
1.0 Introduction

1.1 Purpose of the Specific Plan

This Specific Plan document assures the systematic implementation of the goals and policies contained in the Ontario General Plan. In addition, it provides a framework outlining the logical and comprehensive development of the subject property governed by the Specific Plan. Land use designations, development standards and design guidelines contained within this document shall govern all territory known as the Toyota/Ontario Business Park (T/OPB) project and all previous specific plans that may have governed the subject property are superseded.

The Specific Plan contains development standards for various classifications of land use within the project site expressed in both text and graphic formats. In addition to land use, major components of the plan include transportation and circulation, streetscape and landscape guidelines, infrastructure, and public services.

1.2 Project Location

The T /OBP project includes approximately 94 acres of land located south of Jurupa Street, east of Milliken Avenue, west of the Ontario (1-15) Freeway and north of Francis Street and a Southern California Edison (SCE) easement in Ontario, California.

Exhibit 1 shows the regional location of the project in relation to surrounding communities and **Exhibit 2** depicts the local context of the project site.

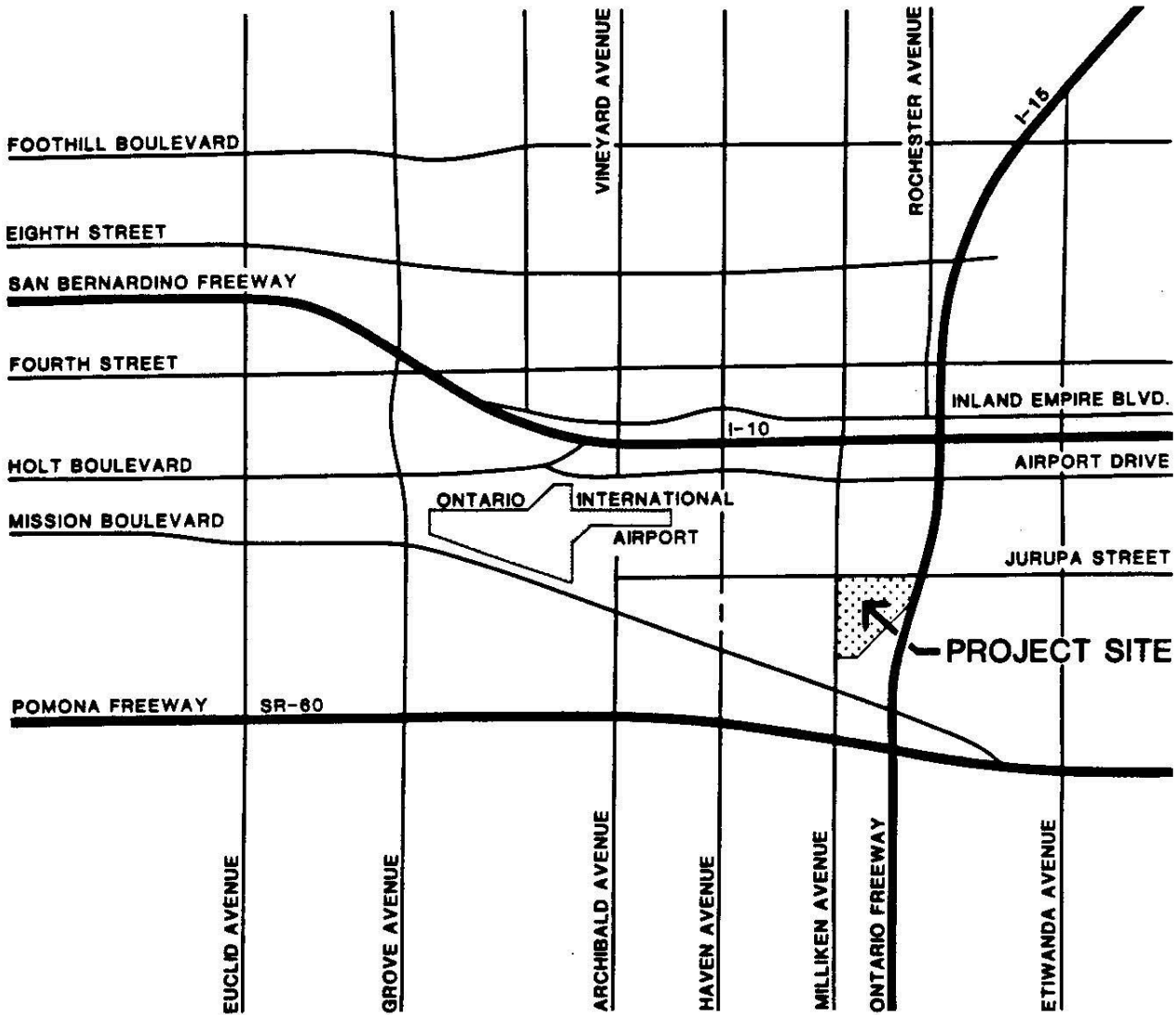
The project is centrally located within Southern California, approximately 40 miles east of downtown Los Angeles, 20 miles east of downtown San Bernardino and 30 miles northeast of Orange County.

1.3 Project Site Conditions

The project site consists of approximately 94 acres of land within eastern Ontario. The site is generally rectangular in shape with a triangular cutoff to the southeast to accommodate an existing SCE easement for high-voltage transmission lines. Topographically, the site has a distinct slope to the southeast, with a total "fall" of approximately thirty to thirty-five feet over the run of the site.

Existing site uses include a City of Ontario water well facility near the intersection of Jurupa Street and Milliken Avenue and a small number of mature trees (fewer than a dozen) just north of Francis Street.

A legal description of the site is found in the Appendix of this Specific Plan.

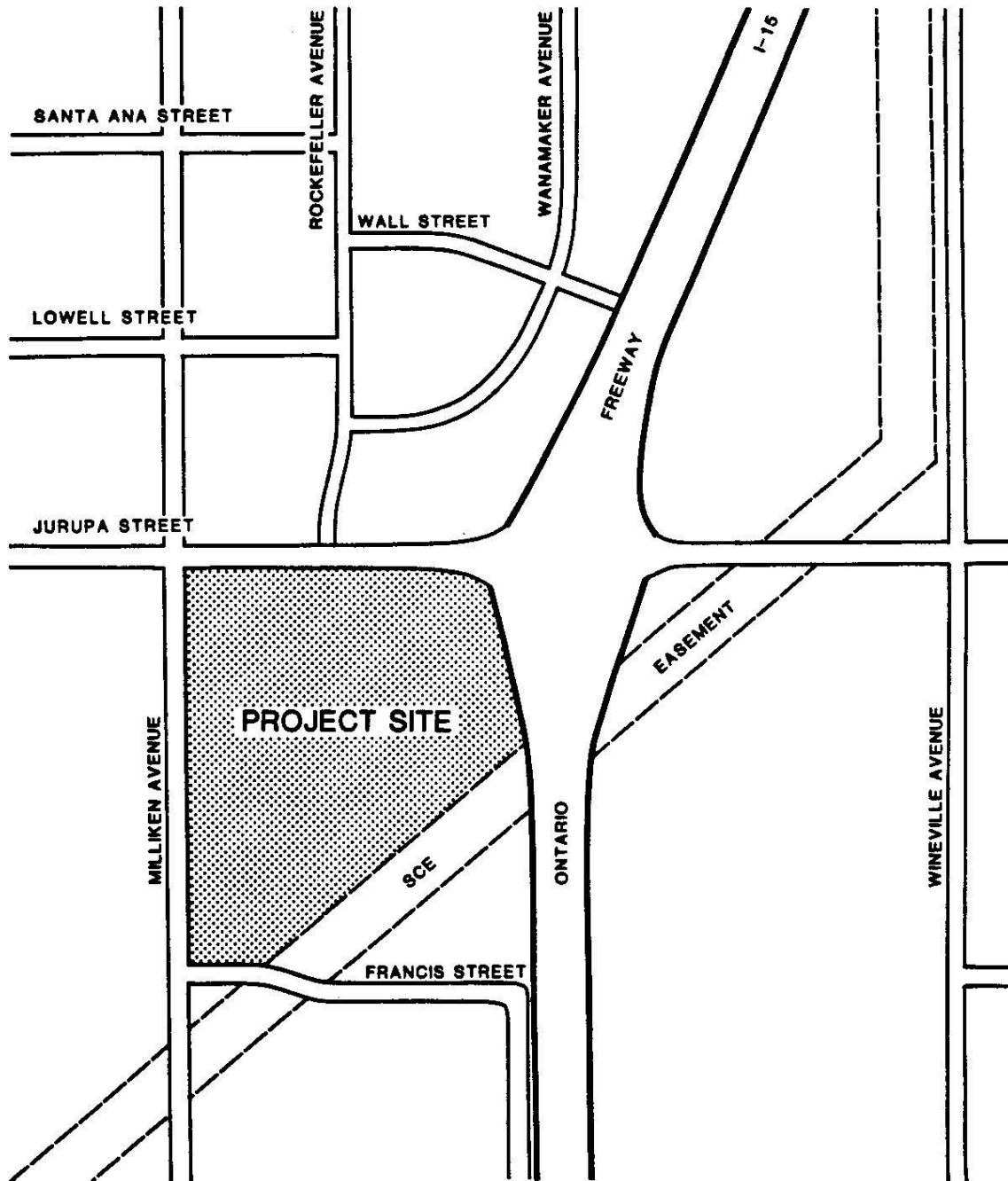


No Scale



Exhibit 1
Regional Location





1.4 Authority for Specific Plans

Ordinance No. 2124, adopted by the Ontario City Council on March 16, 1981, allows for the creation, adoption and implementation of Specific Plans in the City. Specific Plans are governed by Section 65450 et. seq. of the California Government Code.

1.5 Relationship to the Ontario General Plan, Municipal Code, and Related Policies

Development standards or land use regulations not specifically addressed in this document shall be governed by appropriate City codes and standards. Unless otherwise noted in the Specific Plan, all off-site improvements are subject to City of Ontario policies, standards and specifications in effect at the time of submittal of improvement plans.

1.6 Severability

If any term, provision, condition or requirement of this Specific Plan shall be held invalid or unenforceable, the remainder of the Specific Plan or the application of such term, provision, condition, or requirement to circumstances other than those in which it was held invalid or unenforceable shall not be affected thereby; and each term, provision, condition or requirement of the Specific Plan shall be valid and unenforceable to the fullest extent permitted by law.

1.7 Specific Plan Organization

The Specific Plan is organized as follows:

- The *Introduction* section provides background information regarding the opportunities and objectives of the Plan as well as describing the purpose;
- *Project Characteristics* and *Objectives* describe the scope and intent of the project;
- The *Development Program* section describes the manner in which the site is to be developed and includes a land use concept plan, a streetscape and landscape plan, a circulation and transportation plan, a transportation demand management plan, a grading concept, a plan to provide infrastructure, public services and community facilities;
- A set of *comprehensive Design Guidelines* to provide direction relative to architectural treatment of buildings and ancillary structures on the project site;
- *Development Standards*, which establish minimum site development requirements, including permitted land uses, setbacks, building heights and related topics;
- *Specific Plan Administration*, which describe the manner in which the Plan will be implemented and, if necessary, amended to reflect changing conditions.