

## 5. DESIGN GUIDELINES

This chapter identifies conceptual themes for site planning, architecture, and landscape design within the Euclid Mixed-Use Specific Plan area. The guidelines are intended to ensure a cohesive and attractive development that meets the following objectives:

1. Demonstrates high quality development that complements and integrates into the community and adds value to the City.
2. Creates a functional and sustainable place that ensures the Euclid Mixed-Use Specific Plan area is competitive regionally and appropriate in the Ontario Ranch community.
3. Illustrates the distinctive characteristics of the two land use plan zones - Business Park and Mixed-Use.
4. Establishes criteria for building design and materials, landscape design, and site design that provide guidance to developers, builders, architects, landscape architects, and other professionals preparing plans for construction.
5. Provides guidance to City staff and the Planning Commission in the review and evaluation of future development projects in the Euclid Mixed-Use Specific Plan area.
6. Incorporates construction and landscape design standards that promote energy and water conservation strategies.
7. Implements the goals and policies of The Ontario Plan and the intent of the Ontario Development Code.

### 5.1 General Design Guidelines

#### 5.1.1 Architectural Design

The architectural character within the Euclid Mixed-Use Specific Plan is intended to reinforce the rich architectural diversity of the City Of Ontario while providing a cohesive aesthetic treatment for the varied anticipated uses and building types including one and two story business park buildings, neighborhood commercial and retail buildings, low-rise office buildings and two and three story, high density, attached residential buildings. The architectural design and features shall consider the following design objectives:

1. Create a palette of architectural styles and design criteria to encourage a cohesive community character within the Specific Plan area while promoting a variety of traditional and timeless architectural expressions.
2. Utilize high quality and sustainable materials on building exteriors to reduce maintenance and ensure a long lasting attractive appearance.
3. Orient buildings along perimeter roadways with front building elevations, front entries and enhanced materials defining the character of development.
4. Buildings within the Business Park district shall be in a scale and proportion that minimizes the visual impact of buildings fronting along Euclid Avenue.

5. Commercial and Office buildings design should emphasize building entries utilizing focal elements such as towers, trellises, architectural detailing, etc. and enhanced building treatments or materials. Service areas should be oriented away from public spaces and/or screened from off-site views.
6. Residential buildings should be designed with enhanced architectural treatments/features on all visible elevations. Utility features should be oriented along internal private drives and screened with landscaping wherever possible.

These guidelines will further serve to implement the objectives, policies and principles of the City's TOP by drawing upon the rich architectural diversity, quality and history of Ontario's established neighborhoods. Business Park Guidelines are included in Section 5.2, Regional Commercial/Mixed-Use Design Guidelines in Section 5.3 and High Density Residential Design Guidelines in Section 5.4.



### 5.1.2 Landscape Design

The overall landscape treatment within the Specific Plan is intended to provide a unifying element and to establish a unique setting for future development. Landscape designs shall consider the following design objectives:

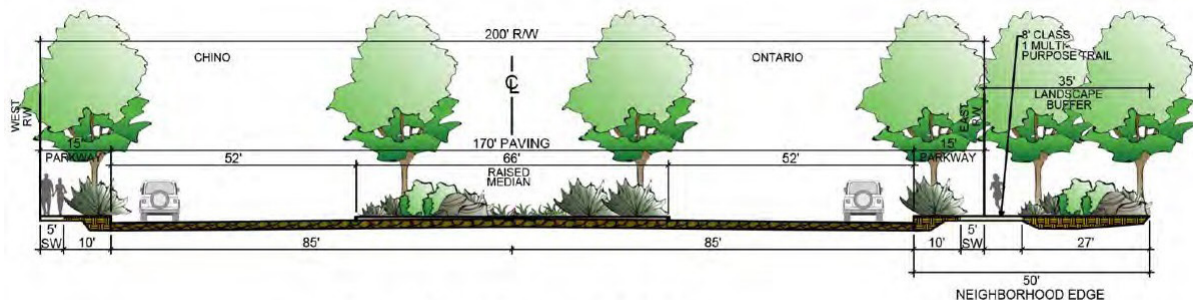
1. Incorporate Neighborhood Edge planting along Euclid Avenue and Edison Avenue to provide the general landscape framework and establish a sense of place for the varied land uses.
2. Utilize a hierarchy of monumentation signage and focal planting to define the Specific Plan area at primary intersection locations.
3. Develop a palette of appropriate street trees to be used along internal public streets, private drives and parking areas within the Mixed-Use area of the Specific Plan.
4. Open parking areas should be screened from perimeter streets. Parking areas shall be screened using evergreen shrubs, low walls or berms or a combination of screening methods.
5. Vehicle storage areas shall be screened with decorative walls. Screen walls to be softened with vertical evergreen shrubs and/or trees.

### 5.1.3 Streetscapes

Streetscape design creates an aesthetically pleasing view for pedestrians and motorists, screens parking and loading areas from the public right-of-way, and integrates the development into the surrounding community. The streetscape designs presented are conceptual only; final grading, plantings, and tree locations will be determined on a project-by-project basis.

#### 5.1.3.1 Euclid Avenue Streetscape

Euclid Avenue features a wide raised landscaped median planted with trees, a 15 ft. wide parkway and a 35 ft. wide landscape setback. The parkway will include a 10 ft. wide curb-adjacent landscape strip generally planted with trees and groundcover and a 5 ft. wide sidewalk. Tree species along the perimeter of Euclid Avenue will include *Grevillea robusta* in the parkway, *Cedrus deodara* groups behind the sidewalk alternating with a double row of *Quercus agrifolia* with *Schinus molle* intermixed as accents in appropriate locations in the median. Combined, the parkway and landscape setback create a 50 ft. “Neighborhood Edge” as established in the Ontario Ranch Streetscape Master Plan, which is intended to provide a buffer at the Specific Plan boundary as well as a pleasing visual statement along the major City thorough (Figure 5.1).



EUCLID AVENUE (200' ROW)

**FIGURE 5.1 EUCLID AVENUE STREETSCAPE**



### 5.1.3.2 Edison Avenue Streetscape

The typical Edison Avenue section will feature an 8 ft. multipurpose trail, 15 ft. wide parkway and 23 ft. wide landscape setback. The parkway will include a 10 ft. wide curb-adjacent landscape strip and a 5 ft. wide sidewalk. Tree species along Edison Avenue will include *Quercus agrifolia* in the parkway with clusters of *Lagerstroemia i. 'Natchez'* and *Pinus eldarica* in the neighborhood edge along the south and north side. The median includes *Pinus eldarica* with clusters of *Lagerstroemia i. 'Natchez'*. The parkway and landscape setback will combine to form the 38 ft. Neighborhood Edge buffer (**Figure 5.2**).

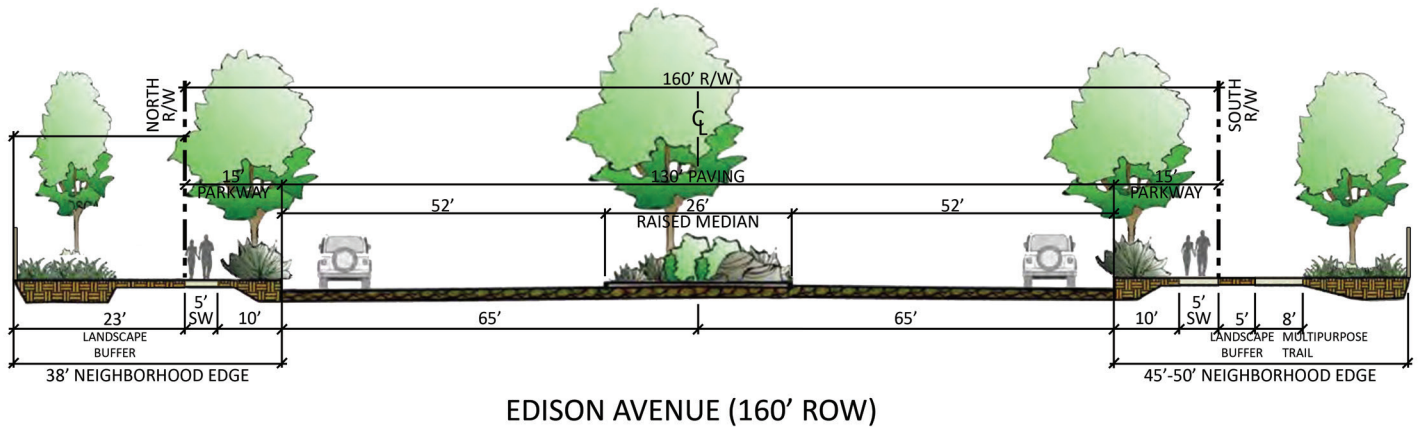


FIGURE 5.2 EDISON AVENUE STREETScape

### 5.1.3.3 Schaefer Avenue Streetscape

The typical Schaefer Avenue section will feature a 12 ft. wide parkway and 23 ft. wide landscape setback to create a 35 ft. Neighborhood Edge. The parkway will include a 7 ft. wide curb-adjacent landscape strip generally planted with trees and groundcover and a 5 ft. wide sidewalk. Tree species along Schaefer Avenue will include *Pistacia chinensis* trees in the parkway and *Pistacia chinensis* with clusters of *Tristanopsis laurina* in the neighborhood edge. The Neighborhood Edge creates a buffer along the Specific Plan boundary as well as a visual statement (**Figure 5.3**).

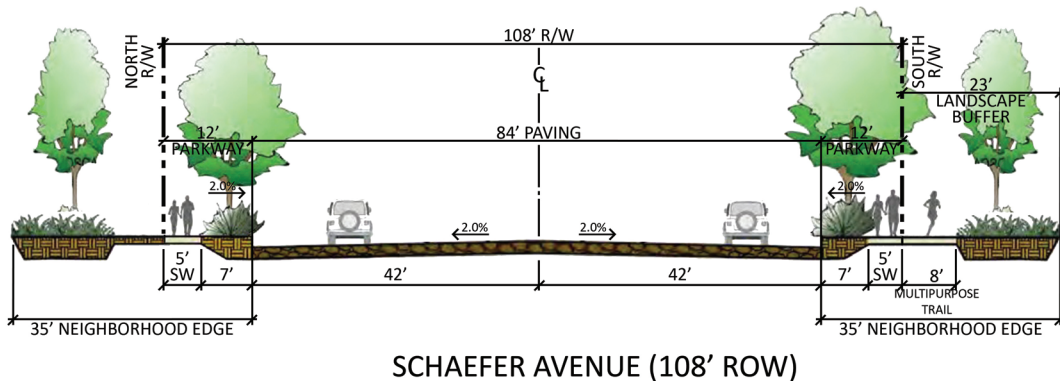
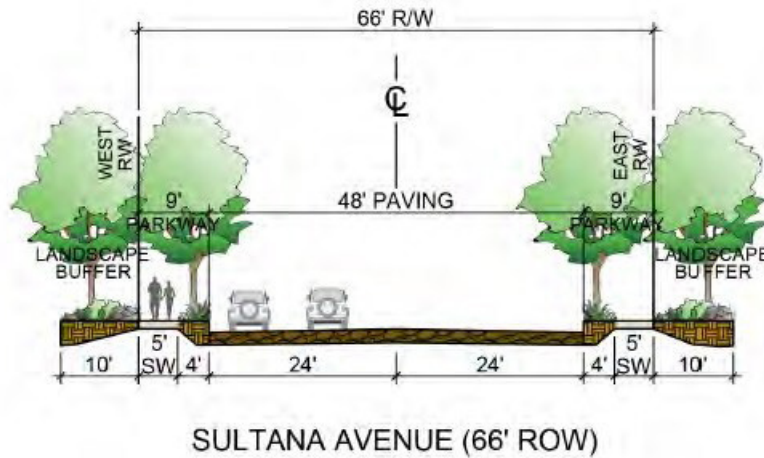


FIGURE 5.3 SCHAEFER AVENUE STREETScape



### 5.1.3.4 Sultana Avenue Streetscape

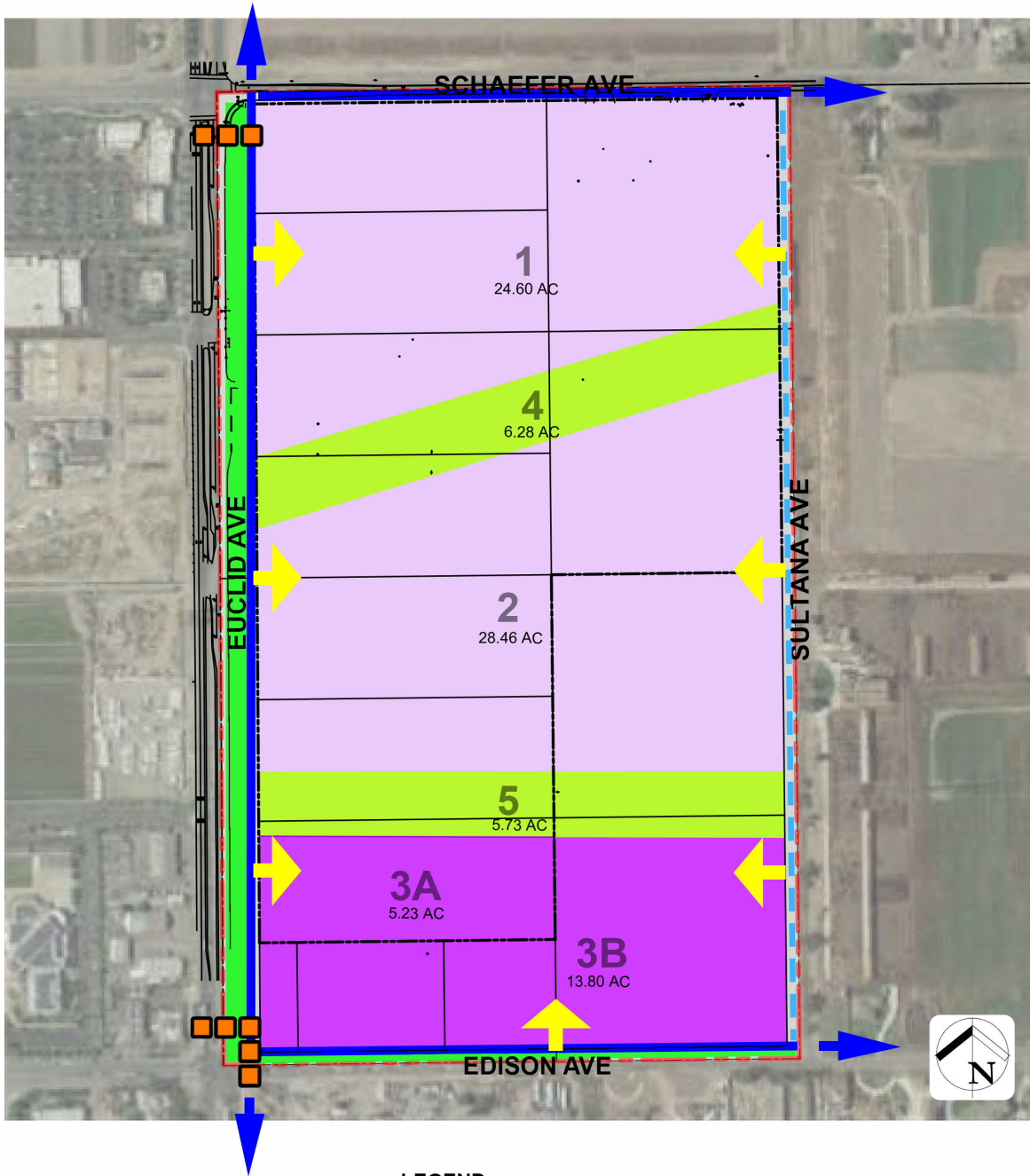
The typical Sultana Avenue section will feature a 9 ft. wide parkway and 10 ft. wide landscape set-back. The parkway will include a 4 ft. wide curb-adjacent landscape strip and a 5 ft. wide sidewalk. Tree species along Sultana Avenue will include Koelreuteria paniculata and behind the sidewalk will include Quercus ilex (*Figure 5.4*).








**FIGURE 5.4 SULTANA AVENUE STREETScape**

### 5.1.3.5 Landscape Framework

A Landscape Framework has been developed to guide the overall character of the Euclid Mixed-Use Specific Plan from concept through implementation to ensure the intended planned design is fulfilled. The landscape treatment consist of several design elements including community arrival markers and gateway monumentation, perimeter landscaping and connections within the neighborhood edges and landscape buffers and potential locations for harmonious district entries into individual land uses such as business parks, office parks, retail centers and residential neighborhoods. Refer to *Figure 5.5* Landscape Framework.



**LEGEND**

-  EUCLID GATEWAY / PRIMARY COMMUNITY ARRIVAL
-  SPECIFIC PLAN GATEWAY / SECONDARY COMMUNITY ARRIVAL
-  POTENTIAL DISTRICT / NEIGHBORHOOD ENTRY
-  LANDSCAPED NEIGHBORHOOD EDGE WITH MULTI PURPOSE TRAIL
-  SHADED SIDEWALK WITH 10' LANDSCAPE BUFFER

**FIGURE 5.5 LANDSCAPE FRAMEWORK**

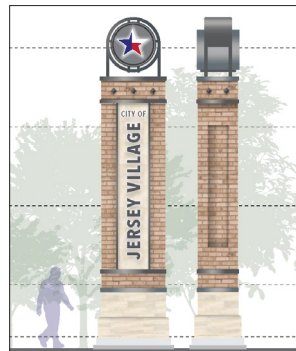
### 5.1.3.6 Euclid Gateway

The Euclid Mixed-Use Specific Plan's location along the City's most prominent avenue at the gateway to the primary arterial roadway through the Ontario Ranch will be celebrated with special "Gateway Monument" features.

The primary arrival monument is the Euclid Gateway with two tower features. The Euclid Gateway features will be located at the northeast corner of the intersection of Euclid Avenue and Edison Avenue.

The objectives of the Euclid Gateway are as follows:

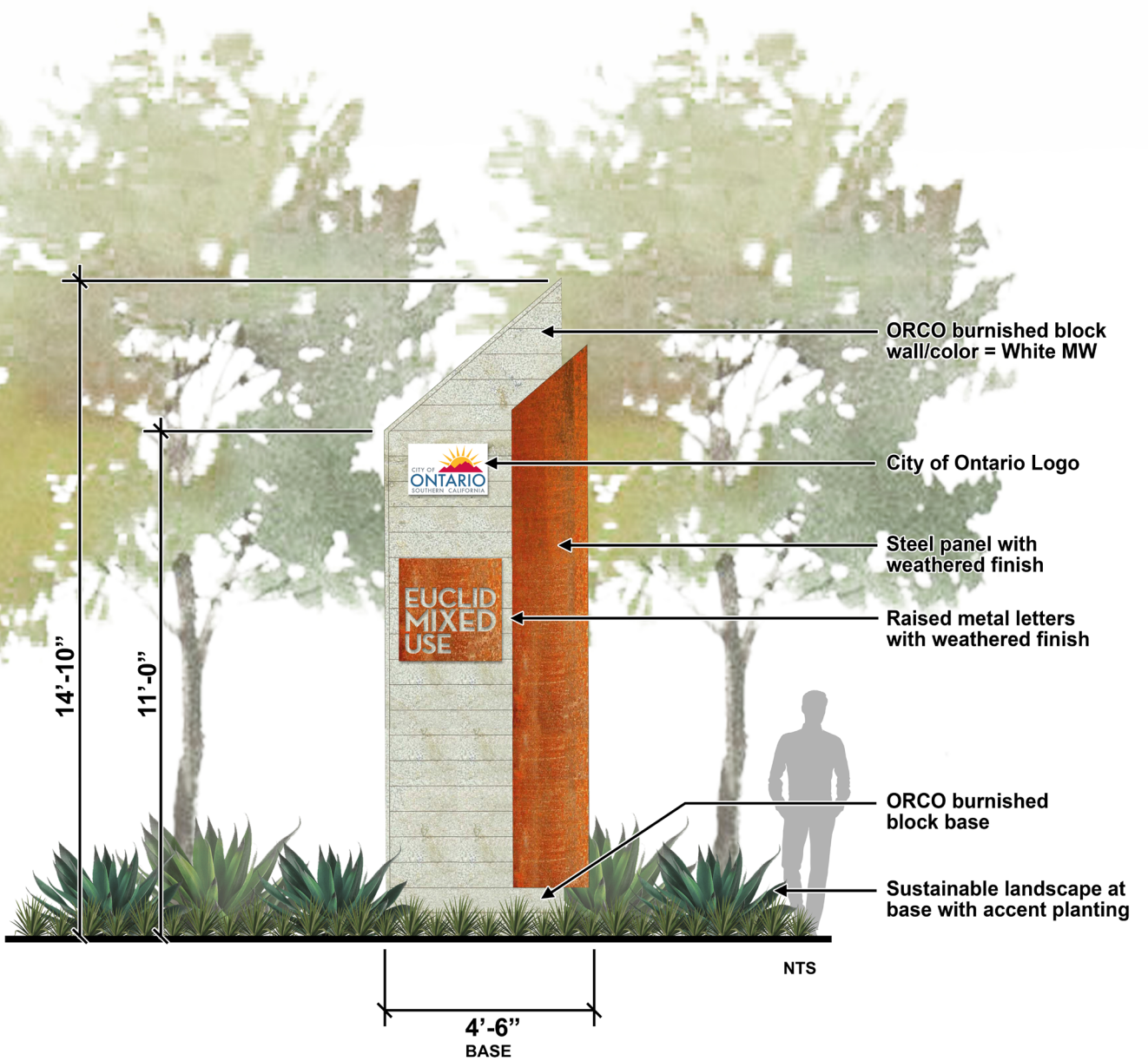
1. Create a distinctive architectural feature to establish a sense of arrival and a welcoming landmark to western gateway to The Ontario Ranch.
2. Identify the Specific Plan area as an example and quality standard for Mixed-Use and Business Park development within the City.
3. Utilize durable and lasting materials and a sustainable monument design reflecting the proposed architectural character of development within the Specific Plan area.
4. Incorporate a climate sensitive and water wise planting plan to soften and accentuate the monument feature to create a unique landscape aesthetic integrated into the City streetscape plant palette.



The Euclid Gateway monuments will reflect paired contemporary vertical block towers. The tower design will be capped with an angular top. The tower features a massive steel panel that mirrors the angular top of each gateway tower reinforcing the impressive scale and rich color of the signage. The overall height of the tower will be 14+ ft. to optimize its visibility and to allow for the inclusion of the City of Ontario logo near the top of the tower.

The landscape treatment around the Gateway monuments will consist of low growing plant species to accentuate the vertical form of the towers. Drought tolerant plant material will be utilized to create a layered landscape base. Plants that reinforce the architectural character of the Gateway such as native grasses, Agaves and other larger succulents and colorful xeriscape plants will provide a sustainable focal landscape treatment. Vertical planting around the Euclid Gateway monuments will be avoided, allowing for the towers to be set against the backdrop of the master planned streetscape trees within the neighborhood edges of Euclid Avenue and Edison Avenue. Refer to **Figure 5.6** Euclid Gateway Concept.

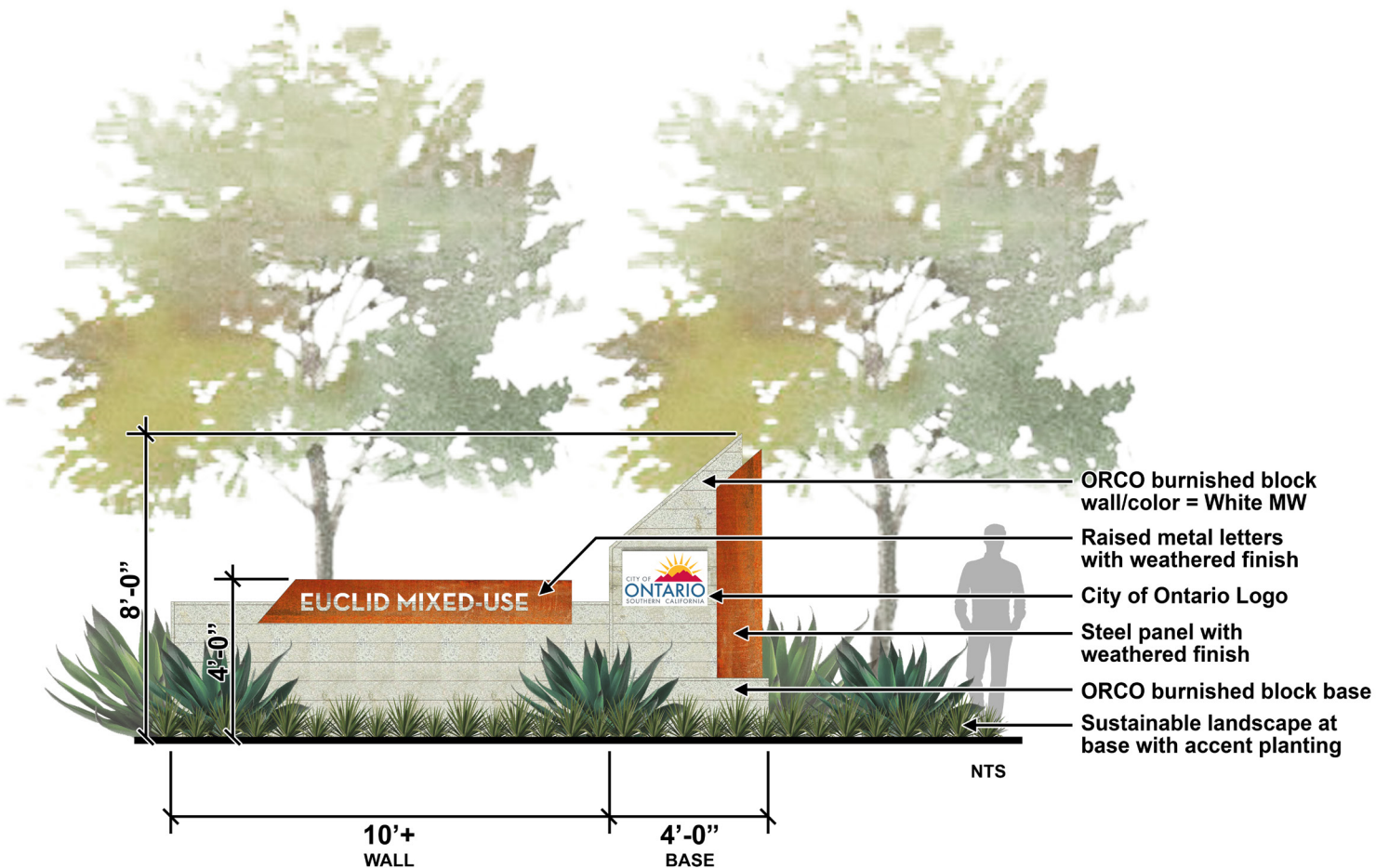




**FIGURE 5.6 EUCLID GATEWAY CONCEPT**

### 5.1.3.7 Specific Plan Gateway

A secondary arrival monument is located near the southeast corner of the intersection of Euclid Avenue and Schaefer Avenue within the 50 ft. wide neighborhood edge at the north end of the Business Park District. This Specific Plan Gateway is smaller in scale and reflects a horizontal proportion that is compatible with the architectural form and character of the future Business Park development. Refer to **Figure 5.7** Specific Plan Gateway Concept.



**FIGURE 5.7** SPECIFIC PLAN GATEWAY CONCEPT

## 5.1.4 Plant Palette

The Plant Palette shown in **Table 5.1** establishes a base palette for the Specific Plan area and includes a variety of groundcovers, shrubs, ornamental grasses, and evergreen and deciduous trees. The selection complements the design theme of the Euclid Mixed-Use Specific Plan area and features water-efficient, drought-tolerant species native to the region. Similar plant materials may be substituted for the species listed in **Table 5.1** if the alternative plants are climate appropriate and enhance the thematic setting.

**TABLE 5.1 PLANT PALETTE**

BOTANICAL NAME	COMMON NAME	USE
<i>Chilopsis linearis</i>	Desert Willow	Tree
<i>Chitalpa tashkentensis</i>	Chitalpa	Tree
<i>Cinnamomum camphora</i>	Camphor Tree	Tree
<i>Cupressus sempervirens</i>	Italian Cypress	Tree
<i>Heteromeles arbutifolia</i>	Toyon	Tree
<i>Juniperus</i> s. 'Skyrocket'	Skyrocket Juniper	Tree
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	Tree
<i>Lagerstroemia</i> i 'Muskogee'	Crape Myrtle	Tree
<i>Olea europaea</i>	Olive	Tree
<i>Pinus canariensis</i>	Canary Island Pine	Tree
<i>Pinus eldarica</i>	Afghan Pine	Tree
<i>Pistacia chinensis</i>	Chinese Pistache	Tree
<i>Platanus acerifolia</i>	London Plane	Tree
<i>Platanus racemosa</i>	California Sycamore	Tree
<i>Quercus agrifolia</i>	Coast Live Oak	Tree
<i>Schinus molle</i>	California Pepper	Tree
<i>Tristania conferta</i>	Brisbane Box	Tree
<i>Washingtonia filifera</i>	California Fan Palm	Tree
<i>Phoenix dactylifera</i>	Date Palm	Tree
<i>Acca sellowiana</i>	Pineapple Guava	Shrub
<i>Buxus</i> j. 'Green Beauty'	Japanese Boxwood	Hedge
<i>Callistemon</i> 'Little John'	Dwarf Bottle Brush	Shrub
<i>Carissa macrocarpa</i> 'Tuttle'	Natal Plum	Shrub
<i>Cistus</i> 'Sunset Pink'	Sunset Pink Rockrose	Shrub
<i>Dianella</i> 'Little Rev'	Dwarf Dianella	Shrub
<i>Dianella tasmanica</i>	Dianella	Shrub
<i>Dodonaea viscosa</i> 'Purpurea'	Hopseed Bush	Shrub
<i>Eleagnus pungens</i>	Silverberry	Shrub
<i>Leucophyllum</i> f. 'Green Cloud'	Texas Ranger	Shrub
<i>Ligustrum</i> j. <i>texanum</i>	Texas Privet	Shrub
<i>Pittosporum tobira</i> 'Variegata'	Variegated Mock Orange	Hedge



<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>USE</b>
Pittosporum t. 'Wheeleri'	Wheeler's Dwarf	Shrub
Rhaphiolepis i. 'Clara'	Indian Hawthorn	Hedge
Rhaphiolepis i. 'Springtime'	Indian Hawthorn	Hedge
Rhamnus californica	Coffeeberry	Shrub
Rhamnus c. 'Mound San Bruno'	Dwarf Coffeeberry	Shrub
Rosmarinus o. 'Tuscan Blue'	Rosemary	Shrub
Salvia c. 'Allen Chickering'	Allen Chickering Sage	Shrub
Salvia greggii	Autumn Sage	Shrub
Salvia leucantha	Mexican Sage	Shrub
Westringia fruticosa	Coast Rosemary	Shrub
Xylosma congestum	Shiny Xylosma	Hedge
Agave 'Blue Flame'	Blue Flame Agave	Accent
Aloe maculata	Soap Aloe	Accent
Aloe petricola	Stone Aloe	Accent
Aloe polyphylla	Spiral Aloe	Accent
Aloe striata	Coral Aloe	Accent
Echeveria 'Ruffles'	Ruffles Echeveria	Accent
Hesperaloe parviflora	Red Yucca	Accent
Acacia redolens 'Low Boy'	Dwarf Acacia	Groundcover
Baccharis p. 'Pigeon Point'	Dwarf Coyote Bush	Groundcover
Baccharis p. 'Centenial'	Coyote Bush	Groundcover
Carex pansa	California Meadow Sedge	Grass
Carex tumulicola	Foothill Sedge	Grass
Festuca mairei	Altas Fescue	Grass
Festuca o. 'Glauca'	Blue Fescue	Grass
Lonicera j. 'Halliana'	Hall's Honeysuckle	Groundcover
Muhlenbergia capillaris	Pink Muhly	Grass
Myoporum parvifolium	Myoporum	Groundcover
Rosa 'Flower Carpet' - Red	Red Flower Carpet Rose	Groundcover
Rosmarinus o. 'Huntington Carpet'	Prostrate Rosemary	Groundcover
Salvia 'Bee's Bliss'	Bee's Bliss Sage	Groundcover
Senecio mandraliscae	Blue Fingers	Groundcover
Sesleria autumnali	Moor Gras	Grass
Trachelospermum jasminode	Star Jasmin	Groundcover
Distictus buccinatoria	Blood-red Trumpet Vine	Vine

## 5.2 Business Park Guidelines

The following Design Guidelines have been developed to ensure a quality-cohesive design structure for Business Park development in the Euclid Mixed-Use Specific Plan. They will provide the City with the necessary assurances that the Specific Plan will develop in accordance with the appropriate design quality and character.

The design guidelines are intended to be flexible and illustrative in nature, with the capability of responding to unanticipated conditions, the market and design trends, while maintaining the following overall objectives:

1. To secure the long-term vitality of The Ontario Plan by implementing its objectives, policies and principles.
2. To provide the City with the necessary assurances that the Specific Plan area will develop in accordance with the design quality and character proposed herein.
3. To serve as design criteria for developers, builders, engineers, architects, landscape architects and other professionals in preparing plans for construction.
4. To lend guidance to the City staff, Planning Commission and City Council in the review and evaluation of future development projects in the Specific Plan area.
5. To provide for the development of Business Park uses which utilize the site's prime location to Ontario Airport.
6. To create a high quality Business Park development that attracts an array of businesses and provides employment opportunities to area residents.
7. To provide Business Park uses within the project boundaries which are compatible with surrounding uses.

### 5.2.1 Architectural Design

The building design, materials, colors, and textures establish its theme and character. Architecture shall be compatible and complementary with other buildings within the Specific Plan area; however, design diversity is encouraged to provide visual interest. Although development within Planning Area 1 and Planning Area 2 differ in building height and scale, similar design concepts apply as follows:

#### 5.2.1.1 General Architectural Guidelines:

1. Ensure scale, massing, fenestration, materials, and colors are consistent with the building's architectural style and compatible with the overall design in the Specific Plan area.
2. Avoid blank walls by providing articulation on building elevations visible from a public right-of-way through elements such as cornices, parapets, expression lines, and changes in materials and/or colors.
3. Provide the greatest level of articulation on the front facades that are visible from the public rights-of-way and at the main entrances.
4. Design entry features as a significant aspect of a building's overall composition through massing, detailing, architectural treatments, and/or special materials and colors.
5. Employ recessed or covered building entrances to provide shade and visual relief.

6. Design office buildings, business parks, and office areas of warehouse buildings with an emphasis on the use of windows, architectural details, and building articulation.
7. Integrate the design of warehouse office areas into the overall building composition so they create powerful architectural statements and not visually disjointed “add-ons.”
8. Employ a minimum of four different colors, materials, and/or textures on each building.
9. Avoid terminating a change in material or color at a building edge; instead, select a logical termination point in relation to the architectural features or massing.
10. Paint exposed downspouts, service doors, and mechanical screens the same color as the adjacent wall. Exposed downspouts are not permitted on elevations that front onto a street.

### 5.2.1.2 Site Design

Business Park developments in the Euclid Mixed-Use Specific Plan will allow for employment opportunities to be created for the City of Ontario and surrounding region. Residents of Ontario Ranch will have the ability to access employment not only by automobile but also via pedestrian multi-purpose trails along surrounding arterial streets.

Business Park uses should implement appropriate site planning, architectural and landscape design techniques to be complimentary to the adjacent land uses.

Site design should facilitate the intended functions of developed and open space areas and provide for appropriate interactions between buildings, activity areas, vehicular access, parking, pedestrian paths and bicycle travel.





### 5.2.1.3 Building Orientation

Buildings within the Business Park area shall be designed to establish an attractive street character along the Specific Plan.

1. Provide a well-organized site plan that emphasizes pedestrian connectivity and attractive landscape areas for the public through the location and arrangement of buildings, circulation, and parking areas.
2. Buildings should be oriented to provide for an aesthetically pleasing streetscape edge along publicly visible edges including Euclid Avenue and Schaefer Avenue.
3. Building sides which are oriented to visible edges should provide more architectural detail and interest such as color blocking, material changes, windows, building wall offsets, pop-outs and architectural accent features to avoid long expanses of monotonous, blank, untreated walls.
4. Orient buildings towards street frontages to create an inviting public perimeter. Enhanced elevations shall be provided for buildings that front Euclid Avenue and Schaefer Avenue.



5. Provide visible pedestrian access to buildings from the street, parking areas, and perimeter sidewalks through signage, prominent architectural features, and landscape design.
6. Locate loading and storage areas away from streets when feasible, ensure adequate space for vehicle backing and maneuvering on-site, and provide adequate parking for loading vehicles so normal traffic flow is not impeded.
7. Orient and screen elements such as trash enclosures, loading bay doors, and service docks to minimize their visibility.
8. Locate service entrance to prevent conflict with front entry.
9. Place electrical rooms and transformers away from front entries and street views.



## 5.2.2 Landscape Design

Conceptual landscape plans encourage durable landscape materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits. The following guidelines ensure that landscaping plans within the Specific Plan area will comply with City of Ontario Landscape Development Guidelines.

### 5.2.2.1 General Landscape Guidelines:

1. Landscape and irrigate all areas of the site not covered by buildings, structures, paving, or impervious surfaces.
2. Design and grade projects to direct storm runoff from building roofs and paved areas into swaled landscape areas for retention/infiltration. Landscape areas may be used for storm water basins and swales at no greater than 40 percent of the available landscape area and may not obstruct the mature root zone of required tree locations.
3. Provide shade for expanses of paving, except with the SCE easement areas, with irrigated shade trees located in appropriate areas where space permits to reduce the impacts of heat gain.
4. Design parking lot landscaping to reduce associated heat buildup, improve aesthetics, and integrate with on-site landscape and adjacent streetscape.
5. Use landscaping to aid in the screening and buffering of mechanical equipment, trash collection areas, loading docks and outside storage areas from public view.
6. Show utilities on plan and keep utilities clear of required tree locations. Coordinate with the landscape plans. Utilities such as backflow devices and transformers shall be screened using landscaping that provides at least 75 percent coverage. Backflow devices and transformers shall be located at least 5 ft. from hardscape to ensure space for landscape screening.
7. Prepare landscape plans that meet the requirements of the Landscape Development Guidelines and provide for the efficient use of water. Plants shall be selected and planted based upon their adaptability to the climate and topographical conditions of the project site.
8. Select drought-tolerant plants such as colorful shrubs and groundcovers, ornamental grasses and succulents, evergreen and deciduous trees, and species native to Southern California or naturalized to the arid Southern California climate.
9. Incorporate water conservation features in landscape and irrigation plans.
10. Place a landscape planter island every ten parking spaces single row and one for every five spaces double row. Planter islands shall be at least 5 ft. in width exclusive of curbs and the length of the abutting parking space. Planter islands shall include at least one tree on every four spaces, appropriate shrubs, and groundcover. Parking areas located within the SCE easement areas or behind screen walls shall not be subject to this provision.

### 5.2.2.2 Buffering and Screening

To alleviate the unsightly appearance of parking, loading and service areas, buffering and screening design features should be used to enhance the overall development. Any proposed entry gates shall be reviewed and approved by the City of Ontario Traffic and Transportation Division prior to installation.



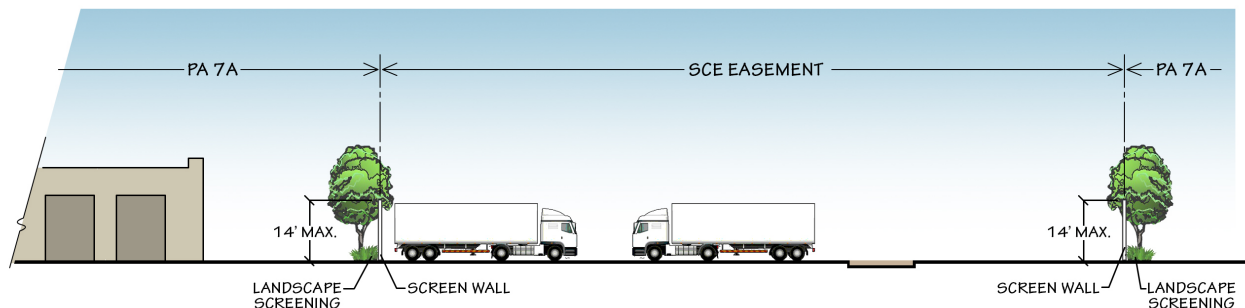
#### 5.2.2.2.1 Parking Lots

1. Buffer parking lots adjacent to and visible from public streets using a combination of architectural wing walls, buildings, decorative screen walls, evergreen hedges, and landscape buffers.
2. Use plants for screening that are a minimum of 3 ft. tall at the time of installation.



### 5.2.2.2.2 Loading and Service Areas (Truck Courts)

1. Screen loading docks and truck parking areas visible from Euclid Avenue, Eucalyptus Avenue, and Sultana Avenue. Screening may include portions of buildings and/or decorative walls. Landscaping and evergreen hedges shall be provided to soften screen walls.
2. Incorporate gated/screened entrances to loading areas into the overall architectural design of the development.
3. Design walls and fencing a minimum of 8 ft. high and a maximum of 14 ft. high, as measured from finished grade, to screen truck courts and hide views of the top of loading bays or trailers.
4. Utilize portions of a building, architectural wing walls, and/or landscaping to screen service areas.
5. Screen ground- and roof-mounted mechanical equipment from public view. Ground-mounted equipment shall be screened with decorative walls or landscaping. Building architecture shall be designed to screen roof-mounted equipment.
6. Ensure refuse containers are easily accessible by service vehicles yet screened from public view within the building's façade or within a walled enclosure.



### 5.2.2.3 Walls and Fences

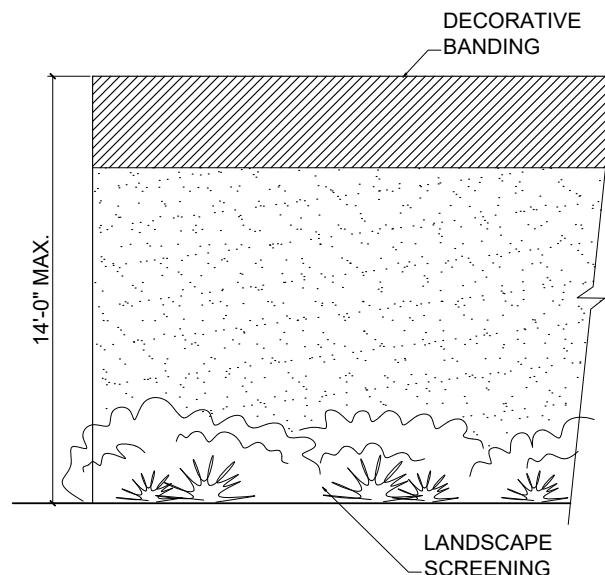
Walls and fences are an important design feature intended to both complement building and landscape architecture and provide functional elements. Any proposed entry gates shall be reviewed and approved by the City of Ontario Traffic and Transportation Division prior to installation and will be permitted only if approved.

Key provisions include:

1. Provide attractive, durable, and complementary wall and fencing materials consistent with the building design.
2. Offset and/or architecturally treat long expanses of wall surfaces along perimeter streets every 50 ft. with material changes, pilasters and posts, staggered walls, or landscape treatments to prevent visual monotony.
3. Soften the appearance of fencing with plants that reach the height of the wall or fence at maturity.
4. Construct sliding gates visible from a public street with tubular steel, vertical steel pickets, or high-density perforated metal screening painted to match or complement adjacent walls. Interior gates not visible to public view may be galvanized steel or chain link.
5. Prohibit chain link fencing visible to the public.

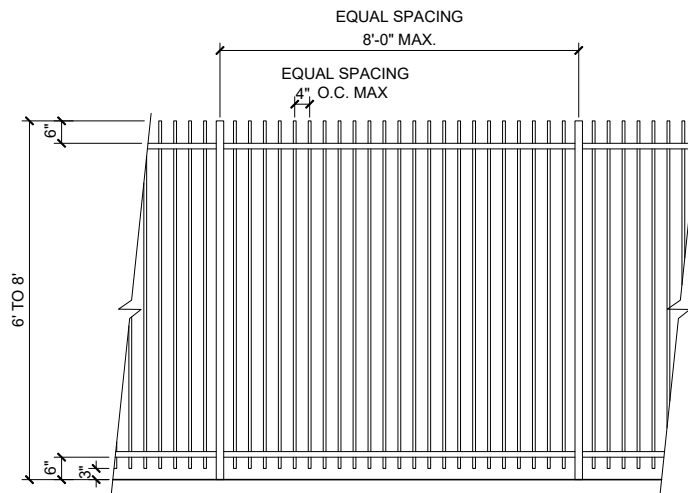
#### 5.2.2.3.1 Solid Walls

- a. Solid walls shall not exceed 14 ft. in height unless expressly required in a sound study conducted by a qualified acoustic engineer.
- b. Walls facing and/or viewed by the public spaces shall be decorative in nature. Approved materials include concrete tilt-up walls with a decorative banding or finish detailing, split face block or stucco.
- c. Walls along perimeter streets in excess of 50 ft. long shall include a decorative pilaster or horizontal plane break every 50 ft..
- d. Wall materials and colors shall match or be in harmony with adjacent buildings or architectural features.



### 5.2.2.3.2 Perimeter Fencing

- a. Perimeter fencing may be implemented along SCE easements, compatible land uses or where visual access is deemed appropriate.
- b. Perimeter fencing shall consist of 6 to 8 ft. high tubular steel or aluminum fencing with or without vertical pickets. The maximum height of fencing installed along the SCE Easements within the interior of the Specific Plan area may be increased to 14 ft. to provide additional site security.
- c. Perimeter fencing shall be black in color and appropriately treated to prevent rust. Alternative colors may be approved subject to approval by the Planning Director.



### 5.2.2.4 Lighting

Site lighting provides illumination for operations, safety, security, and ambiance in parking lots, loading dock areas, pedestrian walkways, building entrances, signage, and architectural and landscape features.

Key provisions include:

1. Choose lighting fixtures that complement the building architecture and promote consistency throughout the Planning Areas.
2. Install ground or low mounted fixtures to provide safety and convenience along pedestrian walkways, entrances, activity areas, steps, ramps, and special features.
3. Allow building-mounted accent lighting for general illumination, provided there is no light spill or distraction onto roadways or adjacent property. Plain shoebox or unshielded wall packs are not permitted.
4. Direct exterior lighting fixtures downward to avoid unnecessary light spill and glare.
5. Limit pole-mounted, building-mounted, or tree-mounted lighting fixtures to no more than 30 ft. in height to minimize light spill and glare.
6. Shield and direct pole-mounted lights away from public streets.
7. Ensure exterior lighting is consistent with the Chino Airport Land Use Compatibility Plan.
8. Design parking lot lighting to avoid placing fixtures in required tree locations.



### 5.2.2.5 Signage

Approval of a comprehensive sign program shall be required for development within the Specific Plan area. A sign program facilitates integration of signs with the overall site and building design to create a unified visual statement and provide for flexible application of sign regulations in the design and display of multiple signs.

Key provisions include:

1. Install an entry monument at the northeast corner of Euclid Avenue and Edison Avenue to identify the Ontario Ranch and the Euclid Mixed-Use Specific Plan areas. Entry monuments shall be designed in accordance with City of Ontario Traffic and Transportation Guidelines for monument placement.
2. Employ signage to identify a center and tenants within a center, direct vehicular traffic, and provide on-site way-finding for pedestrians.
3. Employ signage to give directions to loading and receiving, visitor parking, and other special uses.
4. Provide a unifying sign theme in developments with multiple users.
5. Coordinate signage with the building design, materials, color, size, and placement.
6. Select signage with backlit or internally illuminated individual channel letters. Can-type box signs with translucent backlit panels are discouraged.
7. Avoid covering significant architectural elements with signage.
8. Position flush-mounted signs with respect to architectural features and align with signs on other buildings to maintain a pattern.
9. Place street address signs perpendicular to approaching vehicular traffic.
10. Ensure signage located within a landscaped planter is not blocked or damaged by plant materials.
11. Conserve energy by utilizing an automatic illumination shut-off mechanism when businesses are closed.
12. Construct signs from high quality materials and avoid exposed wiring, ballasts, conduits, fasteners, raceways, or similar hardware.



### 5.3 Mixed-Use Commercial/Office Guidelines

Euclid Mixed-Use Specific Plan allows for Commercial and Office developments within Planning Areas 3A and 3B along Euclid Avenue and Edison Avenue. These areas combine for approximately 19 acres and will be designed to create a place for surrounding residents to have access to shopping and employment opportunities nearby. Surrounding residents will have the ability to access services by foot, or ride their bicycles to work via pedestrian trails connecting the community to the overall Ontario Ranch and the rest of the City of Ontario.

The location of PA 3A and 3B along Euclid creates the opportunity for a major gateway monument. This gateway will provide a sense of place for the Euclid Mixed-Use area and will establish a cohesive development design character defining the western City boundary. In order to maintain an overall character of Euclid Mixed-Use area, combining Business Park and Mixed-Uses, future commercial and/or office development is expected to be developed with a compatible and harmonious quality.

These Commercial/Office Design Guidelines will help direct the development of the area to enhance the pedestrian experience that positively contributes to the character of Euclid Mixed-Use Specific Plan area. These guidelines are general in nature and are not intended to be strictly enforced rules, but as a tool in aiding the design process. Developers of future commercial and/or office projects will be required to submit Development Plans to demonstrate consistency with the Euclid Mixed-Use Specific Plan, including these Guidelines, for City approval.



## 5.3.1 Architectural Design

### 5.3.1.1 Guiding Principles

Guiding Principles for commercial/office design for Euclid Mixed-Use Specific Plan are:

**Buildings should contribute to a qualitative nature of the overall neighborhood.**

- Proper scale and proportions in massing and details should be used
- Pedestrian open spaces should be provided
- Massing and articulation should be varied
- Buildings shall be designed at a human-scale

**Buildings should have an enduring quality.**

- Design should draw inspiration from the rich and diverse Southern California architectural heritage
- Materials and colors typical to Southern California should be used
- Details and ornamentation should be authentic
- Design shall create an inviting place to shop and work





### **5.3.1.2 Site Planning**

#### **Orientation**

Buildings should be oriented for optimal visibility from the street. Windows and entries should face the street avoiding blank walls dominating public views. Stores with entries not visible from the street may be oriented towards pedestrian open space and all primary entries should face onto a street or a connecting walkway.

Building clusterings are recommended to help define parking lot areas and encourage walking between stores. Building entries and storefronts should be positioned close to one another to reduce walking distances between them.

#### **Driveways and Sidewalks**

The site shall be provided with an adequate number of driveways to facilitate circulation and also reduce the traffic impact along the surrounding arterials. Pedestrian crossing distances should be minimized at driveways. All driveways and sidewalks shall be constructed per City Standards and to the satisfaction of the City Engineer. No decorative paving will be allowed in the public right-of-way unless otherwise approved by the City Engineer.

#### **Street Frontage and Buildings**

Streetside buildings, or those with no parking separating them from the street, should use windows and entry features to soften the building's appearance to the street.

#### **Streetside Setbacks and Buildings**

The sides of buildings along street edges shall be landscaped within the setback to soften the building's appearance as well as designed with windows or design elements.

#### **Refuse Containers, Utility and Mechanical Equipment**

Refuse containers and equipment shall be easily accessed by service vehicles. They shall be screened from view of the streets, parking lots, and connecting walkways through roof forms, walls and/or landscaping.

Screening details should incorporate elements that are compatible to the architectural style of the buildings. Proper landscaping, including trellises, may also help to screen these elements. Equipment and enclosures shall not be located near pedestrian walkways. Roof-mounted equipment shall be screened by the roof/ parapet.

#### **Sidewalks**

Sidewalks shall be located along natural pedestrian travel paths. Public sidewalks should be a minimum of 5' wide. All walkways shall be a minimum of 4 ft. wide and all walkways within developments in the Specific Plan area will comply with the ADA standards for accessibility.



### 5.3.1.3 Building Design

#### **Massing**

With larger buildings, appropriate massing becomes more important to maintain the human-scale of the development and create a visually pleasing environment. Bay windows, stepped buildings, height changes and setback variations between stores help to break up large buildings as well as indicate entries and store locations to customers. Tower elements or monumental features are encouraged at focal points, such as corners, plazas, major entrances, or where walkways meet streets.

Varying setbacks along the front façade of buildings are recommended to create small outdoor public spaces for pedestrians to gather and sit.

#### **Roof Forms**

Roof pitches shall be compatible to the architectural style of the buildings. Flat roofs should vary in height and be accompanied by cornice, trim or other accent features.

#### **Arcades and Awnings**

Outdoor arcades along store fronts are encouraged over pedestrian walkways. Arcades may be used to connect separate buildings providing a more pleasing experience for pedestrians. Trellises or awnings may also be used to create a covered walkway to protect pedestrians from the sun and rain.

#### **Entry Design**

Building entries shall be prominent and easily identified. Various elements can be used to enhance the entry features including massing variation, materials and color change, change in roof form, and awnings. For smaller retail buildings, part of a cluster or strip, arcades, awnings and simple signage may be acceptable as entries.

No signs shall be placed in the public right-of-way and shall be in accordance with City standards regarding corner site distance.

#### **Design Flexibility**

Retail spaces exceeding 30,000 s.f. should be designed with the flexibility to be divisible into smaller retail spaces, should future market demand change.

Façades that are visible from adjacent streets or walkways should display even greater visual interest by using architectural elements that break up the massing of large buildings, such as windows, arcades, awnings, porticos, and other architectural features.

#### **Base and Top Treatments**

Base and top treatments help to balance the “weight” of the building visually. Bases should appear to “ground” the building, while tops create a defined edge to the roofline. Possible treatment techniques are as follows:

Base:

- Natural materials
- Enriched landscaping with a mature height of at least 18”
- Pre-cast materials
- Other decorative, durable materials as approved by the City
- Thicker walls

Tops:

- Cornice treatments
- Roof overhangs with brackets
- Stepped parapets
- Textured materials - Colored “stripes” are not acceptable as the only treatment.

### **Exterior Materials**

Recommended materials include, but are not limited to stucco, exterior plaster, brick, wood siding, tile, pre-cast concrete or stone. Exterior materials that appear pre-fabricated are not recommended.

Selected materials and detailing should have an enduring appearance. Foam products should be avoided at the pedestrian level.

### **Roof Materials**

Roofing materials that are generally acceptable include standing metal seam, concrete tile, tile and slate or slate-like materials. Asphalt or wood shingles are prohibited.

### **Colors**

Color selection shall be consistent with the selected architectural style.



## 5.3.2 Landscape Design

The Mixed-Use area of the Euclid Mixed-Use Specific Plan will be developed both architecturally and through landscape treatments to create a distinct community character and to ensure a cohesive aesthetic with the Business Park areas of the Specific Plan. The land plan encourages integration of the Business Park and Mixed-Use areas by providing for a consistent landscape treatments along the frontage on Euclid Avenue and Edison Avenue, while also incorporating a major gateway monument.

### 5.3.2.1 Minimum Landscape Requirements

1. Builder/developer shall refer to City of Ontario standards for the percentage of gross commercial site acreage required to be landscaped.
2. All areas of the site not occupied by buildings, parking or otherwise utilized shall be landscaped with groundcover, turf or tree materials from the community plant list.
3. Appropriate street trees should be utilized adjacent to street frontage integrating the site into the overall community setting.
4. Side yard and rear service yard use areas should be screened with a combination of a 6 ft. wall and dense landscape buffer. Tubular steel fencing and gates should be used adjacent to interior residential streets to control access points.
5. Accent tree entry planting should be incorporated at the site's vehicular access points.
6. No shrubs higher than 3 ft. and no tree canopy lower than 7 ft. as to allow officers on patrol the ability to view the business.
7. Plants by low-lying windows may have thorns as a deterrent.



### **Parking Areas**

- Where a parking lot contains 10 or more parking spaces and is visible from a street, no less than 10% of the total area (excluding any perimeter landscaping), shall be landscaped. Such landscaping shall not be concentrated in any one location. A minimum of 50% of the plant material shall be canopy or shade trees and shrubs shall be 3 ft. high or less to provide clear visibility.
- All rows of parking spaces shall be provided with landscape islands at each row terminus to protect parked vehicles, ensure visibility, confine moving traffic to drive aisles and driveways, and provide space for landscaping. Within each row of parking spaces, landscape islands shall be placed one for every 10 spaces a single row and one for every 5 spaces double row to prevent more than 10 vehicles from being parked side-by-side in an abutting configuration. These landscape islands shall measure a minimum of 5 ft. in width, exclusive of curbs. Creation of large planting islands (tree groves) are encouraged as opposed to small pockets of individual trees.
- Planter islands for a single row of parking spaces shall be landscaped with at least one (1) tree for every 4 spaces and vegetative groundcover or turf. Planter islands for a double row of parking spaces shall contain not less than two (2) trees and vegetative groundcover or turf.
- Landscaped areas shall be delineated with a concrete curb which may have curb cuts to facilitate sheet flow runoff from parking lots to infiltrate the landscape planters.
- Parking area landscaping is required for the screening of large parking areas to limit their visual impact.
- When parking is located adjacent to a public street or interior residential street, a combination of landscaped berms and/or planting totaling 3 ft. high is to be used to screen views of parked cars.
- Wherever possible, pedestrian traffic should be separated from vehicular traffic by additional sidewalks. The parking lot should have crosswalks highlighted with decorative or varied texture paving.

### **5.3.2.2 Landscape and Open Space Design**

#### **Landscaping**

Landscaping helps to soften the feel of the buildings and parking lot, while enhancing the visual aspect of the site. The following landscaping techniques may be used:

- Provide special landscaping treatment at all project and building entries.
- Provide shade/canopy trees within parking areas.
- Use plants to define outdoor spaces such as along edges, outdoor plazas, or pathways between parking and building entrances.
- Plantings shall provide a continuity of form across the entire project.

#### **Site Accessories**

Site accessories, such as recycling bins, bike racks, litter cans, planters, benches and transit shelters, should use materials and have an architectural character consistent with the overall project. These accessories should be graffiti-resistant with materials that are easy to clean and paint.



### **Connecting Walkways**

Walkways within commercial and/or office areas of the Specific Plan shall connect the various buildings to each other and to the sidewalks along adjacent arterials. Use of trellises, landscaping, seating areas and building placement adjacent to one another will encourage pedestrian activity within retail areas. A typical walkway shall be a minimum of 6' wide. In large parking lots, pedestrian walkways shall be provided within the median of at least 1 parking aisle for 8 aisles of 20 stalls or more.

Pedestrian walkways that may also be used for emergency access must allow minimum clearance of 26' wide and 14' vertical clearance. Off-site connections shall be provided from the neighborhood center to Euclid Mixed-Use's residential development.



### **Outdoor Storage Areas**

Outdoor storage areas should be incorporated into the design of a project to avoid visual impacts on the site. Outdoor storage areas shall be located away from the street, behind or to the side of buildings. Walls and landscaping shall be used to screen stored materials. Materials placed in front of buildings are not permitted.

### **Transit Shelters**

Transit shelters should be incorporated into the design of neighborhood center. The design of transit related structures shall be integrated architecturally with the project through its color, materials and architectural style. Walkways shall be provided for easy accessibility by pedestrians moving to and from transit stops to the Neighborhood Center.

### **Fence and Wall Design**

Except for security fencing adjacent to the SCE easements, chain-link fencing, barbed wire, corrugated metal fencing and tennis windscreens are not permitted. Fences and walls should be built with attractive, durable materials, including (but not limited to) wrought iron, textured concrete block, or formed concrete with reveals. Fences or walls should be consistent with architectural style, materials and designs used throughout the project.

Perimeter walls and fences constructed with commercial or office development adjacent to residential areas within the Mixed Used District shall not exceed a maximum height of 6 ft. unless required for noise attenuation or visual screening and approved by the Planning Director.

Walls over 6 ft. tall shall be an enhanced material/finish such as textured block/block patterns, enhanced textured or sculpted concrete walls or similar enhancement.

Along streets, walls and fences should not exceed 36" in height and long expanses of uninterrupted fences and walls should be avoided. Use of openings, planter boxes, material changes, pilasters or posts are acceptable. Openings shall be provided to connect walkways directly to the street avoiding long, inconvenient walking paths. These pedestrian portals should be announced by pilasters, trellis, special landscaping, or other features.

### **Lighting**

On-site lighting standards shall provide adequate illumination throughout the site during the nighttime hours. Lighting fixtures shall be designed to be compatible with the architectural styles selected for the project. All light standards should have an attractive base and top.

Along pedestrian walks, lighting fixtures should not exceed 12' in height and may include lighting within bollards. Pedestrian lighting shall provide appropriate illumination at a human scale without too much glare. Lighting within larger parking lots shall not exceed 25' in height, providing enough visibility for customers and employees to walk safely to their vehicles. The same bulb type shall be used for all parking lot and pedestrian lighting fixtures within the development. Service area lighting should be positioned, so no bulbs can be seen from public view. Any street light within the public right-of-way shall be per City standards and to the satisfaction of the City Engineer.

## 5.4 *Mixed-Use Residential Guidelines*

The residential design concept for Euclid Mixed-Use seeks to blend the traditional architectural styles found in the surrounding region with contemporary lifestyles, building methods, technologies and materials. The specific architectural influences selected as appropriate for The Euclid Mixed-Use Specific Plan include Adaptive Spanish, Transitional Farmhouse and Modern Contemporary styles. The design aspects of each of these styles will be further described in the following guidelines.

### 5.4.1 **Architectural Design**

#### 5.4.1.1 **Guiding Principles**

Guiding Principles residential design for Euclid Mixed-Use Specific Plan are:

1. Reinforce a unique and interesting architectural heritage as the community develops
2. Ensure compatible and complementary styles, colors, materials and detailing
3. Establish massing, setbacks and articulation which are appropriate and fundamentally sound
4. Create a neighborhood that effects historical relevance and timelessness
5. Provide design criteria that is adaptable and flexible to changing market desires

#### 5.4.1.2 **Architectural Influences**

There are three Architectural Influences in the Mixed-Use Specific Plan:

1. Adaptive Spanish
2. Transitional Farmhouse
3. Modern Contemporary
4. Art Deco

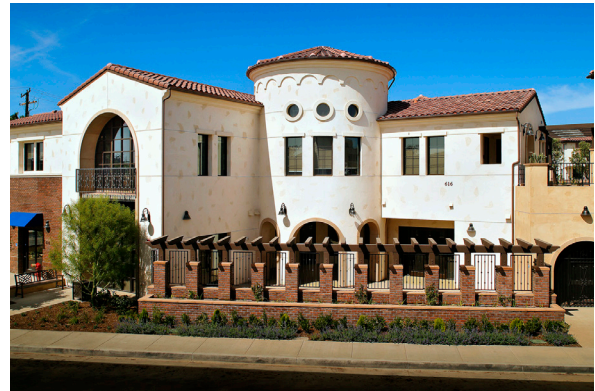
## **Adaptive Spanish**

### *History and Character:*

The Adaptive Spanish style is an expression of historic European regional and Southwest American architectural styles. The design incorporates the simple massing and forms of Spanish estates and the simple forms such as arches, curved walls and recessed openings to emphasize the clean lines and simple detailing, typical of modern building design to develop more contemporary interpretation that reflects Southern European influences. This style includes interpretations of Spanish, Monterey, and Santa Barbara architecture.

### *General Attributes:*

- Simple building massing to reinforce the intended historic style.
- Large simple hip and gable roofs with mission tile. Accent parapet/flat roofs allowed.
- Smooth stucco finish with deep recesses or pop-outs.
- Square or vertically proportioned windows with simple or no trim details.
- Light exterior building colors with contrasting details such as wood trim/fascias, window frames, and doors.
- Simple accents such as extended rafters, window shutters and wrought iron details.





## Transitional Farmhouse

### *History and Character:*

The Transitional Farmhouse style is an interpretive style based upon early American architecture. The design inspiration uses modern building forms and construction materials to develop more contemporary designs to reflect the character of a typical Midwestern town from a simpler time period. The Transitional Farmhouse style incorporates clean lines and simplified architectural detailing to reinforce the intended aesthetic character. This style includes interpretations of Colonial and American Traditional vernaculars.

### *General Attributes:*

- Vertical building massing to reflect historic building forms.
- Simple gable roof planes, including symmetrical and asymmetrical forms/pitches and limited flat roofs.
- Flat roof tile or architectural shingle roof materials.
- Horizontal or vertical siding or stucco finish with limited masonry accents.
- Predominately vertically proportioned windows with simple or trim. Decorative window shutters.
- Contrasting exterior building shades with accented details such as fascias, shutters, window frames, doors and gable detailing.



## **Modern Contemporary**

### *History and Character:*

Modern or contemporary design integrates traditional concepts about residential design with a revivalist interpretation, using current construction materials to develop more functional designs that reflect the surrounding climate and environmental considerations such as solar aspect, etc. Modern Contemporary architecture uses horizontal building proportions with vertical accent forms. This style incorporates minimal ornamentation and clean, simplified architectural detailing. This style includes contemporary architecture such as International, Mid Century Modern and Art Deco interpretations.

### *General Attributes:*

- Building massing to reinforce the intended period style.
- Large simple roof planes, including asymmetrical roof forms and limited flat roofs.
- Horizontal siding or smooth stucco finish.
- Square or vertically proportioned windows with simple or no trim details.
- Light exterior building shades with contrasting details such as wood trim/fascias, window frames, doors and simple window shutters.
- Wall plane breaks and massing forms with accent materials.
- Utilize window accents such as awnings and window framing to add visual interest and shade.





## **Art Deco**

### *History and Character:*

The Art Deco style, including the Moderne style, became popular in the mid 1920's, combining elements of contemporary architecture with elements of the decorative arts movement.

This design, utilized a repetition of building massing and fenestration using form and decorative patterns. Art Deco architecture uses strong colors and geometric shapes with accenting vertical forms and utilizes clean, simplified architectural detailing. This style includes contemporary sub-styles such as Art Moderne and Streamline styles.

### *General Attributes:*

- Symmetrical building massing and aerodynamic forms to reinforce the intended character.
- Narrow, simple building cap elements or curved roof forms, including projecting roof forms and the use of flat roofs.
- Accent siding or decorative panels or smooth stucco finish.
- Predominantly vertically proportioned windows with simple or no trim details.
- Bold exterior accent colors on muted building with contrasting highlighted elements such as metal trim/fascia detailing, simple window and door frames and use of glass block.
- Wall plane breaks and massing forms with accent materials.
- Horizontal window canopies used to add visual interest and horizontal elevation changes.



### **5.4.1.3 Building Design**

#### **Massing**

Building massing shall be appropriately scaled to the sensitive surrounding uses. The composition of the building mass shall include the incorporation of one and two story elements into three to five story buildings, variable setbacks along building elevations to minimize large unarticulated building façades, and the development of four-sided elevations through articulation and detailing.

#### **Roof Forms**

Roof forms are critical in creating interest to the building mass. Roof forms and material finishes help blend the structures into the landscape through shadow patterns, texture, color variations and visual interruption of vertical walls and planes. Visible roof forms, lines and ridges should be varied. Architectural features, materials and roof pitches should be consistent with each style.

#### **Window and Doors**

The window treatment should be consistent with the style of architecture. Appropriate window treatments such as recessed windows, windows with divided lights/multi-paned windows, rectangular or arched forms should be incorporated into all visible primary windows to reinforce the building character.

Window sizing and scale must be consistent with the architectural character and building massing. Decorative elements such as shutters should be properly sized to the window opening.



## 5.4.2 Landscape Design

Residential Landscape Design Guidelines describe the key elements of the proposed landscape treatments for residential development within the Euclid Mixed-Use Specific Plan area, which will develop over several years. These guidelines will help maintain a consistent design theme in a high quality, visually attractive and resource efficient framework.

The objectives of these Landscape Design Guidelines are:

1. To provide guidance to developers and builders, as well as to engineers, architects, landscape architects and other professionals, as to the quality and character of the landscape treatment within the Euclid Mixed-Use Specific Plan.
2. To assure the City of Ontario that Euclid Mixed-Use area will develop in accordance with the guidelines provided herein.
3. To provide guidance to City decision makers in the review of future residential development projects in Euclid Mixed-Use Specific plan.
4. To provide guidance in formulating Covenants, Conditions and Restrictions.

These Landscape Design Guidelines are intended to be flexible and are, therefore, illustrative in nature. As a flexible document, the guidelines can, over time, accommodate changing community desires, economic conditions and the marketplace.

### 5.4.2.1 Minimum Landscape Requirements

1. Landscaping in public areas should reflect the overall design character and landscape treatment to reinforce a comprehensive and unified “sense of place” and quality of appearance established by the Euclid Mixed-Use Specific Plan and these Guidelines.
2. All City maintained landscaping shall be consistent with the City of Ontario Landscape requirements and the Ontario Ranch Streetscape Master Plan.
3. Private streets, drives and common landscape areas shall be consistent with the City Of Ontario landscape requirement and this Specific Plan.
4. Private streets and drives within residential neighborhoods where garages and parking stalls do not front onto the drive shall be designed to accommodate pedestrian accessibility. A 4 ft. minimum landscaped parkway should be provided along unloaded private streets and drives where walkways occur.
5. Landscaped areas should be designed to be as water-efficient as possible and shall be irrigated with automatic systems using recycled water.
6. Turf areas should be limited to open areas such as gathering spaces or play areas and should not be used in landscape parkways and slope areas.
7. Parking areas shall provide a minimum 9 ft. wide planting island to allow for the long term sustainability of appropriate tree species.
8. Trash enclosures shall be located with minimum 5 ft. wide planting areas to allow for vertical shrubs/hedges to soften the enclosure walls.

### 5.4.2.2 Common Area Landscape Design

Landscape design is an important element within residential neighborhoods. Landscaping helps to soften walls and building edges and enhances and reinforces the overall architectural character of the neighborhood. Landscaping design should accentuate building entries, identify walkways and support wayfinding and accessibility to open space and amenities, provide shade for walkways and parking areas and provide a visual continuity within the neighborhood and the surrounding uses in and around the Euclid Mixed-Use Specific Plan area.

#### **Neighborhood Connectivity**

Connectivity between residential neighborhoods and other compatible uses within the Euclid Mixed -Use Specific Plan should be encouraged at a pedestrian level and should also consider bicycles and other non-vehicular modes of travel. Pedestrian walkways should be designed to be safe and efficient and should be shaded by trees wherever feasible.

An SCE easement (PA 5) extends in an East/West direction through the Specific Plan area separating the Business Park District and the Mixed-Use District. This easement may provide an opportunity for additional pedestrian and bicycle connectivity within the Euclid Mixed-Use Specific Plan area.

#### **Parks/Open Space**

Residential developments within the Euclid Mixed-Use Specific Plan shall provide park areas for recreational amenities on-site and also provide private open space for each unit.

- On site parks will be provided to meet the needs of future residents. A minimum of 2.0 acres/1000 residents shall be provided within the residential neighborhood per The Ontario Plan.
- Onsite parks shall be at least 0.25 acres in size with a minimum dimension of 30 ft. wide.
- Parks and recreational amenities shall be designed to be visible from internal streets. Residential units should be oriented to face “eyes” onto parks and common open spaces.
- Private open space shall be provided for all residential units:
  - Ground floor units with patios shall be required to provide 140 s.f. of private open space per unit with a minimum dimension of 5 ft..
  - Units on upper floors and ground floor units without patios shall provide a minimum of 50 s.f. of private enclosed open space such as a courtyard or balcony with a minimum dimension of 5 ft.

#### **Parking Areas**

Resident and guest parking should be conveniently located within each individual neighborhood. Parking areas should be softened with landscaping and shaded by trees to enhance the aesthetic character and reduce heat gain associated with paved areas.

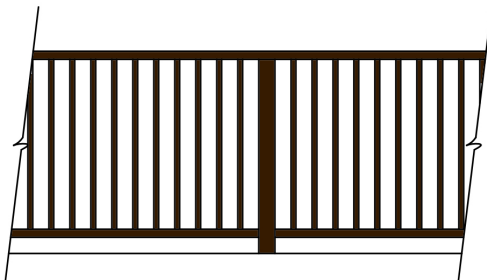
- Residential parking lots shall be designed to screen parked cars from adjacent public streets. Acceptable screening methods include any combination of decorative walls, landscape berms and evergreen plant material.
- Parking spaces shall be limited to 8 or less spaces in a row. A landscape planter shall be installed to accommodate a shade tree in parking areas.

- Landscape planters should be provided at cross-walk locations.
- Pedestrian accessibility and connectivity should be facilitated within parking areas. Decorative paving should be utilized at crosswalks and where walkways and parking driveways intersect.

**Fence and Wall Design**

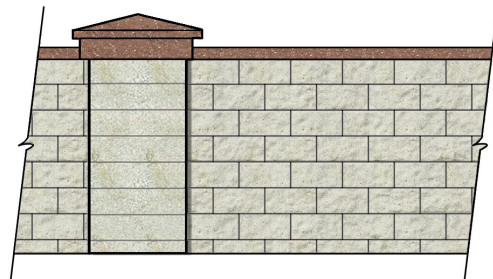
Community fences and walls are design features which can help unify the landscape character within a planned area. Perimeter community fences and walls within the Euclid Mixed-Use Specific Plan shall reflect a design aesthetic that will coordinate the varied uses allowed in the Business Park and Mixed-Use Districts. Community walls and accent pilasters will utilize colors and material that are compatible with the Gateway monuments. Community pilasters will mirror the simple forms, durable materials and clean lines and details of the Gateways. Within the Specific Plan area, all visible perimeter walls within the Mixed-Use District shall be consistent with the approved Community Wall detail below. Interior residential walls should be compatible in design and color of the overall wall treatment within the Euclid Mixed-Use Specific Plan area.

Community Fences will be tubular steel with a simple vertical picket design with a top rail and minimal ornamentation per the Community Fence detail below. The fence color will be compatible with the approved Community Pilasters. See Community Pilaster detail below.



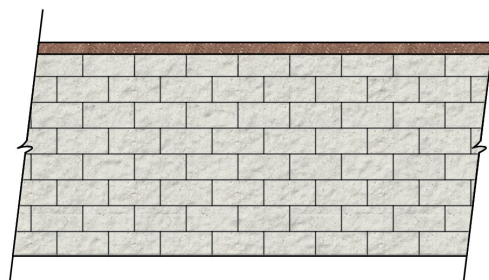
**TUBULAR STEEL VIEW FENCE**

Open tubular steel fencing is typically utilized in rear yards where view preservation is desirable.



**COMMUNITY THEME WALL AND PILASTER**

Community theme wall with colored block pilaster along project perimeter.



**COMMUNITY THEME WALL**

Community theme colored split-face block wall along project border.



## **Landscape Lighting**

Landscape and other exterior lighting within the Euclid Mixed-Use Specific Plan shall be designed to be compatible and reflect a unified design character. Landscape lighting in residential neighborhoods should reflect a contemporary design and maintain a uniformity in style material and color.

Direction signs and address signage shall be back-lit or directly illuminated. All walkways and open space areas will be illuminated to provide a safe and inviting experience for pedestrians. Pathway lighting shall be low voltage.