

## 8.12 DESIGN GUIDELINES FOR LANDSCAPE ARCHITECTURAL CHARACTER

Careful consideration has been given to the design of the community landscape architectural character for the Ontario Esperanza Specific Plan. The following design guidelines are organized to help define the basic landscape design principles for the Ontario Esperanza Specific Plan. Observing these guidelines will help to assure the “design vision” and integrity of this planned community.

All landscape plans, streetscape plans, and graphic designs with regard to community identity, neighborhood identity, or entry monumentation shall conform to the guidelines as set forth herein, and shall be subject to review and approval by the City of Ontario.

The “Conceptual Landscape Master Plan,” Exhibit 30 on the next page shows the perimeter streetscape design, Community entries and monumentation, neighborhood park and mini parks, pedestrian greenbelts, and general landscape features of the Ontario Esperanza Specific Plan area.

### 8.12.1 Perimeter Streetscape Design

Streetscape design guidelines establish a hierarchy for the landscape development along the surrounding roadways, as well as establishing a framework for consistency of design. Three major arterial roadways surround the Ontario Esperanza Specific Plan area: Hamner Avenue to the West, Bellegrave Avenue to the North, and Mill Creek Avenue to the East. Landscape easements associated with these roadways have been defined, as noted in the City of Ontario Ontario Ranch General Plan.



Landscape development surrounding this community will help to set the character, while maintaining consistency with the City of Ontario’s pedestrian pathway system illustrated in the Trails and Bikeways section of the Ontario Ranch General Plan. The following section discusses the streetscapes for the Esperanza Specific Plan area. Exhibit 31, “Streetscapes Legend” provides a guide to the location of the streetscapes discussed below.

### 8.12.2 Hamner Avenue

Hamner Avenue streetscape shall include the following:

- A landscaped parkway (15’ wide min.) with a row of street trees (24” Box min.) along both sides of the street.<sup>1</sup>
- A 5’ wide sidewalk along west side of the street.
- A 14’ wide landscaped median with a single row of street trees.
- A landscape easement (neighborhood edge) of 45’ taken from face of curb to perimeter wall.

Section 8. DESIGN GUIDELINES



Exhibit 30  
Conceptual Landscape Master Plan



-  PEDESTRIAN WALKWAY  
REFER TO PARK ENLARGMENT
-  PEDESTRIAN WALKWAY
-  EUCALYPTUS AVENUE - BIKEWAY  
(CLASS I IN SEPARATE RIGHT OF WAY)
-  EUCALYPTUS AVENUE - BIKEWAY  
(CLASS II ON STREET)

-  PEDESTRIAN PASEO CONNECTOR
-  LANDSCAPED NEIGHBORHOOD EDGE  
OR BUFFER AREA
-  CONCEPTUAL ROUNDABOUT  
LOCATION

- SECTIONS**
- A-A HAMNER AVENUE
  - B-B BELLEGRAVE AVENUE
  - C-C MILL CREEK AVENUE
  - D-D EUCALYPTUS AVENUE
  - E-E LOCAL STREETS AND CUL-DE-SACS
  - F-F A STREET

Exhibit 31  
Streetscapes Legend

- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 32, “Hamner Avenue” section for streetscape illustration.”

### 8.12.3 Bellegrave Avenue

Bellegrave Avenue streetscape shall include the following:<sup>2</sup>

- A 5 foot wide lineal sidewalk and a 7 foot wide landscaped parkway along north side of the street.
- A landscape easement (neighborhood edge) of 35’ taken from face of curb to perimeter wall on both sides of the street.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in the Conceptual Landscape Master Plan, Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 33, “Bellegrave Avenue” section below for streetscape illustration.
- Additional landscaping requirements for well sites along Bellegrave Avenue may include: landscape screening, earth berming or combination of both to screen undesirable views from public.

### 8.12.4 Mill Creek Avenue

Mill Creek Avenue streetscape shall include the following:

- A 12 foot wide landscaped parkway on the west with an additional 23’ landscape ease-

ment include a single row of street trees (24” Box min.) along both sides of the street. The east side of Mill Creek Avenue includes a 12 foot wide landscaped parkway with an additional 50’ Southern California Edison (SCE) easement taken from back of improved street right-of-way.

- Provide drought tolerant large shrub (max. 15’) and drought tolerant landscaping within the SCE easement.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in Exhibit 30, “Conceptual Landscape Master Plan.”
- Refer to Exhibit 34, “Mill Creek Avenue” and Exhibit 35 “Mill Creek Avenue at the SCE Corridor” for streetscape illustration.”

### 8.12.5 Interior Streetscape Design

Streetscape design within the interior of the Ontario Esperanza Specific Plan community shall be consistent in character with the perimeter streetscapes and should help to promote pedestrian circulation into the “Community Core.”

Where interior streetscapes interface with neighborhood/mini parks and open space, special consideration should be taken to integrate pedestrian circulation into these areas via a streetside pedestrian system that links city sidewalks to active walking trails and open space uses. This is especially important within the multi-family/high density residential planning areas.

Two interior roadways bring residents into the “Community Core,” Eucalyptus Avenue, running East/West, and “Street A” that intersects with Eucalyptus Avenue, running North/South.

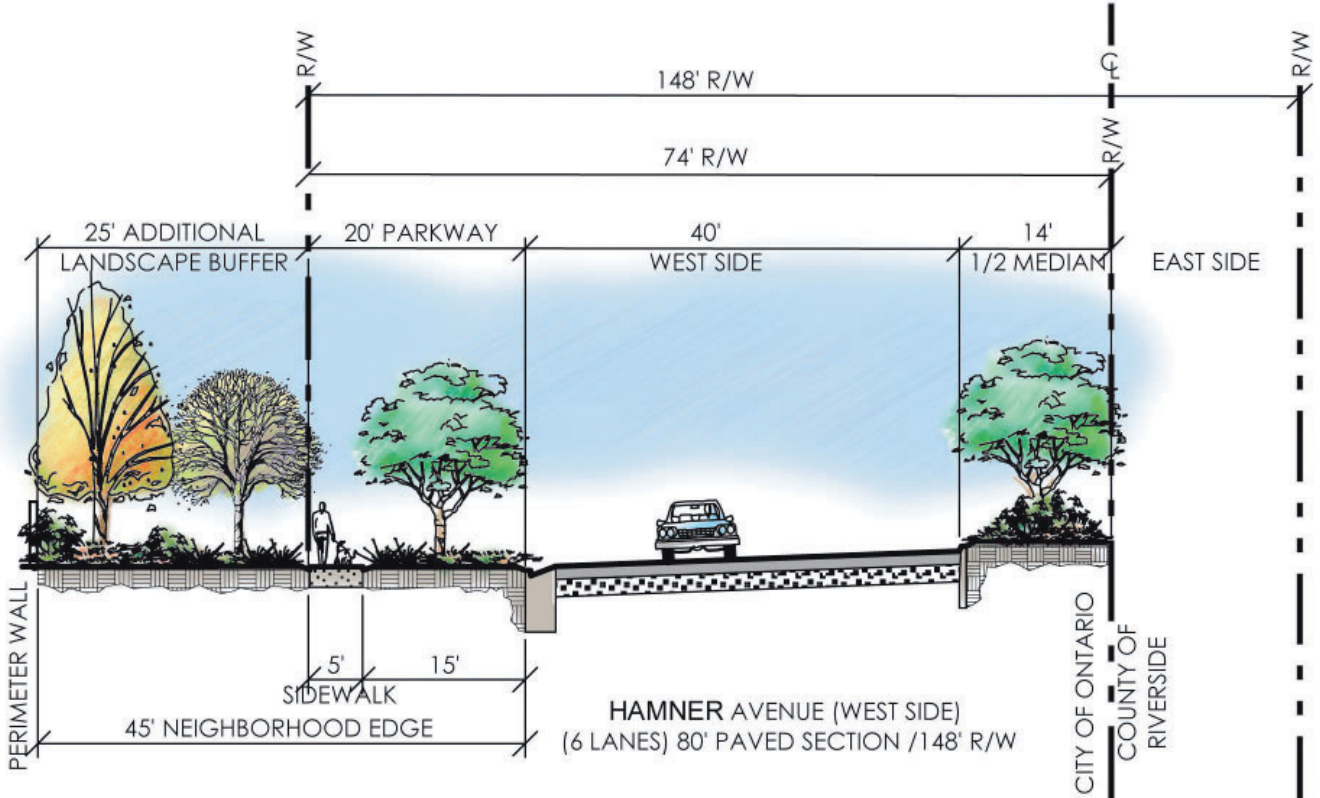
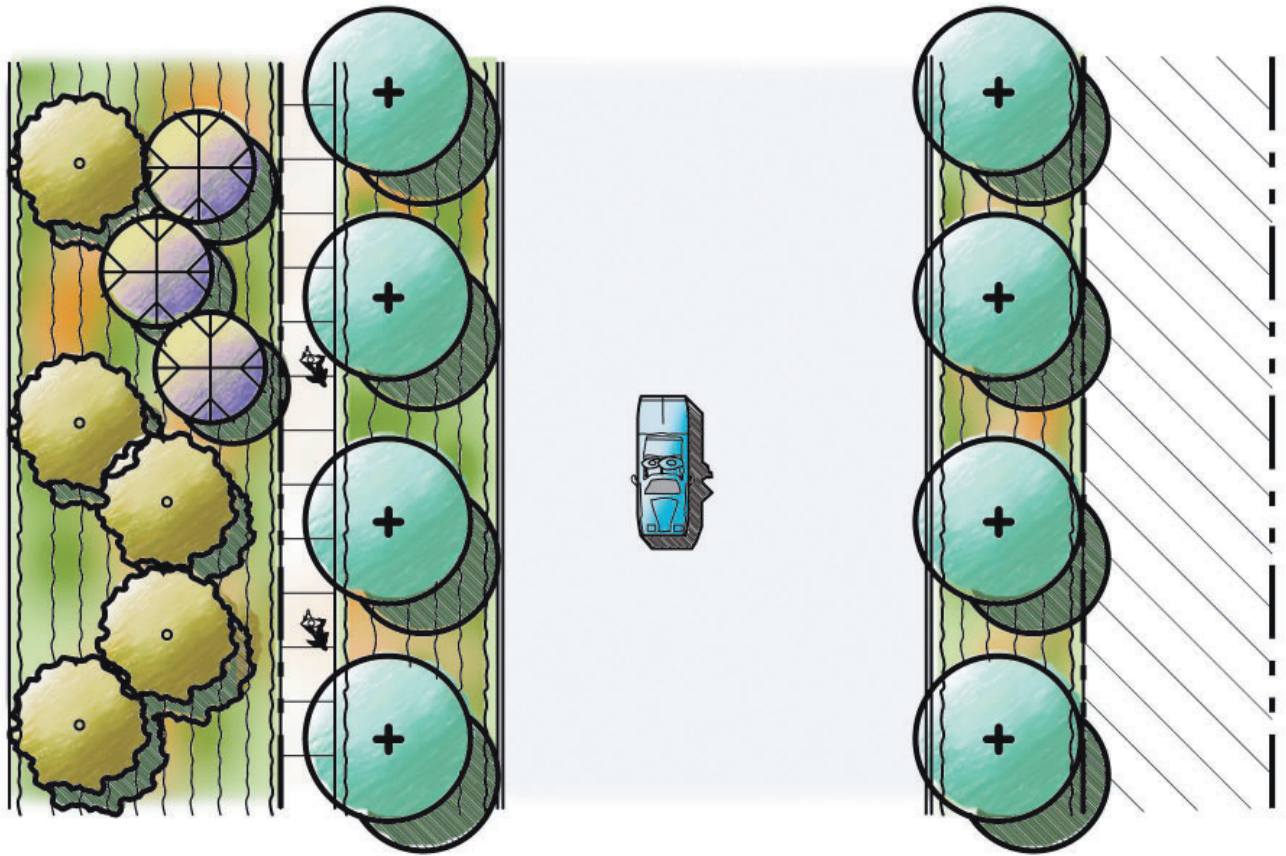
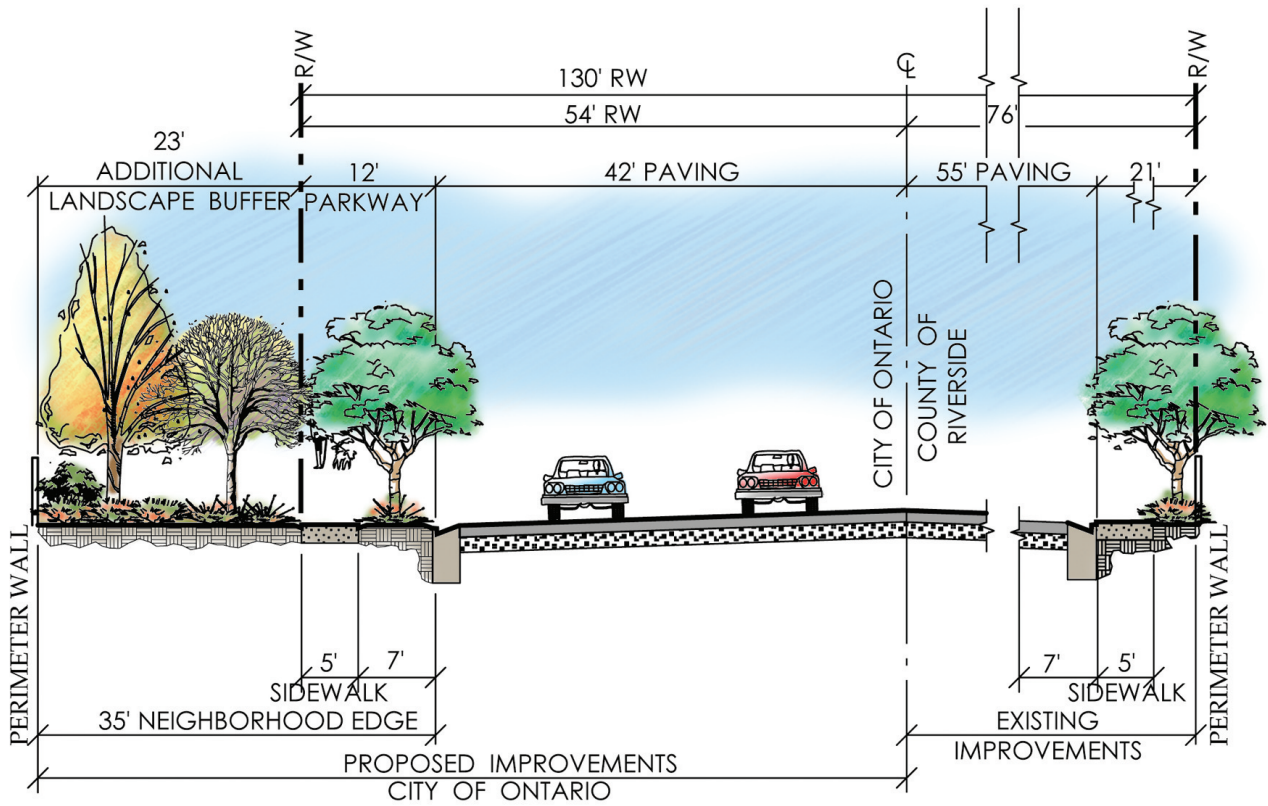
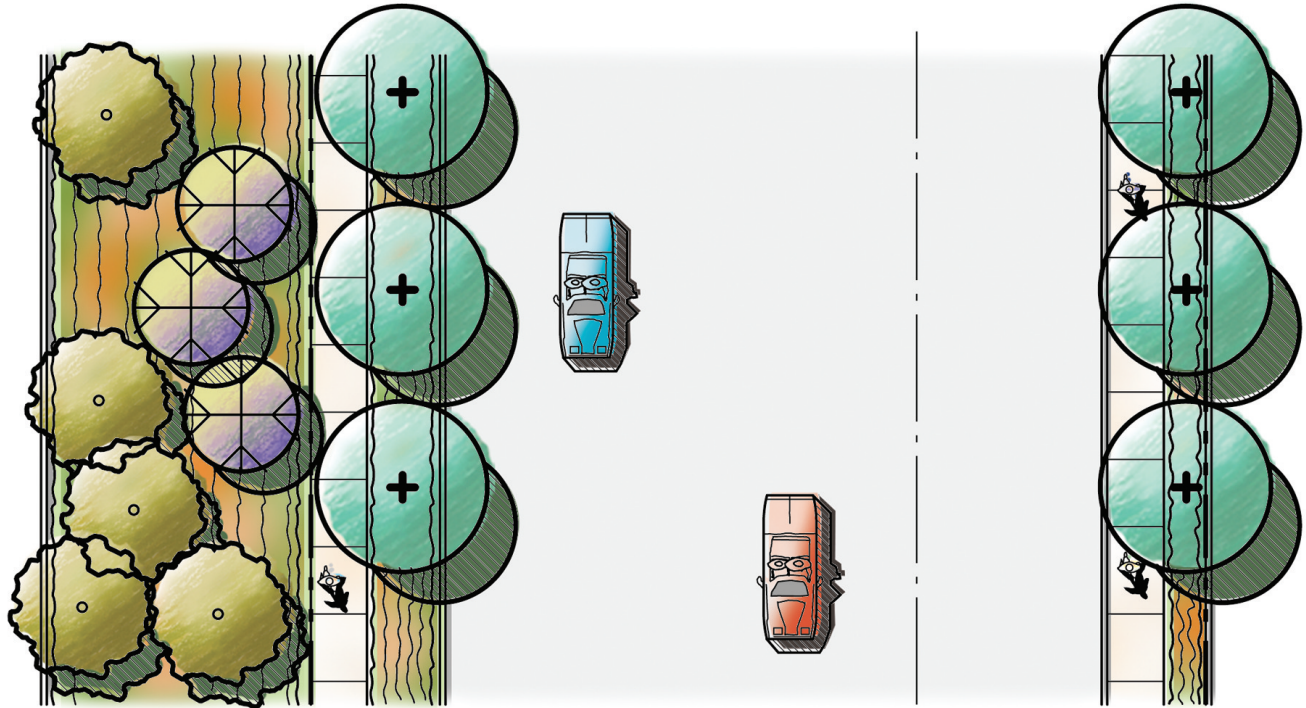


Exhibit 32  
Milliken Avenue

Section 8. DESIGN GUIDELINES



BELLEGRAVE AVENUE (HALF STREET)  
97' PAVED SECTION / 130' R/W

Exhibit 33  
Bellevue Avenue

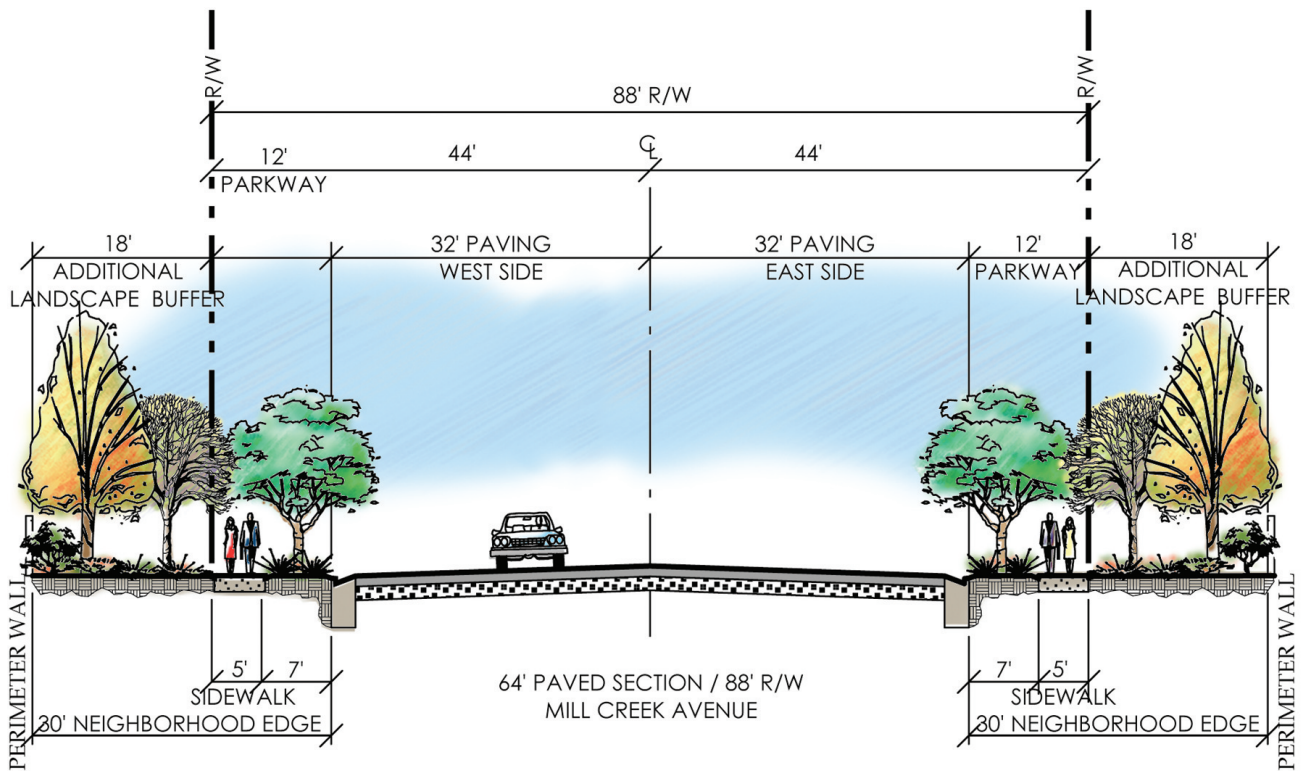
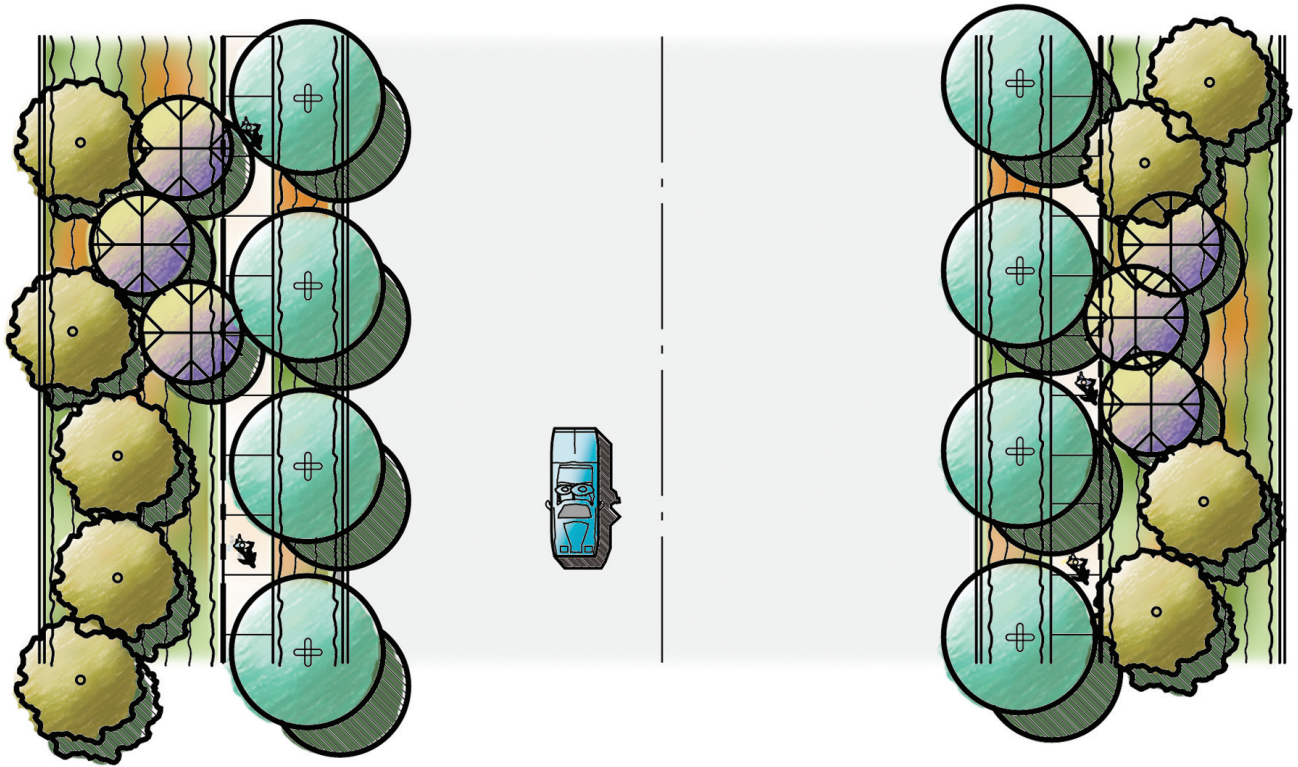


Exhibit 34  
Mill Creek Avenue

Section 8. DESIGN GUIDELINES

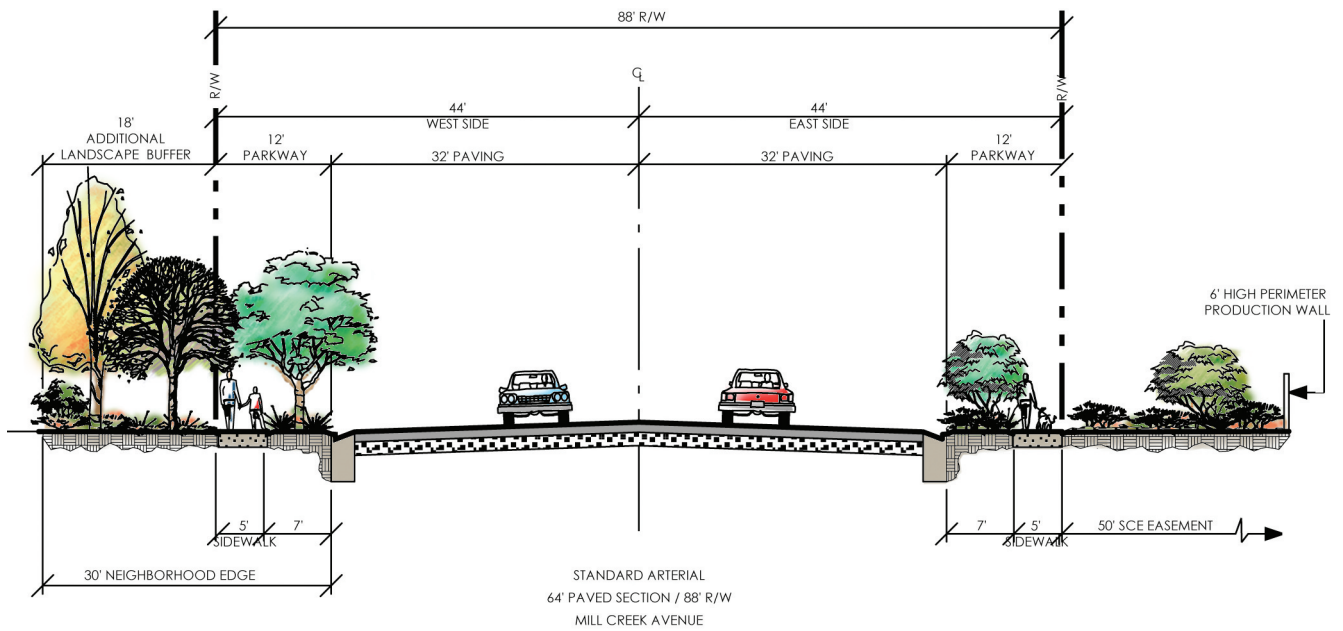
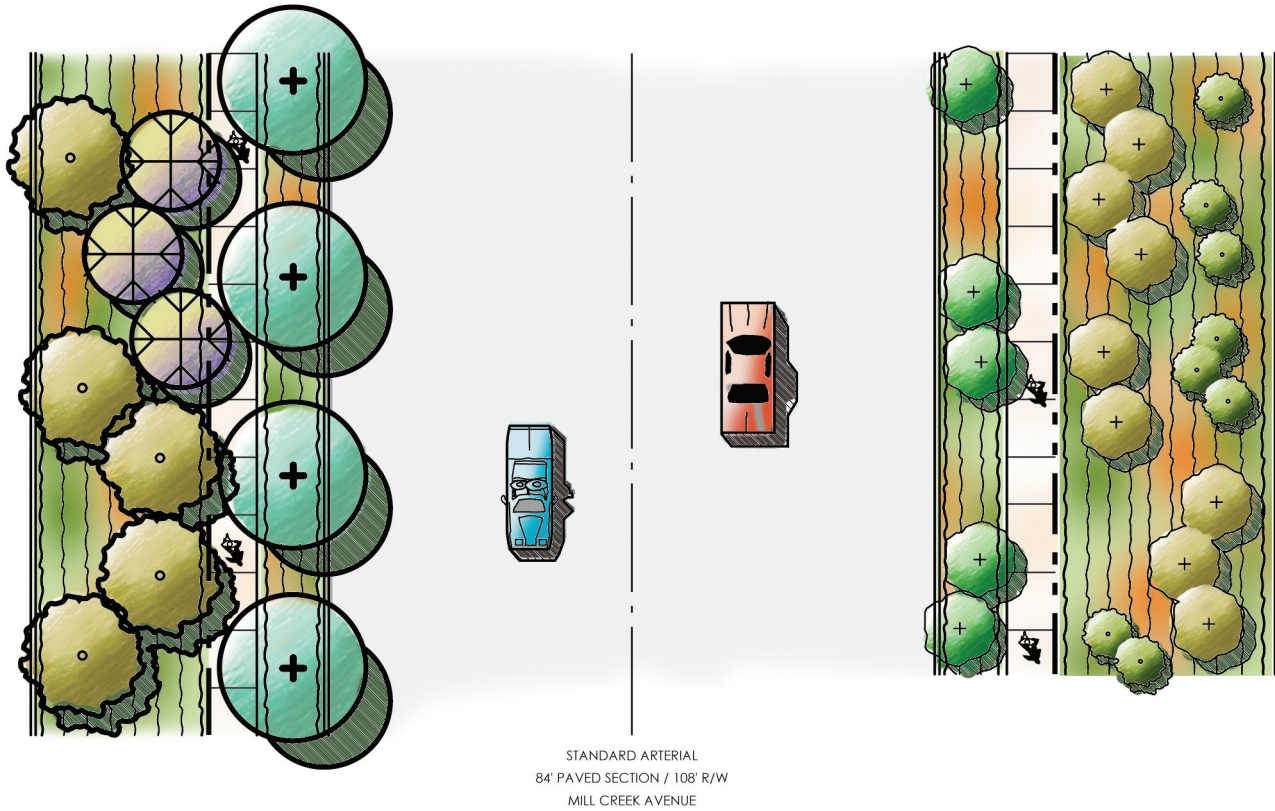


Exhibit 35  
Mill Creek Avenue at the SCE Corridor



### 8.12.6 Eucalyptus Avenue

Eucalyptus Avenue streetscape shall include the following:

- A 7 foot wide landscaped parkway with a single row of street trees (24" Box min.) along both sides of the street.
- A 5' wide concrete sidewalk with a 7' wide decomposed granite multi-purpose trail.
- A 7 foot wide Class II striped on-street bicycle trail within the right of way on both sides of the street.
- A landscape easement (neighborhood edge) of 35' taken from face of curb to perimeter wall on both sides of the street.
- Background trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Monumentation as shown in Exhibit 30, "Conceptual Landscape Master Plan."
- Refer to Exhibit 36, "Eucalyptus Avenue" section for streetscape illustration.

### 8.12.7 "A" Street

"A" Street streetscape shall include the following:

- A landscaped parkway (7' wide minimum) with a single row of street trees (24" box minimum) along both sides of the street.
- A 5' sidewalk separated from the street by a 7 foot wide landscaped parkway on both sides of the street.
- A landscaped buffer of 6' to 10' taken from the back of sidewalk to the perimeter wall on both sides of the street.
- Background trees and shrub masses planted in a series of layers (foreground, midground and background) to help define borders and plant groupings while combining interesting textures and colors.

- Monumentation as shown in Exhibit 30, "Conceptual Landscape Master Plan."
- Refer to Exhibit 37, "A Street" section for streetscape illustration.

### 8.12.8 Local Streets, Private Alleys, and Private Neighborhood Streets

#### Local Streets

Local Street streetscapes shall include the following:

- A landscaped parkway (7' wide minimum) with a single row of street trees, 24" box minimum, along both sides of the street.
- A 5' wide sidewalk on both sides of the street.
- A 5' wide minimum planter area from sidewalk wall to back of sidewalk along reverse frontage conditions.
- Refer to Exhibit 38, "Local Street and Cul-de-Sac" for streetscape illustration.

#### Private Neighborhood Streets

Private Neighborhood streets shall include the following:

- A landscaped parkway (7' wide minimum) with a single row of street trees, 24" box minimum, along both sides of the street.
- A 4' wide sidewalk on both sides of the street.
- A 7' wide minimum planter area from sidewalk wall to back of sidewalk along reverse frontage conditions.
- Refer to Exhibit 39, "Private Neighborhood Street Section" for streetscape illustration.

#### Private Alleys

Private Alleys shall include a 5' wide landscaped area on both sides of the alley when the paved area is a maximum of 20' in width. Landscaping will be provided as appropriate in areas of less than 5' in width depending upon the final design

Section 8. DESIGN GUIDELINES

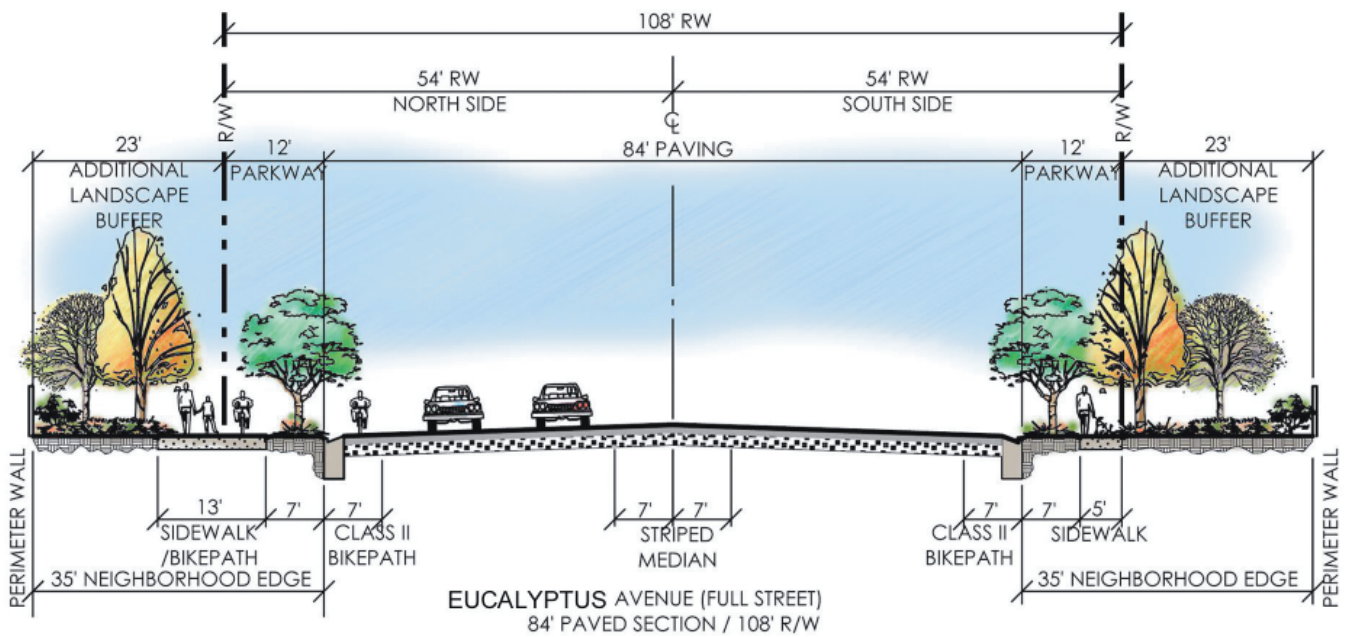
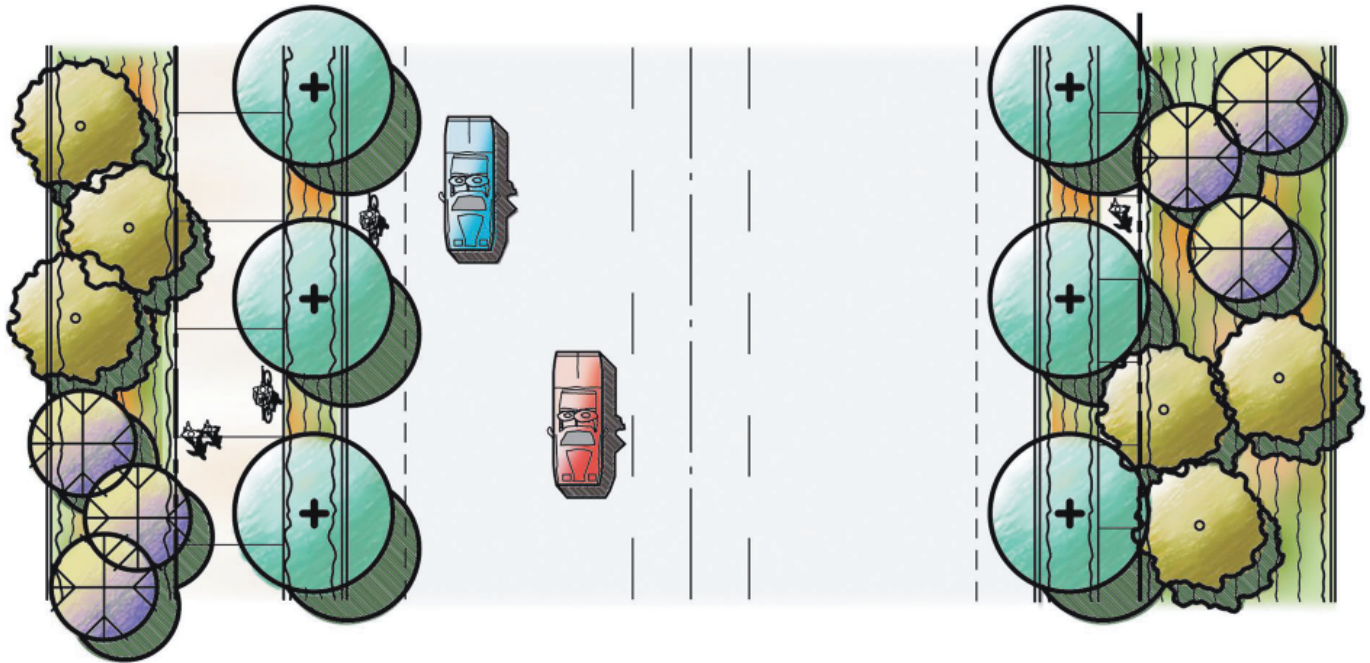


Exhibit 36  
Eucalyptus Avenue

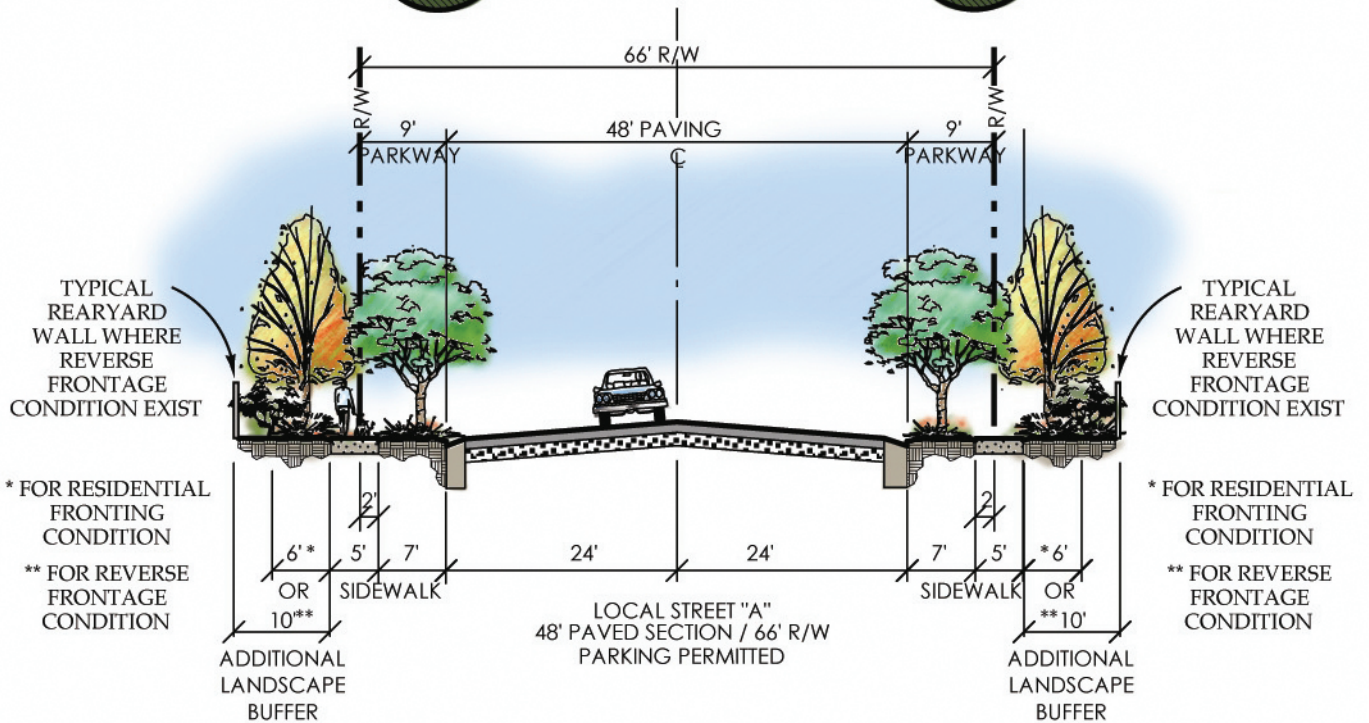
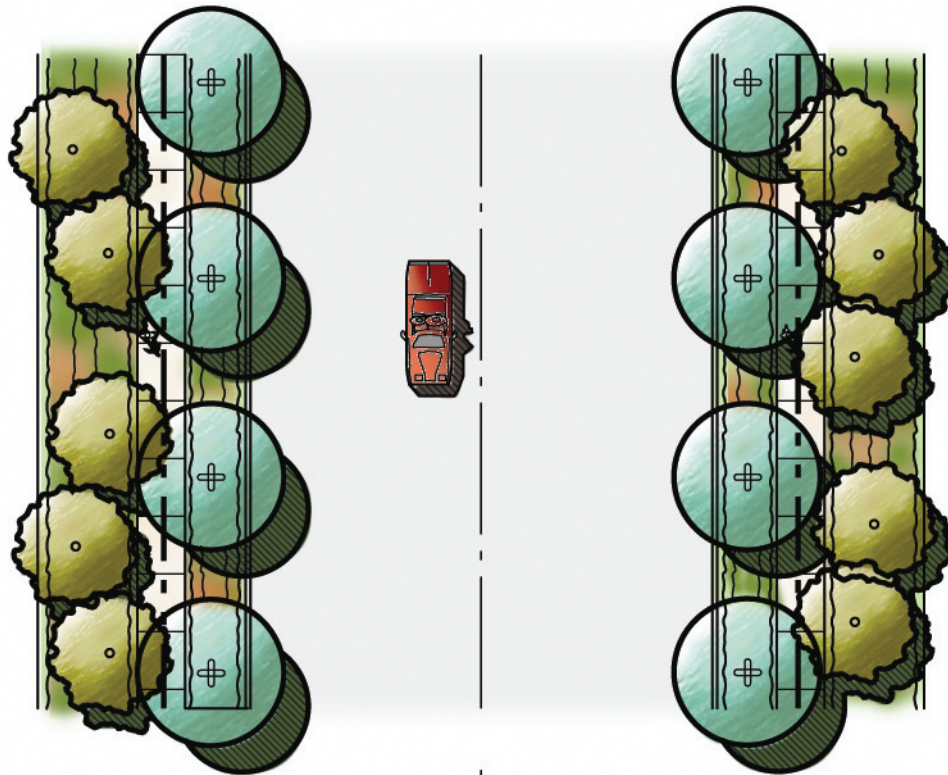


Exhibit 37  
A Street

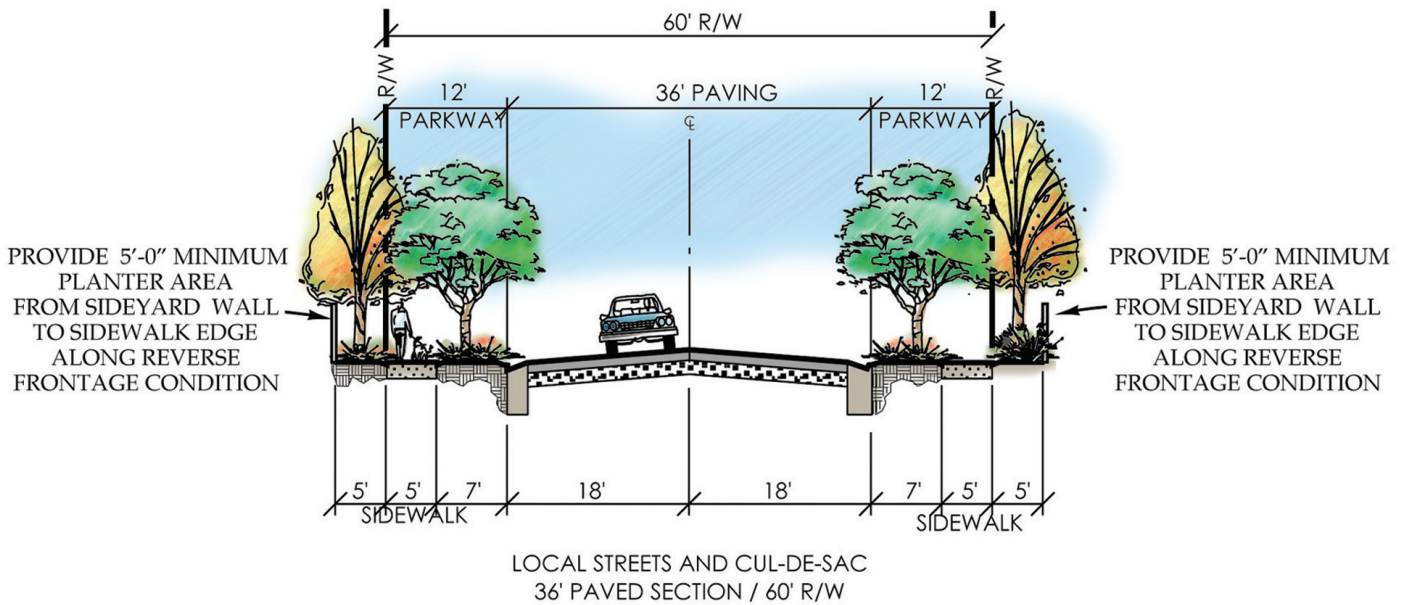
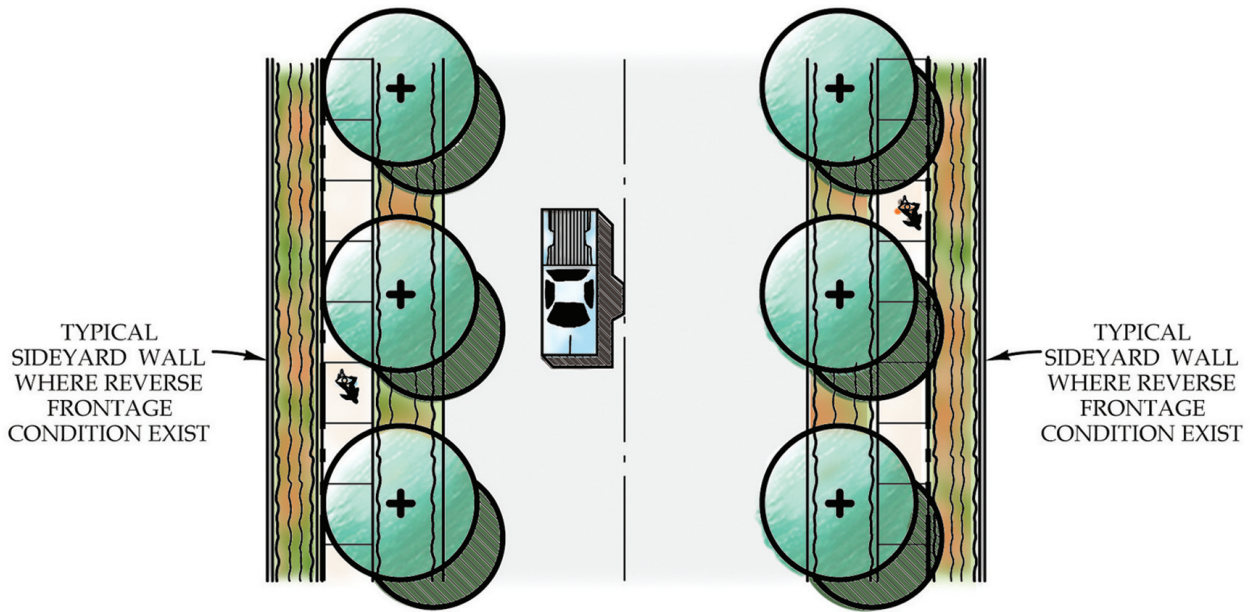


Exhibit 38  
Local Street and Cul-de-Sac

of the private alley. Refer to Exhibit 40, “Private Alleys” for illustration.

### 8.13 CITY OF ONTARIO “GATEWAY” MONUMENT

At the corner of Hamner Avenue and Bellegrave Avenue, a city “Gateway” monument will be located. Special consideration should be made to integrate the perimeter landscaping along Hamner and Bellegrave Avenue into the final monument design and landscape character. The City of Ontario is currently developing the “Gateway” monument program for the Ontario Ranch. Additional coordination with the City of Ontario will be needed prior to developing this area.

### 8.14 ENTRIES AND MONUMENTATION

Monumentation occurs throughout the Ontario Esperanza Specific Plan community and is designed to establish a basic hierarchy for entering each area of the community. Along the perimeter edges there are several entry points into the community. At key entries a landscape and monumentation program will be utilized to help identify the community as well as convey a “welcoming” feeling for both vehicular and pedestrian traffic. Inspired by the local historical village of “Guasti,” home of the Italian Vineyard Company, the project monuments for Ontario Esperanza embody some of the character of this Ontario icon, through the use of similar materials, architectural styles/detailing and landscaping.

Three basic monument treatments are used to set the hierarchy of the entries and monumentation: the Primary Community Entry and Monumentation, the Secondary Community Entry and Monumentation, and the Neighborhood Entry and Monumentation.



#### 8.14.1 Primary Community Entry and Monumentation

The Primary Community Entry and Monumentation shall include the following:

- Freestanding curved monument walls at each corner with highlighted pedestrian portal.
- Identification field for potential sign lettering placement.
- Architectural concrete caps, trim, and bases to help delineate architectural detailing and veneer material used.
- Use of “real” veneer materials instead faux concrete veneers.
- Use of large specimen native trees to anchor each side of entry drive at site entry.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.

Section 8. DESIGN GUIDELINES

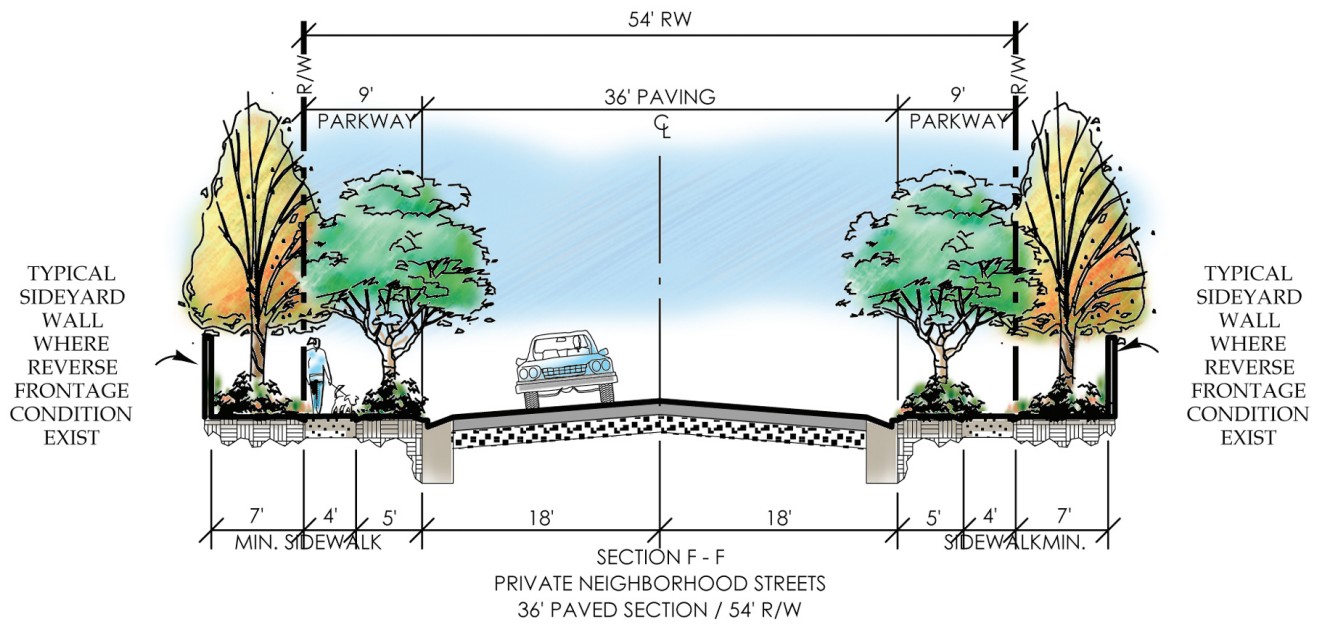
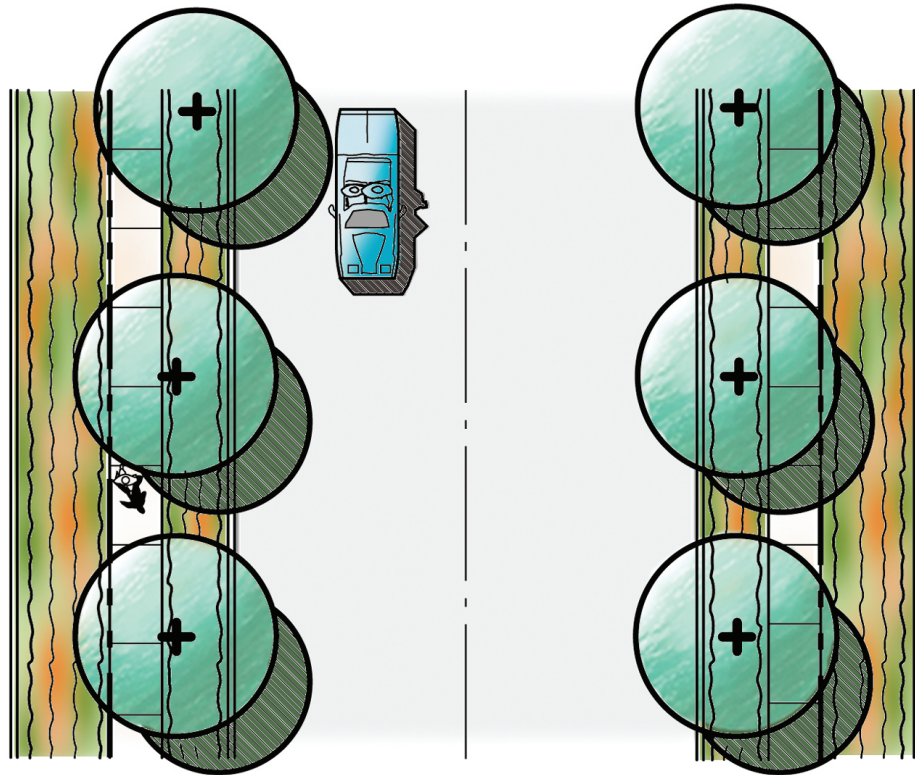


Exhibit 39  
Private Neighborhood Street Section

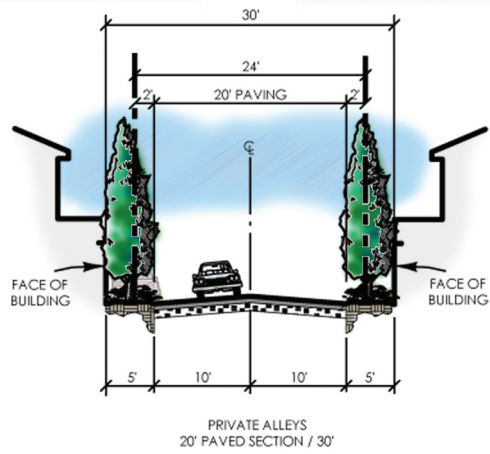
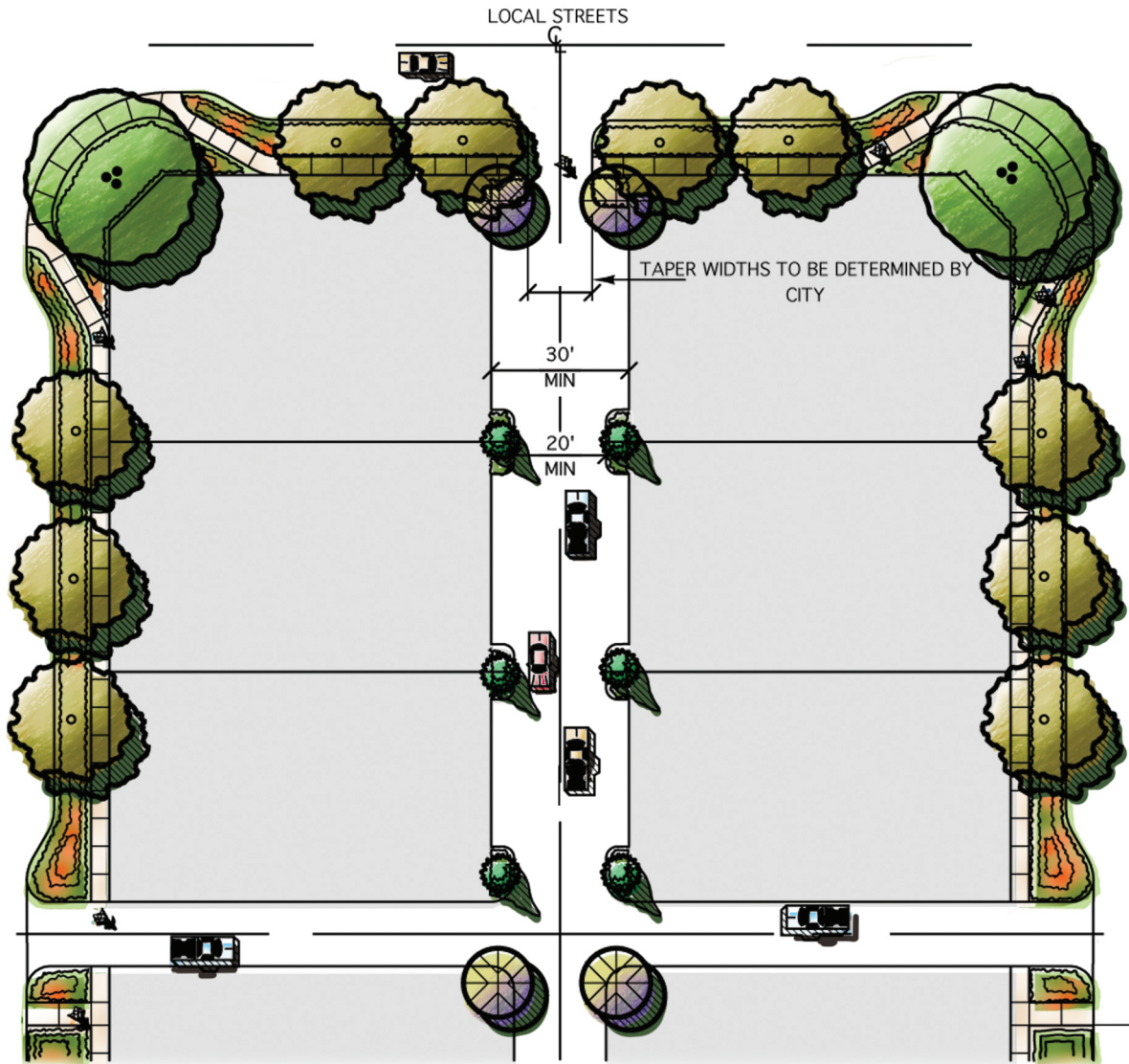


Exhibit 40  
Private Alleys

- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting of landscape/monumentation.
- Handicapped ramps designed to City standards.
- Refer to Exhibit 30, “Conceptual Landscape Master Plan” and Exhibits 41-43, “Primary Community Entry and Monumentation” and, “Primary Community Entry and Monumentation – Hamner Avenue, and, “Primary Community Entry and Monumentation – Mill Creek Avenue” for detailed conceptual illustration.

#### 8.14.2 Secondary Community Entry and Monumentation

The Secondary Community Entry and Monumentation shall include the following:

- Freestanding curved walls at each corner with anchoring entry pilaster.
- Identification field for potential sign lettering placement on enhanced perimeter corner cut wall.
- Architectural concrete caps, trim, and bases to help delineate architectural detailing and veneer material used.
- Enhancement of corner cut wall and use of accent pilasters to balance each side.
- Use of “real” veneer materials instead faux concrete veneers.
- Use of large specimen native trees to anchor each side of entry drive at site entry.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.

- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting of landscape/monumentation.
- Handicapped ramps designed to City standards.
- Refer to Exhibit 30, “Conceptual Landscape Master Plan” and Exhibit 44, “Secondary Community Entry and Monumentation Elevation/Plan” for detailed conceptual illustration.

#### 8.14.3 Neighborhood Entry and Monumentation

Neighborhood entries and monumentation should occur on interior corner entries within the Ontario Esperanza Specific Plan Community. These entries should be used to help continue the landscape character theme to the “core” of the community. Each neighborhood built within the project will have the opportunity to identify their individual project character while providing the basic design features of the other monuments. Refer to The Neighborhood Entry and Monumentation shall include the following:

- Freestanding large entry pilaster set within the landscaped parkway. This pilaster should embody the same character as that of the Primary Community Entry Monument portal, but is reduced in scale to create a “pedestrian gateway” into each neighborhood. Project identification plaque or icon can be located at this pilaster



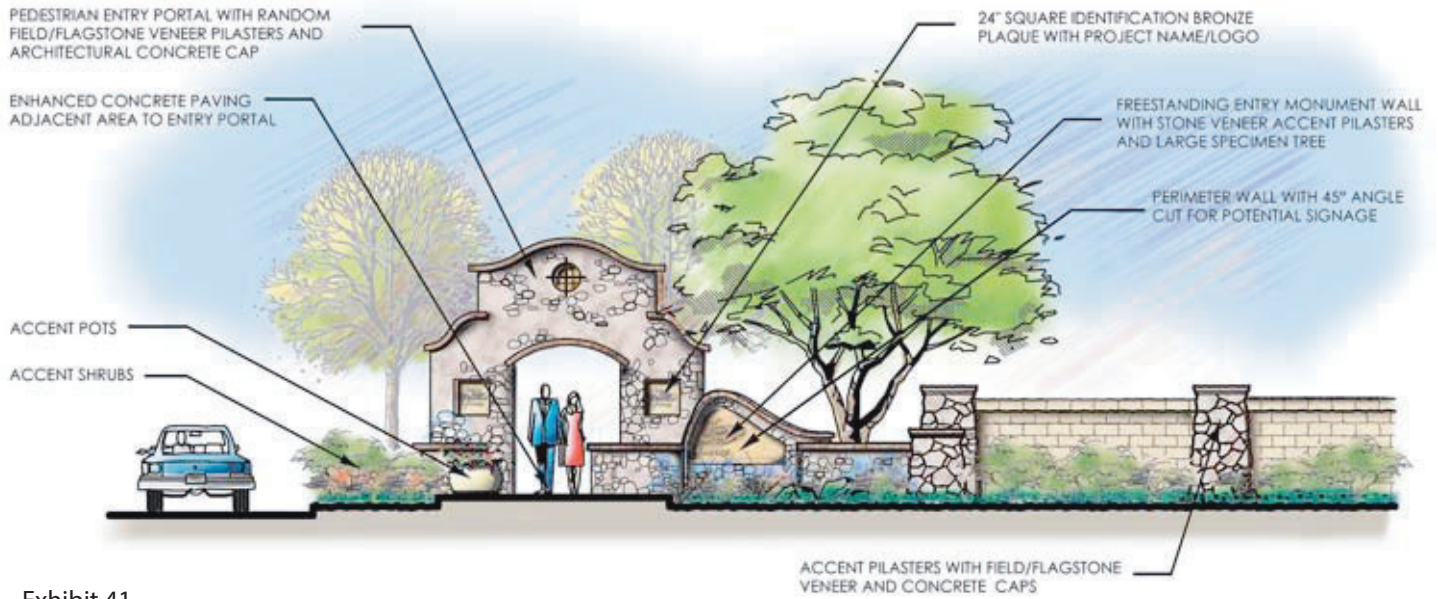


Exhibit 41  
Primary Community Entry and Monumentation

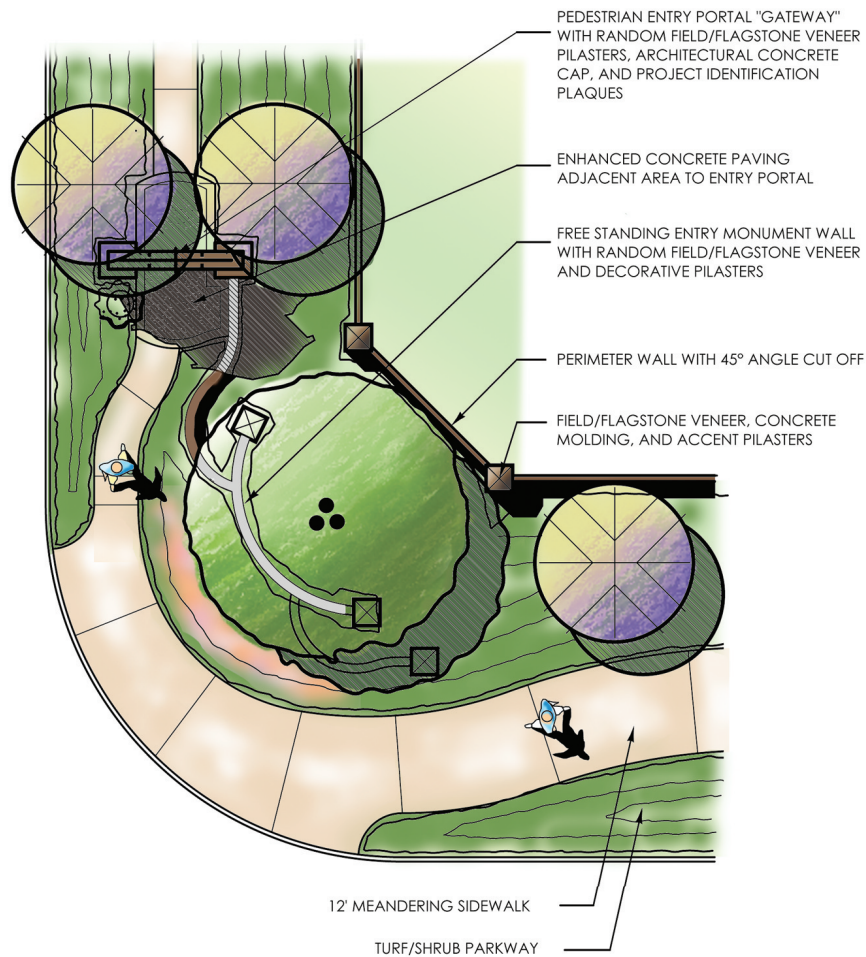


Exhibit 42  
Primary Community Entry and Monumentation – Hamner Avenue

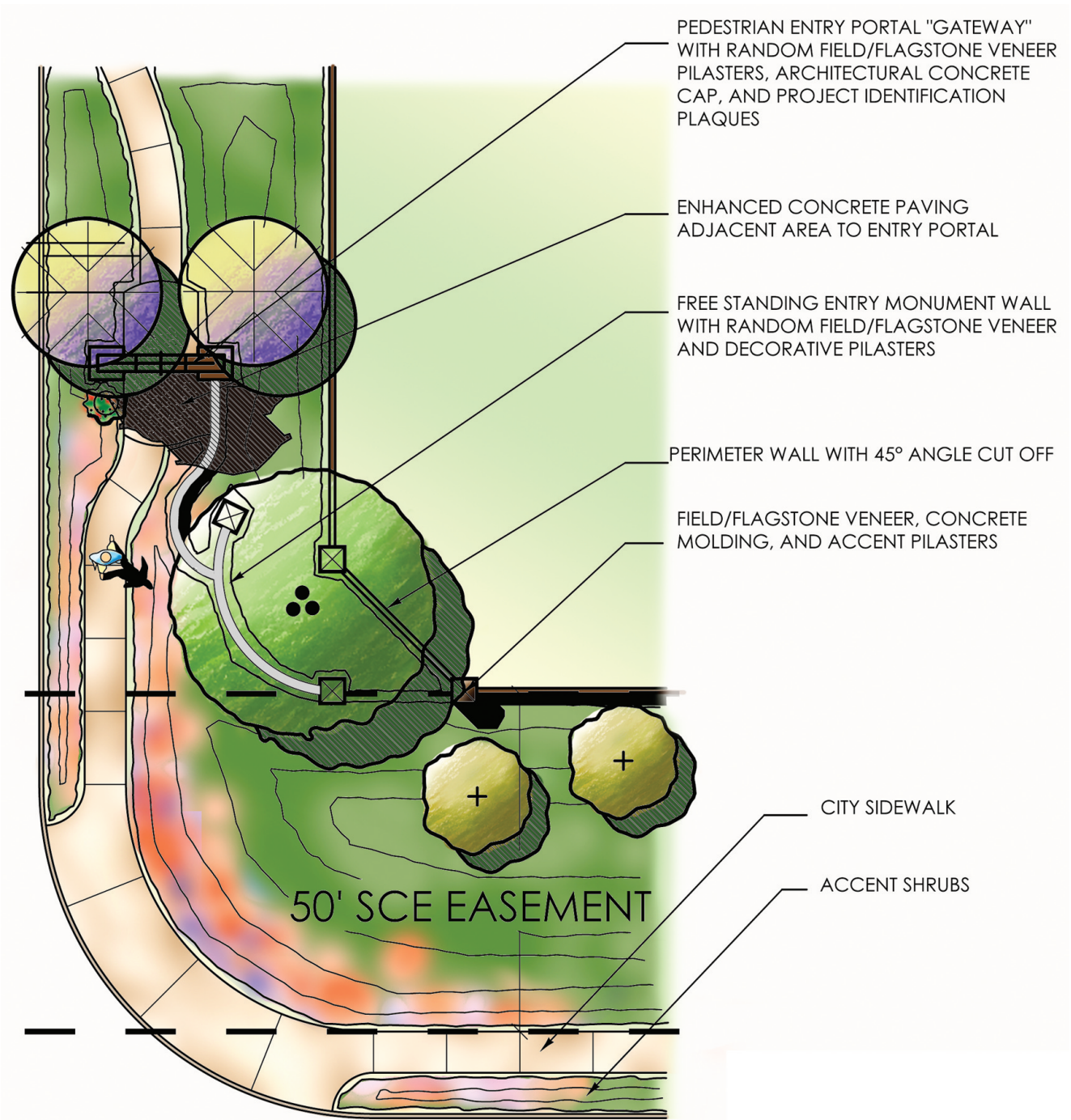


Exhibit 43  
Primary Community Entry and Monumentation – Mill Creek Avenue

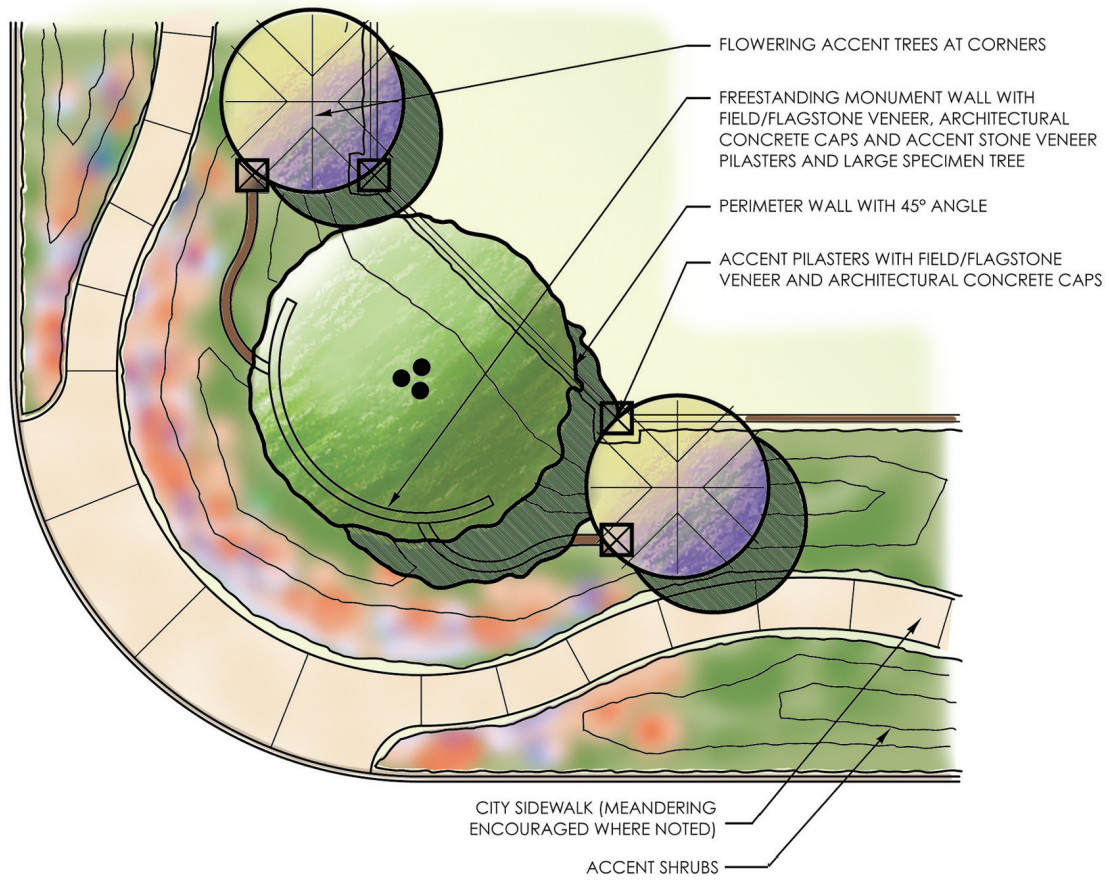
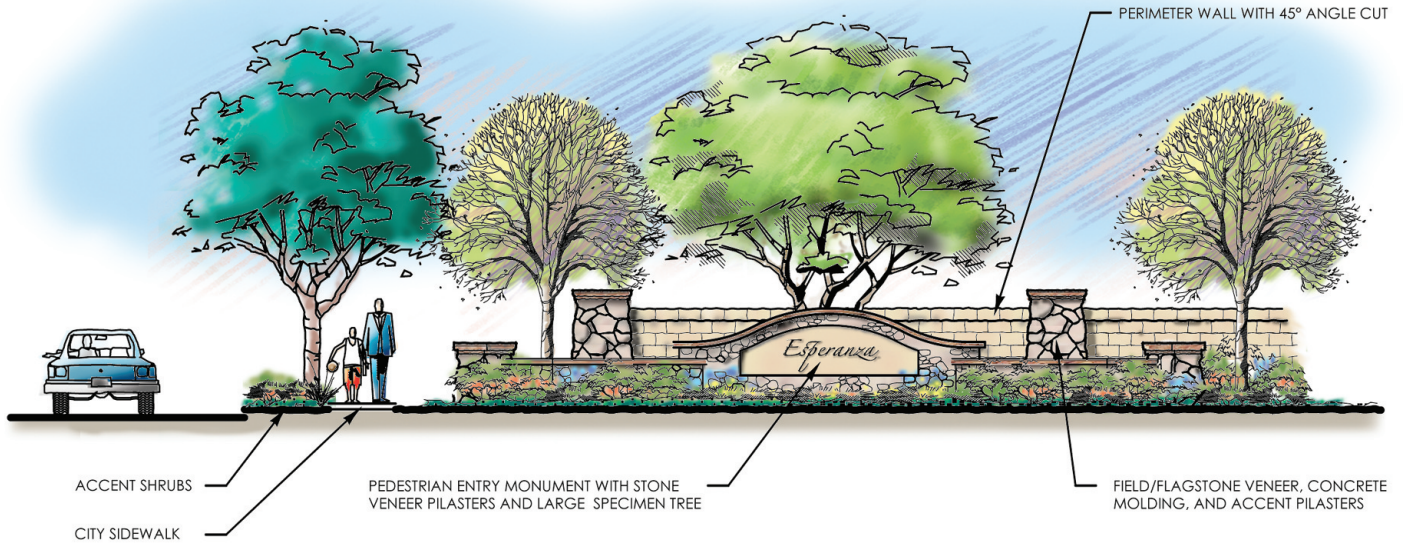


Exhibit 44  
Secondary Community Entry and Monumentation Elevation/Plan

- Identification field for potential sign lettering placement on enhanced perimeter corner cut wall.
- Architectural concrete caps, trim, and bases to help delineate architectural detailing and veneer material used.
- Enhancement of corner cut wall and use of accent pilasters to anchor each side.
- Use of “real” veneer materials instead faux concrete veneers.
- Seasonal perennial flowering to allow for seasonal flowering interest throughout the year.
- Enhanced pedestrian paving at street crossing and at monument location as approved by the City Engineer.
- Accent trees and shrub masses planted in series of layers (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting of landscape/monumentation.
- Handicapped ramps designed to City standards.
- Refer to Exhibit 30, “Conceptual Landscape Master Plan” and Exhibit 45, “Neighborhood Entry and Monumentation” for detailed conceptual illustration.

### 8.15 PARKS AND OPEN SPACE

The Ontario Esperanza Specific Plan Community will have a central “Community Core” that centers on the Neighborhood Park and the School. Exterior walkways and trails should lead to this centralized area. Exhibit 46, “Pedestrian Circulation Plan” illustrates the pedestrian accessibility and connectivity throughout the Esperanza Specific Plan area. Exhibits 47 through 50 illustrate the planning concepts for the Neighborhood Park and Mini-Parks planned for the Esperanza Specific Plan area.

- All project sites shall be designed to meet all the Integrated Waste Department’s requirements, including the requirements for Sizing of Storage, Location of Collection Area, Accessibility for Collection Vehicles, and Collection of Sorted/Diverted Waste Types.<sup>3</sup>

#### 8.15.1 The Neighborhood Park

Park 1, the Neighborhood Park, consists of the following:

- Parking - Parking shall be adequate to accommodate daily use of the park, and should be screened from public view using a combination of berming and landscaping. In addition, the parking configuration should take into consideration alignment with proposed neighborhood streets and provide a minimum of (15) fifteen to (20) twenty parking stalls (including one van accessible handicap stall/unloading area).
- Children’s Tot Lot Play Area - A Tot Lot will be located within close proximity to the parking lot and Restroom Building. Play structures and equipment should be staged to allow for separated use based on age (2-5 yr. and 5-12 yr.). The Tot Lot should also follow ADA guidelines and provide access based off of equipment selected. Play areas and fall zones shall be constructed with synthetic surfacing per ADA standards with wood fiber (“Fibar”) being available as an alternative in non-fall zone areas. Seating areas shall be located near the Tot Lot to provide areas for parental supervision.
- Open turf area/Barbecue Picnic Facilities - The Neighborhood Park should provide an open turf area and barbecue picnic facilities scattered throughout a looped concrete walkway system. Barbecue facilities (minimum of 50%) should be located adjacent to the walkway system for ADA accessibility; the remaining percentage set in open turf

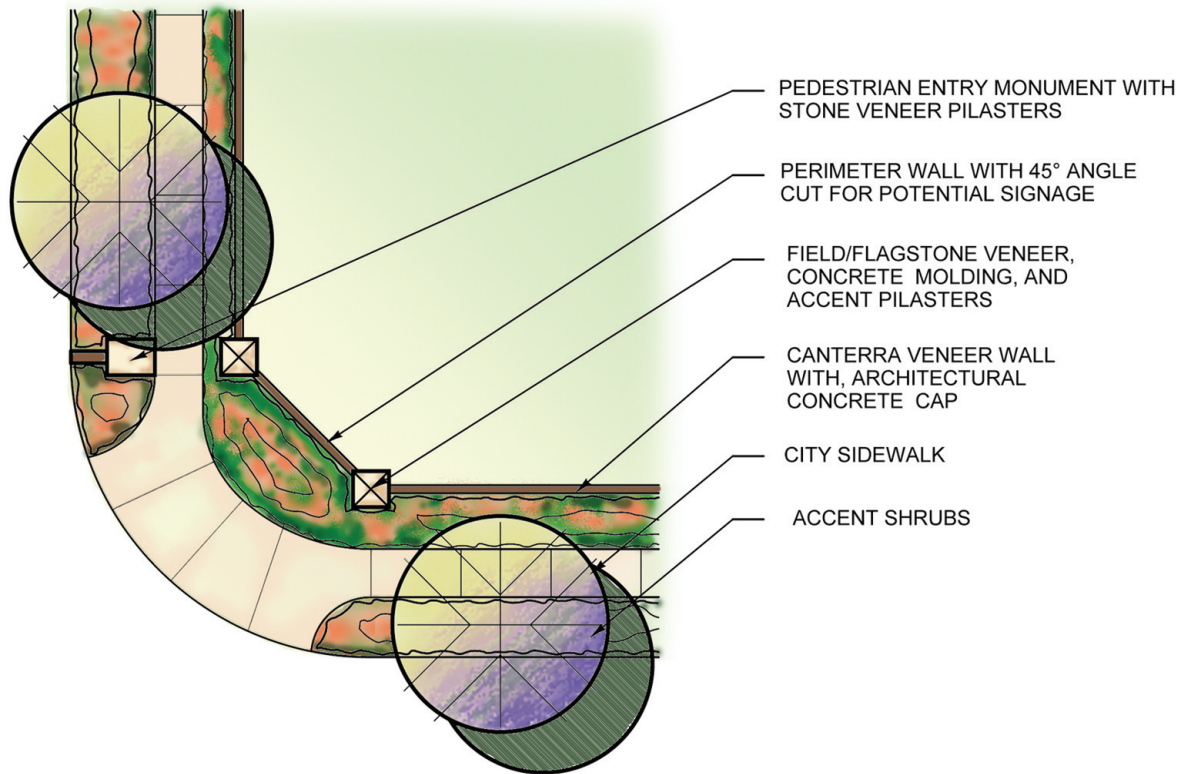
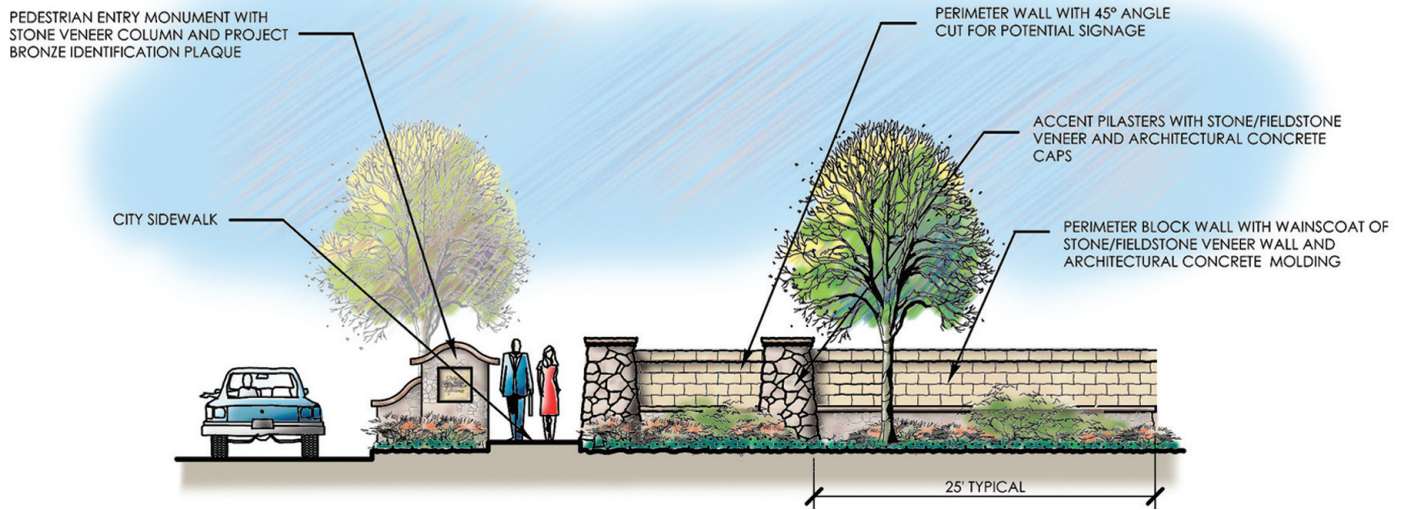


Exhibit 45  
Neighborhood Entry and Monumentation Elevation/Plan

Section 8. DESIGN GUIDELINES

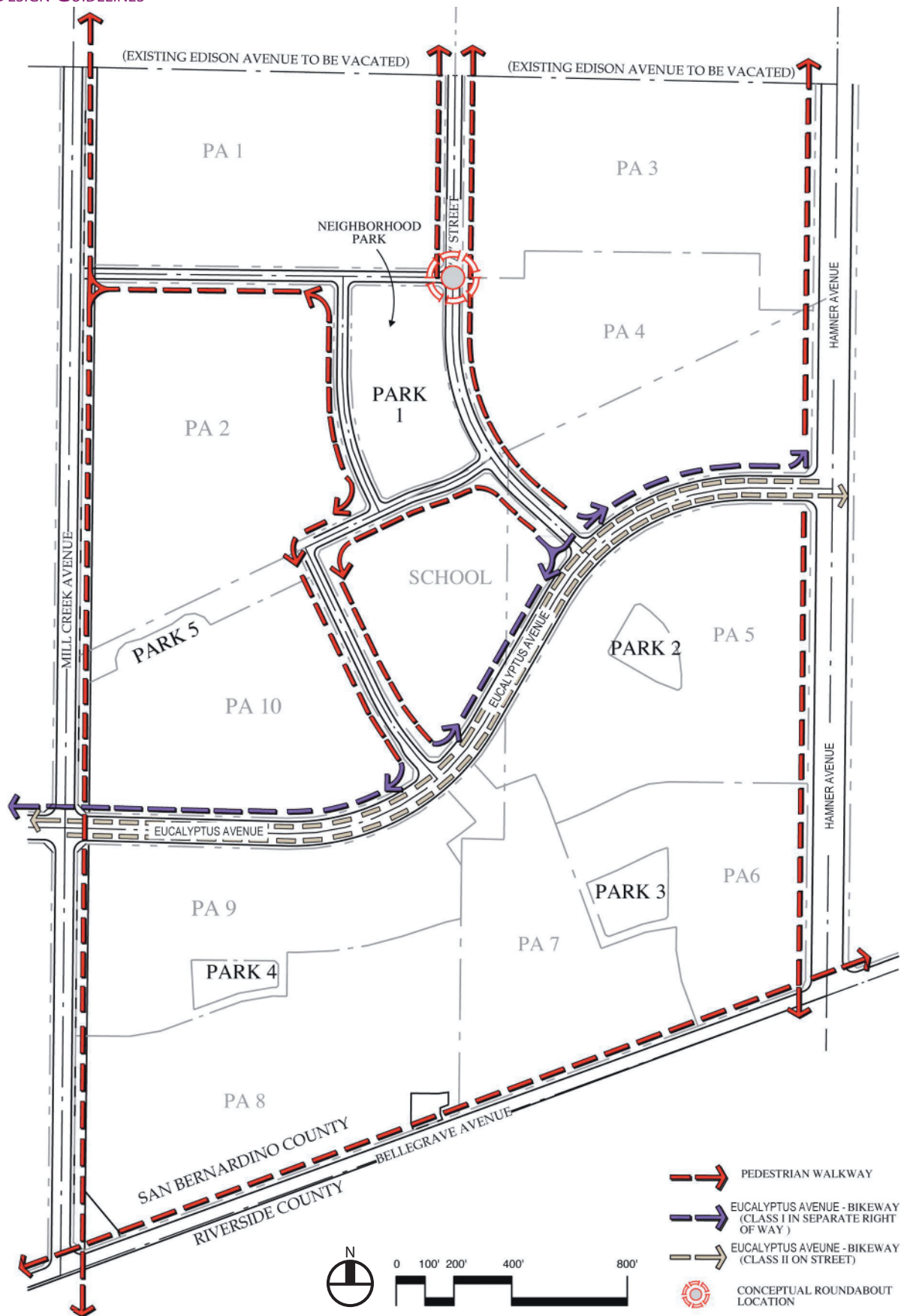


Exhibit 46  
Pedestrian Circulation Plan

areas. Each barbecue picnic facility shall provide a picnic table, freestanding barbecue, and trash receptacle. These barbecue facilities can be placed on concrete or any other ADA acceptable surfacing. The design of the Neighborhood Park open space should take into account pedestrian circulation and the linkage to the two adjacent roads as well as the surrounding community.

- Sports Fields for unorganized play – The open space turf area should be arranged to accommodate two baseball/softball fields and a soccer field overlay. Sports lighting should be discouraged at the park. Wherever feasible a minimum distance of 20 feet should be provided between streets and play areas. Sports fields will be improved in accordance with the City’s Parks and Maintenance Department requirements.
- Landscaping – Landscaping within the Neighborhood Park shall harmonize with the surrounding streetscapes. Large specimen trees should be used within the open turf areas to help provide shade and screening of unwanted views. Accent trees should also be used at pedestrian entries and around the Tot Lot for color and seasonal interest. The park shall be irrigated with reclaimed water by an automated system per the City Standard Specifications for irrigation systems.
- Lighting – Security walkway lighting shall be provided in accordance with City requirements and the design guidelines contained herein.
- Restroom Building – A restroom building shall be located adjacent to the tot lot in clear view of the public streets surrounding the park. The building should be designed to provide separate restroom facilities for both sexes and shall conform to ADA design guidelines. Additional provisions for a storage room for the City of Ontario maintenance personnel shall also be designed (all designs shall be submitted to the City of

Ontario and County Health Department for approval).

- Park monumentation/signage and a lockable trash enclosure area.
- Refer to Exhibit 47, “Neighborhood Park” for detailed conceptual illustrations.

### 8.15.2 Mini Parks and Pedestrian Trails

Pedestrian circulation is highly encouraged within the Ontario Esperanza Specific Plan Community. Landscape easements are provided along major roadways and are encouraged within the neighborhood communities.

- Interior walkways should be designed to provide connections to adjacent neighborhoods as well as linking the Neighborhood Park and School to dedicated neighborhood edge treatments and enhanced landscaped areas.
- Exhibit 47, shows a Neighborhood Park example (5 Acre).”
- Enhanced paving at pedestrian connections where pedestrian circulation crosses roadways.
- Paseos should provide strong connections to “Community Core” (school/5 AC neighborhood park).
- Connection of neighborhood pocket parks to community. The pocket parks are intended to provide minimal amenities, and should be designed with strong neighborhood “eyes-on” approach. Pocket Parks should range between 3/4 – 1 acre in size.

Mini parks for children’s play areas may contain the following amenities:

- Paseo walkway (meandering encouraged/ ADA accessible).
- Landscaping - Landscaping shall harmonize with the surrounding streetscapes and utilize trees, shrubs, and groundcovers identified in the plant matrix.

Section 8. DESIGN GUIDELINES

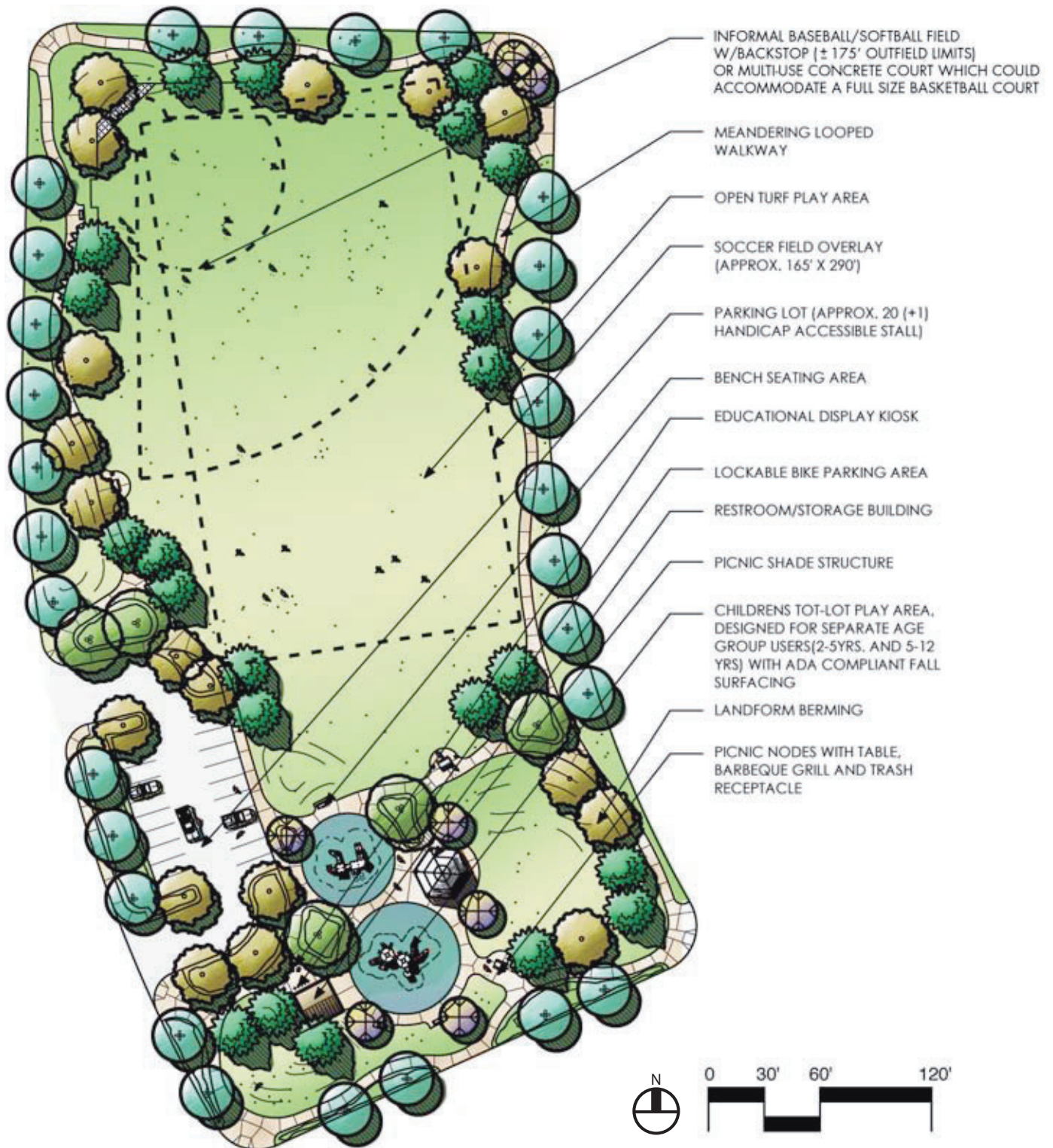


Exhibit 47  
Neighborhood Park



- Lighting – Pole mounted fixtures spaced at appropriate intervals for safety and security.
- Open turf play area

The Mini Parks might contain one or more of the following amenities:

- Barbecue Picnic Facilities
- Basketball/Volleyball Courts
- Tot Lots
- Rose Garden
- Covered Picnic Structures
- Seatwalls/benches
- Community Garden
- Refer to Exhibits 48 through 51 for detailed conceptual illustrations.

## 8.16 COMMUNITY WALLS AND FENCING

Walls are a major component in achieving an overall community theme within the Ontario Esperanza Specific Plan. A strong cohesive appearance is achieved through the use of “community walls” and general overall wall guidelines as illustrated in Exhibit 52, “Master Walls and Fence Plan” and Exhibit 53, “Wall and Fence Details.”

All walls that adjoin community street scenes (major streetscapes identified under Perimeter/Interior Streetscapes) shall be deemed “community walls.” All wall and fencing designs and layout shall be approved by the City of Ontario prior to construction.

### 8.16.1 Community Walls

Community walls shall be decorative in nature. Community walls shall incorporate the use of pilasters of a design consistent with the materials of the community walls. The location and spacing of pilasters shall be subject to Planning Department review and approval.

### 8.16.2 Solid Walls and Fencing

Solid walls shall be decorative. The use of vinyl fencing and wood fencing is prohibited. Reverse frontage walls and any wall return that is visible from public view, shall be constructed of split-face block or precision block that is veneered, burnished (using color other than common gray), plastered or stuccoed, and should complement color scheme dictated in Ontario Esperanza Specific Plan color palette. Decorative caps and the use of pilasters to help enhance the perimeter appeal of the walls are encouraged. Walls visible from the community streets may not be made of exposed or painted precision block or slumped block.

### 8.16.3 View Fencing

If applicable, view fences should be located in the rear yards of those properties abutting large slope areas where the adjacent property is a minimum of 15’ above/below the house pad. These fences allow open views but not physical access; they shall be 5’-6” high and made of tubular steel or lexan glass panel construction. Areas where view fencing occurs will be subject to review by the City of Ontario. The use of tubular steel view fencing shall incorporate pilasters utilizing materials consistent with adjacent walls.

## 8.17 OUTDOOR LIGHTING

Lighting standards within the Ontario Esperanza community shall be consistent in style, color, and materials in order to maintain uniformity throughout. Lighting should be subtle, providing a soft wash of light over illuminated objects such as monumentation. Hierarchy shall be established by using a variety of lighting fixtures and illumination levels based off of lighting design intent. Lighting styles shall tie into architectural styles and provide sufficient illumination for the safety and well

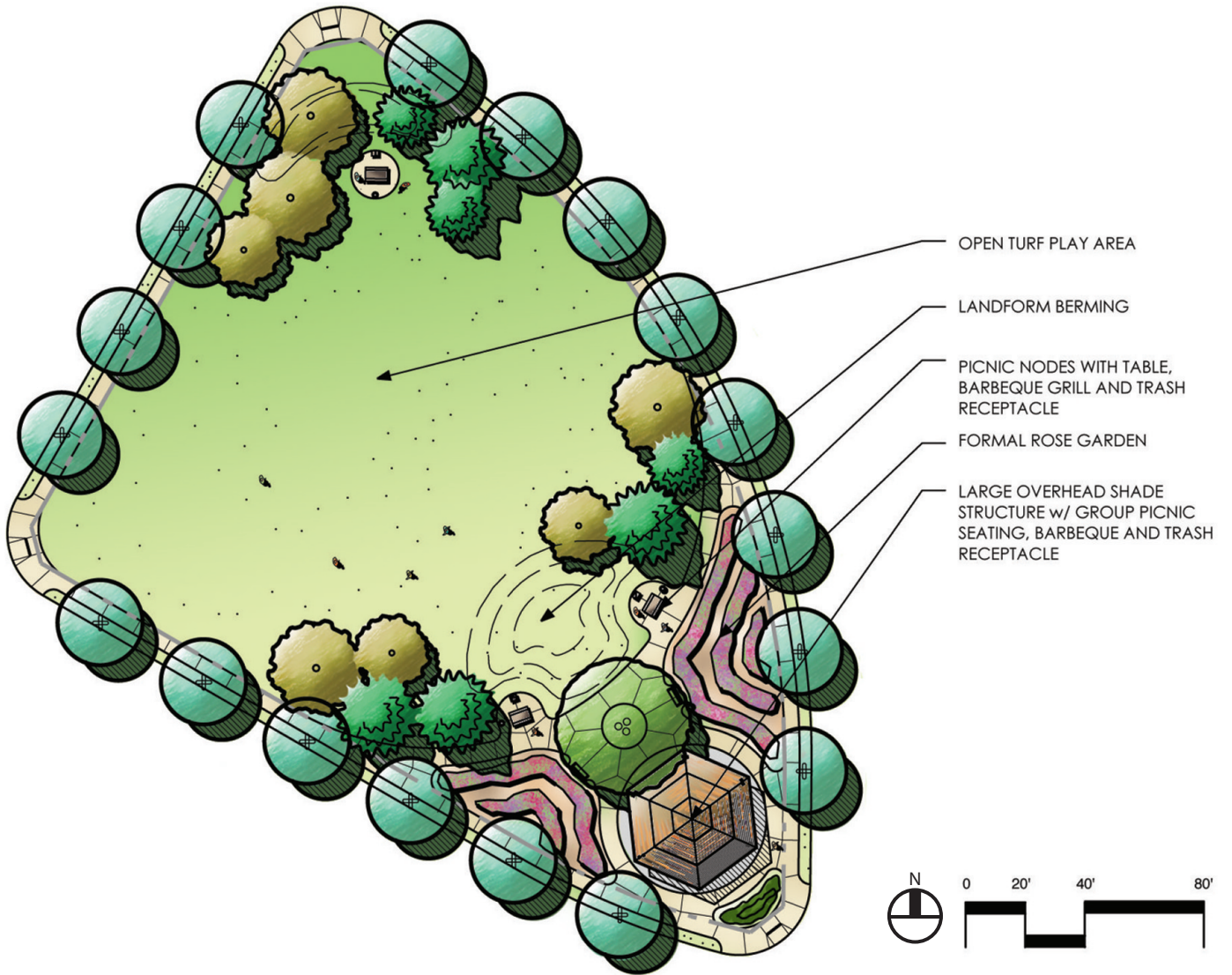


Exhibit 48  
Mini Park Example (Park 2)

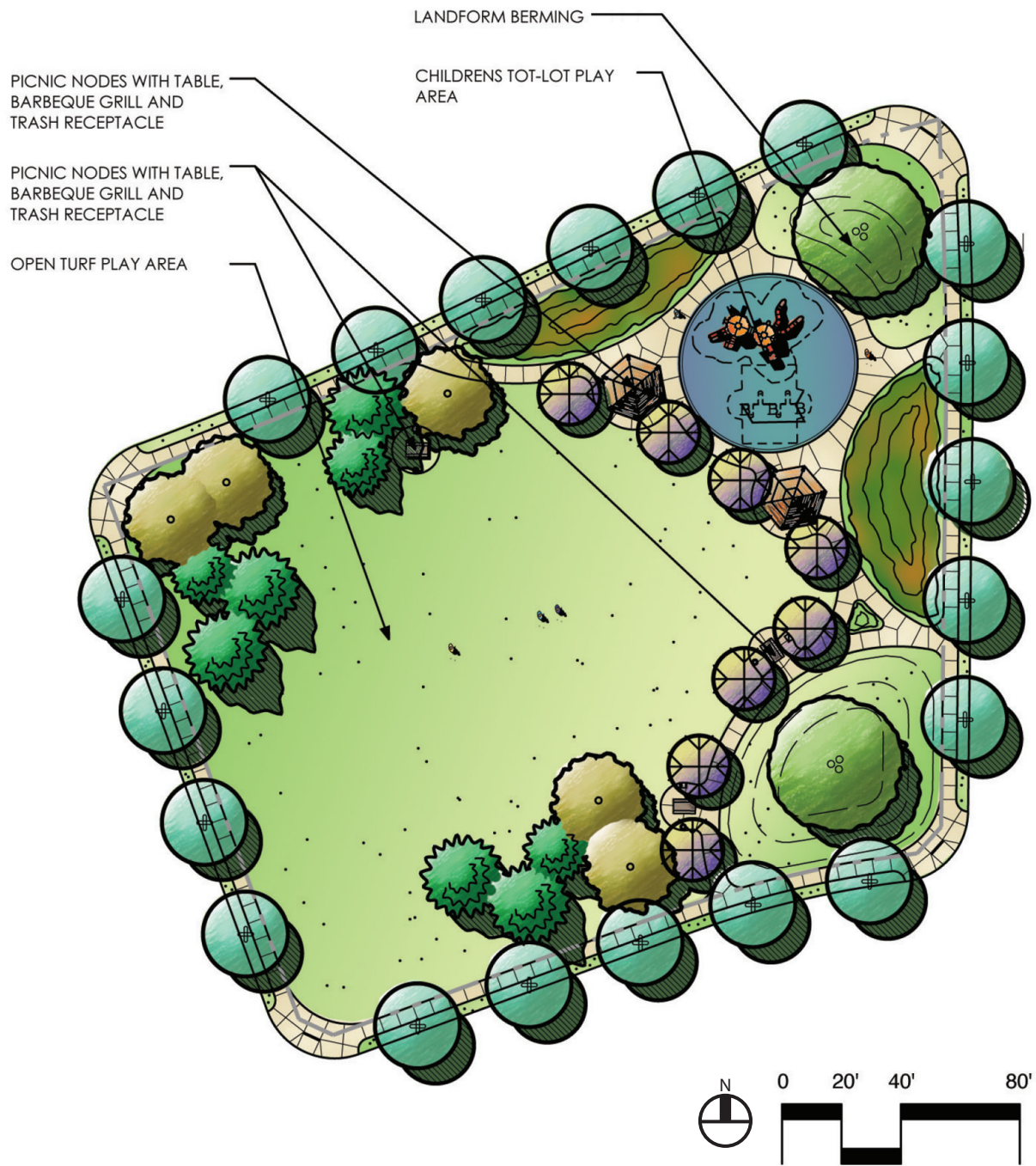


Exhibit 49  
Mini Park Example (Park 3)

Section 8. DESIGN GUIDELINES

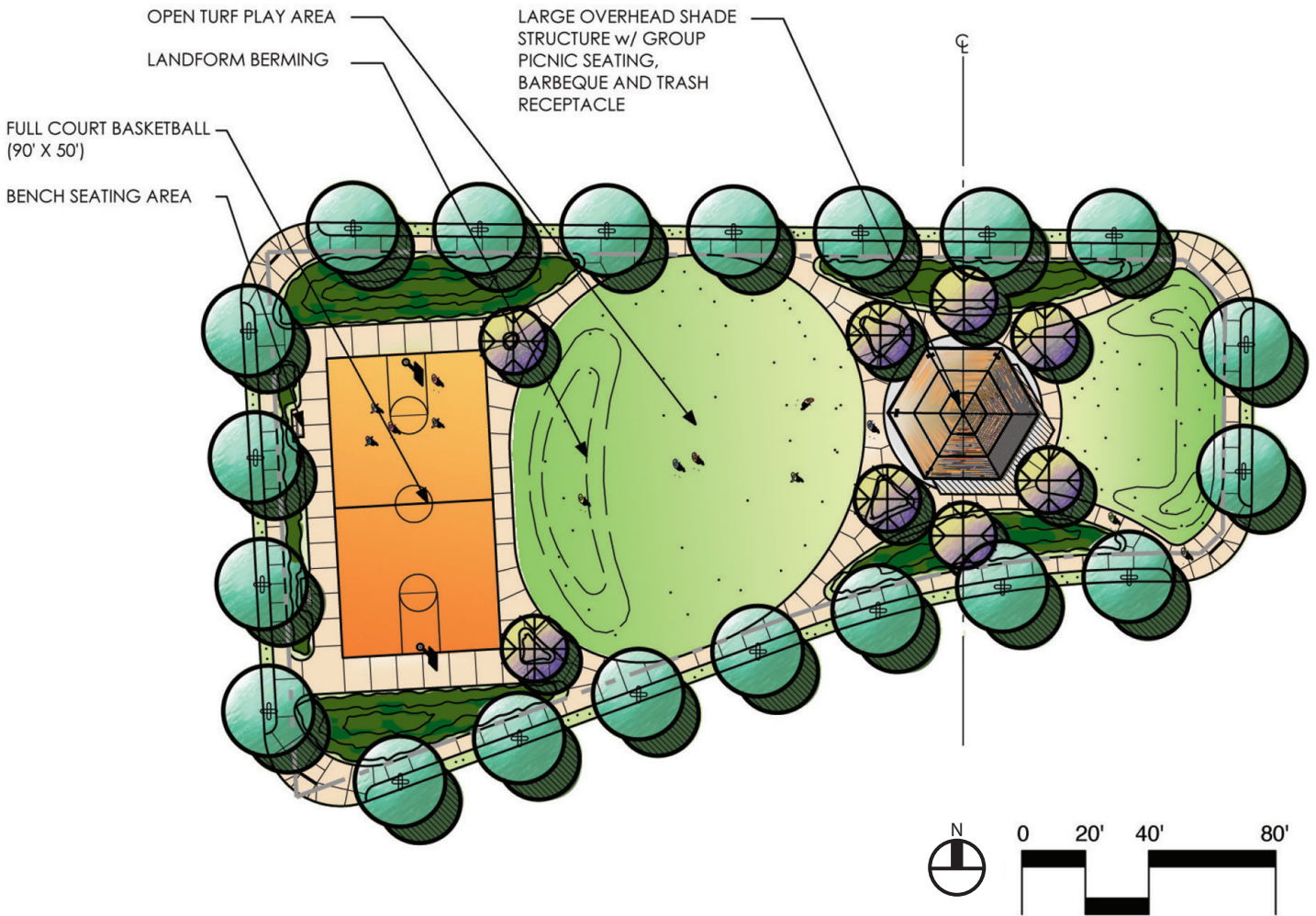


Exhibit 50  
Mini Park Example (Park 4)

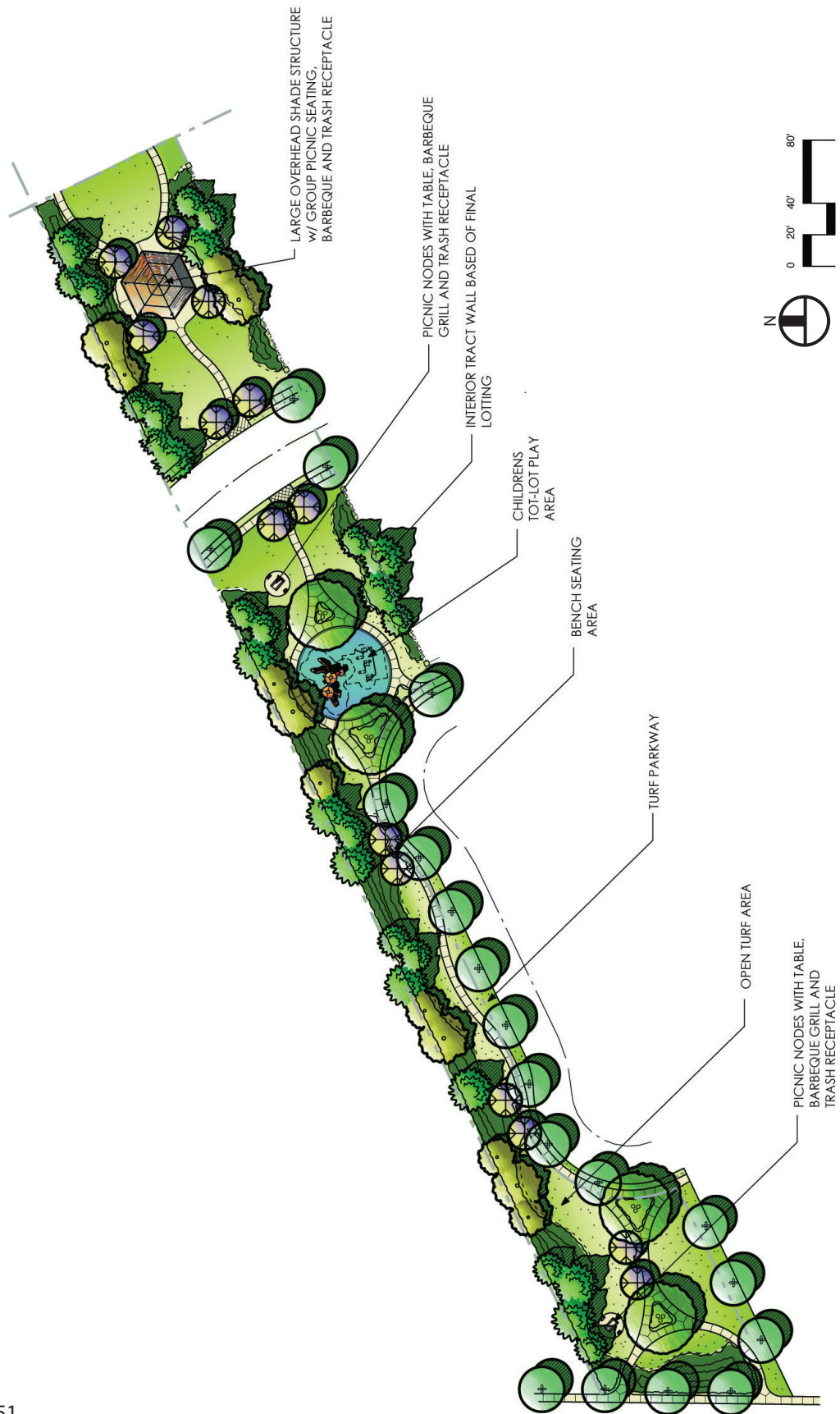


Exhibit 51  
Mini Park Example (Park 5)

Section 8. DESIGN GUIDELINES

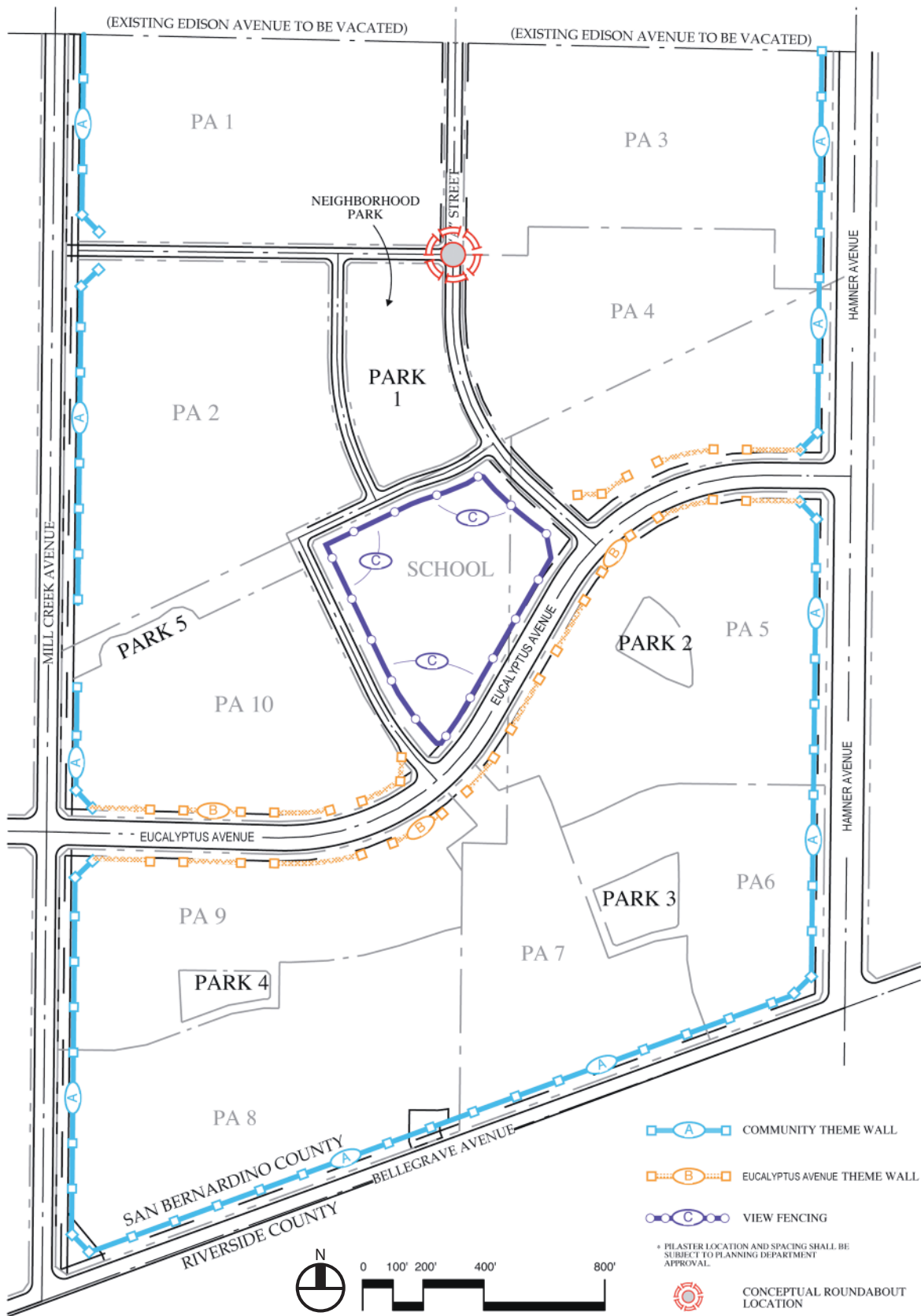
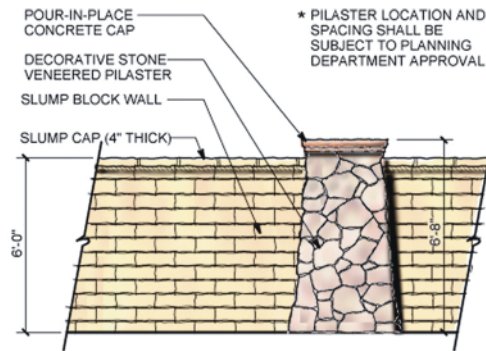
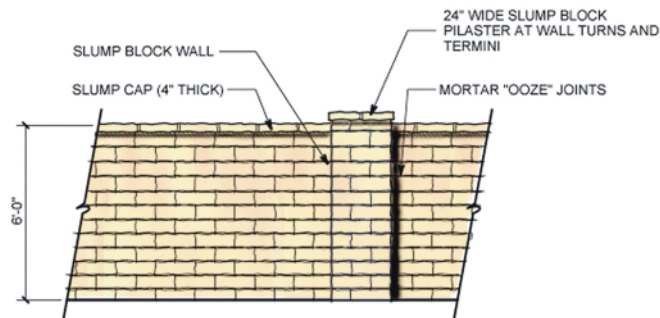


Exhibit 52  
Master Walls and Fence Plan



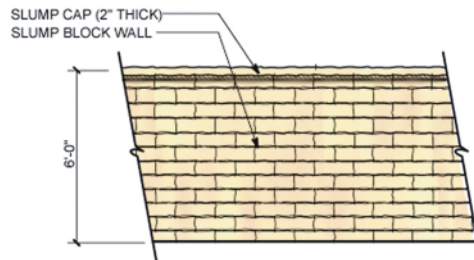
**COMMUNITY THEME WALL**

COMMUNITY THEME COLORED SLUMP BLOCK WALL WITH MORTAR "OOZE" JOINTS AND DECORATIVE STONE VENEERED PILASTERS



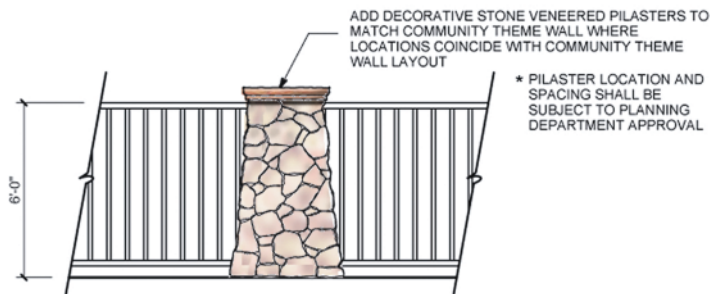
**EUCALYPTUS AVENUE THEME WALL**

COLORED SLUMP BLOCK WALL WITH MORTAR "OOZE" JOINTS WITH SLUMP BLOCK PILASTERS AT CHANGES IN WALL DIRECTION



**SLUMP BLOCK WALL**

NEIGHBORHOOD BLOCK WALL IS TYPICALLY USED WHERE PRIVACY IS DESIRED AT SIDE YARD RETURNS AND PROPERTY LINE LOCATIONS. OVERALL WALL HEIGHT SHALL BE 6'-0" FEET.



**TUBULAR STEEL VIEW FENCING**

OPEN TUBULAR STEEL FENCING IS TYPICALLY UTILIZED ON MULTI-FAMILY/HIGH DENSITY PROJECTS AROUND THE PERIMETER AND IN REAR YARDS WHERE VIEW PRESERVATION IS DESIRABLE.

Exhibit 53  
Wall and Fence Details

being of the community. Preservation of “Night-Sky” should be considered in lighting design layout and fixture selection. Use of “cut-off” or louvered lamps to preserve ambiance of “Night-Sky” is highly encouraged. Fixture locations should be designed so that light source is not visible by pedestrian or vehicular traffic. Frosted, louvered, or prismatic lens should be considered where decorative lighting fixtures are visible and part of the aesthetic lighting program. Accent lighting of landscape and monumentation shall be incorporated into the following areas:

#### 8.17.1 Entry Monument Lighting:

Avoid intensely bright or “hot” lighting of monuments; rather, each should be lit to provide a soft wash of light across the monument signage. Specimen trees should be up-lit with several fixtures into the canopy to avoid creating dark sides of the trees.

#### 8.17.2 Neighborhood Park/ Mini Parks/Walkway Lighting

Lighting of the walkways, tot lots, restroom facility, and parking areas within the Parks should be considered for safety and security. All planned parking areas shall have a minimum maintained lighting level of one-foot candle (1 F.C.) or greater. The lighting shall be from sunset to sunrise and be operated by a photocell. The site plan shall be provided to the Police Department. It shall show all buildings, parking areas, walkways, detailed landscape areas and point-by-point photometry calculation of required light levels. Utilization of a traditional Globe/Acorn Post mounted light fixture should be considered for both the park open space areas as well as interior street lighting fixtures. Keeping with the character of traditional materials, (like those found in the “Model Colony” in Downtown Ontario) this will help to create a better sense of scale to the pedestrian. Fixtures

shall be vandal resistant, not less than (8) eight feet from ground level. Luminaries of not less than (42”) may be utilized to illuminate a walkway if adjacent landscaping is of a variety which does not mature higher than (2) two feet.



## 8.18 LANDSCAPE DESIGN

### 8.18.1 Public Landscapes

- Landscape plantings in public areas should reflect a commitment to both developing a “sense of place” and maintaining harmony with the Ontario Ranch.
- Community Facilities District (CFD) areas shall be separated with a 6” by 6” concrete mow strip when adjacent to private property.
- A landscape architect licensed in California shall be retained to prepare planting and irrigation plans for all public areas. Arrangement of plants should incorporate the concepts of mass planting; plants should be placed to allow them to grow to their natural sizes and forms, and sheared hedges should be kept to a minimum.

The plant matrix at the end of this section offers a suggested plant palette for Ontario Esperanza; while it is by no means all-inclusive, plantings in public areas should draw primarily from this palette for visual community continuity.

### 8.18.2 Front Yard Landscapes<sup>4</sup>

Plantings in front yards may vary substantially from the Ontario Esperanza palette, but should retain some of the character and style of the public plantings. No more than 25% of the total square footage of any front yard shall be lawn; the balance shall be composed of shrubs and groundcovers, with an emphasis on drought tolerant plant species. No more than 55% of the front yard area shall be hardscape. Turf areas shall be sized and shaped to optimize irrigation efficiency. If turf is used in isolated areas such as driveway strips, subsurface irrigation or microspray heads shall be required to avoid overspraying of these areas. Irregular shapes that cannot be irrigated should be avoided.

- Each single-family lot shall be provided with front yard landscaping and a permanent au-

tomatic irrigation system. At a minimum, a seeded turf lawn, appropriate shrubs and trees shall be provided as landscaping materials. A variety of typical landscape designs shall be provided for use on each lot within the subdivision.

- Multiple family residential product areas shall be provided with full landscape improvements throughout the development. At a minimum, a seeded turf lawn, appropriate shrubs and trees, and a permanent irrigation system shall be provided.
- Landscape and irrigation drawings for each development shall be submitted in conjunction with house construction plans. The plans shall be approved by the Planning Department and the Landscape Planning Division prior to the issuance of building permits.
- Areas of a lot or site which are not used for drive entries, parking, or approved outdoor uses shall be fully landscaped; all unpaved areas shall be landscaped; and all future development phase areas shall be hydroseeded.

### 8.18.3 Soil Testing

Soil samples shall be taken from several locations after the completion of rough grading operations, and a reputable soil-testing laboratory shall perform an agronomic soils test. The test shall assess soil fertility needs for water-wise California native and Mediterranean plant types. No planting shall take place until the soil has been properly prepared based on the recommendations of the soils testing laboratory. Organic soils amendments shall be incorporated as necessary to achieve a recommended percolation rate of one inch per hour.

### 8.18.4 Slope Landscaping

All manufactured and cut/fill slopes which exceed 3' in height shall be planted with an effective mixture of ground cover, shrubs, trees, and include jute matting. Such slopes shall also be irrigated as necessary to ensure germination and establishment.<sup>5</sup>

### 8.18.5 Interior Slopes: Residential Interior

- Interior slopes may be more ornamental in character than exterior slopes. They may have a somewhat broader range of plant materials than exterior slopes, but should still be chosen primarily from the Ontario Esperanza plant palette and are subject to the same fuel modification restrictions.
- All manufactured and cut/fill slopes which exceed 3' in height shall be planted with an effective mixture of groundcover, shrubs, and trees. Such slopes shall also be irrigated as necessary to ensure germination and establishment.

### 8.18.6 Streetscape Landscaping

#### Streetscape Development Standards

- Turf grass shall only be used in areas with street side parking and shall be located adjacent to the sidewalk or curb line.<sup>6</sup>
- All new plantings within the Ontario Esperanza planned community shall draw substantially from the Ontario Esperanza Plant List included in this document.
- All streetscape landscaping within the Ontario Esperanza planned community will be implemented by the Developer in accordance with this Specific Plan.

- The Developer shall install all primary and secondary improvements concurrently with the construction of the roadway on which they front. Neighborhood intersections shall be constructed as each neighborhood street is built.
- The Developer shall provide site inspection of all construction and installation of entries and intersections in accordance the City of Ontario requirements.

### 8.18.7 Irrigation Design

Irrigation for both public and private landscapes should be designed to be as water-efficient as possible. All irrigation systems shall have automatic controllers designed to properly water plant materials given the site's soil conditions, and irrigation systems for all public landscapes shall have automatic rain shut-off devices. Drip irrigation is not permitted with CFD landscape areas. Spray systems shall have low volume (gpm) matched-precipitation heads. All CFD areas are to be controlled with a central control irrigation system and all trees are to be irrigated utilizing a flush grade bubbler system on a separate valve. All CFD areas shall be designed to City Standard Specifications.<sup>7</sup>

All irrigation products specified shall achieve an irrigation operational distribution uniformity of 70% or greater in all turf areas and 80% in all other landscaped areas. Turf areas shall be irrigated with equipment that has a precipitation rate of one inch or less per hour as specified by the manufacturer. Stream rotator heads or low volume spray heads are acceptable for turf areas. Use of standard spray heads shall be avoided. Non turf shrub areas shall be irrigated with low volume micro spray or point application devices, where manufacturer's specification indicates output measured and expressed in gallons per hour.

Botanical Name	Common Name	Eucalyptus Avenue (Per Ontario Ranch Streetscape Master Plan)	Belgrave Avenue (Per Ontario Ranch Streetscape Master Plan)	Mill Creek Avenue (Per Ontario Ranch Streetscape Master Plan)	Hammer Avenue (Per Ontario Ranch Streetscape Master Plan)	SCE Easement (Mill Creek Avenue)	Primary Community Entries	Secondary Community Entries	Neighborhood Entries	Neighborhood Park Open Space	Mini Parks	Alleys
<i>Arbutus unedo</i>	Strawberry Tree					•						•
<i>Acacia cultriformis</i>	Knife Acacia					•						
<i>Brachychiton populneus</i>	Bottle Tree								•	•		•
<i>Callistemon viminalis</i>	Weeping Bottlebrush											•
<i>Cedrus deodara</i>	Deodar Cedar									•		
<i>Chionanthus retusus</i>	Chinese Fringe Tree								•	•		
<i>Cupressus sempervirens</i>	Italian Cypress						•	•	•			
<i>Dodonaea viscosa</i>	Hopseed Bush					•						•
<i>Cercis canadensis</i>	Eastern Redbud					•						•
<i>Juniperus chinensis 'Torulosa'</i>	Hollywood Juniper											•
<i>Lagerstroemia indica hybrids</i>	Crape Myrtle								•	•	•	
<i>Liquidambar styraciflua</i>	American Sweet Gum									•		
<i>Olea europea</i>	Olive										•	
<i>Olea europea</i>	Olive									•	•	•
<i>Melaleuca linariifolia</i>	Falxleaf Paperbark									•		
<i>Melaleuca nesophila</i>	Pink Melaleuca					•						•
<i>Melaleuca quinquinervia</i>	Cajeput Tree									•		
<i>Pinus canarensis</i>	Canary Island Pine									•	•	
<i>Platanus acerifolia</i>	London Plane Tree									•	•	
<i>Platanus racemosa</i>	Western Sycamore						•			•		
<i>Podocarpus gracilior</i>	Yew Pine								•		•	
<i>Tristania conferta</i>	Brisbane Box									•	•	
<i>Fraxinus uhdei</i>	Ash								•		•	
<i>Quercus agrifolia</i>	Coast Live Oak						•	•		•		
<i>Quercus ilex</i>	Holly Oak									•		
<i>Rhus lancea</i>	African Sumac											•
<i>Schinus molle</i>	California Pepper						•	•		•		
<i>Tristania laurina</i>	Water Gum											•

Table 6  
Plant Matrix - Trees<sup>8</sup>

Botanical Name	Common Name	Euclayplus Avenue	Belgrave Avenue	Mill Creek Avenue	Hamner Avenue	SCE Easement (Mill Creek Avenue)	Primary Community Entries	Secondary Community Entries	Neighborhood Entries	Community Park Open Space	Linear Park	Paseo Trail System	Alleys
<i>Agapanthus species</i>	Lily of the Nile												
<i>Anigozanthos species</i>	Kangaroo Paws												
<i>Arbutus unedo 'Compacta'</i>	Compact Strawberry Tree												
<i>Arctostaphylos d. 'Howard McMinn'</i>	McMinn Manzanita												
<i>Asparagus densiflorus 'Myers'</i>	Myers Asparagus												
<i>Bergenia cordifolia</i>	Bergenia												
<i>Buxus japonica</i>	Japanese Boxwood												
<i>Calliandra haematocephala</i>	Pink Powder Puff												
<i>Callistemon 'Little John'</i>	Dwarf Callistemon												
<i>Camellia species</i>	Camellia												
<i>Campanula poschcharskyana</i>	Serbian Bellflower												
<i>Carex tumulicola</i>	Berkeley Sedge												
<i>Cercis occidentalis</i>	Western Redbud												
<i>Salvia</i>	Sage												
<i>Salvia</i>	Sage												
<i>Correa pulchella 'Mission Bells'</i>	Australian Fuchsia												
<i>Cotoneaster lacteus</i>	Cotoneaster												
<i>Deschampsia cespitosa</i>	Hair Grass												
<i>Dietes iridioides</i>	Fortnight Lily												
<i>Dodonaea viscosa</i>	Hopseed-Bush												
<i>Echium fastuosum</i>	Pride of Madiera												
<i>Festuca mairei</i>	Atlas Fescue												
<i>Geranium incanum</i>	Carpet Geranium												
<i>Geranium 'Johnson's Blue'</i>	Johnson's Blue Geranium												
<i>Helictotrichon</i>	Oat Grass												
<i>Helictotrichon</i>	Oat Grass												
<i>Helictotrichon sempervirens</i>	Blue Oat Grass												
<i>Hemerocallis hybrids (evergreen)</i>	Daylily - mixed colors												
<i>Heuchera sanguinea</i>	Coral Bells												
<i>Juniperus species</i>	Juniper												
<i>Kniphofia uvaria</i>	Red Hot Poker												
<i>Lantana species</i>	Lantana												
<i>Lavatera maritima</i>	Tree Mallow												
<i>Leptospermum scoparium</i>	New Zealand Tea Tree												
<i>Ligustrum japonicum 'Texanum'</i>	Japanese Privet												
<i>Mahonia aquifolium</i>	Oregon Grape												
<i>Mimulus species</i>	Monkey Flower												
<i>Muhlenbergia rigens</i>	Deer Grass												
<i>Myoporum parvifolium</i>	Trailing Myoporum												
<i>Myrtus communis 'Compacta'</i>	Dwarf Myrtle												
<i>Nandina domestica</i>	Heavenly Bamboo												
<i>Nephrolepis cordifolia</i>	Southern Sword Fern												
<i>Nessella tenuissima</i>	Mexican Feather Grass												
<i>Penstemon species</i>	Beard Tongue												
<i>Phormium hybrids</i>	Hybrid New Zealand Flax												
<i>Photinia x fraseri</i>	Photinia												
<i>Plumbago auriculata</i>	Cape Plumbago												
<i>Prunus c. 'Bright 'n Tight'</i>	Carolina Laurel Cherry												
<i>Rosa species</i>	Rose												
<i>Rosmarinus officianalis and hybrids</i>	Rosemary												
<i>Salvia greggii and cultivars</i>	Autumn Sage												
<i>Sedum 'Autumn Joy'</i>	Autumn Joy Stonecrop												
<i>Tecomaria capensis</i>	Cape Honeysuckle												
<i>Teucrium x lucidrys</i>	Bush Germander												
<i>Xylosma congestum</i>	Shiny Leaf Xylosma												
<i>Viburnum tinus 'Spring Boquet'</i>	Spring Boquet Laurustinus												

Table 7  
Plant Matrix - Shrubs<sup>9</sup>

Endnotes

- 1 Revised Milliken parkway to 15'
- 2 Remove bullet per Landscape
- 3 Revision per OMUC.
- 4 Revised per Landscape
- 5 Revised per Landscape
- 6 Revised per Landscape
- 7 Revised per Landscape
- 8 Revised per Landscape
- 9 Revised per Landscape