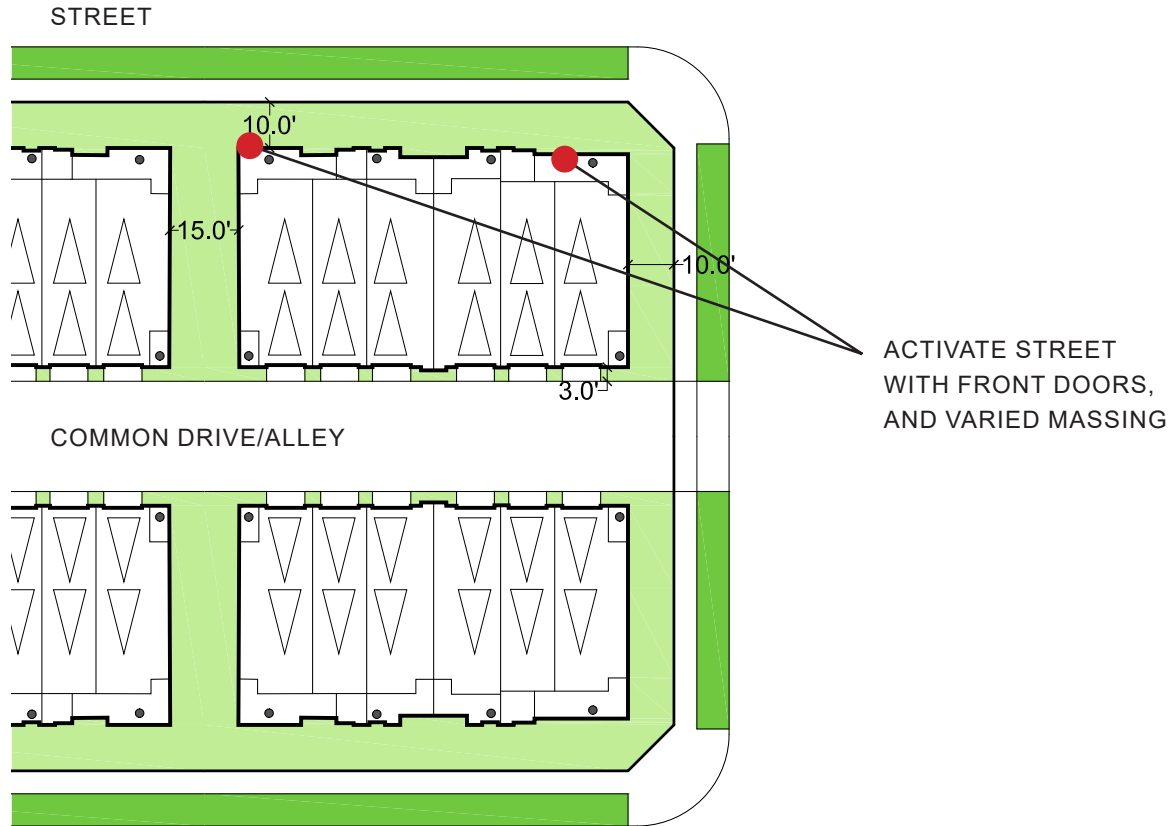
# SECTION 9 • Development Standards

## 9.4.20 3-Story Tandem Townhomes Development Standards



KEY MAP

# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Lot area	N/A
Lot width	N/A
Lot depth	N/A

### Building Separation (Minimum)

Living to living	15'
------------------	-----

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	6'

### Side Setbacks

To living	10'
Corner to porch or balcony	6'
Corner to living	10'

### Rear Setbacks

To garage	3'
-----------	----

### Minimum Building Setback to Shared Driveway

3'

### Lot Coverage

60% (Max.)

### Minimum Porch Depth

4'

### Parking

2 Garage Spaces  
(10' x 40' Clear)

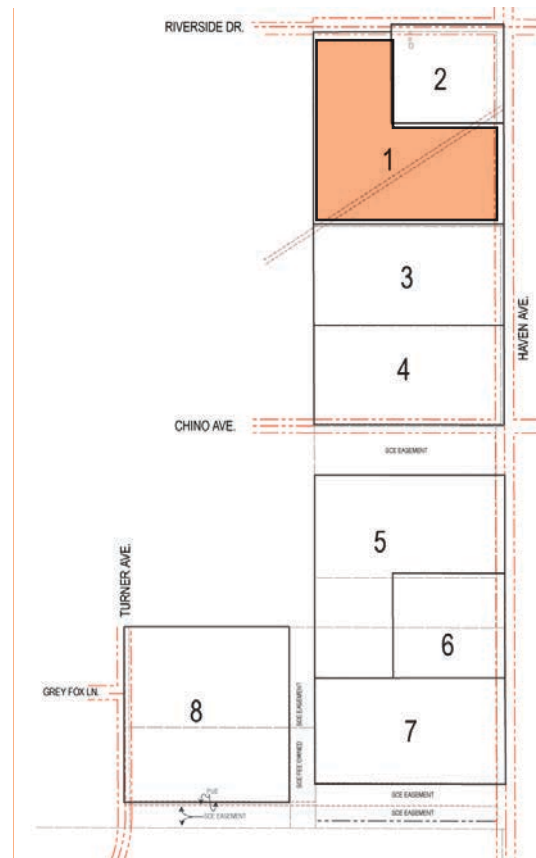
### Building Height

40'

*Exhibit 9-23: 3-Story Tandem Townhomes Plotting and Development Standards*

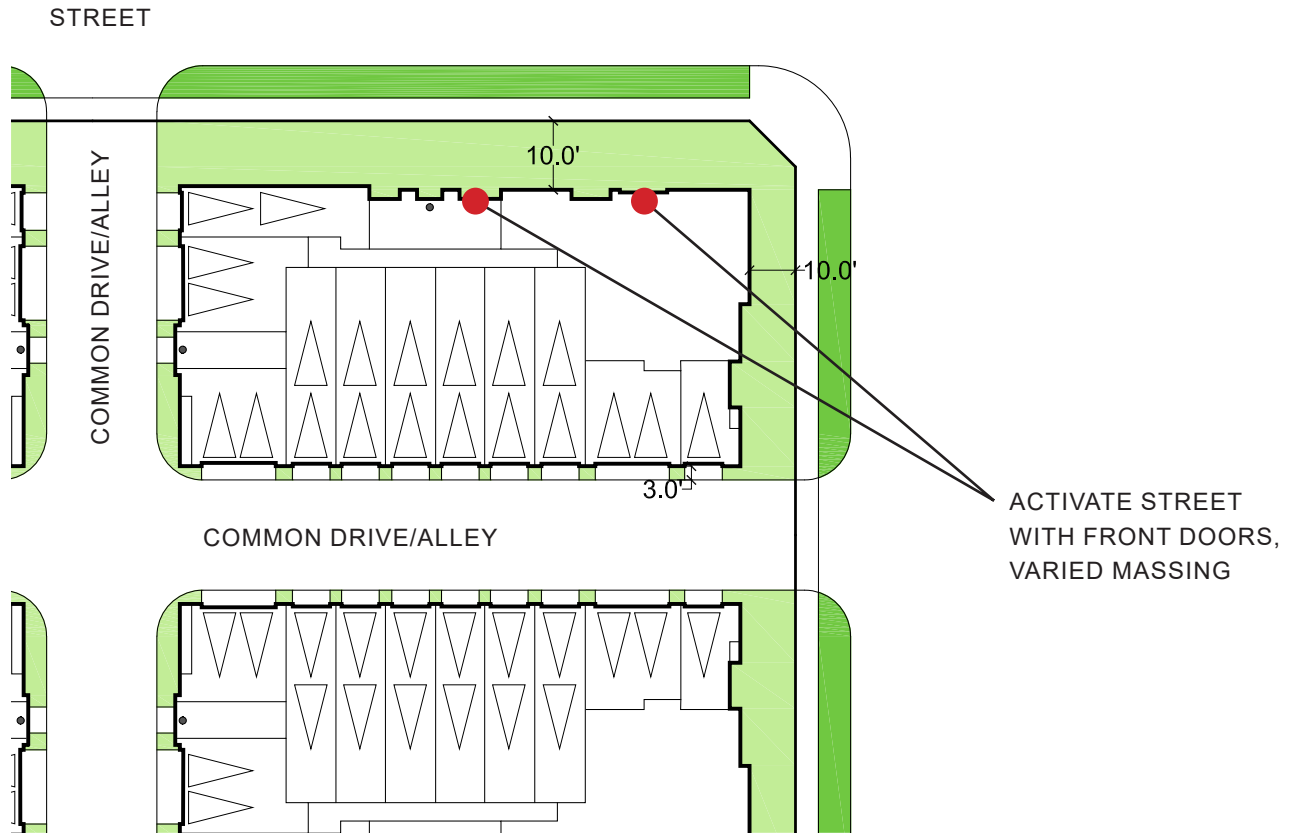
# SECTION 9 • Development Standards

## 9.4.21 Flats Development Standards



KEY MAP

# SECTION 9 • Development Standards



## Minimum Standards

### Minimum Lot Size

Lot area	N/A
Lot width	N/A
Lot depth	N/A

### Building Separation (Minimum)

Living to living	15'
------------------	-----

### Front Setbacks - To Back of Sidewalk - Street Facing

Living space	10'
Porch/balcony	6'

### Side Setbacks

To living	10'
Corner to porch or balcony	6'
Corner to living	10'

**Minimum Building Setback to Shared Driveway** 3'

**Lot Coverage** 60% Max

**Minimum Porch Depth** 4'

### Parking

1 Car	(00' x 20' Clear)
2 Car Side-by-Side	(20' x 20' Clear)
Tandem Permitted	(10' x 40' Clear)

**Building Height** 40'

*Exhibit 9-24: Flats Plotting and Development Standards*

# SECTION 9 • Development Standards

## 9.4.22 Cluster Homes Development Standards

### Planning Area 3 - Cluster Homes

#### Lot Criteria

Minimum Lot Square Feet	2,800 Sq. Ft.
Minimum Lot Width at Front Setback Line for Standard Lot <sup>(1)</sup>	46'
Minimum Lot Width on Corner	49'
Minimum Lot Depth	58'
Garage Access <sup>4,5</sup>	Common Drive Access

**Minimum Building Separation** 8'

#### Minimum Building Setbacks, Forward of Cluster

##### Front Setbacks <sup>(1)</sup>

To Porch or Balcony	5'
To Livable, 1 <sup>st</sup> / 2 <sup>nd</sup> Story	5'

##### Side Setbacks <sup>1,2</sup>

Interior to Livable	5'
Corner to Livable	10'

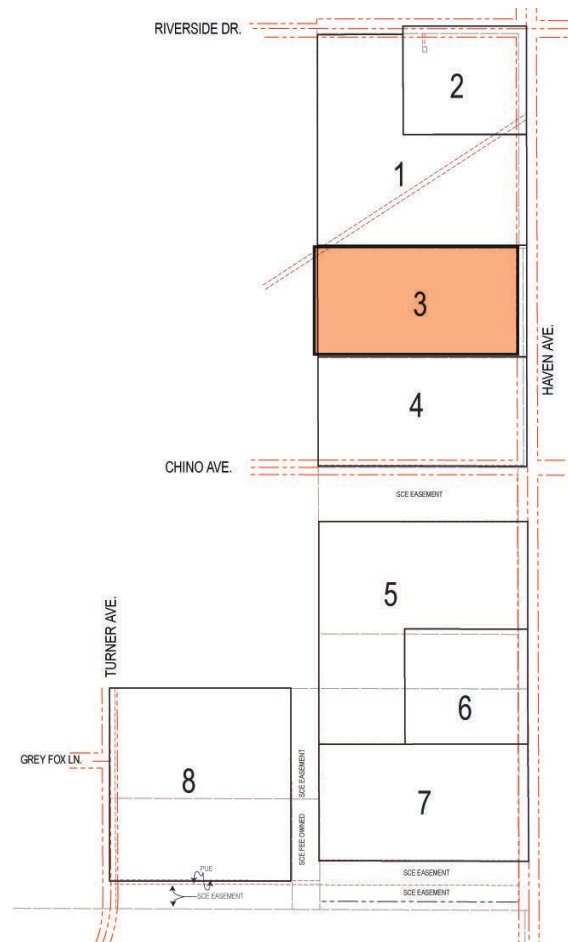
##### Rear Setbacks<sup>1,2,3</sup>

To Livable	5'
To Garage	N/A

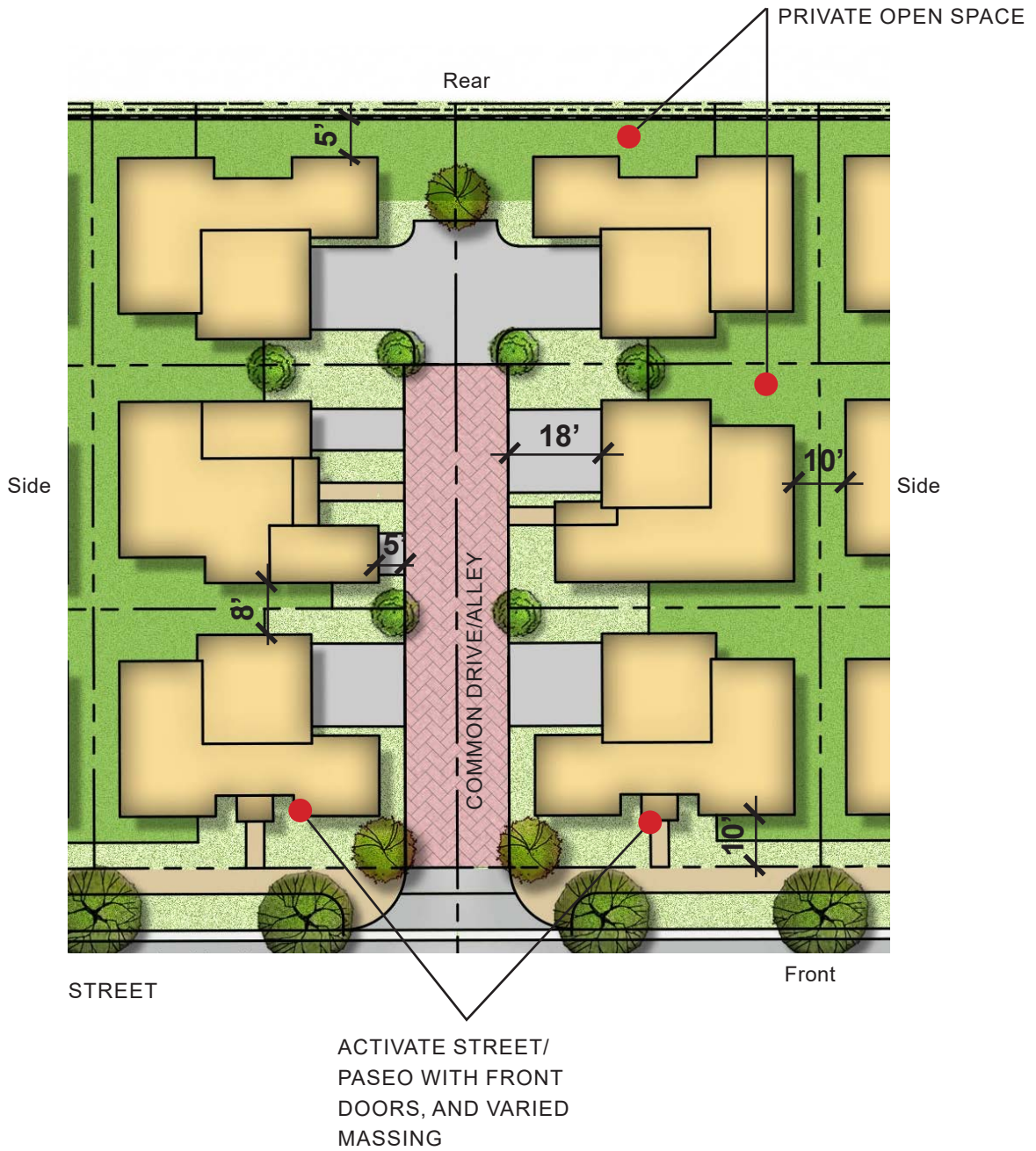
#### Notes:

- (1) All Setbacks are measured from property lines.
- (2) Side yard slopes may not encroach more than 40% into side yard setback areas.
- (3) A minimum 150 S.F. private open space area is required.

**Please refer to Exhibit 9-25 “Cluster Homes Plotting” for further details.**



# SECTION 9 • Development Standards



*Exhibit 9-25: Cluster Homes Plotting*

# SECTION 9 • Development Standards

## 9.4.23 Alley loaded Rowtowns Development Standards

### Minimum Standards

<b>Lot Area</b>	
Lot area	N/A
Lot width	N/A
Lot depth	N/A
<b>Building Separation (Minimum)</b>	
Living to living	15'
<b>Front Setbacks Street Facing</b>	
Living space	10'
Porch/balcony	5'
<b>Side Setbacks</b>	
To living	5'
Corner to porch or balcony	5'
Corner to living	5'

*Notes:*

(1) Architectural projections may project a maximum of 3 feet into a required setback; however in no projection shall be closer than 3 feet to any property line. A projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements.

(2) All front and corner side setbacks are measured from back of sidewalks. All other setbacks are measure from Property Line unless noted otherwise.

(3) Minimum 7 foot deep porch, may be reduced to 5 feet where appropriate and subject to Planning Department review and approval.

(4) Solid walls and fencing materials are subject to a 3 foot minimum setback from sidewalk. Fences, walls, hedges or similar view obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed three feet in high in any front yard.

(5) Walls my exceed six feet in height and pilasters may exceed six feet six inches in height on for noise attenuation purposes subject to an Acoustical Study and Planning Department Approval. Up to two feet retaining wall may be incorporated with the 6 feet maximum wall. Maximum exposed wall shall not exceed 8 feet.

(6) All parking spaces to be within an enclosed garage with a minimum clear dimension of 20'x20' for two spaces or 10'x20' for single for tandem spaces. Resident parking may be tandem.

**Please refer to Exhibit 9-25 “Rowtowns Plotting” for further details.**

### Minimum Building Separation

Front to front	25'
Side to side	10'
Rear to Rear	30'/25' at Upper Levels
Front to Side	20'
Between Covered porches front to front <sup>3</sup>	15'
Between Garden Walls 3' max height	10'

### Minimum Building Setback to Shared Driveway

3'

### Private Open Space

Ground floor units (8' Min)	150 SF
Upper Levels (5' Min)	50 SF

### Walls, Fences and Hedges

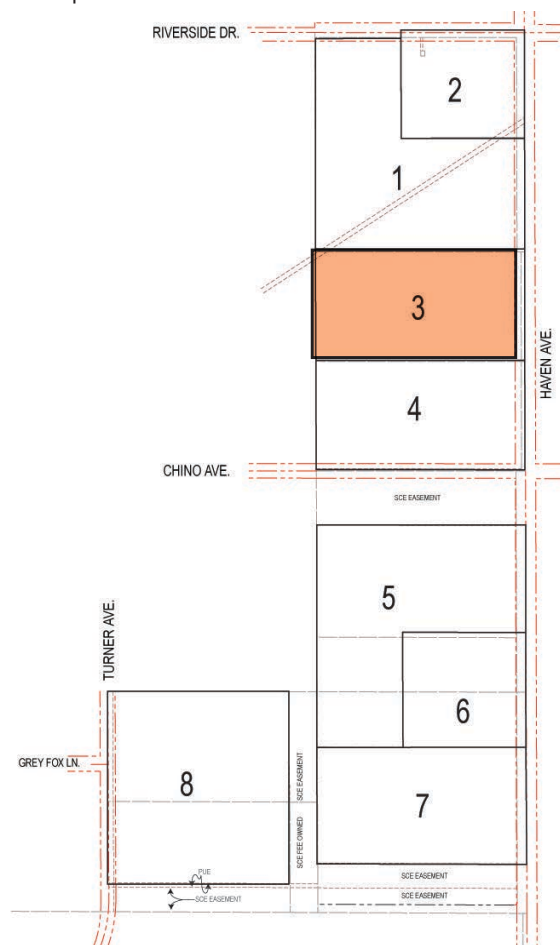
Max height at front of building <sup>4</sup>	3'
Max height at side or rear	6'

### Lot Coverage

60% Max

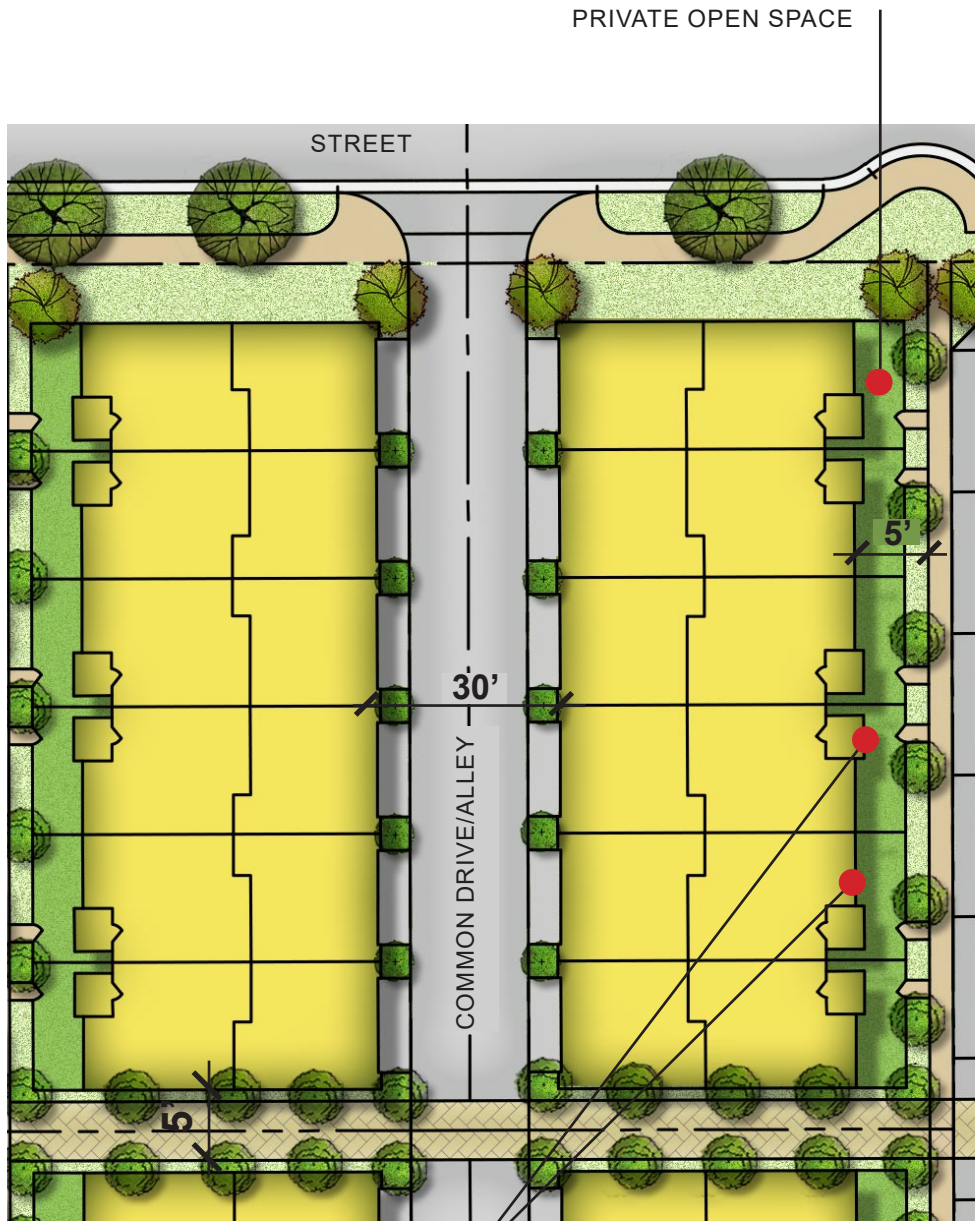
### Parking<sup>6</sup>

Per Development Code





# SECTION 9 • Development Standards



ACTIVATE STREET/  
PASEO WITH FRONT  
DOORS, AND VARIED  
MASSING

*Exhibit 9-26: Rowtowns Plotting*

## SECTION 9 • Development Standards

### 9.4.24 Permitted Uses

1. Single family attached or detached dwelling units.
2. Child daycare facilities serving up to 7 children (Per State guidelines).
3. Home occupation shall be in compliance with Section 5.030240 of the Development Code.
4. Accessory uses to include the following: garages, swimming pools, spas, sports courts, and similar outdoor recreational amenities.
5. Patios and patio covers.
6. Monument Signage (per standards within **Section 9.5.3(h)** of this Specific Plan).
7. Model Homes and subdivision sales' trailers; temporary construction parking, offices and facilities; real estate signs, signage indicating future development and directional signage shall be in accordance with the City's Development Code.
8. Second story additions to existing single story dwelling units.

### 9.4.25 Conditional Permitted Uses

1. Child daycare facilities serving up to 8 to 14 children (Per State guidelines).
2. Places of worship including but not limited to churches and synagogues.

### 9.4.26 Additional Regulations to be Incorporated

1. Temporary and Interim Land Uses shall be consistent with Section 5.03.395 of the Development Code.
2. Accessory Uses should consider guest homes or accessory dwelling units.
3. No recreational vehicle storage (RV's) in front or corner side yards. No RV street parking for more than 72 hours.

### 9.4.27 Dairy Separation Requirement for Residential District Development

#### Regulation

The following separation requirements from existing dairies/feed lots shall apply to new residential development or structures used for public assembly purposes from existing dairies/feed lots.

A minimum 100-foot separation shall be required between a new residential, commercial or industrial development structure used for public assembly and an existing animal feed trough, corral/pen or an existing dairy/feed lot including manure stockpiles and related wastewater detention basins. The 100-foot separation requirement may be satisfied by an offsite easement acceptable to the Planning Director with adjacent properties, submitted with the initial final map and recorded prior to or concurrent with the final map.

### 9.4.28 Residential Architectural Development Standards

The following development standards shall apply in all residential categories in the West Haven Specific Plan area:

1. No more than 25% of homes in any neighborhood area shall have street facing garages set back closer to the street than the living area (side loaded garages exempted from this ratio.)
2. A minimum of 75% of dwelling units in any neighborhood shall incorporate architecture forward designs.
3. Porches shall be a minimum of 7', 70 square feet in area.
4. Minimum interior garage dimensions to be 20' x 20' clear, one step may encroach, but water heaters may not encroach into this area.
5. Garage door plane will vary at least 5-feet (5') from the adjacent living area façade.
6. Garage doors shall be recessed a minimum of 12-inches (12") from adjacent walls.
7. Deep recessed garages and patio covers shall maintain a five-foot (5') rear yard setback.

8. For garages on rear access lots, the minimum alley setback shall be three-feet (3') with a five foot (5') average setback for second story elements over the garage.
9. Alleys serving as access ways to residential parking facilities shall be designed in accordance with the following standards. The alleys shall provide a minimum of 26-feet of back up area, as measured from the garage face (a minimum of 30-feet of back up area where emergency access applies). On both sides of the alley, between each garage (approximately every 30feet), a landscaped planter shall be installed and shall project a minimum of five feet (5') beyond the face of the garage toward the alley (a minimum of four feet (4') of planter projection where emergency access applies). A minimum 20-foot clearance (24-foot clearance where emergency access applies) is required at all times along the length of the alley.
10. The Director of Planning or Planning Commission may approve modifications to these standards up to 15% (Administrative Exception) for innovative and quality designs that meet the intent of the provisions for this Specific Plan.

### 9.5 Neighborhood Center Commercial Development Standards

#### 9.5.1 Neighborhood Center Commercial Designation Intent and Purpose

The Neighborhood Center Commercial Land Use Designation is intended to provide necessary retail, office and service uses in close proximity to residents within the West Haven Specific Plan area as well as surrounding neighborhoods and developments. It accommodates proposed small-scale commercial centers that introduce minimal impacts on residential neighborhoods, and as far as feasible are integrated

with adjacent uses. More specifically, the purpose of this designation is as follows:

1. Development within the Neighborhood Center Commercial Land Use Designation should conveniently meet day-to-day service and shopping needs of local residents.
2. Development within the Neighborhood Center Commercial Land Use Designation should complement and not degrade the nearby residential neighborhoods.
3. Development within the Neighborhood Center Commercial Land Use Designation should promote pedestrian linkages with adjacent residential uses, including an enhanced street environment.
4. Development within the Neighborhood Center Commercial Land Use Designation should incorporate modestly scaled outdoor spaces that support informal gatherings.

#### 9.5.2 Neighborhood Center Commercial: Permitted and Conditional Uses

*Table 9-1, "Neighborhood Center Commercial: Permitted and Conditional Uses"* shows permitted (P) and conditional (C) or temporary (T) uses within the Neighborhood Center Commercial Area. The term "permitted" means that the use is allowed, provided all other requirements are met. The terms "conditional" and "temporary" mean that the Zoning Administrator (within existing buildings) or the Planning Commission (for new construction) must first grant a Conditional or Temporary Use Permit.

#### 9.5.3 Neighborhood Center Commercial Development Standards

The following standards are applicable to all development projects within the Neighborhood Center Commercial Land Use Designation of the West Haven Specific Plan. Unless otherwise specified below, development projects shall meet the standards and requirements of the City of Ontario Development Code for Neighborhood Commercial projects.

*Exhibit 9-16, "Neighborhood Center Commercial Site Planning Concept"* presents a concept site plan

## SECTION 9 • Development Standards

Commercial Uses	Permit Type
Bars and cocktail lounges	C
Eating Establishments and restaurants:	
With outdoor seating	P
With alcohol sales	C
With drive-thru	C
Finance services including banks, savings and loans, credit services	P
With drive-thru	C
Finance, insurance and real estate services, including security and commodity brokers and dealers, insurance and real estate agents and brokers, not including banks, savings and loans and credit services	P
Food stores, including supermarkets, meat and fish, fruit and vegetable stores, candy stores, health food stores, catering establishments and similar establishments, specialty food such as coffee houses, delicatessens and similar establishments	P
Food stores, convenience	P
With alcoholic beverage sales	C
Furniture and home furnishing retail sales, including household appliances, electronic equipment and office furniture	P
General merchandise retail including variety stores, dry goods stores, but excluding discount stores, vending machine operators and direct selling organizations	P
Health clubs and gymnasiums (use in excess of 5,000 square feet requires CUP)	P/C
Indoor recreation including ice and roller skating rinks and bowling alleys	C
Personal services including clothes laundering, photographic services, barber and beauty services, dry cleaning and shoe repairs, but excluding industrial laundering, sanitariums and rest homes	P
Retail sales (miscellaneous trade, including newspapers and magazines, books, gifts, stationary, florists, camera and photo supplies, optical goods and similar establishments	P
Public and Quasi-Public Uses	Permit Type
Churches and other religious institutions	C
Community-serving centers and facilities, including daycare and senior, recreation and teen centers	C
Cultural facilities including libraries and art galleries	P
Semi-public facilities and institutions not providing sleeping accommodations including:	
Non-profit social service organizations	P
Philanthropic and charitable institutions	P
Private clubs and lodges	C
University, college, community college and professional schools (except truck driving schools)	C

**Table 9-1: NEIGHBORHOOD CENTER COMMERCIAL: PERMITTED AND CONDITIONAL USES**

# SECTION 9 • Development Standards

Temporary Uses (subject to the “Temporary Use Provisions” of the City of Ontario Development Code)	Permit Type
Outdoor display and sales of merchandise, subject to temporary use provisions (TUP) of City of Ontario Development Code (Article 13)	TUP
Other Uses	Permit Type
Other uses which, in the judgement of the Zoning Administrator as evidenced by resolution in writing, are similar to and no more objectionable than any of the uses set forth in this section.	

Notes: Permitted Uses: (P); Conditional Uses: (C); Temporary Uses: (T)

**TABLE 9-1 (CONTINUED)**  
**NEIGHBORHOOD CENTER COMMERCIAL: PERMITTED AND CONDITIONAL USES**



 Not To Scale

## SECTION 9 • Development Standards

for Neighborhood Center Commercial development. Please note that final site plans must meet the development standards and design guidelines contained herein.

### 9.5.3(a) Development Standards

1. Building setbacks shall be as follows (note: all setback areas are to be landscaped):

From Riverside Drive Right-Of-Way:	23 feet
From Haven Avenue Right-Of-Way:	14 feet
From Private or Local Street:	15 feet
From Interior Property Line:	0 feet
From Interior Property Line Adjacent to Residential District:	25 feet

2. Floor Area Ratio (FAR) shall be 0.40.
3. Maximum height shall be 35 feet, with architectural projections and focal elements such as towers, cupolas, and other appurtenances (1 story). These architectural projections may exceed the allowable height by a maximum of 9 additional feet, provided that these features do not exceed 15% of the total building footprint and are not located within 50 feet of residential property.
  - a. Building Separation: The minimum distance between structures shall be 9 feet.
4. Permitted Encroachments: Canopies, awnings and similar features may encroach a maximum of 4 feet upon a required setback. Cornices, eaves, and similar architectural features may encroach a maximum of 30 inches upon a required setback and/or required plaza space, but not upon a public right-of-way.
5. All loading areas shall be screened from adjacent public streets, residential, and open space use through the use of landscaping, earthen berms, and/or decorative walls or fencing.
6. All storage including cartons, containers, materials, or trash shall be shielded from view within a building or area enclosed by a solid fence or wall not less than six feet in height.

### 9.5.3(b) Access & Parking Facilities

1. Parking setbacks shall be as follows (note: all setback areas are to be landscaped):

From Riverside Drive Right-Of-Way:	23 feet
From Haven Avenue Right-Of-Way:	14 feet
From Private or Local Street:	10 feet
From Interior Property Line:	5 feet
From Interior Property Line Adjacent to Residential District:	5 feet

2. Parking facilities, including drive aisles, shall be setback a minimum of 9 feet from the building. The intervening space shall consist of attractive landscape treatment; this may include connecting paths and walkways, as well as decorative paving and hardscape associated with appropriately sited and useable outdoor spaces.
3. Parking areas shall be substantially screened to a height of 36 inches, so that their visibility from streets and residential areas is minimized. Screening may utilize plants, low screen walls, or a combination of these screening techniques.
4. Access and parking facilities shall otherwise comply with the requirements of the City of Ontario Development Code, including requirements for parking stall and aisle dimensions.

### 9.5.3(c) Parking Ratios

The required number of parking spaces shall be in accordance with the City of Ontario Development Code. However, the Planning Commission may approve the following exceptions, based on the findings of a parking study:

1. A 20 percent reduction in the minimum number of required parking spaces so as to accommodate otherwise permitted uses, such as restaurants and eating establishments; this recognizes the opportunity for residents and employees within and adjacent to the West Haven Specific Plan area to conveniently walk to these establishments.

2. Shared parking between adjacent lots and uses may be permissible, subject to a shared parking study and approval of the Planning Commission.

### 9.5.3(d) Service Facilities

Service facilities shall be setback a minimum of 15 feet from a property line adjacent to a local street and an interior lot line shared with a residential use. Service facilities shall also maintain required neighborhood edges for collectors, arterials, etc.

1. Service and loading facilities, including refuse collection facilities, shall be setback a minimum of 15 feet from a property line adjacent a local street and 25 feet from an interior lot line shared with a residential use. The intervening space between a residential use and service or loading facilities shall be landscaped, including plant materials that will buffer the residential use. Neighborhood edges shall be maintained.
2. Service and loading facilities, including refuse and collection facilities, shall be screened so that they are not visible from streets and residential uses.
3. Service and loading areas shall otherwise comply with the requirements of the City of Ontario Development Code and the intent of the applicable Design Guidelines within this Specific Plan, including the design and construction of exterior trash enclosures and cart storage areas within parking lots and adjacent to buildings.

### 9.5.3(e) Walls & Fences

1. Adjacent the street: No wall or fence may be placed between the building and the street; walls are otherwise permitted along the street, provided that they do not exceed three feet in height and are setback a minimum of five feet with intervening landscape treatment. This shall not apply to walls integral to the building architecture that are used for screening service and loading facilities.
2. Adjacent an interior lot line: A wall or fence may be placed along an interior lot line, provided

it does not exceed six feet in height (or three feet in height within a required setback from the street). Decorative wrought iron, or similar decorative fencing may be substituted for block wall at locations where greater visibility is desired.

3. The materials and construction of walls and fences shall otherwise comply with the requirements of the City's Development Code, and the intent of the applicable Design Guidelines within this Specific Plan. Walls and fences shall not interfere with fire department operation. Access gates shall be provided, where necessary, and are subject to fire department approval.
4. When a non-residential use adjoins a residential district, a 6-foot high decorative masonry wall shall be required at the interior side or rear property line.

### 9.5.3(f) Open Space

1. The area devoted to plazas and/or similar outdoor gathering spaces shall measure at least one (1) square foot for every 90 square feet of gross floor area, provided that each space measures a minimum of 250 square feet with a minimum 15-foot dimension.
2. Plazas and similar outdoor gathering spaces shall allow for direct and/or convenient access from the sidewalk and shall be open to the sky, excepting landscape features, such as trellises and canopies.
3. Shared open space configurations will be considered in accordance with an approved master plan for the Neighborhood Center commercial development area, provided that the arrangement allows for a logical distribution of useable outdoor spaces that better fulfills the intent of the design guidelines.
4. The design of plazas and similar outdoor spaces shall be in accordance with the intent of the Design Guidelines within this Specific Plan. Accordingly, plazas and similar outdoor spaces shall incorporate decorative landscape treatment, including but not limited to enhanced paving, and site accessories such as seating,

## SECTION 9 • Development Standards

potted plants and/or planters. Landscape features shall be compatible with the scale and architectural design of the building.

### 9.5.3(g) Landscape

1. Neighborhood Center commercial development shall provide minimum landscape coverage of 15%, exclusive of neighborhood edges.
2. Minimum required setbacks (including building setbacks, and setbacks for parking and service facilities) shall be permanently landscaped in an attractive manner. Landscape within required setbacks shall consist of trees, shrubs, ground-cover and/or other appropriate materials; this may include connecting paths and walkways, as well as decorative paving and hardscape associated with appropriately sited and useable outdoor spaces.
3. Parking lot trees shall be provided within “finger” planters measuring at least six feet in width, excluding curbs. One finger planter shall be provided for every 9 parking spaces.
4. All irrigation systems shall use recycled or reclaimed water and have automatic controllers designed to properly water plant materials in accordance with the soil conditions. In addition, spray systems shall feature low gallonage, matched precipitation heads.
5. Property owners are responsible for continual maintenance of all landscape areas; dead or damaged plant material shall be removed from the site within 30 days of the date of damage.
6. On-site landscaping shall otherwise comply with the requirements of the City’s Development Code, and the intent of the applicable Design Guidelines detailed within this Specific Plan.

### 9.5.3(h) Signage

The Neighborhood Center commercial signage will reflect the commercial architectural style envisioned by the City of Ontario for the Ontario Ranch as well as coordinating with the West Haven Specific Plan’s residential signage. The following

sign standards are applicable to the Neighborhood Center commercial development projects within the West Haven Specific Plan area. (*Standards not addressed below are subject to the requirements of Development Code Chapter 8.0, Table 8.01-1.C for Commercial Zoning District permanent signage*) It should be noted that the photographs illustrated on **Exhibit 9-17, “Neighborhood Center Commercial Architectural Signage”** are respective of Neighborhood Center commercial signage alternatives envisioned for the West Haven Specific Plan.

#### *Project Identification Signs:*

The Neighborhood Center commercial development shall be permitted two (2) project identification signs (one per street frontage) subject to the following standards:

1. Sign Type: Monument
2. Maximum Total Sign Face Area: 28 square feet
3. Maximum Height: 6 feet

#### *Tenant Identification Signs:*

Each tenant shall be permitted one (1) tenant identification sign per elevation, not to exceed three (3) tenant identification signs, subject to the following standards:

1. Sign Type: wall sign; individual channel letters required. Internally illuminated cabinet signs, painted signs, as well as paper and cloth signs are not permitted.
2. Maximum Sign Face Area: each applicable tenant frontage shall be permitted one sign up to 65% of the store’s linear frontage, not to exceed 25 square feet.
3. Maximum Letter Height: 24” for major tenant; 18” for minor tenants.



SECTION 9 • Development Standards



Spanish Colonial Neighborhood Center Alternative



American Farmhouse Signage Alternative



Monument Signage Alternative



Wall Signage Alternative



Wall and Pedestrian Signage Alternatives

## SECTION 9 • Development Standards

### *Pedestrian-oriented Signs:*

In addition to the tenant identification sign described above, each tenant shall be permitted one (1) pedestrian-oriented sign (also identifying the tenant) in the form of a hanging, projecting, awning or window sign along a sidewalk or pedestrian walkway; the pedestrian-oriented sign shall not exceed 5 square feet.

### *Design Guidelines:*

All commercial signage shall substantially comply with the applicable Design Guidelines provided with this Specific Plan.

### *Sign Program:*

A sign program (3 copies) for the Neighborhood Commercial Center shall be submitted to the Planning Department for review and approval. The sign program shall be approved prior to the approval of any individual (i.e. tenant) signs.

### **9.5.3(i) Lighting**

Exterior light standards placed in planters located within or adjacent to parking areas shall be spaced so that there is no conflict with parking lot trees.

1. Exterior light fixtures placed in planters located within or adjacent parking areas shall be set back from the face of the curb to allow for car overhang distances.
2. Lighting equipment (i.e., transformers, ballast boxes) shall be located in planter areas and screened from public view.

### **9.5.3(j) Streetscapes and Pedestrian Walkways**

1. Decorative paving treatments shall be incorporated where vehicular drive aisles and concentrated pedestrian circulation meet. Vehicular points of ingress and egress shall clearly designate pedestrian crossings, and the design of medians shall not restrict or impede pedestrian circulation. All decorative pavement shall be kept on private property.
2. Reference *Exhibit 8-16, "Conceptual Landscape Plan"* for cross section locations

applicable to streets and pedestrian walkways within the Neighborhood Center Commercial development area.

## SECTION 10 IMPLEMENTATION

### 10.1 Introduction

The provisions contained herein are intended to regulate development within the West Haven Specific Plan community. These regulations provide for the development of uses described in the West Haven Specific Plan.

### 10.2 Phasing Concept

Phasing of the West Haven Specific Plan will meet the following objectives:

- The orderly build-out of the mixed-use community based upon market and economic conditions.
- The provision of adequate infrastructure and public facilities concurrent with development of each phase.
- The protection of public health, safety and welfare.

Development phasing within the West Haven Specific Plan will be determined by the various developers based upon real estate market conditions. Phasing will occur as appropriate levels of infrastructure, community facilities and open space dedications are provided. Phasing sequencing is subject to change over time to respond to these various factors and individual phases may overlap or develop concurrently. Development will be implemented through the approval, by the City, of Tentative Tract / parcel maps, conditional and permitted development plan permits.

The concept phasing is intended to provide flexibility to address the multiple ownerships, which to this date have not been organized into a single development entity. There is the possibility that all land use areas, within the Specific Plan Project site, will not be developed concurrently. The phasing concept addresses the lack of control over these properties by incorporating the uncontrolled properties into the last phase of development and creating an interim street

and permanent utility improvements to serve the Planning Areas, which are developed first.

Contingent upon backbone utility availability, development of the current developer controlled Land Use Areas (1, 2, 4, 5, 8 and 9) shall not be dependent on the acquisition of, or concurrent development of the uncontrolled properties. If a Residential Planning Area cannot be developed, the development that is permitted will provide viable, future utility and circulation connections to the undeveloped properties, as necessary. This same consideration shall apply to the development of the Neighborhood Center Commercial Planning Area and the school site. By designing areas to be initially developed to accommodate future development, compliance with the goals and objectives of the Specific Plan will be assured.

It is likely that all or a portion of the off-site and project adjacent utilities will comprise the initial phase of development. Appropriate levels of infrastructure and community facilities will be installed, as required by the City, and public services will be available to serve each phase of residential and commercial development as it occurs. The developers of the Specific Plan will be responsible for the construction of these facilities.

#### 10.2.1 Concept Phasing Schedule

The Concept Phasing is based on the *“West Haven Land Use Plan,” Exhibit 3-1, and Table 10-1, “Concept Phasing Schedule.”* The phasing could change, based on refinement during the tentative approval stage. Additional off-site improvements and/ or on-site improvements may be required by the City as determined during the development review process. If major deviations from the proposed Concept Phasing Schedule are identified as a result of market changes or other unexpected circumstances, an amended phasing plan for that portion of the Specific Plan to be developed will be prepared and approved before tentative maps or entitlement plans are filed. See *Table 10-1, “Concept Phasing Schedule”* for projected timing and estimated build-out of each Planning Area by Phase, as submitted by the developers of each planning area.

	MONTHS**																			
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	
Planning Area 1	Phase I (6 D.U.) (*)		Phase II (25 D.U.)		Phase III (26 D.U.)		Phase IV (28 D.U.)		Phase V (27 D.U.)		Phase VI (27 D.U.)		Phase VII (23 D.U.)		Phase VIII (12 D.U.)					
Planning Area 2 (*)																				
Planning Area 3 (*)																				
Planning Area 4	Phase I (21 D.U.) (*)				Phase II (21 D.U.)		Phase III (21 D.U.)		Phase IV (21 D.U.)		Phase V (22 D.U.)									
Planning Area 5 (*)																				
<del>Planning Area 6</del>																				
Planning Area <del>7</del> 6																				
Planning Area <del>8</del> 7	Phase I (20 D.U.) (*)				Phase II (18 D.U.)		Phase III (18 D.U.)		Phase IV (18 D.U.)		Phase V (18 D.U.)									
Planning Area <del>8</del> 8	Phase I (6 D.U.) (*)				Phase II (29 D.U.)		Phase III (30 D.U.)		Phase IV (30 D.U.)		Phase V (31 D.U.)		Phase VI (17 D.U.)							

Table 10-1: CONCEPT PHASING SCHEDULE

Notes:

- (\*) Buildout is undetermined at this time
- (\*\*) Assumes month 1 as being the date anticipated when all Master Planned backbone utilities to serve West Haven will be installed.
- (+) The following will be constructed during Phase 1 Development:
  1. **Planning Area 1:** Full 1/2 Street Improvements on Riverside Drive and on Haven Avenue to the north boundary of Planning Area 3.
  2. **Planning Area 4:** Full 1/2 Street Improvements on Riverside Drive and Chino Avenue, along Planning Area 4 boundary.
  3. **Planning Area 8:** Full 1/2 Street Improvements on Haven Avenue along Planning Area 8 boundary.
  4. **Planning Area 9:** Full 1/2 Street Improvements on Turner Avenue along Planning Area 9 boundary.
  5. **Planning Areas 1, 4, 8 and 9:** All interior circulation and in-tract utility lines will be constructed during each Phase.

### 10.2.2 Community Facilities and Services

The timing for installation of community facilities and payment of impact fees for public services for the Specific Plan will be determined as part of the City's approval process in accordance with the provisions of the existing City fee ordinances. Community facilities, such as the bike route will be developed in conjunction with construction of the public street improvements. Those portions of the Neighborhood Park, paseos and open space areas, adjacent to individual development within each neighborhood, will be constructed to provide the amenity as development progresses. Build-out of the Neighborhood Park will be in accordance with the direction of the City of Ontario's unit limit, which is currently at a 250 dwelling unit build out.

### 10.3 Definition of Terms

The meaning and construction of words, phrases, titles and terms shall be the same as provided in the City of Ontario Development Code, except as otherwise specifically provided within the West Haven Specific Plan text.

### 10.4 Applicability

The development regulations contained herein provide specific standards for land use development within the West Haven Specific Plan area. The adoption of the Specific Plan by ordinance, supersedes otherwise applicable City of Ontario Development Regulations unless stated herein to the contrary. Whenever the provisions and development standards contained herein conflict with those contained in the City of Ontario Development Code, the provisions of the West Haven Specific Plan shall take precedence. Where the Specific Plan is silent, City codes shall apply.

### 10.5 Administration

The West Haven Specific Plan is adopted by resolution and will serve as the implementation tool for the General Plan as well as the zoning for the Project Site. The Specific Plan addresses general provisions, permitted uses, development standards and design guidelines.

### 10.6 Methods of Interpretation

Development within the West Haven Specific Plan area shall be implemented through the approval of parcel maps and Tentative Tract maps by the City of Ontario. The administration process described below provides for the mechanisms for review and approval of development projects within the Specific Plan consistent with the Specific Plan objectives.

Unless otherwise provided, any ambiguity concerning the content or application of the West Haven Specific Plan shall be resolved by the Planning Director or his/her designee, hereinafter referred to as Director, in a manner consistent with the goals, policies, purpose and intent established in this Specific Plan.

### 10.7 Implementation

All development proposals within the West Haven Specific Plan shall be subject to the implementation procedures established herein. Whenever the provisions contained herein conflict with those contained in the City of Ontario Development Code, the provisions of the Specific Plan shall take precedence.

#### 10.7.1 Development Agreement Required

Unless done in a coordinated matter and with adequate fiscal planning, development projects within the Ontario Ranch are likely to present a challenge in their implementation because of the lack of existing public facilities, including streets, sewerage, transportation, drinking water, school and utility facilities. California law has established a mechanism for ensuring the adequate provision of such facilities, while at the same time providing assurances to applicants that, upon approval of the project, the applicants can proceed with their projects. Approval of the Specific Plan without a development agree-

## SECTION 10 • Implementation

ment may result in a waste of resources, escalate the cost of housing to the consumer, and discourage investment in and commitment to comprehensive planning, as envisioned by the City, which seeks to make maximum efficient utilization of resources at the least economic cost to the public. Therefore, a statutory development agreement, authorized pursuant to California Government Code sections 65864 *et seq.*, shall be required as part of the approval of this Specific Plan. For the above-mentioned reasons, the development agreement for this Specific Plan shall include, among other things, methods for financing acquisition and construction of infrastructure, acquisition and development of adequate levels of parkland and schools, as well as the provision of adequate housing opportunities for various segments of the community consistent with the regional housing needs assessment. Such a development agreement shall have been fully approved before the issuance of the first building permit for this project.

### 10.7.2 Specific Plan Revisions

Revisions to the Specific Plan may be requested by the applicant or by the City at any time pursuant to Section 65453(a) of the Government Code. Revisions shall be processed pursuant to the provisions of the Government Code for the Specific Plan and the City of Ontario Development Code. In the event the proposed revision requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) are responsible for preparing the necessary CEQA documentation.

### 10.7.3 Minor Adjustments in Substantial Conformance with the Specific Plan

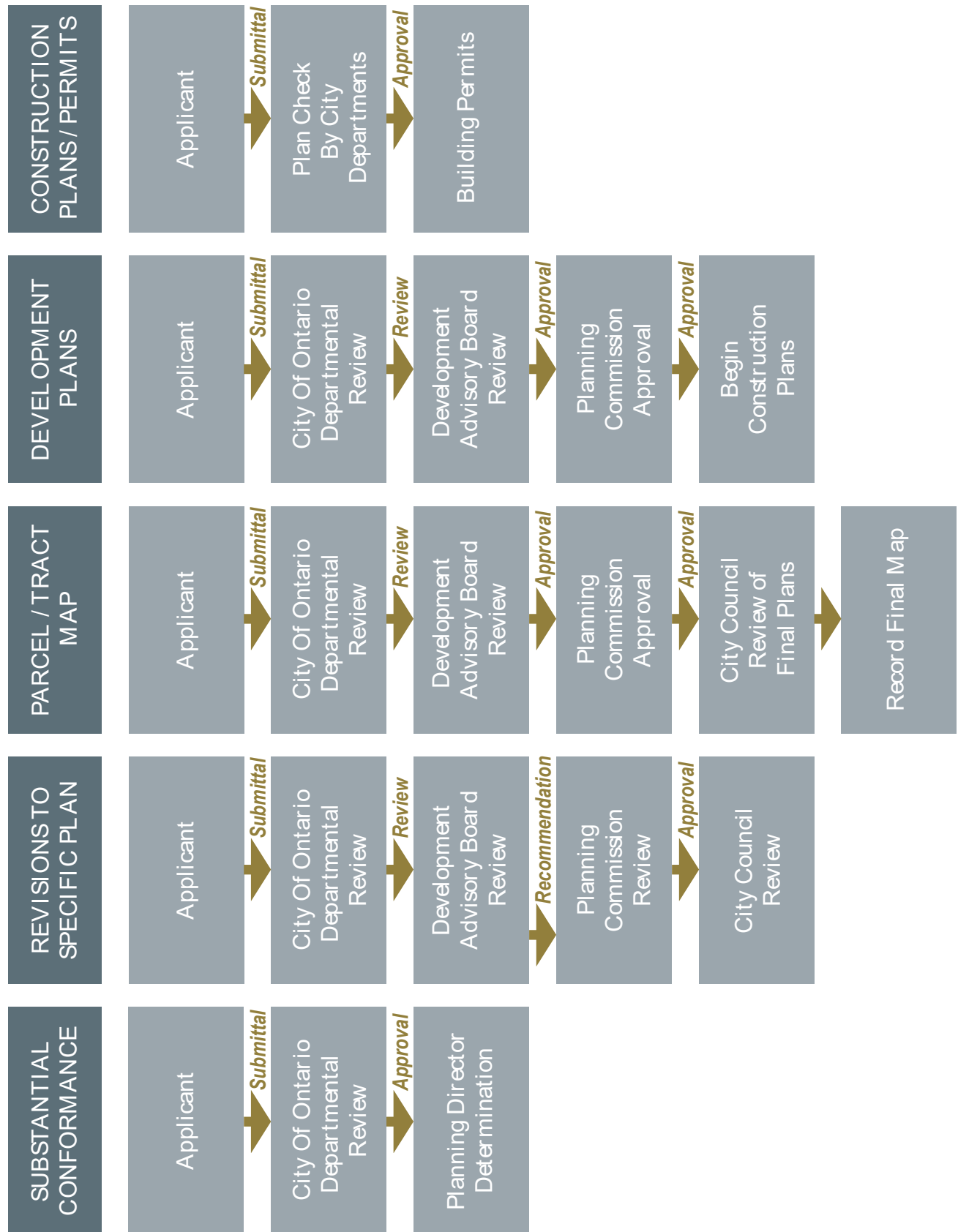
The purpose of the substantial conformance process is to provide a mechanism to allow flexibility in development of the Project Site by permitting minor modifications to the land use plan, project phasing, design guidelines and development regulations, with the exception of permitted uses. This procedure is intended to provide a simplified means of considering minor adjustments from certain development standards and guidelines set forth in the West Haven Specific Plan which are found to be in substantial conformance with the general intent of this Specific

Plan and which are not detrimental to the public health, safety or welfare.

The following constitute minor adjustments to the Specific Plan, not requiring a Specific Plan Revision and are subject to review and approval by the Director. The Director shall have the discretion to refer any such request for modification to the Planning Commission or the City Council.

- a. Change in utility and/or public service provider.
- b. Roadway alignment when the changes results in a centerline shift of less than 40 feet.
- c. An increase of more than ten percent (10%) to the number of units within an individual phase provided the total number of units for the entire Specific Plan area does not exceed that established in the Specific Plan.
- d. Adjustment of architectural style, product type and lot sizes in any neighborhood, assuming the new architectural style, product type and lot sizes meet the policy goals of Ontario Ranch , *Design Guidelines* in *Section 8* and *Development Standards* in *Section 9*.
- e. Adjustment of a phase boundary provided the total acreage of the affected phase area does not increase or decrease by more than 20% of the total stated in the approved Specific Plan.
- f. Minor changes to landscape materials, wall materials, wall alignment, entry design and streetscape design which are consistent with the conceptual design set forth in the design guidelines contained with the Specific Plan.
- g. Other modifications of a similar nature to those listed above, which are deemed minor by the Planning Director, which are in keeping with the purpose and intent of the approved Specific Plan and which are in conformance with the General Plan.

See *Exhibit 10-1* for the “*Project Review and Approval Process Chart*.”



**Exhibit 10-1: PROJECT REVIEW AND APPROVAL PROCESS CHART**

## SECTION 10 • Implementation

### 10.7.4 Appeals

Appeals shall be processed consistent with the provisions of the City of Ontario Development Code.

### 10.7.5 Development Permits

All development within the Project Site shall be subject to the Development Plan Review Process established by the City of Ontario Development Code. Adoption of the West Haven Specific Plan by the City includes adoption of the design guidelines contained herein, which shall provide direction for the design of development projects within the Project Site. Where the Specific Plan design guidelines are silent, the applicable design guidelines contained within the City's Development Code shall apply. The design guidelines are intended to be flexible in nature while establishing basic evaluation criteria for the review by the City of developer projects during design review.

### 10.7.6 Subdivision Maps

Approval of one or more subdivision maps will occur concurrently with or subsequent to the adoption of the West Haven Specific Plan creating parcels for development. All future subdivision maps will be reviewed and approved pursuant to applicable provisions of the Subdivision Map Act, the City of Ontario Development Code and Subdivision Ordinance and consistent with the applicable provisions contained within the Specific Plan.

### 10.8 Maintenance Responsibilities

Improvements constructed within the West Haven Specific Plan will be maintained through a combination of City, Master Homeowners Association, Private Homeowners Association, Private (Homeowners/ Commercial Business Property Owners) and Utility Entities (SCE, SCG and Verizon) as listed on **Table 10-2, "Maintenance Responsibility Matrix."**

A Master Home Owners Association (Master HOA), including all residential property owners, will be formed within the West Haven Specific Plan.

During the course of maintenance of public utilities within private streets, the City will restore the streets per current City standards for trench backfill, pavement repair, and hardscaping or landscaping, as

applicable. Restoration of any enhancements above and beyond City standards, including but not limited to architectural paving, hardscaping and landscaping enhancements shall be the responsibility of the HOA or other entity maintaining those enhancements. This applies to all areas where public utilities are located including but not limited to public and private streets, gated communities, alleys, etc.

### 10.9 Project Financing

The financing of construction, operation and maintenance of public improvements and facilities [the "facilities"], and public services will include funding through a combination of financing mechanisms. Final determination as to the facilities to be constructed and as to maintenance responsibilities – whether publicly or privately maintained, will be made prior to recordation of final maps. In order for the project to be fiscally self-sufficient, the following financing options can be considered for implementation:

#### *Facilities and Services*

- Private capital investment for the construction of the facilities
- Communities Facilities District (CFD) established pursuant to the Mello-Roos Community Facilities Act of 1982, or other special district, to provide funding for the construction of a variety of public facilities and the provision of public services.

#### *Operation and Maintenance*

- By individual private property owner.
- By private, Property Owners or Home Owners Associations.



- By *Community Facilities District (CFD)* established pursuant to the Mello-Roos Community Facilities District Act of 1982, or other special district.

City Council approval is a prerequisite for the implementation of any and all special district financing mechanisms. The use of the Mello-Roos Communities Facilities District Act of 1982 [the “Act”] to finance public facilities and services will be at the City’s sole discretion. Moreover, the use of the Act must be consistent with the City’s adopted goals and policies concerning the use of the Act.

## SECTION 10 • Implementation

	City CFD	Master Homeowners Association	Private Homeowners Association	Private Homeowners	Utility Entity
Master Plan Roadways (Riverside Drive, Chino Avenue, Haven Avenue, Turner Avenue)	X				
Parkway of Master Plan Roadways/ Neighborhood Edges (curb to perimeter walls including landscape, sidewalks, street lights)	X				
Interior Project Streets (curb to curb for Primary Entry Street, Secondary Entry Streets, Neighborhood Streets)	X				
Parkways of Interior Project Streets (landscaping and sidewalks) <sup>(2)</sup>			X		
Interior Streets within gated Communities or Multi-Family developments			X		
Interior Tract Graffiti Removal			X		
Private Recreation Areas			X		
Monument Signs (within Neighborhood Edges on Master Planned Roadways)	X				
Monument Signs within a tract entry			X		
Traffic Signals and Street Lights	X				
Traffic Control Signs	X				
Alleys			X		
Community Trail (SCE Corridor Trail or easement trail)	X				
Off-site and on-site water, sewer and storm drain improvements (excluding laterals) <sup>(1)</sup>	X				

Notes:

1. Only those facilities in the Public Roads and/or Easements
2. Including restoration work following public street repairs.

**Table 10-2: MAINTENANCE RESPONSIBILITY MATRIX**

## SECTION 10 • Implementation

	City CFD	Master Homeowners Association	Private Homeowners Association	Private Homeowners	Utility Entity
Neighborhood Park		X			
Pocket Parks			X		
Linear Parks			X		
Front Yard/Corner Streetside Landscaping Areas for Single Family Homes (Detached)				X	
Front Yard/Corner Streetside Landscaping Areas for Multi-Family Homes (Attached)			X		
Private interior yard walls			X	X	
Community Theme Wall on Master Planned Roadways (outside face for graffiti removal and paint)	X				
Community Theme Wall on Master Planned Roadways: Surface (interior) opposite streetside (structural integrity & face repairs)			X		
Alley Landscaping and Lighting			X		
Electricity and Natural Gas					X
Communications Systems	X				X
Police and Fire	X				
NPDES Facilities (On-site) / W.Q.M.P. <sup>(1)</sup>	X				
NPDES Facilities/Interim Detention Basin on Private Property			X		

*Notes:*

- 1. Only those facilities in the Public Roads and/or Easements*
- 2. Including restoration work following public street repairs.*

This page intentionally left blank.

**APPENDIX I**  
**GENERAL PLAN CONSISTENCY**

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan.

The West Haven Specific Plan has been prepared in conformance with the goals and policies of the City of Ontario General Plan. The *“City of Ontario New Model Colony Specific Plan Policy Matrix”* which follows, describes the manner in which the Specific Plan complies with the General Plan.

Ontario Sphere of Influence  
Specific Plan Policy Matrix

*Following are policies from the Ontario SOI General Plan; they are intended to achieve the “vision” for the Sphere of Influence planning area as outlined in Chapter 2 of the SOI General Plan. The policy matrix is divided into five (5) parts, consisting of the five (5) elements of the SOI General Plan Amendment: I. Community Development; II Infrastructure; III Aesthetic, Cultural, Open Space, and Recreational Resources; IV Natural Resources and V Hazards. The following matrix is intended to determine the adequacy of the proposed Specific Plan in meeting the policies of the SOI General Plan. The checklist shall be completed and submitted with the Specific Plan application. Check if the Specific Plan fully complies or partially complies with each respective policy, or if not applicable. A complete explanation is required in instances whereby the proposed plan does not fully comply with a policy or if not applicable.*

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>PART I: COMMUNITY DEVELOPMENT</b>				
<b>1.1 Role of Sphere of Influence General Plan</b>				
1.1.1, 1.1.5	X		1 and 3	
The proposed Specific Plan reflects the types, organization and distribution of land uses depicted on the Sphere of Influence General Plan Land Use Plan (Figure 3-5) and Development Capacity Table (Table 3-3). The Plan incorporates the minimum and does not exceed the maximum amount of development prescribed in Table 3-4 of the SOI General Plan, where applicable, including other uses such as greenways that are specified by the SOI General Plan policies, but not tabulated in Table 3-4				
<b>Comments:</b>				
1.1.4	X		1 and 3	
The Proposed Specific Plan encompasses sub area boundaries designated on Figure 3-6 of the Sphere of Influence General Plan and sufficient land to constitute a significant portion of a distinct and cohesive neighborhood or district, as depicted on Figure 3-7 of the Sphere of Influence General Plan.				
<b>Comments:</b>				

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>Sub area boundaries may be modified on the basis of the following conditions (check all that apply if sub area boundaries are not entirely reflected by proposed Specific Plan):</p> <p><i>Note adjustments to sub area boundaries shall be accompanied by an equivalent adjustment of the development capacity, maintaining the overall coverage densities depicted on the SOI General Plan Land Use Plan.</i></p> <ul style="list-style-type: none"> <li>to achieve unified districts and neighborhoods;</li> <li>to account for defined market demands regarding the types and scale/acreage of development that should be accommodated;</li> <li>to reflect the location of major roads, utility corridors and easements, flood control improvements, natural resource areas, and public properties;</li> <li>to reflect property subdivisions and ownerships; and</li> <li>to consider appropriate infrastructure and public service phasing.</li> </ul>	X X	1 1		X
<p><b>Comments:</b> <i>The West Haven boundary was not due to a reflection of the above item.</i></p>				
<b>1.2 Structure and Organization of Land Use:</b>				
<p>1.2.1 The proposed Plan provides for integrated development of distinct residential neighborhoods and major regional serving activity centers and corridors that are differentiated by their functional role, uses, and character. Each is conceived as a uniquely identifiable place, rather than a fragment of a continuous/undifferentiated urban area.</p>	X		1 and 3	
<p><b>Comments:</b></p>				
<p>1.2.2 The Plan provides for a balance of land uses within each neighborhood and district in accordance with phasing policies of the SOI General Plan.</p>	X		1 and 3	
<p><b>Comments:</b></p>				
<p>1.2.3 The Plan links neighborhoods, centers, and corridors by transportation, utility, and greenways/open space networks. These may also be used to establish clear boundaries between distinct neighborhoods and/or centers.</p>	X		1, 3, and 4	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
1.2.4 The Plan includes major amenities that provide identity and enhances character including a large scale park (“Village Green”), lake / streams, and golf courses.				X
<b>Comments:</b> <i>The General Plan does not designate an area within the West Haven Specific Plan for a Village Green, lake/streams, or golf course.</i>				
1.2.5 The Plan includes an educational campus as the “centerpiece” of community identity and organization.				X
<b>Comments:</b> <i>The General Plan does not designate an area within the West Haven Specific Plan for an educational campus..</i>				
1.2.6 The Plan includes elements that provide linkages and continuity with uses abutting the Sphere of Influence, including: <ul style="list-style-type: none"> <li>continuity and linkage of transportation and utility infrastructure</li> <li>continuity of street trees and landscaped median along Euclid Avenue</li> <li>Pedestrian linkages to residential areas north of Riverside Drive</li> <li>continuity of commercial centers at the Riverside Drive/ Euclid Avenue and Riverside Drive/Milliken Avenue intersections; and</li> <li>relationship to existing and planned land uses on the west side of Euclid Avenue (City of Chino), north side of Riverside Drive (City of Ontario), and east side of Milliken Avenue (Riverside County)--by the use of complementary and/or transitional land uses and densities and streetscape improvements.</li> </ul>	X		3 and 4	X
	X		3 and 4	
	X		3 and 4	X
	X		3 and 4	
<b>Comments:</b> <i>The West haven Specific Plan does not include Euclid Avenue or Milliken Avenue</i>				
1.2.7 The Specific Plan establishes clearly defined “edges” for the Sphere of Influence, including landscape setbacks, transitional densities, and other suitable techniques that avoid the use of walls and creation of “walled” enclave.	X		3 and 4	
<b>Comments:</b>				



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.2.8 The Specific Plan includes measures to minimize potential impacts of environmental hazards including flooding, and noise. The Plan provides for the use of electrical, transmission corridors, flood channels, and similar elements to form “edges” for residential neighborhoods and centers and/ or accommodates public greenways / corridors.	X		3 and 4	
Comments:				
<b>1.3 Residential Neighborhoods</b>				
1.3.1 The Specific Plan accommodates single and multi-family housing, local serving commercial services (e.g., grocery stores, barber and beauty shops, small dining establishments, etc.), community and religious facilities, schools, parks, open spaces, and similar uses within “Residential Neighborhoods.”	X		1 and 3	
Comments:				
1.3.2 The Specific Plan includes priority areas for executive housing as provided for in the SOI General Plan (refer to Figure 3-8, SOI General Plan). Of the target 500 acres of executive housing provided in the General Plan, 20% or 100 acres shall be provided in the areas north of Schaefer Avenue. The following standards must be met in establishing an area large enough to achieve a distinctive identity and critical mass for executive housing (check all that apply):				X
<ul style="list-style-type: none"> <li>• <i>Development with lots of 10,000 square feet or greater:</i> 80 contiguous acres minimum</li> <li>• <i>Development adjacent to a golf course:</i> 50 contiguous acres minimum</li> <li>• <i>Developments adjacent to a large open space, lake, park, or Village Green:</i> 20 contiguous acres minimum</li> </ul>				
Comments: <i>The General Plan does not designate areas within West Haven for the above.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.3.3 The Plan accommodates a mix of land uses and a diversity of housing types and parcel sizes within each “Residential Neighborhood” with each designed to create a unified and distinct character. Each neighborhood may incorporate one or more planning sub areas depicted in Figure 3-7 of the SOI General Plan. Refer to Figures 3-9 and 3-10 for examples on the use of Residential Neighborhoods.	X		1 and 3	
<b>Comments:</b>				
1.3.4 The Plan incorporates a focal point of activity and identity within each “Residential Neighborhood” that consolidates local serving retail and services, public meeting facilities, schools, parks, common areas (for community events, farmers markets, and other celebrations), religious facilities, and other pertinent uses.	X		1 and 3	
<b>Comments:</b>				
1.3.5 The Plan incorporates supporting recreational, educational, retail, cultural, and institutional uses within each “Residential Neighborhood” based on appropriate service standards. <i>To the extent feasible, these uses shall be integrated in “Neighborhood Centers”</i>	X		1 and 3	
<b>Comments:</b>				
1.3.6 The Plan includes provisions to increase residential densities and reduce block sizes adjacent to “Neighborhood Centers” and other key activity centers, as appropriate	X		1 and 3	
<b>Comments:</b>				
1.3.7 The Plan includes provisions for greenways for pedestrians and biking that links housing with parks, “Neighborhood Centers,” amenities, and adjacent neighborhood and activity centers	X		3 and 4	
<b>Comments:</b>				
1.3.8 The Plan establishes clearly defined “edges” and “entries” that contribute to a distinct neighborhood identity (refer to Figures 3-11, 3-12, and 3-13 of the SOI General Plan)	X		3 and 4	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>1.4 Housing Diversity/Quality</b>				
1.4.1	X		1 and 3	
<b>Comments:</b>				
1.4.2	X		1 and 3	
<b>Comments:</b>				
1.4.3	X		1 and 3	
<b>Comments:</b>				
1.4.4	X		3 and 8	
<ul style="list-style-type: none"> <li>• Establishment of a pattern of blocks that promotes access and neighborhood activity, while maintaining safety;</li> <li>• use of variable setbacks and parcel sizes to accommodate a diversity of housing unit types and respond to changing market conditions and resident needs;</li> <li>• minimizing the width of streets to slow traffic and promote “intimacy,” while maintaining acceptable fire protection and traffic flows;</li> <li>• orientation of housing toward the street and reducing the visual and physical dominance of garages (introducing the street frontage as the “outdoor living room”); and</li> <li>• use of extensively landscaped parkways, with sidewalks separated from the curb.</li> </ul>				
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.4.5	X		3 and 8	
<b>Comments:</b>				
1.4.6	X		3	
<b>Comments:</b>				
1.4.7	X		3, 8, and 9	
<ul style="list-style-type: none"> <li>• The Plan includes standards for multi-family housing in areas designated as “Residential Low Density” by the SOI General Plan Land Use Plan to convey a high level of visual quality and distinctive low density neighborhood including, but not limited to:</li> <li>• modulation of building volumes, masses, and heights and articulation of elevations to convey the sense of individual units or smaller structures (precluding “big stucco boxes”);</li> <li>• orientation of the building elevation and use of clear visual and physical linkages to the primary street frontage;</li> <li>• inclusion of visually well-defined entries that promote individual identity, while maintaining adequate security;</li> <li>• integration of balconies and stairways as distinctive architectural elements, rather than “appendages”;</li> <li>• inclusion of common open space and recreational facilities that are accessible to all residents (with requirements for on-going maintenance of these by residents);</li> <li>• use of landscaped setbacks along primary street frontages that maintains the predominant single family neighborhood character; and</li> <li>• linkage of the development with adjacent sites (avoiding “walled enclaves”).</li> </ul>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
1.4.8 The proposed Plan includes provisions to avoid the use of walls to separate residential areas from arterial and other high traffic volume streets by the use of expanded landscaped setbacks, frontage roads with landscaped medians, natural drainage swales, and other appropriate techniques (refer to Figure 3-13, SOI General Plan). Where used, walls shall be attractively designed and landscaped and setbacks used to promote a high level of visual quality.	X		3, 8 and 9	
<b>Comments:</b>				
1.4.9 The Plan includes measures addressing all of the use and development restrictions as specified by Referral Areas A, B, and C, and Safety Zones I, II, and III, and of the adopted Chino Airport Comprehensive Land Use Plan. This includes prohibited land uses, interior noise levels, maximum persons per acre, aviation easements, and non-hazardous operations and materials. In addition, a noise impact notification area shall be implemented for all land uses within two miles of the Chino Airport. These measures are consistent with Federal Aviation Administration (FAA) rules, will help protect the long-term operation of the Chino Airport, and will prevent the kind of aircraft noise and other impacts created by flight patterns such as have been experienced by the City around the Ontario International Airport.				X
<b>Comments:</b>				
1.4.10 The proposed Plan includes provisions for the implementation of a Noise Impact Notification Area (NINA) and a requirement for aviation easements for all schools within two miles of the Chino Airport.				X
<b>Comments:</b>				
1.4.11 The Plan includes provisions requiring residential units to be set back from power transmission line easements in accordance with the California Department of Education's limits for locating school sites.				X
<b>Comments:</b>				
<i>The City does not require residential units to be set back from power transmission lines in accordance with the California Department of Education's limits for locating schools.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>1.5 Neighborhood Centers</b>				
1.5.1	X		9	
The proposed Plan accommodates local serving commercial (food and beverage sales, small retail shops, personal services, etc.), small restaurants, community/public meeting facilities, libraries, government facilities, cultural facilities, parks, schools (refer to Policy 1.6.1 below), religious facilities, public plazas and performance spaces, and similar uses in areas designated as “Neighborhood Center.”				
Comments:				
1.5.2				X
The Plan accommodates multi-family housing and mixed use structures that incorporate housing units above ground level retail shops, offices, or community facilities, in areas designated as “Neighborhood Center” by the SOI General Plan Land Use Plan.				
Comments:	<i>The West Haven Specific Plan does not incorporate the above. The New Model Colony General Plan does not designate an area within West Haven for Mixed Use.</i>			
<b>Density/Intensity The Plan provides for the following densities/intensities for Neighborhood Centers (Policies 1.5.1 to 1.5.6):</b>				
1.5.3	X		9	
The Plan includes provisions insuring neighborhood centers contain 50,000 to 100,000 square feet of local serving commercial uses for each 3,500 to 4,000 residential units.				
Comments:				
1.5.4	X		9	
The Plan includes provisions for the development of commercial and public uses at intensities that allow for the use of surface parking, generally at a maximum floor area ratio of 0.35:1.				
Comments:				
1.5.5	X		1 and 3	
The Plan includes provisions for the development of multi-family housing at a maximum overall average density of 12 units per gross acre.				
Comments:				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.5.6 The Plan includes provisions for the development of mixed use structures at a maximum floor area ratio of 1.5:1.	X		9	
<b>Comments:</b>				
<b>Design and Development Principles for Neighborhood Centers (policies 1.5.7 to 1.5.13):</b>	X		8 and 9	
1.5.7 Provisions insuring “Neighborhood Centers” are designed and developed as pedestrian oriented “villages” including the following policies: (refer to Figures 3-10 and 3-16 - SOI General Plan)				
<ul style="list-style-type: none"> <li>• integration of multiple uses into a cohesive place;</li> <li>• use of multiple building volumes, masses, and heights and extensively articulated facades;</li> <li>• siting of buildings around common pedestrian areas, plazas, and public open spaces;</li> <li>• development of public spaces that support casual gatherings, outdoor dining and retail, entertainment, artistic exhibitions and performances, community events, and similar functions;</li> <li>• establishment of a continuous or semi-continuous business frontage along pedestrian spaces and design of ground elevations to be “pedestrian-friendly” (extensive windows, projecting signage, lighting, etc.);</li> <li>• siting of a portion of development along the primary street frontage, with parking partially or fully screened by the buildings;</li> <li>• development of clearly defined walkways from parking areas (paving materials, landscape, signage, etc.); and</li> <li>• design of buildings and sites to complement adjacent low density residential areas.</li> </ul>				
<b>Comments:</b>				
1.5.8 The Plan includes provisions insuring integration of public uses, such as community meeting rooms and auditoriums, with commercial uses in the designated “Neighborhood Centers”.				X
<b>Comments:</b>	<i>The City has not indicated that such uses are to be integrated into the Neighborhood Center</i>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.5.9 The Plan includes provisions insuring linkages between multi-family residential development (single family attached, townhomes, or apartments) to “Neighborhood Centers”. Include design standards insuring multi-family residential developments complement the “village” character in accordance with Policy 1.4.7.	X		3, 4 and 8	
<b>Comments:</b>				
1.5.10 The Plan includes provisions insuring “Neighborhood Centers” are developed as a low rise environment, 1 to 2 stories, except mixed use structures that may be developed to a maximum height of 3 stories.	X		8 and 9	
<b>Comments:</b>				
1.5.11 The Plan includes provisions to promote the consolidation of school campuses within or linked to “Neighborhood Centers” sharing common facilities such as play fields, gymnasiums, auditoriums, and other facilities, where feasible.				X
<b>Comments:</b>	<i>The elementary school location is not located adjacent to the Neighborhood Center.</i>			
1.5.12 The Plan includes provisions to Integrate public libraries and neighborhood parks with “Neighborhood Centers” and schools.		X	3	
<b>Comments:</b>	<i>The Neighborhood Park is adjacent to the school. The Neighborhood Center is not located adjacent to the Neighborhood Park or School.</i>			
1.5.13 The Plan includes provisions to link “Neighborhood Centers” with adjacent residential areas by the use of greenways, pedestrian walkways, and bicycle paths.	X		3 and 4	
<b>Comments:</b>				
<b>1.6 Schools</b>				



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S,P Sec. No.	N/A
<p>1.6.1 The Plan includes provisions to accommodate the development of school administration, classrooms, athletic facilities, and supporting uses in areas designated as “Elementary,” “Middle,” and “High School” in addition to those accommodated in designated “Neighborhood Centers.”</p> <p><i>The number of schools depicted on the SOI General Plan Land Use Plan are based on the use of current (1997) school standards and may vary to reflect changes in these over the SOI’s development period. Locations are conceptualized and may be varied, provided that the intent of the SOI General Plan policies for consolidation with parks, other schools, and community facilities are attained.</i></p>	X		1 and 3	
<b>Comments:</b>				
1.6.2 The Plan provides schools to meet resident needs in accordance with pertinent School District standards.	X		3 and 5	
<b>Comments:</b>				
1.6.3 The Plan meets the policy to distribute schools throughout the Sphere of Influence to promote accessibility from all “Residential Neighborhoods.”	X		3 and 5	
<b>Comments:</b>				
1.6.4 The Plan includes provisions to promote the consolidation of school campuses sharing common facilities such as play fields, gymnasiums, auditoriums, and other facilities, where feasible.	X		3 and 5	
<b>Comments:</b>				
1.6.5 The Plan includes provisions to integrate public schools with other community-serving uses such as parks, libraries, public meeting rooms, day-care, and similar uses (see Figure 3-10 - SOI GPA).	X		3 and 5	
<b>Comments:</b>				
1.6.6 The Plan includes provisions to link the public schools with adjacent housing, parks, and other schools by a pedestrian greenways network (see Figure 3-10 – SOI GPA).	X		4,5 and 8	

**Ontario Sphere of Influence  
Specific Plan Policy Matrix**

*Following are policies from the Ontario SOI General Plan; they are intended to achieve the “vision” for the Sphere of Influence planning area as outlined in Chapter 2 of the SOI General Plan. The policy matrix is divided into five (5) parts, consisting of the five (5) elements of the SOI General Plan Amendment: I. Community Development; II Infrastructure; III Aesthetic, Cultural, Open Space, and Recreational Resources; IV Natural Resources and V Hazards. The following matrix is intended to determine the adequacy of the proposed Specific Plan in meeting the policies of the SOI General Plan. The checklist shall be completed and submitted with the Specific Plan application. Check if the Specific Plan fully complies or partially complies with each respective policy, or if not applicable. A complete explanation is required in instances whereby the proposed plan does not fully comply with a policy or if not applicable.*

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>PART I: COMMUNITY DEVELOPMENT</b>				
<b>1.1 Role of Sphere of Influence General Plan</b>				
1.1.1, 1.1.5	X		1 and 3	
<p>The proposed Specific Plan reflects the types, organization and distribution of land uses depicted on the Sphere of Influence General Plan Land Use Plan (Figure 3-5) and Development Capacity Table (Table 3-3). The Plan incorporates the minimum and does not exceed the maximum amount of development prescribed in Table 3-4 of the SOI General Plan, where applicable, including other uses such as greenways that are specified by the SOI General Plan policies, but not tabulated in Table 3-4</p>				
<b>Comments:</b>				
1.1.4	X		1 and 3	
<p>The Proposed Specific Plan encompasses sub area boundaries designated on Figure 3-6 of the Sphere of Influence General Plan and sufficient land to constitute a significant portion of a distinct and cohesive neighborhood or district, as depicted on Figure 3-7 of the Sphere of Influence General Plan.</p>				
<b>Comments:</b>				

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>Sub area boundaries may be modified on the basis of the following conditions (check all that apply if sub area boundaries are not entirely reflected by proposed Specific Plan):</p> <p><i>Note adjustments to sub area boundaries shall be accompanied by an equivalent adjustment of the development capacity, maintaining the overall coverage densities depicted on the SOI General Plan Land Use Plan.</i></p> <ul style="list-style-type: none"> <li>to achieve unified districts and neighborhoods;</li> <li>to account for defined market demands regarding the types and scale/acreage of development that should be accommodated;</li> <li>to reflect the location of major roads, utility corridors and easements, flood control improvements, natural resource areas, and public properties;</li> <li>to reflect property subdivisions and ownerships; and</li> <li>to consider appropriate infrastructure and public service phasing.</li> </ul>	X X  X X	1 1  1 1		N/A   X
<b>Comments:</b>	<i>The West Haven boundary was not due to a reflection of the above item.</i>			
<b>1.2 Structure and Organization of Land Use:</b>				
1.2.1	X		1 and 3	
<p>The proposed Plan provides for integrated development of distinct residential neighborhoods and major regional serving activity centers and corridors that are differentiated by their functional role, uses, and character. Each is conceived as a uniquely identifiable place, rather than a fragment of a continuous/undifferentiated urban area.</p>				
<b>Comments:</b>				
1.2.2	X		1 and 3	
<p>The Plan provides for a balance of land uses within each neighborhood and district in accordance with phasing policies of the SOI General Plan.</p>				
<b>Comments:</b>				
1.2.3	X		1, 3, and 4	
<p>The Plan links neighborhoods, centers, and corridors by transportation, utility, and greenways/open space networks. These may also be used to establish clear boundaries between distinct neighborhoods and/or centers.</p>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
1.2.4 The Plan includes major amenities that provide identity and enhances character including a large scale park (“Village Green”), lake / streams, and golf courses.				X
<b>Comments:</b> <i>The General Plan does not designate an area within the West Haven Specific Plan for a Village Green, lake/streams, or golf course.</i>				
1.2.5 The Plan includes an educational campus as the “centerpiece” of community identity and organization.				X
<b>Comments:</b> <i>The General Plan does not designate an area within the West Haven Specific Plan for an educational campus..</i>				
1.2.6 The Plan includes elements that provide linkages and continuity with uses abutting the Sphere of Influence, including: <ul style="list-style-type: none"> <li>• continuity and linkage of transportation and utility infrastructure</li> <li>• continuity of street trees and landscaped median along Euclid Avenue</li> <li>• Pedestrian linkages to residential areas north of Riverside Drive</li> <li>• continuity of commercial centers at the Riverside Drive/ Euclid Avenue and Riverside Drive/Milliken Avenue intersections; and</li> <li>• relationship to existing and planned land uses on the west side of Euclid Avenue (City of Chino), north side of Riverside Drive (City of Ontario), and east side of Milliken Avenue (Riverside County)--by the use of complementary and/or transitional land uses and densities and streetscape improvements.</li> </ul>	X		3 and 4	X
	X		3 and 4	
	X		3 and 4	X
	X		3 and 4	
<b>Comments:</b> <i>The West haven Specific Plan does not include Euclid Avenue or Milliken Avenue</i>				
1.2.7 The Specific Plan establishes clearly defined “edges” for the Sphere of Influence, including landscape setbacks, transitional densities, and other suitable techniques that avoid the use of walls and creation of “walled” enclave.	X		3 and 4	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.2.8 The Specific Plan includes measures to minimize potential impacts of environmental hazards including flooding, and noise. The Plan provides for the use of electrical, transmission corridors, flood channels, and similar elements to form “edges” for residential neighborhoods and centers and/ or accommodates public greenways / corridors.	X		3 and 4	
<b>Comments:</b>				
<b>1.3 Residential Neighborhoods</b>				
1.3.1 The Specific Plan accommodates single and multi-family housing, local serving commercial services (e.g., grocery stores, barber and beauty shops, small dining establishments, etc.), community and religious facilities, schools, parks, open spaces, and similar uses within “Residential Neighborhoods.”	X		1 and 3	
<b>Comments:</b>				
1.3.2 The Specific Plan includes priority areas for executive housing as provided for in the SOI General Plan (refer to Figure 3-8, SOI General Plan). Of the target 500 acres of executive housing provided in the General Plan, 20% or 100 acres shall be provided in the areas north of Schaefer Avenue. The following standards must be met in establishing an area large enough to achieve a distinctive identity and critical mass for executive housing (check all that apply):				X
<ul style="list-style-type: none"> <li>• <i>Development with lots of 10,000 square feet or greater:</i> 80 contiguous acres minimum</li> <li>• <i>Development adjacent to a golf course:</i> 50 contiguous acres minimum</li> <li>• <i>Developments adjacent to a large open space, lake, park, or Village Green:</i> 20 contiguous acres minimum</li> </ul>				
<b>Comments:</b> <i>The General Plan does not designate areas within West Haven for the above.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.3.3 The Plan accommodates a mix of land uses and a diversity of housing types and parcel sizes within each “Residential Neighborhood” with each designed to create a unified and distinct character. Each neighborhood may incorporate one or more planning sub areas depicted in Figure 3-7 of the SOI General Plan. Refer to Figures 3-9 and 3-10 for examples on the use of Residential Neighborhoods.	X		1 and 3	
<b>Comments:</b>				
1.3.4 The Plan incorporates a focal point of activity and identity within each “Residential Neighborhood” that consolidates local serving retail and services, public meeting facilities, schools, parks, common areas (for community events, farmers markets, and other celebrations), religious facilities, and other pertinent uses.	X		1 and 3	
<b>Comments:</b>				
1.3.5 The Plan incorporates supporting recreational, educational, retail, cultural, and institutional uses within each “Residential Neighborhood” based on appropriate service standards. <i>To the extent feasible, these uses shall be integrated in “Neighborhood Centers”</i>	X		1 and 3	
<b>Comments:</b>				
1.3.6 The Plan includes provisions to increase residential densities and reduce block sizes adjacent to “Neighborhood Centers” and other key activity centers, as appropriate	X		1 and 3	
<b>Comments:</b>				
1.3.7 The Plan includes provisions for greenways for pedestrians and biking that links housing with parks, “Neighborhood Centers,” amenities, and adjacent neighborhood and activity centers	X		3 and 4	
<b>Comments:</b>				
1.3.8 The Plan establishes clearly defined “edges” and “entries” that contribute to a distinct neighborhood identity (refer to Figures 3-11, 3-12, and 3-13 of the SOI General Plan)	X		3 and 4	
<b>Comments:</b>				

## CITY OF ONTARIO NEW MODEL COLONY SPECIFIC PLAN POLICY MATRIX

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>1.4 Housing Diversity/Quality</b>				
1.4.1	X		1 and 3	
<b>Comments:</b>	The Plan accommodates single and multi-family housing, parks, and open spaces in areas designated as “Residential-Low Density” by the SOI General Plan.			
1.4.2	X		1 and 3	
<b>Comments:</b>	The Plan provides for a variety of housing types to serve the needs of residents, including large lot, estate, executive, affordable, live / work housing.			
1.4.3	X		1 and 3	
<b>Comments:</b>	The Plan provides for an overall average density of 4.6 units per gross acre in areas designated as “Residential-Low Density” by the SOI General Plan Land Use Plan, within which a variety of parcel sizes and housing types area allowed. Densities may be varied throughout a planning sub area, as long as the average density is not exceeded.			
1.4.4	X		3 and 8	
<b>Comments:</b>	<p>The Plan provides design standards emphasizing neighborhood livability, and socialization, through such elements as (<i>refer to Figures 3-7, 3-9 and 3-14, SOI General Plan</i>):</p> <ul style="list-style-type: none"> <li>• Establishment of a pattern of blocks that promotes access and neighborhood activity, while maintaining safety;</li> <li>• use of variable setbacks and parcel sizes to accommodate a diversity of housing unit types and respond to changing market conditions and resident needs;</li> <li>• minimizing the width of streets to slow traffic and promote “intimacy,” while maintaining acceptable fire protection and traffic flows;</li> <li>• orientation of housing toward the street and reducing the visual and physical dominance of garages (introducing the street frontage as the “outdoor living room”); and</li> <li>• use of extensively landscaped parkways, with sidewalks separated from the curb.</li> </ul>			
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.4.5 The Plan includes standards to achieve variable residential densities and housing types along a block where appropriate (e.g., single family attached units placed adjacent to duplexes, which could be adjacent to townhomes).	X		3 and 8	
<b>Comments:</b>				
1.4.6 The Plan includes provisions for small clusters of multi-family housing (generally, of a maximum of 2 - 5 acres) within areas designated as “Residential-Low Density” by the SOI General Plan Land Use Plan, that are integrated within the overall pattern of residential development, avoiding large scale, segregated concentrations of high density uses (refer to Figures 3-9 and 3-10 - SOI General Plan)	X		3	
<b>Comments:</b>				
1.4.7 The Plan includes standards for multi-family housing in areas designated as “Residential Low Density” by the SOI General Plan Land Use Plan to convey a high level of visual quality and distinctive low density neighborhood including, but not limited to: <ul style="list-style-type: none"> <li>• modulation of building volumes, masses, and heights and articulation of elevations to convey the sense of individual units or smaller structures (precluding “big stucco boxes”);</li> <li>• orientation of the building elevation and use of clear visual and physical linkages to the primary street frontage;</li> <li>• inclusion of visually well-defined entries that promote individual identity, while maintaining adequate security;</li> <li>• integration of balconies and stairways as distinctive architectural elements, rather than “appendages”;</li> <li>• inclusion of common open space and recreational facilities that are accessible to all residents (with requirements for on-going maintenance of these by residents);</li> <li>• use of landscaped setbacks along primary street frontages that maintains the predominant single family neighborhood character; and</li> <li>• linkage of the development with adjacent sites (avoiding “walled enclaves”).</li> </ul>	X		3, 8, and 9	



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
1.4.8 The proposed Plan includes provisions to avoid the use of walls to separate residential areas from arterial and other high traffic volume streets by the use of expanded landscaped setbacks, frontage roads with landscaped medians, natural drainage swales, and other appropriate techniques (refer to Figure 3-13, SOI General Plan). Where used, walls shall be attractively designed and landscaped and setbacks used to promote a high level of visual quality.	X		3, 8 and 9	
<b>Comments:</b>				
1.4.9 The Plan includes measures addressing all of the use and development restrictions as specified by Referral Areas A, B, and C, and Safety Zones I, II, and III, and of the adopted Chino Airport Comprehensive Land Use Plan. This includes prohibited land uses, interior noise levels, maximum persons per acre, aviation easements, and non-hazardous operations and materials. In addition, a noise impact notification area shall be implemented for all land uses within two miles of the Chino Airport. These measures are consistent with Federal Aviation Administration (FAA) rules, will help protect the long-term operation of the Chino Airport, and will prevent the kind of aircraft noise and other impacts created by flight patterns such as have been experienced by the City around the Ontario International Airport.				X
<b>Comments:</b>				
1.4.10 The proposed Plan includes provisions for the implementation of a Noise Impact Notification Area (NINA) and a requirement for aviation easements for all schools within two miles of the Chino Airport.				X
<b>Comments:</b>				
1.4.11 The Plan includes provisions requiring residential units to be set back from power transmission line easements in accordance with the California Department of Education's limits for locating school sites.				X
<b>Comments:</b>				
<i>The City does not require residential units to be set back from power transmission lines in accordance with the California Department of Education's limits for locating schools.</i>				

**Ontario Sphere of Influence  
Specific Plan Policy Matrix**

*Following are policies from the Ontario SOI General Plan; they are intended to achieve the “vision” for the Sphere of Influence planning area as outlined in Chapter 2 of the SOI General Plan. The policy matrix is divided into five (5) parts, consisting of the five (5) elements of the SOI General Plan Amendment: I. Community Development; II Infrastructure; III Aesthetic, Cultural, Open Space, and Recreational Resources; IV Natural Resources and V Hazards. The following matrix is intended to determine the adequacy of the proposed Specific Plan in meeting the policies of the SOI General Plan. The checklist shall be completed and submitted with the Specific Plan application. Check if the Specific Plan fully complies or partially complies with each respective policy, or if not applicable. A complete explanation is required in instances whereby the proposed plan does not fully comply with a policy or if not applicable.*

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>PART I: COMMUNITY DEVELOPMENT</b>				
<b>1.1 Role of Sphere of Influence General Plan</b>				
1.1.1, 1.1.5	X		1 and 3	
<p>The proposed Specific Plan reflects the types, organization and distribution of land uses depicted on the Sphere of Influence General Plan Land Use Plan (Figure 3-5) and Development Capacity Table (Table 3-3). The Plan incorporates the minimum and does not exceed the maximum amount of development prescribed in Table 3-4 of the SOI General Plan, where applicable, including other uses such as greenways that are specified by the SOI General Plan policies, but not tabulated in Table 3-4</p> <p><b>Comments:</b></p>				
1.1.4	X		1 and 3	
<p>The Proposed Specific Plan encompasses sub area boundaries designated on Figure 3-6 of the Sphere of Influence General Plan and sufficient land to constitute a significant portion of a distinct and cohesive neighborhood or district, as depicted on Figure 3-7 of the Sphere of Influence General Plan.</p> <p><b>Comments:</b></p>				

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>Sub area boundaries may be modified on the basis of the following conditions (check all that apply if sub area boundaries are not entirely reflected by proposed Specific Plan):</p> <p><i>Note adjustments to sub area boundaries shall be accompanied by an equivalent adjustment of the development capacity, maintaining the overall coverage densities depicted on the SOI General Plan Land Use Plan.</i></p> <ul style="list-style-type: none"> <li>to achieve unified districts and neighborhoods;</li> <li>to account for defined market demands regarding the types and scale/acreage of development that should be accommodated;</li> <li>to reflect the location of major roads, utility corridors and easements, flood control improvements, natural resource areas, and public properties;</li> <li>to reflect property subdivisions and ownerships; and</li> <li>to consider appropriate infrastructure and public service phasing.</li> </ul>	X X	1 1		
<p><b>Comments:</b> <i>The West Haven boundary was not due to a reflection of the above item.</i></p>	X			X
<b>1.2 Structure and Organization of Land Use:</b>				
1.2.1 The proposed Plan provides for integrated development of distinct residential neighborhoods and major regional serving activity centers and corridors that are differentiated by their functional role, uses, and character. Each is conceived as a uniquely identifiable place, rather than a fragment of a continuous/undifferentiated urban area.	X		1 and 3	
<b>Comments:</b>				
1.2.2 The Plan provides for a balance of land uses within each neighborhood and district in accordance with phasing policies of the SOI General Plan.	X		1 and 3	
<b>Comments:</b>				
1.2.3 The Plan links neighborhoods, centers, and corridors by transportation, utility, and greenways/open space networks. These may also be used to establish clear boundaries between distinct neighborhoods and/or centers.	X		1, 3, and 4	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
1.2.4 The Plan includes major amenities that provide identity and enhances character including a large scale park (“Village Green”), lake / streams, and golf courses.				X
<b>Comments:</b> <i>The General Plan does not designate an area within the West Haven Specific Plan for a Village Green, lake/streams, or golf course.</i>				
1.2.5 The Plan includes an educational campus as the “centerpiece” of community identity and organization.				X
<b>Comments:</b> <i>The General Plan does not designate an area within the West Haven Specific Plan for an educational campus..</i>				
1.2.6 The Plan includes elements that provide linkages and continuity with uses abutting the Sphere of Influence, including: <ul style="list-style-type: none"> <li>• continuity and linkage of transportation and utility infrastructure</li> <li>• continuity of street trees and landscaped median along Euclid Avenue</li> <li>• Pedestrian linkages to residential areas north of Riverside Drive</li> <li>• continuity of commercial centers at the Riverside Drive/ Euclid Avenue and Riverside Drive/Milliken Avenue intersections; and</li> <li>• relationship to existing and planned land uses on the west side of Euclid Avenue (City of Chino), north side of Riverside Drive (City of Ontario), and east side of Milliken Avenue (Riverside County)--by the use of complementary and/or transitional land uses and densities and streetscape improvements.</li> </ul>	X		3 and 4	X
	X		3 and 4	
	X		3 and 4	X
	X		3 and 4	
<b>Comments:</b> <i>The West haven Specific Plan does not include Euclid Avenue or Milliken Avenue</i>				
1.2.7 The Specific Plan establishes clearly defined “edges” for the Sphere of Influence, including landscape setbacks, transitional densities, and other suitable techniques that avoid the use of walls and creation of “walled” enclave.	X		3 and 4	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.2.8 The Specific Plan includes measures to minimize potential impacts of environmental hazards including flooding, and noise. The Plan provides for the use of electrical, transmission corridors, flood channels, and similar elements to form “edges” for residential neighborhoods and centers and/ or accommodates public greenways / corridors.	X		3 and 4	
<b>Comments:</b>				
<b>1.3 Residential Neighborhoods</b>				
1.3.1 The Specific Plan accommodates single and multi-family housing, local serving commercial services (e.g., grocery stores, barber and beauty shops, small dining establishments, etc.), community and religious facilities, schools, parks, open spaces, and similar uses within “Residential Neighborhoods.”	X		1 and 3	
<b>Comments:</b>				
1.3.2 The Specific Plan includes priority areas for executive housing as provided for in the SOI General Plan (refer to Figure 3-8, SOI General Plan). Of the target 500 acres of executive housing provided in the General Plan, 20% or 100 acres shall be provided in the areas north of Schaefer Avenue. The following standards must be met in establishing an area large enough to achieve a distinctive identity and critical mass for executive housing (check all that apply):				X
<ul style="list-style-type: none"> <li>• <i>Development with lots of 10,000 square feet or greater:</i> 80 contiguous acres minimum</li> <li>• <i>Development adjacent to a golf course:</i> 50 contiguous acres minimum</li> <li>• <i>Developments adjacent to a large open space, lake, park, or Village Green:</i> 20 contiguous acres minimum</li> </ul>				
<b>Comments:</b> <i>The General Plan does not designate areas within West Haven for the above.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.3.3 The Plan accommodates a mix of land uses and a diversity of housing types and parcel sizes within each “Residential Neighborhood” with each designed to create a unified and distinct character. Each neighborhood may incorporate one or more planning sub areas depicted in Figure 3-7 of the SOI General Plan. Refer to Figures 3-9 and 3-10 for examples on the use of Residential Neighborhoods.	X		1 and 3	
<b>Comments:</b>				
1.3.4 The Plan incorporates a focal point of activity and identity within each “Residential Neighborhood” that consolidates local serving retail and services, public meeting facilities, schools, parks, common areas (for community events, farmers markets, and other celebrations), religious facilities, and other pertinent uses.	X		1 and 3	
<b>Comments:</b>				
1.3.5 The Plan incorporates supporting recreational, educational, retail, cultural, and institutional uses within each “Residential Neighborhood” based on appropriate service standards. <i>To the extent feasible, these uses shall be integrated in “Neighborhood Centers”</i>	X		1 and 3	
<b>Comments:</b>				
1.3.6 The Plan includes provisions to increase residential densities and reduce block sizes adjacent to “Neighborhood Centers” and other key activity centers, as appropriate	X		1 and 3	
<b>Comments:</b>				
1.3.7 The Plan includes provisions for greenways for pedestrians and biking that links housing with parks, “Neighborhood Centers,” amenities, and adjacent neighborhood and activity centers	X		3 and 4	
<b>Comments:</b>				
1.3.8 The Plan establishes clearly defined “edges” and “entries” that contribute to a distinct neighborhood identity (refer to Figures 3-11, 3-12, and 3-13 of the SOI General Plan)	X		3 and 4	
<b>Comments:</b>				

## CITY OF ONTARIO NEW MODEL COLONY SPECIFIC PLAN POLICY MATRIX

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>1.4 Housing Diversity/Quality</b>				
1.4.1	X		1 and 3	
<b>Comments:</b>				
1.4.2	X		1 and 3	
<b>Comments:</b>				
1.4.3	X		1 and 3	
<b>Comments:</b>				
1.4.4	X X X X X		3 and 8	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.4.5 The Plan includes standards to achieve variable residential densities and housing types along a block where appropriate (e.g., single family attached units placed adjacent to duplexes, which could be adjacent to townhomes).	X		3 and 8	
<b>Comments:</b>				
1.4.6 The Plan includes provisions for small clusters of multi-family housing (generally, of a maximum of 2 - 5 acres) within areas designated as “Residential-Low Density” by the SOI General Plan Land Use Plan, that are integrated within the overall pattern of residential development, avoiding large scale, segregated concentrations of high density uses (refer to Figures 3-9 and 3-10 - SOI General Plan)	X		3	
<b>Comments:</b>				
1.4.7 The Plan includes standards for multi-family housing in areas designated as “Residential Low Density” by the SOI General Plan Land Use Plan to convey a high level of visual quality and distinctive low density neighborhood including, but not limited to: <ul style="list-style-type: none"> <li>• modulation of building volumes, masses, and heights and articulation of elevations to convey the sense of individual units or smaller structures (precluding “big stucco boxes”);</li> <li>• orientation of the building elevation and use of clear visual and physical linkages to the primary street frontage;</li> <li>• inclusion of visually well-defined entries that promote individual identity, while maintaining adequate security;</li> <li>• integration of balconies and stairways as distinctive architectural elements, rather than “appendages”;</li> <li>• inclusion of common open space and recreational facilities that are accessible to all residents (with requirements for on-going maintenance of these by residents);</li> <li>• use of landscaped setbacks along primary street frontages that maintains the predominant single family neighborhood character; and</li> <li>• linkage of the development with adjacent sites (avoiding “walled enclaves”).</li> </ul>	X		3, 8, and 9	



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>1.5 Neighborhood Centers</b>				
1.5.1	X		9	
<p>The proposed Plan accommodates local serving commercial (food and beverage sales, small retail shops, personal services, etc.), small restaurants, community/public meeting facilities, libraries, government facilities, cultural facilities, parks, schools (refer to Policy 1.6.1 below), religious facilities, public plazas and performance spaces, and similar uses in areas designated as “Neighborhood Center.”</p>				
<b>Comments:</b>				
1.5.2				X
<p>The Plan accommodates multi-family housing and mixed use structures that incorporate housing units above ground level retail shops, offices, or community facilities, in areas designated as “Neighborhood Center” by the SOI General Plan Land Use Plan.</p>				
<b>Comments:</b>				
<p><i>The West Haven Specific Plan does not incorporate the above. The New Model Colony General Plan does not designate an area within West Haven for Mixed Use.</i></p>				
<b>Density/Intensity The Plan provides for the following densities/intensities for Neighborhood Centers (Policies 1.5.1 to 1.5.6):</b>				
1.5.3	X		9	
<p>The Plan includes provisions insuring neighborhood centers contain 50,000 to 100,000 square feet of local serving commercial uses for each 3,500 to 4,000 residential units.</p>				
<b>Comments:</b>				
1.5.4	X		9	
<p>The Plan includes provisions for the development of commercial and public uses at intensities that allow for the use of surface parking, generally at a maximum floor area ratio of 0.35:1.</p>				
<b>Comments:</b>				
1.5.5	X		1 and 3	
<p>The Plan includes provisions for the development of multi-family housing at a maximum overall average density of 12 units per gross acre.</p>				
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>1.5 Neighborhood Centers</b>				
1.5.1	X		9	
The proposed Plan accommodates local serving commercial (food and beverage sales, small retail shops, personal services, etc.), small restaurants, community/public meeting facilities, libraries, government facilities, cultural facilities, parks, schools (refer to Policy 1.6.1 below), religious facilities, public plazas and performance spaces, and similar uses in areas designated as “Neighborhood Center.”				
<b>Comments:</b>				
1.5.2				X
The Plan accommodates multi-family housing and mixed use structures that incorporate housing units above ground level retail shops, offices, or community facilities, in areas designated as “Neighborhood Center” by the SOI General Plan Land Use Plan.				
<b>Comments:</b>	<i>The West Haven Specific Plan does not incorporate the above. The New Model Colony General Plan does not designate an area within West Haven for Mixed Use.</i>			
<b>Density/Intensity The Plan provides for the following densities/intensities for Neighborhood Centers (Policies 1.5.1 to 1.5.6):</b>				
1.5.3	X		9	
The Plan includes provisions insuring neighborhood centers contain 50,000 to 100,000 square feet of local serving commercial uses for each 3,500 to 4,000 residential units.				
<b>Comments:</b>				
1.5.4	X		9	
The Plan includes provisions for the development of commercial and public uses at intensities that allow for the use of surface parking, generally at a maximum floor area ratio of 0.35:1.				
<b>Comments:</b>				
1.5.5	X		1 and 3	
The Plan includes provisions for the development of multi-family housing at a maximum overall average density of 12 units per gross acre.				
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.5.6 The Plan includes provisions for the development of mixed use structures at a maximum floor area ratio of 1.5:1.	X		9	
<b>Comments:</b>				
<b>Design and Development Principles for Neighborhood Centers (policies 1.5.7 to 1.5.13):</b>	X		8 and 9	
1.5.7 Provisions insuring “Neighborhood Centers” are designed and developed as pedestrian oriented “villages” including the following policies: (refer to Figures 3-10 and 3-16 - SOI General Plan)				
<ul style="list-style-type: none"> <li>• integration of multiple uses into a cohesive place;</li> <li>• use of multiple building volumes, masses, and heights and extensively articulated facades;</li> <li>• siting of buildings around common pedestrian areas, plazas, and public open spaces;</li> <li>• development of public spaces that support casual gatherings, outdoor dining and retail, entertainment, artistic exhibitions and performances, community events, and similar functions;</li> <li>• establishment of a continuous or semi-continuous business frontage along pedestrian spaces and design of ground elevations to be “pedestrian-friendly” (extensive windows, projecting signage, lighting, etc.);</li> <li>• siting of a portion of development along the primary street frontage, with parking partially or fully screened by the buildings;</li> <li>• development of clearly defined walkways from parking areas (paving materials, landscape, signage, etc.); and</li> <li>• design of buildings and sites to complement adjacent low density residential areas.</li> </ul>				
<b>Comments:</b>				
1.5.8 The Plan includes provisions insuring integration of public uses, such as community meeting rooms and auditoriums, with commercial uses in the designated “Neighborhood Centers”.				X
<b>Comments:</b>	<i>The City has not indicated that such uses are to be integrated into the Neighborhood Center</i>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.5.9 The Plan includes provisions insuring linkages between multi-family residential development (single family attached, townhomes, or apartments) to “Neighborhood Centers”. Include design standards insuring multi-family residential developments complement the “village” character in accordance with Policy 1.4.7.	X		3, 4 and 8	
<b>Comments:</b>				
1.5.10 The Plan includes provisions insuring “Neighborhood Centers” are developed as a low rise environment, 1 to 2 stories, except mixed use structures that may be developed to a maximum height of 3 stories.	X		8 and 9	
<b>Comments:</b>				
1.5.11 The Plan includes provisions to promote the consolidation of school campuses within or linked to “Neighborhood Centers” sharing common facilities such as play fields, gymnasiums, auditoriums, and other facilities, where feasible.				X
<b>Comments:</b>	<i>The elementary school location is not located adjacent to the Neighborhood Center.</i>			
1.5.12 The Plan includes provisions to Integrate public libraries and neighborhood parks with “Neighborhood Centers” and schools.		X	3	
<b>Comments:</b>	<i>The Neighborhood Park is adjacent to the school. The Neighborhood Center is not located adjacent to the Neighborhood Park or School.</i>			
1.5.13 The Plan includes provisions to link “Neighborhood Centers” with adjacent residential areas by the use of greenways, pedestrian walkways, and bicycle paths.	X		3 and 4	
<b>Comments:</b>				
<b>1.6 Schools</b>				

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>1.6.1 The Plan includes provisions to accommodate the development of school administration, classrooms, athletic facilities, and supporting uses in areas designated as “Elementary,” “Middle,” and “High School” in addition to those accommodated in designated “Neighborhood Centers.”</p> <p><i>The number of schools depicted on the SOI General Plan Land Use Plan are based on the use of current (1997) school standards and may vary to reflect changes in these over the SOI’s development period. Locations are conceptualized and may be varied, provided that the intent of the SOI General Plan policies for consolidation with parks, other schools, and community facilities are attained.</i></p>	X		1 and 3	
<b>Comments:</b>				
1.6.2 The Plan provides schools to meet resident needs in accordance with pertinent School District standards.	X		3 and 5	
<b>Comments:</b>				
1.6.3 The Plan meets the policy to distribute schools throughout the Sphere of Influence to promote accessibility from all “Residential Neighborhoods.”	X		3 and 5	
<b>Comments:</b>				
1.6.4 The Plan includes provisions to promote the consolidation of school campuses sharing common facilities such as play fields, gymnasiums, auditoriums, and other facilities, where feasible.	X		3 and 5	
<b>Comments:</b>				
1.6.5 The Plan includes provisions to integrate public schools with other community-serving uses such as parks, libraries, public meeting rooms, day-care, and similar uses (see Figure 3-10 - SOI GPA).	X		3 and 5	
<b>Comments:</b>				
1.6.6 The Plan includes provisions to link the public schools with adjacent housing, parks, and other schools by a pedestrian greenways network (see Figure 3-10 – SOI GPA).	X		4,5 and 8	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
1.6.7 The Plan includes provisions requiring educational facilities to be set back from power transmission line easements in accordance with the California Department of Education's limits for locating school sites.	X		3	
<b>1.7 Multi-Family Residential Corridors and Centers</b>				
1.7.1 The Plan accommodates multi-family residential units (small lot detached, single family attached, townhomes, and apartments) in areas designated as "Residential-Medium Density" and "Residential-High Density" by the SOI General Plan Land Use Plan.	X		1 and 3	
<b>Comments:</b>				
1.7.2 The Plan requires the inclusion of sufficient on-site recreational amenities in higher density developments to meet resident needs.	X		3, 8 and 9	
<b>Comments:</b>				
1.7.3 The Plan encourages the inclusion of community-oriented uses such as public meeting rooms, plazas/courtyards, day-care facilities, and similar uses. These may be developed as single purpose buildings or incorporated with residential uses.	X		9	
<b>Comments:</b>				
1.7.4 The Plan accommodates an overall average density of <u>12</u> units per gross acre in areas designated as "Residential Medium Density" and <u>18</u> units per gross acre in areas designated as "Residential-High Density" by the SOI General Plan, within which a variety of parcel sizes and housing types would be allowed. Densities may be varied throughout a planning sub area, as long as the average density is not exceeded.	X		1 and 3	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.7.5 The Plan includes provisions to establish visual and physical linkages among individually developed multi-family sites to create a cohesive and continuous corridor, rather than independent “islands.” This may be achieved through the fronting of buildings adjacent or in immediate proximity to the street, use of a consistent landscaped setback incorporating common street trees or other vegetation, minimization of side property setbacks to achieve building continuity (a common “building wall”) along the street frontage, location of all parking to the rear of street-facing buildings, use of interconnecting pedestrian walkways, and similar techniques (see Figure 3-17 in the SOI GPA).	X		3,8 and 9	
<b>Comments:</b>				
1.7.6 The Plan includes standards and guidelines to promote visual interest in the design of building elevations in accordance with Policy 1.4.7 (except for the use of extensive landscaped setbacks).	X		8	
<b>Comments:</b>				
1.7.7 The Plan includes provisions to link community serving facilities in multi-family corridors with adjacent residential neighborhoods.	X		3 and 8	
<b>Comments:</b>				
1.7.8 The Plan includes provisions insuring sidewalks are developed in multi-family corridors as per City Standards to facilitate and be attractive for pedestrian activity.	X		3,4 and 8	
<b>Comments:</b>				
1.7.9 The Plan includes provisions requiring residential units be set back from power transmission line easements in accordance with the California Department of Education’s limits for locating school sites.				X
<b>Comments:</b>	<i>The City does not have a requirement that units be setback from power transmission line easements in accordance with the above.</i>			
<b>1.8</b>	<b>Town Center</b>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.8.1 The Plan includes provisions for the development of retail, commercial, professional offices, entertainment, art galleries, dining establishments, hotels, and similar uses in areas designated as “Town Center” by the SOI General Plan Land Use Plan.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven Specific Plan for a Town Center.</i>				
1.8.2 The Plan includes provisions requiring integration of multi-family housing (townhomes and apartments) with retail, office, and other uses within the Town Center.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven Specific Plan for a Town Center.</i>				
1.8.3 The Plan includes provisions for mixed-use buildings that integrate housing with retail commercial, office, and similar uses and special housing types (e.g., artist live/work facilities and home occupations) within the Town Center.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven Specific Plan for a Town Center.</i>				
1.8.4 The Plan includes provisions for government office, cultural uses (libraries, museums, performance venues, etc.), religious facilities, schools, recreational facilities, multi-modal transportation hub, and similar public and quasi-public uses, within the Town Center area.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven Specific Plan for a Town Center.</i>				
1.8.5 The Plan includes provisions for community meeting rooms, day-care facilities, and public and private plazas, courtyards, and open spaces within the Town Center area.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven Specific Plan for a Town Center.</i>				
1.8.6 The Plan accommodates development within the Town Center at building heights, generally, of 1 to 3 stories and a maximum floor area ratio of 0.5, except for mixed use structures that integrate housing with retail, office, public, and other uses that may be developed up to four stories and a floor area ratio of 2.0:1.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven Specific Plan for a Town Center.</i>				



Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.8.7 The Plan accommodates free-standing residential uses at a maximum overall average density of 18 units per gross acre.	X		3	
<b>Comments:</b>				
1.8.8 The Plan includes standards to integrate development of individual parcels to create a cohesive pedestrian oriented center. The following design considerations are included (as illustrated by Figures 3-18 and 3-19 of the SOI GPA):	X		3,4, and 8	
<ul style="list-style-type: none"> <li>• integration of multiple buildings and uses into a cohesive development pattern;</li> <li>• siting of buildings to create a common/semi-continuous “building wall” directly fronting sidewalks, plazas, and other open spaces—areas may be excepted to incorporate courtyards and corridors;</li> <li>• location of parking to the rear of street facing structures, subterranean, or in structures;</li> <li>• use of multiple building volumes, masses, heights, and highly articulated facades to promote visual interest and convey the sense of individual storefronts/businesses;</li> <li>• use of vertical setbacks above the second level to reduce visual impacts along sidewalks and street frontages;</li> <li>• design of the ground floor of structures along the street frontage of commercial and mixed use buildings to enhance pedestrian activity (extensive windows, clearly defined entries, modulation of facades, outdoor patios and seating, etc.) (as illustrated by Figures 3-20, 3-21, and 3-22 of the SOI GPA);</li> <li>• integration of consistent and well-designed building and public signage;</li> <li>• develop sidewalks and other public spaces to support casual gatherings, outdoor dining and retail, entertainment, arts exhibitions and performances, community events, and similar functions; and</li> <li>• incorporate streetscape amenities along the street frontages (benches, trees, planters, decorative paving, pedestrian oriented signage and lighting, trash receptacles, fountains, information kiosks, telephones, news racks, banners, public art, and similar elements).</li> </ul>				
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.8.9 The Plan incorporates at least one major public plaza/square as a centerpiece of community activity and identity of sufficient size to accommodate events and celebrations, outdoor performances, community meetings, picnics, farmers markets, and similar functions.	X		3	
<b>Comments:</b>				
1.8.10 The Plan includes provisions to consolidate parking facilities, with retail uses located along the street frontage.	X		8 and 9	
1.8.11 The Plan includes standards to site and design multi-family housing to create a cohesive and continuous corridor, rather than independent “islands” in accordance with Policy 1.7.5; and promote a high quality of design in accordance with Policy 1.4.7 (except for the use of extensive landscaped setbacks).	X		3,8 and 9	
<b>Comments:</b>				
1.8.12 The Plan includes provisions to integrate a diversity of housing types within any block rather than a singular type (e.g., duplexes, townhomes, and courtyard units).	X		3 and 8	
<b>Comments:</b>				
1.8.13 The Plan includes provisions to integrate public meeting facilities and other community services with retail and other high activity uses.	X		3, 8 and 9	
<b>Comments:</b>				
1.8.14 The design of internal local streets emphasizes pedestrian activity (15' plus width sidewalks) and reduces traffic speed using such techniques as reduced width, angled parking, landscaped “pullouts”/ chokers, or traffic circles.	X		4	
<b>Comments:</b>				
1.8.15 The Plan includes provisions to establish clearly defined “entries” to the Town Center, including the use of signage, art (banners, sculptures, etc.) landscape, fountains, lighting, building massing, and other techniques.				X

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>	<i>The General Plan does not designate West Haven for Town Center uses.</i>			
1.8.16				X
<b>Comments:</b>	<i>The General Plan does not designate West Haven for Town Center uses.</i>			
<b>1.9 Regional Centers</b>				
1.9.1				X
<b>Comments:</b>	<i>The General Plan does not designate West Haven for the above uses.</i>			
1.9.2				X
<b>Comments:</b>	<i>The General Plan does not designate West Haven for the above uses.</i>			
1.9.3	X		9	
<b>Comments:</b>	<i>The General Plan does not designate West Haven for the above uses.</i>			
1.9.4				X
<b>Comments:</b>	<i>The General Plan does not designate West Haven for commercial or office uses.</i>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.9.5	X		3 and 9	
1.9.6				X
<ul style="list-style-type: none"> <li>• development of sidewalks, plazas, and other public spaces around which individual buildings and businesses are grouped and incorporate pedestrian oriented amenities (benches, public art, fountains, pedestrian scaled lighting and signage, and similar);</li> <li>• inclusion of one or more public “square” to serve as a gathering place for public activity and events;</li> <li>• use of modulated building volumes, masses, and heights and articulated facades to create the sense of individual businesses, rather than undifferentiated “boxes”;</li> <li>• integration of consistent and well-designed building and public signage;</li> <li>• siting of a portion of buildings on the site’s peripheral streets to provide identity and connectivity with adjacent uses;</li> <li>• inclusion of sidewalks of sufficient width to accommodate pedestrian activity and outdoor restaurants, news stands, and other uses;</li> <li>• opening of the street and sidewalk/plaza facing building elevations to promote visual interest and pedestrian activity (extensive windows, clearly defined entries, and so on);</li> <li>• extensive use of landscape to enhance the environmental character; and</li> <li>• design of parking structures to be visually integrated with and continue the principal design character of commercial buildings.</li> </ul>				
Comments:	<i>The General Plan does not designate West Haven for commercial or office uses.</i>			
1.9.8	X		4,8 and 9	
Comments:				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>1.10 Community Centers</b>				
1.10.1 The Plan accommodates large scale retail commercial (e.g., garden supply, furniture warehouses, discount retail, “big box,” and similar uses), professional offices, entertainment, dining, hotel and conference facilities, and similar uses in areas designated as “Community Commercial” by the SOI General Plan.				X
<b>Comments:</b> <i>The General Plan does not designate West Haven for Community Commercial uses.</i>				
1.10.2 The Plan accommodates multi-family housing and live/work facilities that is integrated with other region serving uses.	X		3	
<b>Comments:</b>				
1.10.3 The Plan accommodates a community center of approximately 150,000 to 225,000 square feet of commercial uses for each 9,000 to 15,000 residents.				X
<b>Comments:</b> <i>The General Plan does not designate West Haven for Community Commercial uses.</i>				
1.10.4 The Plan includes provisions limiting buildings to 1 to 2 stories and a maximum floor area ratio of 0.35:1 with surface parking.				X
<b>Comments:</b> <i>The General Plan does not designate West Haven for Community Commercial uses.</i>				
1.10.5 The Plan includes provisions to accommodate free-standing residential uses at an overall average density of 18 units per gross acre.	X		3	
<b>Comments:</b>				
1.10.6 The Plan includes provisions to integrate development of individual parcels to create a cohesive center considering the design and development principles defined by Policy 1.9.6.				X
<b>Comments:</b> <i>The General Plan does not designate West Haven for Community Commercial uses.</i>				
1.10.7 The Plan includes provisions to site and design development of multi-family housing to convey a high level of visual quality in accordance with Policy 1.4.7.	X		3, 8 and 9	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
1.10.8 The Plan includes provisions to link Community Centers with surrounding residential neighborhoods and centers through the street and highway network, distinctively paved pedestrian walkways and crosswalks, common “palette” of street trees and landscape and street furniture, well designed signage, and similar elements.				X
<b>Comments:</b>	<i>The General Plan does not designate West Haven for Community Commercial uses.</i>			
<b>1.11 Educational Campus</b>				
1.11.1 The Plan accommodates educational, administrative, academic, vocational, medical, research, athletic, student housing, services, cultural (library, museum, performance, etc.), and other supporting uses.	X		3 and 5	
<b>Comments:</b>				
1.11.2 The Plan includes research and educational uses that reflect the agricultural history of the Sphere of Influence and promotes water fowl habitat restoration and management.	X		3 and 5	
<b>Comments:</b>				
1.11.3 The Plan includes provisions for public meeting rooms, auditoriums, concert facilities, museums, libraries, and recreational facilities (e.g., sports fields) that are accessible to and serve adjacent residential neighborhoods.	X		3 and 4	
<b>Comments:</b>				
1.11.4 The Plan includes provisions to site and design development to convey a “campus” environment including the clustering of buildings on common plazas and courtyards, linkage of all areas by walkways, and extensive use of landscape.				X
<b>Comments:</b>	<i>The General Plan does not designate the West Haven project site for an Educational Campus.</i>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.11.5 The Plan includes provisions to site buildings and design the campus to promote continuity with the development fabric of the adjacent Town Center and business parks (e.g., continuity of a “Main Street” and overall street pattern, location of administrative offices as a visual terminus for the Town Center, continuity of greenways, etc.). Avoid the establishment of a isolated, “walled” environment.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for an Educational Campus.</i>				
1.11.6 The Plan includes provisions for walkways, bicycle paths, greenways, and other elements that link the campus with surrounding uses.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for and Educational Campus.</i>				
<b>1.12 Business and Industrial Parks</b>				
1.12.1 The Plan accommodates light manufacturing, research and development, technology development, medical, entertainment facilities and production, innovative technology production, and similar primary uses.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i>				
1.12.2 The Plan accommodates limited supporting uses such as retail sales, product exhibition, galleries and arts exhibition, financial institutions, restaurants, health clubs, personal services, day-care, and professional offices.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i>				
1.12.3 The Plan accommodates “high impact” entertainment and commercial recreation uses that are not suitable in commercial districts due to their noise, traffic, or other characteristics that may conflict with residential or commercial uses.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.12.4 The Plan accommodates live/work facilities for artists and professionals associated with other uses in the business park.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i>				
1.12.5 The Plan discourages the development of extensive warehouse development.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i>				
1.12.6 The Plan includes provisions limiting building heights at 1 to 3 stories and a maximum floor area ratio of 0.4:1.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i>				
1.12.7 The Plan includes site and design provisions to establish a cohesive and integrated district considering the following (see Figure 3-19 of the SOI GPA):				X
<ul style="list-style-type: none"> <li>• development of a network of pedestrian walkways and plazas around buildings sited and concentrated to connect a site with abutting properties;</li> <li>• location of parking to the rear of buildings fronting pedestrian plazas or in structures; inclusion of restaurants, retail shops, services, and other “high activity” uses in the ground floor of structures facing pedestrian areas;</li> <li>• inclusion of restaurants, retail shops, services, and other “high activity” uses in the ground floor of structures facing pedestrian areas;</li> <li>• inclusion of design elements that visually tie individual buildings and sites together such as walkways, trellises, arcades, landscape, signage, and lighting; and</li> <li>• incorporation of monuments, signs, landscape, and other elements that clearly define entry points and activity locations.</li> </ul>				
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i>				



Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>1.12.8 The Plan includes site and design provisions requiring business and industrial park projects to convey visual interest and character considering:</p> <ul style="list-style-type: none"> <li>• modulation of building volumes, masses, and heights to reduce bulk;</li> <li>• architectural treatment of all visible elevations;</li> <li>• use of consistent and well-designed building and site signage; and</li> <li>• incorporation of extensive landscape along street frontages, common open spaces, and parking lots.</li> </ul>				X
<p><b>Comments:</b> <i>The General Plan does not designate the West Haven project site for industrial and business park uses.</i></p>				
<b>1.13 Lake/Water Element</b>				
<p>1.13.1 The Plan includes provisions for a lake and/or streams for visual and recreational use that are abutted by commercial, residential, and other appropriate uses.</p>				X
<p><b>Comments:</b> <i>The General Plan does not designate the West Haven project site for water features or Town Center uses.</i></p>				
<p>1.13.2 The Plan includes provisions to site and design development to take advantage of lake views and access including the location of buildings to “open onto” the lake and/or streams--for example, the Town Center’s public plazas and outdoor restaurants should extend to the waterfront.</p>				X
<p><b>Comments:</b> <i>The General Plan does not designate the West Haven project site for water features or Town Center uses.</i></p>				
<p>1.13.2 The Plan incorporates pedestrian walkways/promenades and public parks along the lake frontage.</p>				X
<p><b>Comments:</b> <i>The General Plan does not designate the West Haven project site for water features or Town Center uses.</i></p>				
<p>1.13.3 The Plan provides visual “windows” to the lake from surrounding streets and public places.</p>				X
<p><b>Comments:</b> <i>The General Plan does not designate the West Haven project site for water features or Town Center uses.</i></p>				
<p>1.13.4 The Plan links residential neighborhoods adjacent to the lake by a network of pedestrian walkways, greenways, and bike paths.</p>				X

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for water features or Town Center uses.</i>				
1.14.1 The Plan includes provisions for one or more golf courses (minimum of 150 acres each) with supporting club houses, retail services, and overnight accommodations within “Residential Neighborhoods.”				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for golf courses within residential neighborhoods.</i>				
<b>1.14 Golf Course(s)</b>				
1.14.2 The Plan includes provisions for neighborhood-oriented facilities, such as public meeting rooms, within the club house.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for golf courses within residential neighborhoods.</i>				
1.14.3 The Plan includes provisions for executive homes and other residential uses in concert with golf courses.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for golf courses within residential neighborhoods.</i>				
1.14.4 The Plan integrates golf courses with surrounding residential neighborhoods, orienting supporting facilities and housing to the course.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for golf courses within residential neighborhoods.</i>				
1.14.5 The Plan links adjacent residential neighborhoods to the golf course by a network of pedestrian walkways, greenways, and bike paths.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for golf courses within residential neighborhoods.</i>				
1.14.6 The Plan incorporate ponds and streams that assist in flood control and, as appropriate, are linked to the lake.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for development of lakes.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.14.7 The Plan provides visual “windows” to the golf course(s) from surrounding streets and public places.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for golf courses.</i>				
<b>1.15 Major Community Park - “Village Green”</b>				
1.15.1 Require that a minimum of 160 acres be designated by pertinent sub area Specific Plans for the development of a ‘Village Green’ that accommodates a diversity of active and passive recreational uses (athletic fields, picnic areas, performance venues, and botanical gardens), and that these lands be dedicated for this purpose through the development approval process.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for development of a Village Green.</i>				
1.15.2 Require that the land acquisition and development of the “Village Green” be equitably funded by all development within the Sphere of Influence.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for development of a Village Green.</i>				
1.15.3 Allow the acreage allocated for the development of a “Village Green” to contribute to the total parks and recreational requirement of 5 acres per thousand residents.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for development of a Village Green.</i>				
1.15.4 The Plan uses the “village green” as an organizational element for the siting and design of development, such as the orientation and linkage of multi-family housing and commercial uses to the park (e.g., restaurants “opening” to the park) (see Figure 3-17 of the SOI GPA)				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for development of a Village Green.</i>				
1.15.5 The Plan links residential neighborhoods adjacent to the “village green” by a network of pedestrian walkways, greenways, and bike paths.				X
<b>Comments:</b> <i>The General Plan does not designate the West Haven project site for development of a Village Green.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S,P Sec. No.	N/A
1.15.6				X
<p>The Plan incorporates ponds and streams as part of the “village green”, that are linked to the lake, as appropriate.</p>				
<p><b>Comments:</b> <i>The General Plan does not designate the West Haven project site for development of a Village Green.</i></p>				
<b>1.16 Greenways and Open Spaces</b>				
1.16.1	X		3, 4 and 8	
<p>The Plan includes provisions for greenway corridors containing pedestrian paths, bicycle trails, and other recreational/open space amenities.</p>				
<b>Comments:</b>				
1.16.2	X		3, 4 and 8	
<p>The Plan includes an area-wide greenway network that links all residential neighborhoods, activity centers, and amenities and directly connect to and abut parks and schools as nodes along its length.</p>				
<b>Comments:</b>				
1.16.3	X		3, 4 and 8	
<p>The Plan includes provisions for joint use of SCE easement-owned corridors, storm drainage, and other infrastructure rights-of-way for greenways, where feasible and compatible with the intended primary use.</p>				
<b>Comments:</b>				
1.16.4	X		3, 4 and 8	
<p>The Plan includes provisions for joint use of SCE fee-owned rights-of-way for greenways, where feasible and compatible with SCE’s secondary land use licensing program.</p>				
<b>Comments:</b>				
1.16.5				X
<p>The Plan includes provisions for drainage channels to be designed as an open space amenity, maintaining them as natural open landscaped swales where feasible. When concrete channels are used, consider the development of landscaped greenways along their length.</p>				
<b>Comments:</b> <i>No drainage channels exist within the Project Site.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.16.6 The Plan includes provisions for drainage detention basins to accommodate passive and active recreational uses during dry periods, locating these adjacent to and extending local park uses.	X		5	
<b>Comments:</b>				
1.16.7 The Plan includes provisions for principal roadways including Grove Avenue, Vineyard Avenue, Archibald Avenue, Haven Avenue, Euclid Avenue, Milliken Avenue, and Edison Avenue to be designed as “parkways” with expanded right-of-ways containing landscaped medians and frontages, pedestrian paths, and other elements.	X		4	
<b>Comments:</b>				
1.16.8 The Plan incorporates extensive landscaping along street frontages in “urbanized” areas.	X		4 and 8	
<b>Comments:</b>				
1.16.9 The Plan includes design provisions for public greenways and open spaces to ensure public safety through the avoidance of physically and visually isolated spaces, maintenance of visibility and accessibility, use of lighting, and other “defensible” space concepts.	X		4 and 8	
<b>Comments:</b>				
<b>1.17 Electrical Energy Transmission Corridors</b>				
1.17.1 The Plan includes pedestrian and bicycle trails in electrical energy transmission corridors to link neighborhoods and districts.	X		3 and 4	
<b>Comments:</b>				
1.17.2 The Plan accommodates such uses as parking lots, storage, commercial recreation, nurseries, greenways/trails, and complementary and compatible uses in electrical energy transmission corridors in areas designated as “Neighborhood Centers,” “Community Commercial,” “Town Center,” and “Industrial/Business Parks” by the SOI General Plan.	X		3 and 8	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.17.3 The Plan accommodates development in electrical energy transmission corridors in areas abutting the Village Green, parks, lake, and other major open space/recreational amenities of uses that promote continuity with the amenity such as extensive landscape, tree farms and nurseries, buffers, and similar uses.	X			X
<b>Comments:</b> <i>The Project Site does not contain any electrical transmission corridors abutting the Village Green, parks, lakes or other land uses listed above.</i>				
1.17.4 The Plan accommodates development in electrical energy transmission corridors in areas traversing “Residential Neighborhoods” of uses that serve as transitions among neighborhoods, pedestrian and biking trails, landscaped buffers, recreational facilities, and similar uses that are feasible and compatible with Southern California Edison’s secondary land use licensing program. At the corridor’s intersection with arterials and collectors, consider the accommodation of uses that support the primary residential activity (e.g. parking lots for churches), which shall be designated by the Specific Plan.	X		3, 4, and 8	
<b>Comments:</b>				
1.17.5 The Plan includes provisions for development located in electrical energy transmission corridors be designed to complement, be compatible with, and promote continuity and cohesiveness with abutting land uses. They should not be designated to create “walls” or barriers among uses.	X		8	
<b>Comments:</b>				
1.17.6 The Plan includes provisions encouraging Southern California Edison Company and private owners to visually improve, respectively, fee-owned and easement-owned rights-of-way that are retained for electrical transmission purposes to ensure their compatibility with abutting uses. This should emphasize the incorporation of landscape, parklands, and greenways.	X		8	
<b>Comments:</b>				
<b>1.18 Phasing</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
1.18.1 The Plan includes a phasing Plan to ensure adequate supporting public services, retail, parks, schools, and other uses are in place to support residential uses. These should establish increments of residential development that “trigger” and cannot be exceeded until the construction of appropriate improvements has been initiated. Standards for schools, infrastructure, and other public services should be determined in collaboration with pertinent service agencies. Standards for local serving retail, parks, and other uses should be confirmed by the City and reflect other policies contained in this Plan.	X		10	
<b>Comments:</b>				
1.18.2 A fiscal impact analysis for the proposed Specific Plan has been prepared describing annual costs and revenues associated with development phasing for at least a ten year period as input to the definition of land use balance thresholds and limits.	X			
<b>Comments:</b>	<i>To be prepared by City as part of project review</i>			
1.18.3 Require that developers commit to the provision of supporting uses and services through Development Agreements, Conditions of Development, bonds, and other appropriate techniques.	X		10	
<b>Comments:</b>	<i>Agreements separate from the specific Plan will be executed by the developer with the City.</i>			
<b>2.1 Agriculture</b>				
2.1.1 The Plan includes provisions recognizing the right of operation including the choice of cultivation procedures, crops or livestock types, crop rotation and all other functions within the traditional scope of agricultural management decisions. These rights and choices shall be exercised in a manner that is consistent with applicable environmental and resource protection policies and regulations.	X		10	
<b>Comments:</b>	<i>Per project EIR</i>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
2.1.2	Adopt and enforce the provisions of the Right-to-Farm Ordinance and the State nuisance law (California Code Subsection 3482). Such an ordinance would require nonagricultural residents be made aware of the local agricultural operations, their practices, and the potential agriculturally related impacts (noise, odor, etc.). See Appendix A, SOI GPA for a “Right to Farm” Ordinance example. <b>City Initiated, not required for SP’s</b>			X
<b>Comments:</b>	<i>The City of Ontario is the responsible entity for adopting and enforcing provisions of a right to farm ordinance</i>			
2.2.1	The Plan discourages the placement of new non-agricultural land uses in such a manner that agricultural fields or parcels become isolated or difficult to economically and conveniently farm.	X	3	
<b>Comments:</b>				
2.2.2	The Plan encourages the infilling of development in previously urbanized areas or immediately adjacent to existing urban development as an alternative to isolated, “leapfrog” projects	X	3	
<b>Comments:</b>	<i>Per New Model Colony General Plan Amendment</i>			
2.2.3	The Plan discourages the premature parcelization of large holdings that are not infill or urban perimeter properties.	X	3,9 & 10	
<b>Comments:</b>				
2.3.1	The Plan includes provisions to limit premature introduction of urban uses into farming areas that may create the potential for conflict with continued agricultural use.	X	3,9 & 10	
<b>Comments:</b>				
2.3.2	The Plan includes a Transitional Roadway Plan that minimizes farm product transport/farm equipment conflicts with urban use related transport. Said Plan includes the following: <ul style="list-style-type: none"> <li>existing routes essential to the transportation of farm products through remaining agricultural areas and through non-agricultural areas as needed to access regional transportation routes;</li> <li>prioritize those roads that will be first to convert to primarily serving urban uses; and</li> <li>roadway signage and markings to inform drivers that farm transport vehicles and machinery may be using the roads.</li> </ul>	X	4	

## CITY OF ONTARIO NEW MODEL COLONY SPECIFIC PLAN POLICY MATRIX



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
2.3.3 The Plan provides measures to prevent urban runoff flooding and silting from impacting agricultural operations.	X		3, 5 and 9	
<b>Comments:</b>				
2.3.4 Inform new residents and property owners that existing agricultural uses may create nuisances such as flies, odors, dust, noise, night light, and chemical spraying.	X			
<b>Comments:</b>				
<i>To be included in real estate sales package</i>				
2.3.5 The Plan includes provisions to protect agricultural lands from trespass, theft, vandalism, roaming dogs, and comparable impacts from urban uses.	X		3 and 9	
<b>Comments:</b>				
2.4.1 Oppose regulations that impact agricultural operations unless they are justified on the basis of sound environmental concerns.				X
<b>Comments:</b>				
<i>City to implement – Not a requirement of individual specific Plans.</i>				
2.4.2 Assist farmers and agricultural land owners in their efforts to understand and abide by regulations and to process applications for permits and licenses.				X
<b>3.1 Housing</b>				
3.1.1 Provide for the development of an estimated 20,396 single family and 10,792 multi-family dwelling units to sustain sound economic development (applies to entire 8,069 acre Sphere of Influence).	X		3	
<b>Comments:</b>				
3.1.2 Ensure that the densities and characteristics of residential projects fulfill the intent of applicable land use designations.	X		3, 8 and 9	

# Appendix I • General Plan Consistency

Policy		Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>					
3.2.1	The Plan includes provisions for infrastructure needed to support anticipated residential development and ensures the proper integration of all services.	X		4, 5 and 10	
<b>Comments:</b>					
3.2.2	Maintain internal consistency among the General Plan's elements to provide the necessary services and infrastructure for urban development.				X
<b>Comments:</b>	<i>City to implement; not a requirement for individual specific Plans.</i>				
3.3.1	The Plan allows flexibility in the type of units developed on vacant, residentially designated properties in master-planned communities and other planned developments.	X		3 and 9	
<b>Comments:</b>					
3.3.2	The Plan includes a mix of housing types.	X		3	
<b>Comments:</b>					
3.3.3	The Plan encourages the development of residential uses in association with compatible nonresidential uses (i.e. mixed-use).	X		3	
<b>Comments:</b>					
3.3.4	The Plan provides housing opportunities for upper-income residents by designating sites in selected areas for large-lot development or sites adjacent to significant amenities.	X		4	
<b>Comments:</b>					
3.4.1	The Plan includes comprehensive design guidelines and development standards ensuring residential design that is functional, people and pedestrian-oriented, aesthetically pleasing, and contributes to a sense of community through the sensitive arrangement of buildings, open space (public and private), and circulation (vehicular and pedestrian).	X		8	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
3.5.1 The Plan includes provisions to integrate development with neighborhoods in a way that minimizes adverse impacts on privacy, noise levels, and traffic.	X		3 and 9	
<b>Comments:</b>				
3.5.2 The Plan includes provisions for physical design elements of development (e.g., scale, street and circulation design, architectural elements) to complement and respect that of surrounding residential neighborhoods.	X		3, 4 and 8	
<b>Comments:</b>				
3.5.3 Where the new development's site design characteristics and standards will differ from those within an adjacent neighborhood, use design features (street trees, sidewalk siting and materials, etc.) that are common in both the neighborhoods as measures to transition from the surrounding neighborhood to the new neighborhood.	X		3, 8 and 9	
<b>Comments:</b>				
<b>3.6 &amp; 3.7 Affordable Housing</b>				
3.6.1 Designate sufficient vacant land with maximum densities high enough to facilitate the development of housing affordable to lower-income households.	X			
<b>Comments:</b>				
3.7.1 The Plan includes the provisions for affordable to very low, low, and moderate income households.		X		
<b>Comments:</b>				
<i>The Plan will accommodate housing needs of moderate income households</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
3.7.2 The Plan implements housing programs that comply with the State of California Housing and Community Development requirements, and ensures compliance and attainment of the regional housing need assessment “affordable” unit target.	X			
Comments: <i>Specific Plan will comply with the State of California Housing and Community Development requirements.</i>				
<b>3.8 Housing for Special Needs</b>				
3.8.1 The Plan includes provisions for multi-family units specifically designed for the elderly located near Neighborhood Centers that provide access to transit and pedestrian access to amenities, goods, and services (i.e., recreational areas, commercial districts, and medical services).				X
Comments: <i>The General Plan does not require multi-family units for the Specific Plan.</i>				
3.8.2 The Plan includes provisions for rental units specifically designed for students to be located near the educational campus area.				X
Comments: <i>The Project Site is not located near an areas designated for an educational campus.</i>				
<b>PART II INFRASTRUCTURE AND PUBLIC SERVICE</b>				
<b>5.1 Water Sources</b>				
5.1.3 Require Specific Plans and large development projects to prepare a water system planning study.				X
Comments: <i>Specific Plan incorporates City Master Plan recommendations for water</i>				
5.1.4 Consider requiring the planning and construction of a dual pipe system to supply reclaimed water throughout the Sphere of Influence.	X		5	
Comments:				
5.2.1 Require new development to construct and dedicate water supply facilities.	X		5	
Comments:				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
5.2.2	X		5	
<b>Comments:</b> <i>Project will participate In City's Development Impact Fee Program to construct these facilities.</i>				
5.3.1	X		5	
<b>Comments:</b> The Plan requires improvements to the water supply facilities necessitated by new development be borne by the new development benefiting from the improvements, either through the payment of fees, or the actual construction of the improvements.				
<b>6.1 Wastewater System and Treatment</b>				
6.1.1	X		5	
<b>Comments:</b> <i>The Plan will comply with the City's Master Plan requirements for sewer improvements</i>				
6.2.1	X		5	
<b>Comments:</b> The Plan requires new developments to connect to the sewer system.				
6.2.2	X		5 and 10	
<b>Comments:</b> The Plan includes provisions requiring that sewer capacity and facilities are available before building permits are issued for new development.				
6.3.1	X		5	
<b>Comments:</b> The Plan includes provisions requiring the costs of improvements to the existing wastewater collection facilities necessitated by new development be borne by the new development benefiting from the improvements; either through the payment of fees, or by the actual construction of the improvements.				
<b>7.1 Storm Drainage and Flood Control</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
7.1.2 Require Specific Plan and development projects to prepare a storm drainage planning study for the affected drainage area.	X		5	
<b>Comments:</b>				
7.1.4 Permit the joint use of detention basins for non-intensive recreational purposes, in accordance with City policy.	X		5	
<b>Comments:</b>				
7.1.5 Require that the refined backbone infrastructure Plan will be used in the development process to ensure that each project will construct adequate drainage facilities. A detailed drainage master Plan must be in place and must have San Bernardino County Flood Control District concurrence prior to any major development approval.	X		5	
<b>Comments:</b>	<i>The Plan will comply with the City's Master Plan of Drainage</i>			
7.1.6 Strategically locate detention basins to mitigate downstream drainage concern as development occurs. Siting of these facilities will take into consideration potential impacts to flight paths of the crosswind runways of the Chino Airport. Detention basins shall be located as required to bring storm water flows to a safe and acceptable level downstream of Merrill Avenue. However, basins shall not be located within Referral Areas A and B and Safety Zones I and II around the Chino Airport so as to prevent potentially significant wildlife hazards to aircraft operations.	X		5	
<b>Comments:</b>				
7.1.7 The Plan includes provisions requiring development Plans to be consistent with and implement the Master Plan of drainage for the area as finally adopted.	X		5	
<b>Comments:</b>				
7.2.1 The Plan requires new development to control surface run-off through onsite measures.	X		5	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
7.2.2 The Plan requires new development to construct and dedicate flood control and storm drainage facilities.	X		5	
<b>Comments:</b>				
7.2.3 Designate, preserve, and acquire land, as necessary, for storm drainage and flood control facilities.	X		5	
<b>Comments:</b>	<i>The Plan complies with the City's Master Plan of drainage</i>			
7.2.6 The Plan requires developers of each proposed project to submit a final drainage Plan for the City Engineer's review and approval.	X		5	
<b>Comments:</b>	<i>To be submitted as part of the tentative tract map submittal for the project.</i>			
7.2.8 The Plan requires developers to recommend measures which ensure that all structures located within the boundaries of the Sphere of Influence, subject to flooding from 100-year storm events, are constructed on a pad of earth elevated at least one foot above 100-year flood elevations. The recommended measures must be approved, monitored, and enforced by the City Engineer.	X		5	
<b>Comments:</b>	<i>To be submitted as part of the tentative tract map submittal for the project.</i>			
7.2.9 The Plan requires developers to provide evidence to the City Engineer that a National Pollutant Discharge Elimination System (NPDES) permit has been obtained from the State Water Resources Control Board (SWRCB) prior to moving construction equipment onto a Sphere of Influence site. Once obtained, the NPDES permit shall be retained on the construction site throughout the construction period, and a copy shall be filed with the City Engineer.	X		5	
<b>Comments:</b>	<i>To be submitted as part of the tentative tract map submittal for the project.</i>			
7.2.10 The Plan includes provisions to ensure compliance with all the terms and conditions outlined in the National Pollutant Discharge Elimination System (NPDES) permit, including the implementation of Best Management Practices (BMPs).	X		5	
<b>Comments:</b>	<i>Per approval of Tentative Tract Maps for the project</i>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
7.2.11	X		5	
<p>The Plan includes provisions requiring developers to prepare a Storm Water Pollution Prevention Plan (SWPPP) for individual proposed projects prior to the issuance of grading permits. These Plans shall be submitted to the City Engineer for review and comment prior to implementing any SWPPP provisions or starting any construction activity. A copy of the SWPPP shall be held by the construction contractor(s) on the construction site throughout development of each project. The City Engineer will monitor and enforce the provisions of the SWPPP.</p>				
Comments:	<i>Per approval of Tentative Tract Maps for the project</i>			
<b>8.1 Schools</b>				
8.1.2	X		3, 5 and 10	
<p>The Plan accommodates sufficient schools to meet School District criteria as shown in Table 4-10 of the SOI GPA. Based on these, the Land Use Plan's buildout will necessitate an estimated 20 elementary school sites, 5 middle school sites, and 3 high school sites within the total Sphere of Influence, with the number of schools in each Planning sub area indicated in Table 3-4 of the SOI GPA. The required number of schools to be constructed may vary due to modifications of the school district's standards to account for demographic changes, the number and types of dwelling units, resident characteristics, and other pertinent criteria.</p>				
Comments:	<i>The project includes a 10 acre site for development of an elementary school.</i>			
8.1.3				X
<p>Locate schools within a designated Neighborhood Center to the extent feasible, as illustrated in Figures 3-8 and 3-9 of the SOI GPA.</p>				
Comments:	<i>The school's location is not adjacent to the Neighborhood Center.</i>			
8.1.4	X		3	
<p>Encourage schools to be located as neighborhood focal points, with linkage to recreational uses, pedestrian paths, and bike ways, when locating schools in a Neighborhood Center is not feasible.</p>				
Comments:				
8.1.5	X		3	
<p>Encourage the consolidation or location of school campuses adjacent to one another, thereby enabling a joint use of recreational space, library, auditoriums, and other facilities.</p>				



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
8.1.6 Locate schools to avoid impacts attributable to Chino Airport. To ensure efficient accessibility of schools from residential neighborhoods, work with the California Department of Transportation, Division of Aeronautics, and Department of Education to permit schools to be developed at acceptable locations within the Airport's two-mile radius.	X		3	
<b>Comments:</b>				
8.1.8 Encourage the school districts to design schools so that their periphery maintains an appropriate transition with adjoining residential neighborhoods; avoiding the use of walls, fences, and landscape which establish a visual barrier.	X		3	
<b>Comments:</b>				
8.1.11 Locate preschool and day-care facilities in appropriate areas throughout the Sphere of Influence to meet the needs of a growing population. Require specific planned areas to designate sites for day-care facilities.	X		9	
<b>Comments:</b>				
<b>9.1 Police Protection</b>				
9.1.3 The Plan identifies appropriate sites for the construction of a police station within the neighborhood Centers, Town Center, or other activity nodes.	X		3	
<b>Comments:</b>				
9.1.4 The Plan encourages consolidation of public facilities, thereby creating mini civic centers comprised of police stations, libraries, fire stations, schools, parks, and administrative offices, etc.	X		3	
<b>Comments:</b>				
9.2.1 The Plan incorporates defensible space designs. These designs should help ensure maximum visibility and security for entrances, pathways, and corridors, as well as open space (both public and private) and parking lots/structures.	X		3, 8 and 9	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
9.2.2 The Plan includes lighting provisions providing adequate exterior illumination to facilitate security surveillance around commercial, industrial, multi-family, and public structures.	X		8 and 9	
<b>Comments:</b>				
<b>10.1 Fire Protection and Emergency Medical Service</b>				
10.1.2 Require that a total of three fire stations be incorporated within the Neighborhood centers, Town center, or other activity nodes.	X		3	
<b>Comments:</b>				
10.1.3 The Plan encourages the consolidation of public facilities thereby creating mini civic centers comprised of police stations, libraries, fire stations, schools, parks, and administrative offices, etc.	X		3	
<b>Comments:</b>				
<b>11.1 Circulation</b>				
11.1.1 The Plan promotes the timely development of the backbone circulation Plan, as shown in Figure 4-14 – SOI GPA that is phased and based on projected needs generated by the implementation of the SOIGPA Land Use Plan and the surrounding uses.	X		4	
<b>Comments:</b>				
11.1.2 Develop a detailed master Plan to phase the backbone transportation infrastructure in a logical manner. The master Plan should address coordination with each of the Specific Plan's master planning efforts and funding mechanisms including cost sharing and future credits.	X		4	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
11.1.3 Implement hierarchy of roadways and roadway classifications, as shown in Figure 4-15, Figure 4-16, and Figure 4-17 of the SOI GPA, that provides for efficient movement of regional through traffic and also protects the residential neighborhoods from intrusion of through traffic.	X		4	
<b>Comments:</b>				
11.1.4 Reserve adequate rights-of-way for roadways to implement the hierarchy of local roads within the Sphere of Influence that is consistent with the planned land uses.	X		4	
<b>Comments:</b>				
11.1.5 The Plan establishes safe and efficient truck routes that minimize exposure to noise sensitive land uses and reduce other adverse impacts to adjacent land uses, (see Figure 4-18 – SOI GPA.)	X		4	
<b>Comments:</b>				
11.1.6 The Plan consider the development of high-capacity, regional traffic serving facilities in the east-west and north-south direction through the Sphere of Influence, such as Edison Avenue, Euclid Avenue, Archibald Avenue, and Milliken Avenue.	X		4	
<b>Comments:</b>				
11.1.7 The Plan identifies appropriate intelligent transportation system (ITS) elements to be incorporated into the Sphere of Influence’s transportation infrastructure. The ITS elements include such technologies as changeable message signs, closed circuit television, highway advisory radio, loop detectors, fiber optic communications connections, and links to regional traffic management centers.				X
<b>Comments:</b>	<i>The City will implement this policy on an area wide basis.</i>			
11.1.8 The Plan incorporates a transitional Roadway Plan that minimizes agricultural vehicle-urban vehicle conflicts, minimizes agricultural vehicles impact on non-agricultural uses, and transitions the Sphere of Influence’s roadways from agricultural oriented to urban oriented.	X		4	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
11.1.9 The Plan augments and implements the comprehensive Citywide Traffic Model within the Sphere of Influence area to reflect the Sphere of Influence land uses and the proposed circulation system.	X		4	
<b>Comments:</b> <i>Per the project EIR traffic study</i>				
11.2.1 The Plan maintains a level of service not to exceed LOS D for intersections during the peak hours.	X		4	
<b>Comments:</b> <i>Per the project EIR traffic study</i>				
11.2.2 The Plan maintains a peak period level of service not to exceed LOS D for collector and arterial roadways.	X		4	
<b>Comments:</b> <i>Per the project EIR traffic study</i>				
11.2.3 The Plan maintains a peak period level of service not to exceed LOS C for residential streets.	X		4	
<b>Comments:</b> <i>Per the project EIR traffic study</i>				
11.3.1 Coordinate with Riverside County and Caltrans to ensure the timely design and implementation of the Galena Interchange on the I-15 Freeway.				X
<b>Comments:</b> <i>The City will implement this General Plan policy.</i>				
11.3.2 Coordinate with Caltrans and monitor traffic growth around freeway interchanges to determine the need, timing, and design for ramp improvements and additional right-of-way needs at the Route 60 Freeway interchanges.				X
<b>Comments:</b> <i>The City will implement this General Plan policy.</i>				
11.3.3 Actively support the County of San Bernardino's Congestion Management Plan.	X		4	
<b>Comments:</b> <i>The Project EIR will identify CMP improvements required as part of project development.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
11.3.4 Support and implement locally applicable portions of the Regional Mobility Plan and Air Quality Management Plan.	X		4	
<b>Comments:</b> <i>The Project EIR will identify required as part of project development.</i>				
11.3.5 Coordinate the development of the Sphere of Influence’s circulation Plan with adjacent jurisdictions and regional agencies, including City of Chino to the west and Riverside County to the east and south, for proper future connectivity and service to regional trips.	X		4	
<b>Comments:</b> <i>The City will implement this General Plan policy on an areawide basis.</i>				
11.3.6 Specific Plans for proposed developments within the SOI shall not be approved and adopted until such time as the San Bernardino County Congestion Management Program Traffic Impact Analysis (CMP TIA) for the Sphere of Influence General Plan Amendment has been completed and approved. This CMP TIA shall identify improvement measures to mitigate impacts of the traffic generated by the Sphere of Influence on transportation systems in the City of Ontario, the unincorporated San Bernardino County and all neighboring cities, which fall within the five-mile radius (designated impact area) of the Sphere of Influence boundaries, per CMP TIA guidelines.	X		4	
<b>Comments:</b>				
11.3.7 The Plan includes a separate traffic and circulation studies to:	X			
<ul style="list-style-type: none"> <li>• Assess internal circulation system need and to develop a traffic circulation Plan for the Specific Plan area;</li> <li>• Identify regional transportation infrastructure connectivity requirements; and</li> <li>• Identify specific traffic impacts related to the buildout of the Specific Plan on the surrounding areas (outside the Specific Plan) and to identify traffic improvement measures to mitigate these impacts.</li> </ul>				
<b>Comments:</b> <i>Per project EIR traffic study</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
11.3.8 Circulate all relevant traffic and circulation studies prepared for proposed Specific Plan developments within the Sphere of Influence area to all neighboring local jurisdictions that may be potentially impacted by the traffic generated from the buildout of the Specific Plan's land uses.	X		4	
11.3.9 For the following arterial segments outside the Sphere of Influence: <ul style="list-style-type: none"> <li>• Euclid Avenue – Riverside Drive to Philadelphia Street</li> <li>• Grove Avenue – Saint Andrews Street to 4th Street</li> <li>• Vineyard Avenue – Riverside Drive to Route 60</li> <li>• Archibald Avenue - Riverside Drive to Philadelphia Street</li> <li>• Haven Avenue – Creekside to Route 60; Mission Boulevard to Airport Drive</li> <li>• Milliken Avenue – Riverside Drive to Mission Boulevard</li> </ul> Provide additional through-traffic lanes by: <ul style="list-style-type: none"> <li>• widening the roads to accommodate the ultimate number of lanes designated in the General Plan;</li> <li>• modifying functional classification for arterials to accommodate additional traffic lanes;</li> <li>• restriping; and</li> <li>• using parking restrictions and other measures, where feasible.</li> </ul>				X
<b>Comments:</b> <i>The Specific Plan does not encompass the above roadways.</i>				
11.4.1 Require each major development phase or Specific Plan to develop a master Plan of streets and conduct a comprehensive traffic impact study, as appropriate.	X		4	
<b>Comments:</b> <i>Per project EIR</i>				
11.4.2 As condition of development for each planning area, require that proper connecting facilities and capacity be provided to the regional transportation system to minimize impacts to existing roadways.	X		4	

# Appendix I • General Plan Consistency

Policy		Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>	<i>Per Project EIR traffic study</i>				
11.4.3	Require that development within the Sphere of Influence be consistent with the provisions of the County-wide Congestion Management Program.	X			
<b>Comments:</b>	<i>Per project EIR traffic study</i>				
11.4.4	The Plan prohibits future development from providing backout driveways onto arterial roadways.	X		4	
<b>Comments:</b>					
11.4.5	The Plan discourages future development from providing backout driveways onto collector roadways.	X		4	
<b>Comments:</b>					
11.4.6	The Plan considers the use of alley ways (20 feet recommended width) to add flexibility to frontage designs and assist in the creation of more pedestrian oriented front areas.	X		3 and 5	
<b>Comments:</b>					
11.4.7	The Plan promotes development of local street patterns that create and unify neighborhoods, rather than divide them, through the following means: <ul style="list-style-type: none"> <li>• local street patterns should provide access between subdivisions within a neighborhood, with the exception of through traffic which should be directed onto major and secondary arterials; and</li> <li>• the local street system should be logical and understandable for the user. Creation of circuitous and confusing travel paths between internal neighborhood areas and adjacent arterials should be avoided.</li> </ul>	X		3, 4 and 8	
<b>Comments:</b>					
11.4.8	The Plan includes measures requiring developers to provide all required onsite infrastructure and contribute their proportional share to offsite improvements. (I-30, I-31, and I-32)	X		4 and 10	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
11.4.9 The Plan includes an impact fee system in order to offset the cost of transportation required by new development.	X		4	
<b>Comments:</b> <i>The developer will participate in the adopted Development Impact Fee program as required.</i>				
11.4.10 Consider whether it is appropriate to establish a transportation benefits district.				X
<b>Comments:</b> <i>The City will implement this General Plan policy on an area wide basis.</i>				
11.5.1 The Plan includes a comprehensive Transportation Mobility Plan to improve the movement of pedestrians, bicyclists, public transit, truck and automobile, freight, passenger rail, etc., within the Sphere of Influence.	X		4	
<b>Comments:</b>				
11.5.2 The Plan Integrates the Transportation Mobility Plan with the Congestion Management Planning process to identify and develop necessary transportation services, and assist land use and urban design decision making.				X
<b>Comments:</b> <i>The City will implement this General Plan policy on an area wide basis.</i>				
11.5.3 The Plan promotes a variety of transportation modes.	X		3 and 4	
<b>Comments:</b>				
11.5.4 The Plan explores the possibility of developing transit centers within the appropriate Specific Plan areas such as the Town Center, educational campus, and adjacent to the Regional Centers along Milliken Avenue and Euclid Avenue.				X
<b>Comments:</b> <i>The Project Site is not designated for any of the above land uses and is not located near or adjacent to any of the above listed use.</i>				
11.5.5 Analyze cost/benefit ratios in determining future publicly financed transportation improvements.	X		10	



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
11.5.6 Consult and coordinate with the various transit agencies in order to bring about improved transit service to the Sphere of Influence.				X
<b>Comments:</b> <i>The City will implement this General Plan policy on an area wide basis.</i>				
11.5.7 Through coordination with transit agencies, the Plan provide transit friendly design with the objective of maximizing the potential for transit use.	X		4 & 5	
<b>Comments:</b>				
11.5.8 The Plan includes provisions requiring development to fund transit facilities, such as transit centers, bus shelters and turnouts, where feasible.	X		4 & 5	
<b>Comments:</b>				
11.5.9 The Plan includes provisions requiring that development provide for transit-friendly features such as buildings located close to streets, bus amenities, etc.	X		3 and 9	
<b>Comments:</b>				
11.5.10 The Plan encourages the development of connections with commuter rail stations in the vicinity of the Sphere of Influence.	X		4	
<b>Comments:</b>				
11.6.1 The Plan encourages nonresidential developments to provide employee incentives for using alternatives to the conventional single occupant automobile (i.e., carpools, vanpools, buses, bicycles, walking, telecommuting, etc.).	X		4	
<b>Comments:</b>				
11.6.2 The Plan supports national, state, and regional legislation directed at encouraging the use of carpools and vanpools.	X		3 and 4	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
11.6.3 The Plan encourages the establishment of Transportation Management Associations (TMAs) within the commercial and industrial areas of the Sphere of Influence.				X
<b>Comments:</b> <i>The West Haven Specific Plan does not encompass the above uses.</i>				
11.6.4 The Plan promotes the use of alternative transportation modes to the single occupancy vehicle within the Sphere of Influence, such as carpooling, bus and rail transit and explore the feasibility of linking such systems with other regional transportation systems.	X		4	
<b>Comments:</b>				
11.6.5 The Plan promotes ridesharing through publicity and provision of information to the public.				X
<b>Comments:</b> <i>The City will implement this General Plan policy on an area wide basis.</i>				
11.6.6 The Plan encourages the preservation and development of freight and passenger/commuter rail that occur or would occur in the region.				X
<b>Comments:</b> <i>The West Haven Specific Plan does not encompass the above uses.</i>				
11.6.7 The Plan encourages a telecommunications center within the planning area to reduce vehicle miles traveled.	X		5	
<b>Comments:</b>				
11.6.8 Develop a program for traffic signal coordination and synchronization for the arterial street system in coordination with and connecting to the City's signal system.	X		4	
<b>Comments:</b> <i>Per the recommendations of the project EIR traffic study</i>				
11.7.1 The Plan requires parking to be consolidated along parkways, arterials, and pertinent collectors, eliminating the number of ingress and egress points. Prime candidate locations for consolidated parking are the "Neighborhood Centers", "Town Center", "Business Parks", and "Regional Centers". (I-7 and I-10)	X		8 and 9	

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
11.7.2 The Plan requires that sufficient and secure bicycle parking be provided in all parking areas.	X		8 and 9	
<b>Comments:</b>				
11.7.3 The Plan promotes sharing of off-street parking facilities.	X		8 and 9	
<b>Comments:</b>				
<b>PART III AESTHETIC, CULTURAL, OPEN SPACE &amp; RECREATIONAL RESOURCES</b>				
<b>12.1 Parks &amp; Open Space</b>				
12.1.1 Provide a minimum 509 acres of parkland consisting of a mix of mini, neighborhood, community and “village green” facilities to achieve a standard of 5 acres of parkland per 1,000 residents. The actual park acreage may vary as a result of future modifications of the City standards.	X		10	
<b>Comments:</b>	<i>The project developers will participate in the development impact fee program as required for park fees.</i>			
12.1.2 Update the Parks and Bike Trail Master Plan to provide specific criteria and guidelines for the siting, design and programming of parks and recreational facilities. Consider the following when creating the criteria for acquiring or receiving dedicated parkland:				X
<ul style="list-style-type: none"> <li>• The usability of proposed parklands and the ease of accessibility for future users; and</li> <li>• Balance of passive and active recreational opportunities and facilities designed to meet the existing and future needs of all user groups.</li> </ul>				
<b>Comments:</b>	<i>The City will implement this General Plan policy on an area wide basis.</i>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>12.1.3 The Plan incorporate a comprehensive and unified parks and recreation plan that:</p> <ul style="list-style-type: none"> <li>identifies mini, neighborhood, and community park sites in accordance with the service standards and updated Parks and Bike Trail Master Plan criteria;</li> <li>integrates neighborhood parks with Neighborhood Centers and schools (see Figure 5-2);</li> <li>links parks by pedestrian greenway and bike trail networks (see Figure 5-3);</li> <li>incorporates passive and active recreational uses as specified in the Parks and Bike Trail Master Plan; and</li> <li>defines a park acquisition and improvement financing plan. (I-3 and I-34)</li> </ul>	X		3	
<b>Comments:</b>				
<p>12.1.4 The Plan encourages:</p> <ul style="list-style-type: none"> <li>golf course site(s) be developed in the Sphere of Influence;</li> <li>school and park facilities be located in a manner that permits shared use of auditoriums, playing fields, and so on;</li> <li>public facilities (auditoriums, amphitheaters, day-care centers, public meeting rooms) be integrated into park design; and</li> <li>drainage channels be developed as an open space amenity. (I-3, I-7, and I-47)</li> </ul>				X
<b>Comments:</b>	<i>The City will implement this General Plan policy on an area wide basis.</i>			
<p>12.1.5 The Plan requires Sub area 22 (Town Center) Specific Plan to locate park(s) and/or public open space along the lake, if the lake is developed.</p>				X
<b>Comments:</b>	<i>The City will implement this General Plan policy.</i>			
<p>12.1.6 The Plan requires that Sub area 16 and Sub area 17 Specific Plans identify sites for the development of a linear “village green” park. The Village Green will act as a recreational focal point serving the entire Sphere of Influence. The Village Green shall incorporate a diversity of passive and active uses including athletic fields, picnic areas, botanical gardens, museums, and performance venues.</p>				X

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b> <i>The City will implement this General Plan policy.</i>				
12.1.7 The Plan requires that residential neighborhoods located next to a park provide pedestrian greenway and bike trails to the park.	X		3 and 4	
<b>Comments:</b>				
12.1.8 The Plan encourages storm drainage detention basins to be designed to accommodate passive and active recreational uses during the dry periods (see Figure 5-4 SOI GPA).	X		5	
<b>Comments:</b>				
12.1.9 The Plan requires the use of extensive landscaping along street frontages. Landscaping elements should include tree and plant specimens currently found within the Sphere of Influence. (I-7 and I-10)	X		4,8 and 9	
<b>Comments:</b>				
12.1.10 The Plan requires the dedication and development of future community and neighborhood park sites before a significant proportion of the new population to be served by the park exists. (I-7 and I-10)	X		10	
<b>Comments:</b>				
12.1.11 The Plan requires that new multi-family residential developments of five or more units provide recreational or open space facilities onsite and contribute appropriate fees that aid in the public development of other facilities to offset additional demands generated by their resident population. (I-7 and I-10)	X		3	
<b>Comments:</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
12.1.12 The Plan requires that large-scale commercial developments, such as the Town Center, Community Centers, Regional Centers, provide open space facilities within the development for passive or active recreation or contribute fees for the public development of such uses. (I-7 and I-10)				X
<b>Comments:</b> <i>The General Plan does not include the above uses within the West Haven Specific Plan.</i>				
12.1.13 The Plan encourages industrial and business parks to incorporate employee recreational facilities within their developments or contribute fees for the public development of such uses. (I-7 and I-10)				X
<b>Comments:</b> <i>The General Plan does not include the above use within the West Haven Specific Plan.</i>				
12.1.14 The Plan encourages agricultural industry representatives and local university(ies) to provide educational and recreational programs that reflect the Sphere of Influence’s agricultural history. (I-50)				X
<b>Comments:</b> <i>The City will implement this General Plan policy.</i>				
13.1.1 The Plan incorporates a comprehensive network of greenways, pedestrian paths, and bike trails (see Figures 5-3 and 5-5 – SOI GPA), linking the Town Center, educational campus (if developed), Regional Centers, Community Commercial, Neighborhood Centers, “Village Green,” neighborhood parks, and schools. (I-7 and I-10)	X		4	
<b>Comments:</b>				
13.1.2 Require developments to link their internal trail system with the surrounding Sphere of Influence network.	X		3 and 4	
<b>Comments:</b>				
13.1.3 The Plan encourages infrastructure rights-of-ways or easements to be designed and developed to accommodate trails and bikeways where feasible and where compatible with the intended primary use. (I-47)	X		4	

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>				
13.1.4 The Plan includes provisions providing for joint use of SCE easement-owned rights-of-way for trails and bikeways where feasible and compatible with the intended primary use. (I-10 and I-47)	X		3 and 4	
<b>Comments:</b>				
13.1.5 The Plan includes provisions providing for joint use of SCE’s fee-owned rights-of-way for trails and bikeways where feasible and compatible with SCE’s secondary land use licensing program. (I-10 and I-47)	X		3 and 4	
<b>Comments:</b>				
13.1.6 Work with the surrounding jurisdictions to ensure trail connections between the Sphere of Influence and other regional recreational destinations or amenities. (I-51)				X
<b>Comments:</b> <i>The City will implement this General Plan policy.</i>				
14.1.1 The Plan includes measures to extensively landscape Euclid Avenue, Grove Avenue, Vineyard Avenue, Archibald Avenue, Milliken Avenue, and Edison Avenue by the use of “enhanced parkways” with landscaped medians and rights-of-way (see Figure 5-3 – SOI GPA). (I-7 and I-10)				X
<b>Comments:</b> <i>The West Haven Specific Plan does not encompass the listed roadways.</i>				
14.1.2 The Plan requires that comprehensive street tree and landscape plans be established to uniquely identify parkways, neighborhoods, centers, and districts. (I-7)	X		8	
<b>Comments:</b> <i>Per City master plan of streetscapes</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S,P Sec. No.	N/A
14.1.3 The Plan requires that the landscaping within the public medians and rights-of-way as well as along the private developments' street frontage is well designed and properly maintained, minimizes water usage, and maximizes visual continuity while permitting individual expression. (I-25)	X		4 and 8	
<b>Comments:</b>				
14.1.4 The Plan requires that the individual developments transition their landscaping with the neighboring properties' landscaping, thereby enhancing visual continuity along streets. (I-10)	X		4 and 8	
<b>Comments:</b>				
14.1.5 The Plan requires that view corridors be provided from public places towards the San Gabriel Mountains, where possible. (I-7)	X		3	
<b>Comments:</b>				
<b>15.1 Historic and Cultural Resources</b>				
15.1.1 Validate the location of pending historical resources. (I-10)	X			
<b>Comments:</b>	<i>Per project EIR cultural resources study</i>			
15.1.2 The Plan includes provisions requiring all development projects, including infrastructure construction, to conduct Phase I surveys and resource investigations in accordance with CEQA requirements to determine if additional cultural, historic, or archaeological resources are located within their area. If the development project involves the use of federal funds, conduct the study in accordance with federal requirements. File all site records, survey reports, etc. with the San Bernardino County Museum Archaeological Information Center. (I-10)	X			
<b>Comments:</b>	<i>Per project EIR</i>			



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
15.1.3 The Plan includes provisions requiring all development projects to conduct Phase II evaluation studies (for archaeological resources and standing structures in accordance with CEQA requirements) if necessitated by the Phase I studies' findings. If the development project will involve the use of federal funds, conduct the study in accordance with federal requirements. File all site records, survey reports, etc. with the San Bernardino County Museum Archaeological Information Center. (I-10)	X			
<b>Comments:</b> <i>Per project EIR</i>				
15.1.4 The Plan includes provisions requiring development projects to propose avoidance or preservation plans for any archaeological or historic site, as necessary. (I-10)	X			
<b>Comments:</b> <i>Per project EIR</i>				
15.1.5 The Plan includes provisions require new development to be compatible with adjacent archaeological sites or historical structures in terms of buffering, scale, massing, and building materials, as necessary. (I-10)	X			
<b>Comments:</b> <i>Per project EIR</i>				
15.1.6 Conduct an intensive archaeological field survey under the supervision of a Society of Professional Archaeologists (S.O.P.A.) certified archaeologist for each proposed project not previously surveyed within the past ten years. A technical report following format and content guidelines proposed by the Office of Historic Preservation must be completed. (I-10)	X			
<b>Comments:</b> <i>Per project EIR</i>				
15.1.7 The Plan includes provisions requiring that each project resulting in an adverse impact on a known significant resource prepare an appropriate planning approach to reduce the impact to a level of insignificance. (I-10)	X			
<b>Comments:</b> <i>Per project EIR mitigation measures</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
15.1.8 The Plan includes provisions requiring that a qualified archaeologist be retained in order to monitor the grading, identify any cultural resources that may be exposed, complete a preliminary evaluation of the resource, and recommend appropriate resource management for the treatment of the resource. (I-10)	X			
Comments: <i>Per adopted mitigation monitoring program</i>				
<b>16.1 Libraries</b>				
16.1.1 The Plan includes provisions requiring that library site(s) be developed within the Neighborhood Centers and Town Centers, and near transit facilities, bike paths, and pedestrian paths. (I-7)	X		3	
Comments:				
16.1.2 The Plan encourages consolidation of public facilities thereby creating “mini civic centers” comprised of police station(s), library(ies), fire stations, schools, parks, and administrative offices, etc. (I-7)				X
Comments: <i>The City will implement this General Plan policy.</i>				
16.1.3 Construct a minimum of 61,107 square feet library facilities in order to provide the estimated 101,845 Sphere of Influence residents with adequate library facilities based on the City’s current standard of 0.6 square feet per resident, or as modified to reflect technology. (I-10 and I-30)				X
Comments: <i>The City will implement this General Plan policy.</i>				
16.1.4 The Plan encourages the installation of new technology including a fiber optic network for telecommunications. (I-22)	X		5	
Comments:				
16.1.5 The Plan encourages the joint use of school libraries and public library facilities. (I-47)				X
Comments: <i>The City will implement this General Plan policy.</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>PART IV NATURAL RESOURCES</b>				
<b>17.1 Aggregate Resources</b>				
17.1.1 Identify the locations of aggregate resources and coordinate their location with the appropriate land use designations. (I-19 and I-23)	X			
<b>Comments:</b>	<i>Per project EIR</i>			
<b>18.1 Biological Resources</b>				
18.1.1 Work with and encourage the Army Corps of Engineers, Chino Basin SAPA, and County Flood Control to retain a minimum of 160 acres of surface water in the El Prado Basin. This water shall serve as the habitat mitigation for waterfowl to offset the discontinued use of State mandated dairy manure water retention basins. (I-36 and I-47)				X
<b>Comments:</b>	<i>The City will implement this General Plan policy.</i>			
18.1.2 Ensure that development projects proposed for areas that support and retain waterfowl and raptor habitat: <ul style="list-style-type: none"> <li>• incorporate fences, walls, vegetative cover, or other measures to buffer waterfowl areas from the built environment;</li> <li>• locate and design roads and utilities in such a manner that they will not conflict or impact habitat areas; and</li> <li>• permit only the following uses:               <ul style="list-style-type: none"> <li>▪ educational and research facilities (excluding buildings);</li> <li>▪ passive (non-motorized, non-consumptive) recreation;</li> <li>▪ trails on public land(s) if located outside of a undeveloped buffer zone;</li> <li>▪ fish and wildlife management activities; and</li> <li>▪ flood control projects where no other viable methods are available to protect the public safety. (I-7 and I-10)</li> </ul> </li> </ul>				X

# Appendix I • General Plan Consistency

Policy		Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b>	<i>The City will implement this General Plan policy.</i>				
18.1.3	<p>The Plan includes measures to ensure that development projects that incorporate onsite mitigation for the loss of existing waterfowl and raptor habitat:</p> <ul style="list-style-type: none"> <li>are reviewed by a City-approved biologist who conducts an onsite assessment to determine whether the mitigation is sufficient based upon the quality, location, or size of the area to be lost;</li> <li>include a Biological Assessment Report that addresses the proposed project's impact on state and federally listed and candidate plants and animals; California Department of Fish and Game Special Animals; waterfowl or raptor habitat and any other special interest species or communities identified in the General Plan Analyses of Existing Conditions and Trends Report, or those hereafter named by state or federal trustee agencies;</li> <li>assess project conformance to specific habitat objectives described above;</li> <li>identify mitigation measures necessary to eliminate significant adverse impacts to sensitive biological resources; and</li> <li>define a program for monitoring and evaluating the effectiveness of the specified mitigation measures. (I-7 and I-10)</li> </ul>	X			
<b>Comments:</b>	<i>Per project EIR biology study</i>				
18.1.4	Periodically update the Biological Habitat Map (see Figure 6-5 – SOI GPA) and data base to maintain current information regarding waterfowl and raptor habitat. (I-6 and I-41)				X
<b>Comments:</b>	<i>The City will implement this General Plan policy.</i>				
18.1.5	The Plan includes sufficient technical data to enable an adequate assessment of the potential for impacts on biological resources. Such technical data shall include species lists, habitat use, acreage of habitat, and descriptions of any vegetation. (I-7 and I-10)	X			
<b>Comments:</b>	<i>Per project EIR biology study</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
18.1.6 The Plan assesses impacts on local biological resources and recommend appropriate mitigation measures, if necessary to account for specific development characteristics or site conditions that are not adequately addressed by the Sphere of Influence General Plan Environmental Impact Report. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per project EIR biology study</i>				
18.1.7 The Plan includes provisions encouraging development plans take all reasonable measures to avoid creating significant impacts. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per project EIR</i>				
18.1.8 The Plan includes provisions encouraging development plans take all reasonable measures to avoid altering the biological integrity. Reasonable measures may include but are not limited to vegetative restoration, control of alien plants and animals, and use of landscaping buffers. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per project EIR</i>				
18.1.9 The Plan includes provisions for enhancing the ponded areas adjacent to the flood control channel (i.e., planting native trees to serve as buffers). (I-36)	X			
<b>Comments:</b> <i>Per project EIR</i>				
18.1.10 The Plan includes provisions requiring dedicated open space easements as a condition of approval for development projects proposed adjacent to waterfowl and raptor habitat areas that are voluntarily retained in the Sphere of Influence. These open space easements shall assure that the biological habitats are buffered and protected from degradation and shall be used only for passive recreational/educational purposes. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per project EIR</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>11.3.9 Ensure that development projects located adjacent to waterfowl or raptor habitat areas that are voluntarily retained in the Sphere of Influence:</p> <ul style="list-style-type: none"> <li>• Maintain a 100-foot buffer (minimum) from the edge of the habitat on the subject property;</li> <li>• maintain connection to other preserved habitats, where they exist; and</li> <li>• dedicate open space easements to the City, homeowner associations, or other responsible party. (I-7 and I-10)</li> </ul>	X			
<b>Comments:</b>	<i>Per project EIR</i>			
<p>18.1.12 Establish an onsite “Wildlife Habitat” or Waterfowl and Raptor Conservation Area (WRCA) in the areas adjacent to the Chino Basin Flood Control Ponds located to the south of Chino Avenue, west of Archibald Avenue, north of Scafer and east of Whispering Lakes Lane consisting of approximately 145 acres adjacent to the 85 acres of existing county-owned detention basins. (I-6) <i>Refer to p. 6-27, SOIGPA for complete discussion on the two approaches to establishing the WRCA.</i></p>				X
<b>Comments:</b>	<i>The City will implement this General Plan policy.</i>			
<b>18.2 Recovery of Delhi sands flower-loving fly</b>				
<p>18.2.1 Monitor the efforts of the Department of Fish and Wildlife to study the recovery of the Federally listed Delhi sands flower-loving fly. Assess the impacts of recovery recommendations for development in the Sphere of Influence. (I-5 and I-47)</p>	X			
<b>Comments:</b>	<i>Per project EIR</i>			

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
18.2.2 The City shall cooperate with the U.S. Fish and Wildlife Service in the following ways to mitigate potential impact to the DSFLF: <ul style="list-style-type: none"> <li>cooperate with USFWS to ensure, through the Specific Plan Process, that potential recovery areas are appropriately mitigated;</li> <li>establish a standard for buffers for protecting DSFLF restoration areas, in cooperation with USFWS; and</li> <li>work with rights-of-way owners and USFWS to explore the possibility of creating DSFLF habitat within these undeveloped strips. (I-5 and I-47)</li> </ul>	X			
Comments: <i>Per project EIR</i>				
<b>18.3 Increased public awareness of local biological resources</b>				
18.3.1 Sponsor or co-sponsor “balanced” educational programs that: <ul style="list-style-type: none"> <li>promote awareness of local biological resources;</li> <li>inform about protection and preservation programs;</li> <li>foster community attitudes and behaviors that help protect local plants and wildlife; and</li> <li>encourage community involvement in protection programs. (I-50)</li> </ul>				X
Comments: <i>The City will implement this General Plan policy.</i>				
<b>PART IV HAZARDS</b>				
<b>19.1 Geologic and Seismic Hazards</b>				
19.1.1 The Plan includes requirements to validate the presence of unstable soils, areas of liquefaction potential, unique geological features, and shallow water tables.	X			
Comments: <i>Per project EIR</i>				
19.2.1 Identifies the location and type of utilities within the area and identifies emergency procedures in case of breaks, rupture, or other disruption.	X			
Comments: <i>Per project EIR</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
19.2.2 Identifies the location and type of utilities within the area and identify emergency procedures in case of breaks, rupture, other disruption.	X			
<b>Comments:</b> <i>Per project EIR</i>				
19.3.1 Determine portions of the Sphere of Influence are subject to subsidence.	X			
<b>Comments:</b> <i>Per project EIR</i>				
19.3.2 Update planning (including setbacks requirements), building (including design considerations), grading, and engineering requirements, as necessary, to protect life and property located near potential subsidence and fissure zones.				X
<b>Comments:</b> <i>The City will implement this General Plan policy.</i>				
<b>20.1 Protection from Fire Hazards</b>				
20.1.1 Requires two viable points of ingress and egress from development projects.	X		3 and 4	
<b>Comments:</b>				
20.2.1 The Plan includes procedures to ensure that manure storage practices are not conducive to the generation of fires due to spontaneous combustion.	X			
<b>Comments:</b> <i>Per project EIR</i>				
<b>21.1 Dust, Wind and Blow Sand</b>				
21.1.1 The Plan requires that structures be sited and designed to prevent adverse funneling of wind onsite and on adjacent properties.	X			
<b>Comments:</b> <i>Per project EIR</i>				



# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
21.2.1 The Plan requires provisions to construction for adherence to Soil Erosion Control Area or City-mandated dust control programs.	X			
<b>Comments:</b> <i>Per Project EIR</i>				
21.2.2 The Plan requires that technical information and mitigation methods examples, regarding wind blown sand, available to the general public.	X			
<b>Comments:</b> <i>Per project EIR</i>				
21.2.3 The Plan provides provisions to coordinate with other jurisdictions to maximize wind blown sand control planning.	X			
<b>Comments:</b> <i>Per project EIR</i>				
<b>22.1 Soils</b>				
22.1.1 The Plan requires that geologic deposit technical information, erosion potential identification methods, and erosion control examples are made available to developers.	X			
<b>Comments:</b> <i>Per project EIR</i>				
22.1.2 The Plan requires that soils engineering problem information, identification methods, and mitigation method examples are made available to developers.	X			
<b>Comments:</b> <i>Per project EIR</i>				
22.1.3 The Plan includes provisions requiring proposed development projects to determine if the project would be located in or near areas with significant erosion potential or soil engineering problems. Require proposed project applications to include a detailed discussion regarding the types of soil and locations, erosion potential or soil engineering problems, and erosion control plans. Mitigation plans must address methods to be used during all phases of project development, implementation, and operation.	X			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b> <i>Per project EIR</i>				
22.1.4 The Plan requires establishment and implementation of a procedure to be used to evaluate the suitability of developer proposed erosion control methods.	X			
<b>Comments:</b> <i>Per project EIR</i>				
22.1.5 The Plan includes provisions requiring development applicants to certify that all deleterious materials, particularly organic residue from dairy, farming, or agricultural activity, have been removed, properly disposed, and will not impact the development during the project's life.	X			
<b>Comments:</b> <i>Per project EIR</i>				
22.1.6 The Plan requires creation (pulled together from existing materials) of a Grading and Geotechnical Investigation Standards manual that will be available to developers and consultants in order to ensure the minimum proper soils engineering and engineering geologic study for all sites where grading will occur. Together these standards and policies should effectively mandate proper studies before development approval, in which grading, foundations, and slope stability would be analyzed and any potential hazards identified. Mitigation of the potential hazards would occur through the proper application of recommendations arising from these studies. Topics shall include but not necessarily be limited to soils engineering and foundations, slope stability, erosion, liquefaction/dynamic settlement, shallow groundwater, and fault location/activity. This manual shall be available at the permit stage prior to initial feasibility and design studies in order to enhance (streamline) the development review and environmental review processes.	X			
<b>Comments:</b> <i>Per project EIR</i>				
22.2.1 Determine if the manure stockpiles have the potential to create a nuisance, structural, or groundwater contamination problems. If so, require proper mitigation.	X			
<b>Comments:</b> <i>Per project EIR</i>				
<b>23.1 Hazardous Materials &amp; Waste</b>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
23.1.1 Require phase I Environmental Assessments for the presence of hazardous materials prior to the demolition of any buildings or the construction of new development on any properties within the Sphere of Influence. If hazardous materials are found, implement measures for their safe removal or containment, meeting applicable regulatory standards, prior to demolition of affected structures and/or construction on the affected areas.	X			
<b>Comments:</b> <i>Phase I study completed by developer</i>				
23.1.3 Require projects to comply with policies set forth in the City of Ontario General Plan regarding the handling, transporting, treating generating and storage of hazardous materials.	X			
<b>Comments:</b> <i>Per project EIR</i>				
<b>24.1 Noise</b>				
24.1.1 Monitor and update available data regarding the community's existing and projected ambient and stationary noise levels as show on <b>Figures 7-4 and 7-6 of the SOI GPA.</b>				X
<b>Comments:</b> <i>The City will implement this General Plan policy.</i>				
24.2.1 Site housing, health care facilities, schools, libraries, religious facilities, and other "noise sensitive" land uses in areas where existing or future noise levels are below an Ldn of 60 (dB(A) exterior and an Ldn of 45 dB(A) interior limits.	X		3	
<b>Comments:</b>				
24.2.2 The Plan permits the locations of commercial, industrial, and recreational uses in areas where the ambient noise levels exceed an Ldn of 60 dB(A), if they area able to reduce the interior noise levels to within the 45 dB(A) Ldn level.	X			
<b>Comments:</b> <i>Per project EIR noise study</i>				

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>24.2.3 The Plan requires that</p> <ul style="list-style-type: none"> <li>Dining and other high noise-generating entertainment uses in commercial areas are not located directly adjacent to any residences, schools, health-care facilities, or other noise sensitive” land uses; and</li> <li>The entertainment and restaurant/bar uses’ outdoor dining areas, waiting areas, entries, and kitchens are located in such a manner that the noise levels emanating from these uses are not discernible from ambient noise levels at a distance of fifty (50) feet from the establishment in which it is being conducted or within ten (10) feet of any residence (whichever is more restrictive).</li> </ul>	X		9	
<b>Comments:</b>				
<p>24.2.4 The Plan requires that the facilities for active recreational uses that are likely to draw cheering crowds, elicit loud play, or have amplified game announcements (i.e., stadiums, soccer fields, tennis courts, basketball courts, etc) be located within the park’s interior and away from surrounding residential and “noise sensitive” uses.</p>				X
<b>Comments:</b>	<i>The General Plan does not propose such uses within the West Haven Specific Plan.</i>			
<p>24.2.5 The Plan requires educational, recreational, commercial, and industrial land uses (including educational campuses, parks, stadiums, and public event facilities) be designed in such a manner that:</p> <ul style="list-style-type: none"> <li>Locate and orient vehicle access points away from residential and/or noise sensitive parcels.</li> <li>Locate loading and shipping facilities away from adjacent noise sensitive uses;</li> <li>Incorporate structural building materials that mitigate sound transmission;</li> <li>Minimize the use of outside speakers and amplifiers;</li> <li>Configure interior spaces to minimize sound amplification and transmission; and</li> <li>Incorporate fences, walls, landscaping and other noise buffers and barriers between incompatible uses, as appropriate.</li> </ul>				X
<b>Comments:</b>	<i>The General Plan does not propose such uses within the West Haven Specific Plan.</i>			

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>24.2.6 The Plan requires mixed-use buildings:</p> <ul style="list-style-type: none"> <li>• Be constructed soundly to prevent adverse noise transmission between differing uses or tenants located in the same commercial structure and individual dwelling units in multi-family residential structures; and</li> <li>• Designed for concurrent commercial and residential and uses to minimize to the greatest degree practicable (through design and construction techniques) the transfer or transmission of noise and vibration from the commercial land use to the residential land use,</li> </ul>				X
<p><b>Comments:</b> <i>The General Plan does not propose such uses within the West Haven Specific Plan.</i></p>				
<p>24.2.7 The Plan requires that, prior to the issuance of grading permits, an Acoustical Analysis Report be submitted to the City Engineer by the project developer. The report shall:</p> <ul style="list-style-type: none"> <li>• Describe the cumulative effect of road noise on surrounding land uses and recommend mitigation measures;</li> <li>• describe in detail the interior and exterior noise levels for residential uses on the site and the specific design and mitigation features to ensure compliance with the City’s noise criteria of 65 dB(A) CNEL for outdoor living areas and 45dB(A) CNEL in habitable rooms;</li> <li>• specify the noise barriers’ height, location, and types capable of achieving the desired mitigation affect; and</li> <li>• identify those residential lots that may require mechanical ventilation to achieve interior noise standards. When the operable doors and windows are open for homes facing these roadways, the interior 45 dB(A) CNEL interior noise limit for these units may be exceeded. Therefore, a “windows closed” condition may be required for these units. Any proposed mechanical ventilation must meet the requirements of the Uniform Building Code (UBC) standard. It should be noted that the windows facing some roadways may be operable windows, but the homeowners would have the option to close the windows and still obtain adequate ventilation through the use of a mechanical ventilation system. This mechanical ventilation system shall supply two air changes per hour to each habitable room, including 20 percent (one-fifth) fresh make-up air obtained directly form the outdoors. The fresh air inlet duct shall be of sound attenuating construction and shall consist of a minimum of ten feet of straight or curved duct or six feet plus one sharp 90 degree bend. The City Engineer shall ensure that the Acoustical Analysis Report identifies any requirements for mechanical ventilation for individual onsite residential units. (I-7 and I-10)</li> </ul>	X			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<b>Comments:</b> <i>Per project EIR noise study</i>				
24.2.8 The Plan requires that all prospective owners and occupants of residential units be formally notified prior to purchase, lease, or rental, that certain units (without windows and doors closed), and outdoor areas could be subject to noise levels above City standards for residential uses. Such notification shall be in language approved by the City Planning Department, and shall be formalized in written Covenants, Conditions, and Restrictions (CC&Rs) recorded on the title of each residential lot in the project. In addition, each advertisement, solicitation, and sales brochure or other literature regarding the project shall contain the approved notification language. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per Project EIR recommended mitigation measures.</i>				
24.2.9 The Plan limits construction in the Sphere of Influence to the hours of 7:00 AM to 7:00 PM Monday through Saturday, and prohibited on Sundays and Federal holidays. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per City noise ordinance</i>				
24.2.10 The Plan requires all project construction vehicles or equipment, fixed or mobile, be equipped with properly operating and maintained muffler. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per City noise ordinance</i>				
24.2.11 The Plan requires that stockpiling and/or vehicle staging areas be located as far as practical from existing residential units on and off the project site. (I-7 and I-10)	X			
<b>Comments:</b> <i>Per City requirements</i>				
24.2.12 The Plan requires to, whenever feasible, schedule the noisiest construction operations to occur together to avoid continuing periods of the greatest annoyance. (I-7 and I-10)	X			
<b>25.1 Air Quality</b>				

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<p>25.1.1 Continue to enforce the following:</p> <ul style="list-style-type: none"> <li>• During all construction activities, construction contractors shall use low emission mobile construction equipment where feasible to reduce the release of undesirable emissions.</li> <li>• During all construction activities, construction contractors shall encourage rideshare and transit programs for project construction personnel to reduce automobile emission.</li> <li>• During all grading and site disturbance activities, construction contractors shall water active sites at least twice a day, and clean construction equipment in the morning and/or evening to reduce particulate emissions and fugitive dust.</li> <li>• During all construction activities, construction contractors shall, as necessary, wash truck tires leaving the site to reduce the amount of particulate matter transferred to paved streets as required by SCAQMD Rule 403.</li> <li>• During all construction activities, construction contractors shall sweep on and offsite streets if silt is carried to adjacent public thoroughfares, as determined by the City Engineer to reduce the amount of particulate matter on public streets.</li> <li>• During all construction activities, construction contractors shall limit traffic speeds on all unpaved road surfaces to 15 miles per hour or less to reduce fugitive dust.</li> <li>• During grading and all site disturbance activities, at the discretion of the City Planner, construction contractors shall suspend grading operations during first and second stage smog alerts to reduce fugitive dust.</li> <li>• During grading and all site disturbance activities, at the discretion of the City Planner, construction contractors shall suspend all grading operations when wind speeds (including instantaneous gusts) exceed 25 miles per hour to reduce fugitive dust.</li> <li>• During all construction activities, the construction contractors shall maintain construction equipment engines by keeping them tuned.</li> </ul>	<p>X</p>			

# Appendix I • General Plan Consistency

Policy	Fully Complies	Partially Complies	S.P Sec. No.	N/A
<ul style="list-style-type: none"> <li>• During all construction activities, the construction contractors shall use low sulfur fuel for stationary construction equipment as required by AQMD Rules 431.1 and 431.2 to reduce the release of undesirable emissions.</li> <li>• During all construction activities, the construction contractors shall use existing onsite electrical power sources to the maximum extent practicable. Where such power is not available, the Contractor shall use clean fuel generators during the early stages of construction to minimize or eliminate the use of portable generators and reduce the release of undesirable emissions.</li> <li>• During all construction activities, the construction contractors shall use low emission, on site stationary equipment (e.g., clean fuels) to the maximum extent practicable to reduce emissions, as determined by the City Engineer.</li> <li>• During all construction activities, the construction contractors, in conjunction with the City Engineer, shall locate construction parking to minimize traffic interference on local roads.</li> <li>• During all construction activities, the construction contractors shall ensure that all trucks hauling dirt, sand, soil, or other loose materials are covered or should maintain at least two feet of freeboard (i.e., minimum vertical distance between top of the load and the top of the trailer) in accordance with the requirements of the California Vehicle Code Section 23114 to reduce spilling of material on area roads. (I-14)</li> </ul>				
<p><b>Comments:</b> <i>To be included in project mitigations and/or conditions of approval on the tentative tract maps</i></p>				