

Section 6 - Design Guidelines

6.1 Introduction

All residential master planned communities seek to create a unique identity for their residents and the surrounding community. There are four main components in developing this character for The Avenue. These include:

- A strong, well defined and memorable site plan, emphasizing La Avenida Drive streetscape as a defining element
- Appropriate community amenities and facility design
- Attractive and timeless landscape architecture
- Complementary and purely themed residential architectural styles

In addition to quality site planning and facility design, the residential architectural design concept for The Avenue seeks to blend the traditional architectural styles found in the Pacific Southwest with contemporary lifestyles, building methods and technologies. The specific styles selected for this community include Spanish, Bungalow, California Ranch, Monterey and Cottage. The design aspects of each of these styles will be further described in the following guidelines.

As the individual architectural styles for each home are developed for the various neighborhoods, it is important that the underlying lifestyle defined by each architectural style is considered in the development of the floor plans to help maintain architectural authenticity. The creation of successful floor plans and elevations will always be a function of good design, coupled with the incorporation of contemporary lifestyles and building standards.

Builders may submit home designs using alternative architectural styles to those listed, provided they are consistent with the Specific Plan, and appropriate to the region, environment, and setting.

The architectural character of The Avenue should provide:

- A unique and interesting architectural heritage as the community develops
- Compatible and complementary styles, colors, materials and detailing
- Massing, setbacks and articulation which are appropriate and fundamentally sound
- Historical relevance and timelessness
- Adaptable and flexible to changing market desires

The following design guidelines address site design issues, and key elements of each architectural style.

6.2 Site Planning and Design

The first critical aspect of creating an attractive and successful residential community is proper site planning. Important components of site planning include building setbacks and plotting, architectural massing and articulation, roof forms and garage placement. These components must be successfully addressed regardless of the architectural styles selected

6.2.1 Setbacks and Plotting

The relationship of each building to the property lines, street frontages and to adjacent buildings should be carefully considered within each neighborhood. In addition to the minimum setback standards, variable front and rear setbacks should be incorporated into the plotting of each product type. Corner lots and critical edge conditions shall have increased setbacks to soften the impact of the architecture on the streetscape. These plot prototypes are for illustrative purposes. The Residential Development Standards (Table 3a-3j) will serve as zoning for the project upon adoption of The Avenue Specific Plan.

Lot Demonstration Plotting 5,500+ SF Lot (Product Type 1A)



The Avenue

Lot Demonstration Plotting 4,250-5,775 SF Lot (Product Type 1B)



Lot Demonstration Plotting 3,200 - 5,600 SF Lot (Product Type 1C)



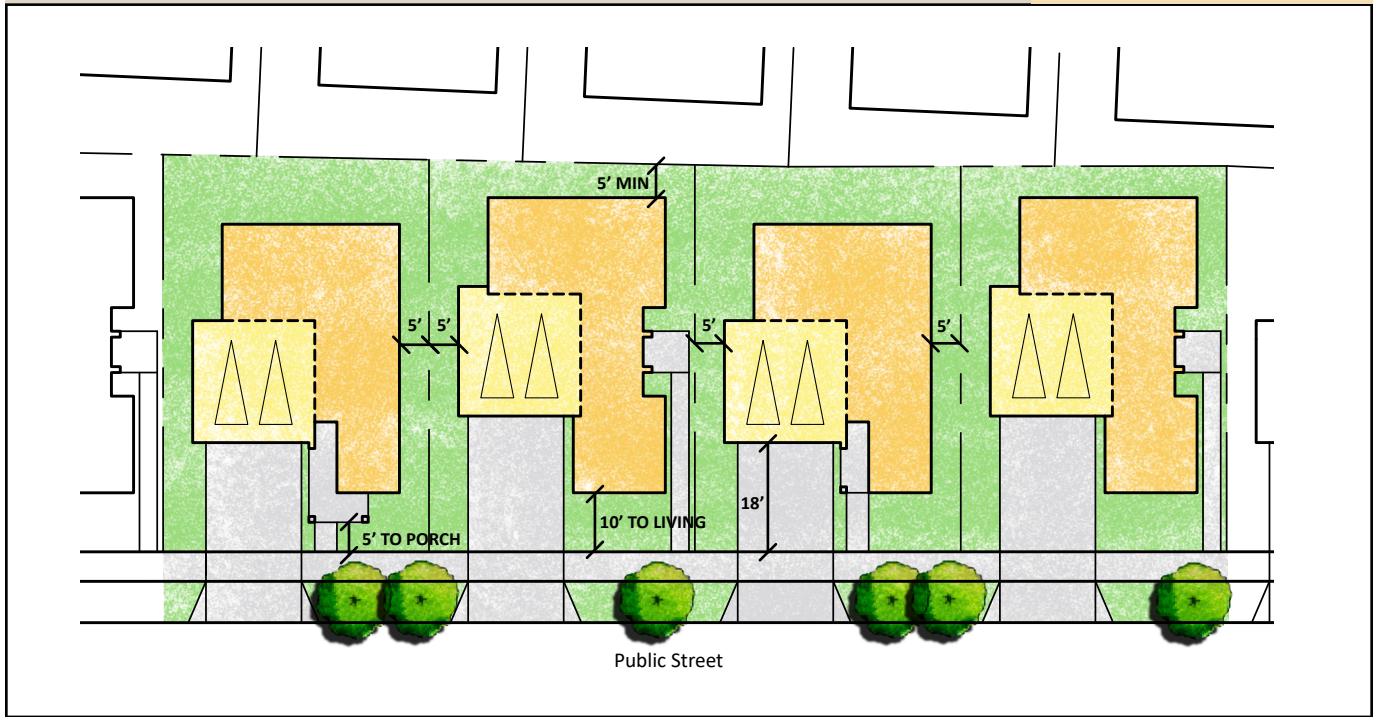
The Avenue

SPECIFIC PLAN

The New Model Colony

ONTARIO, CALIFORNIA

Lot Demonstration Plotting 0 ,000 - 0,000 SF Lot (Product Type 1D) - Public Street



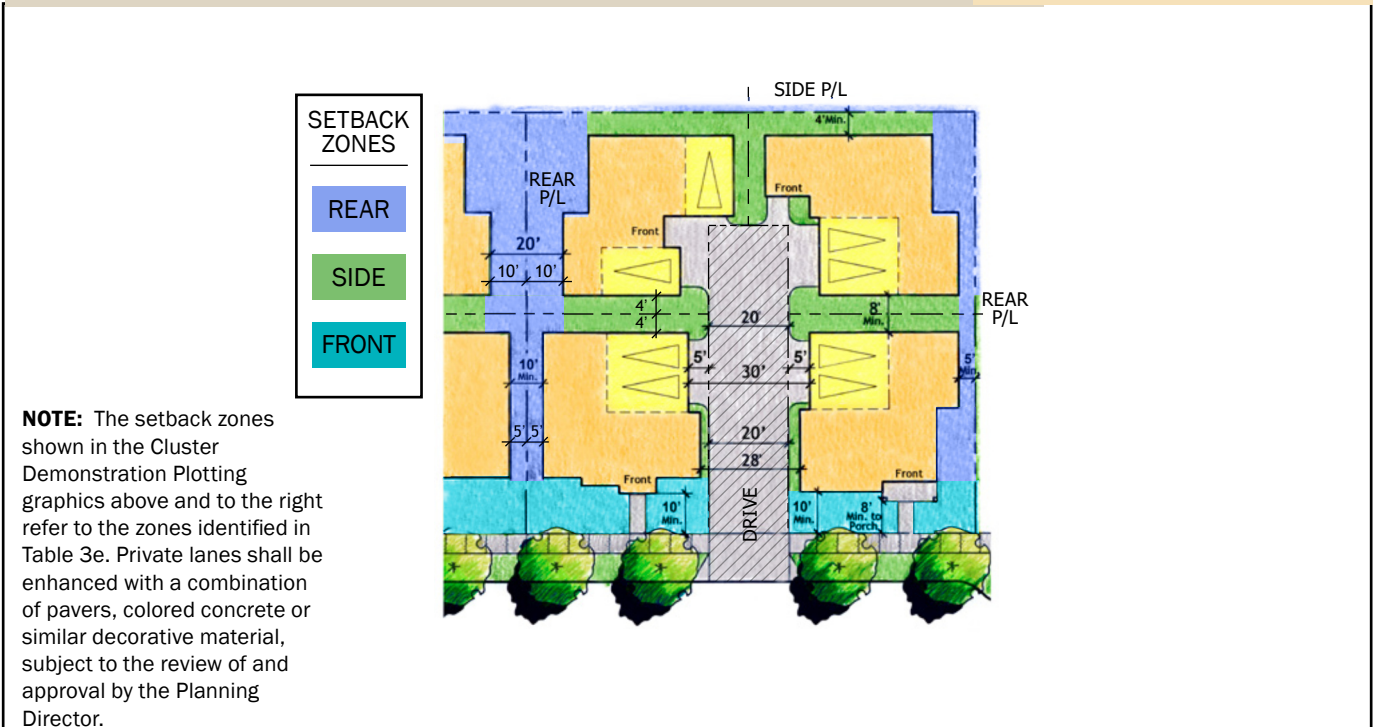
Lot Demonstration Plotting 0 ,000 - 0,000 SF Lot (Product Type 1D) - Private Drive



Lot Demonstration Plotting 2,380 - 3,600 SF Lot (Product Type 2)



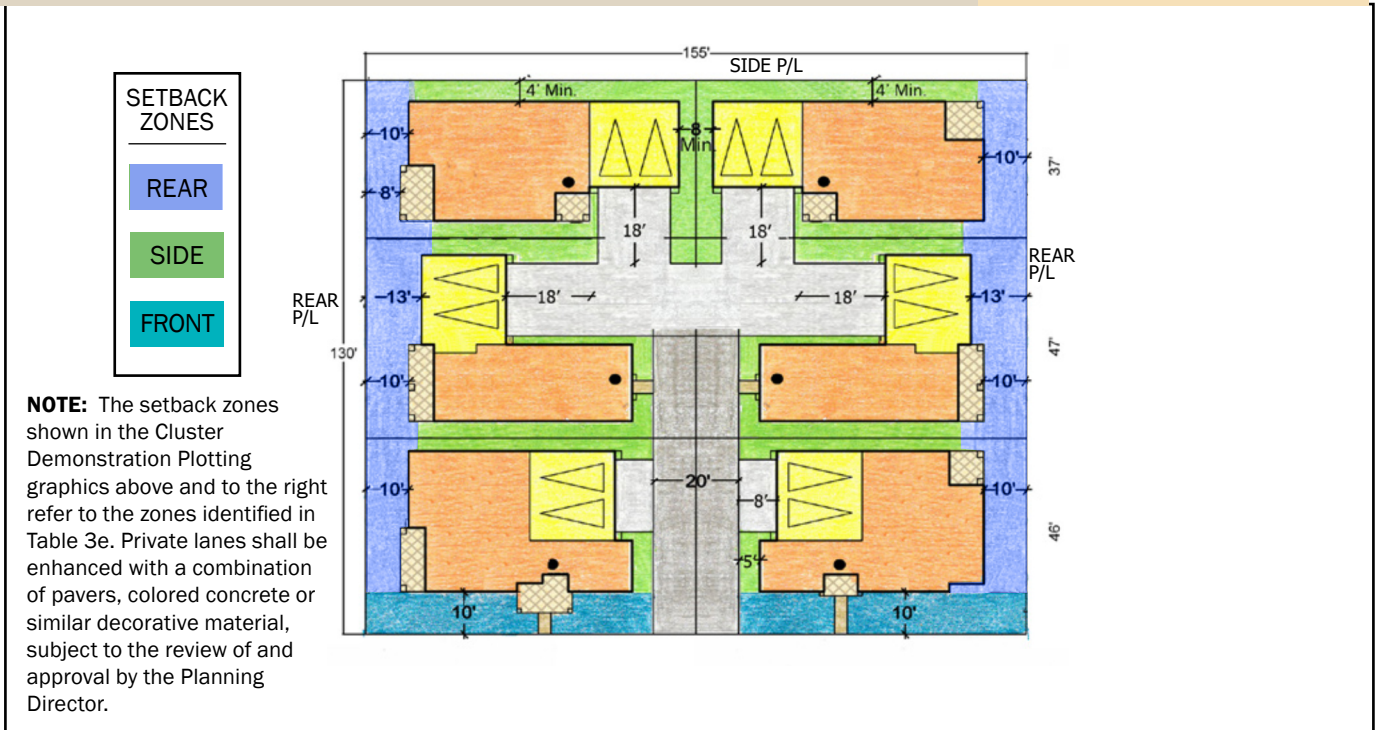
SFD 4/6 Cluster Demonstration Plotting (Product Type 3a)



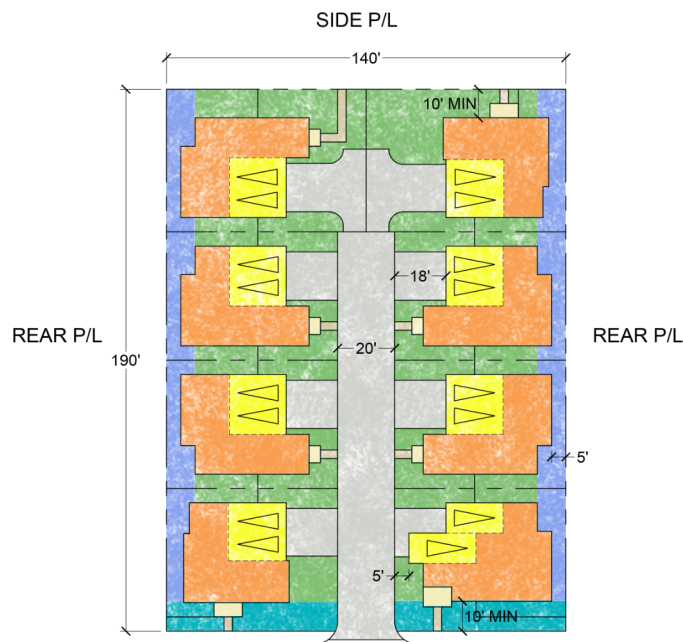
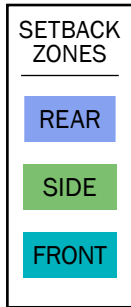
SFD 4/6 Cluster Demonstration Plotting (Product Type 3b)



SFD 4/6 Mews/Cluster Demonstration Plotting (Product Type 3c)



SFD 4/8 Mews Demonstration Plotting (Product Type 3d)

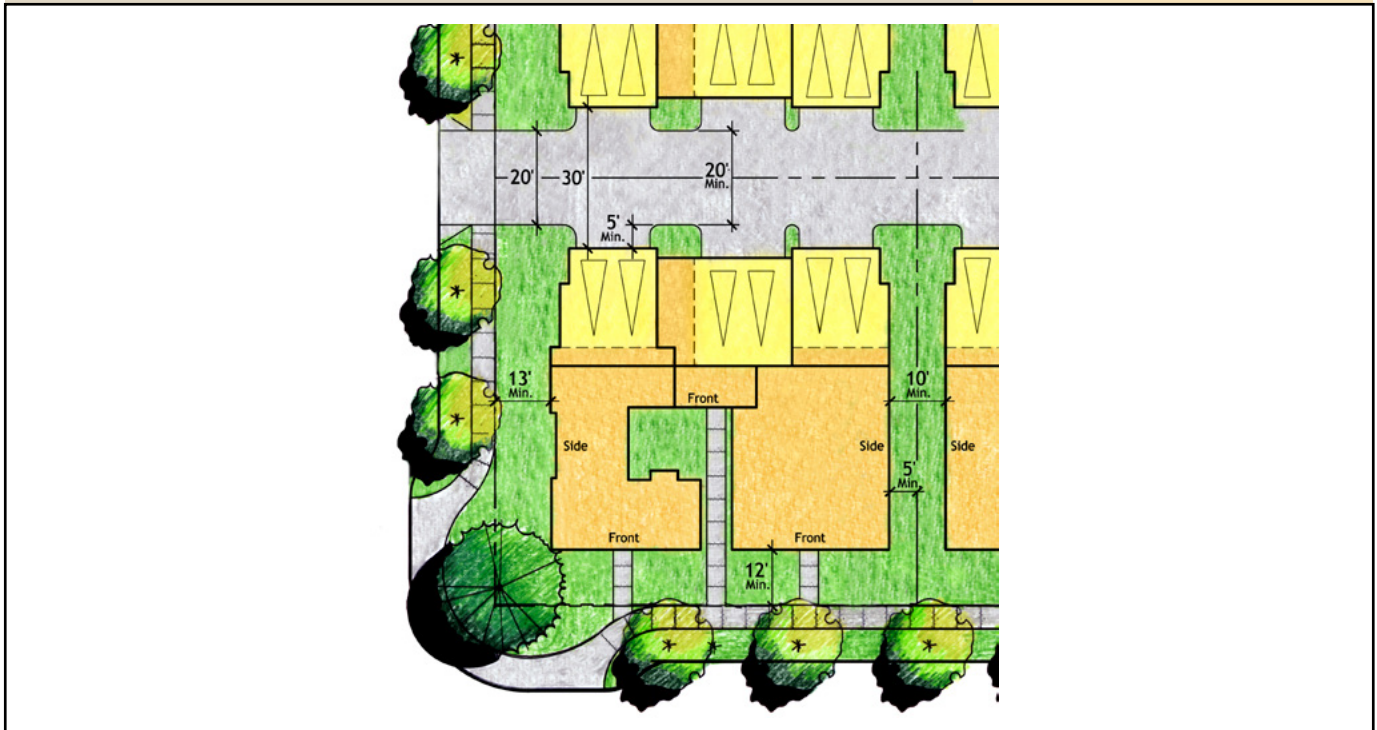


NOTE: The setback zones shown in the Cluster Demonstration Plotting graphics above and to the right refer to the zones identified in Table 3e. Private lanes shall be enhanced with a combination of pavers, colored concrete or similar decorative material, subject to the review of and approval by the Planning Director.

Duplex Demonstration Plotting (Product Type 4)



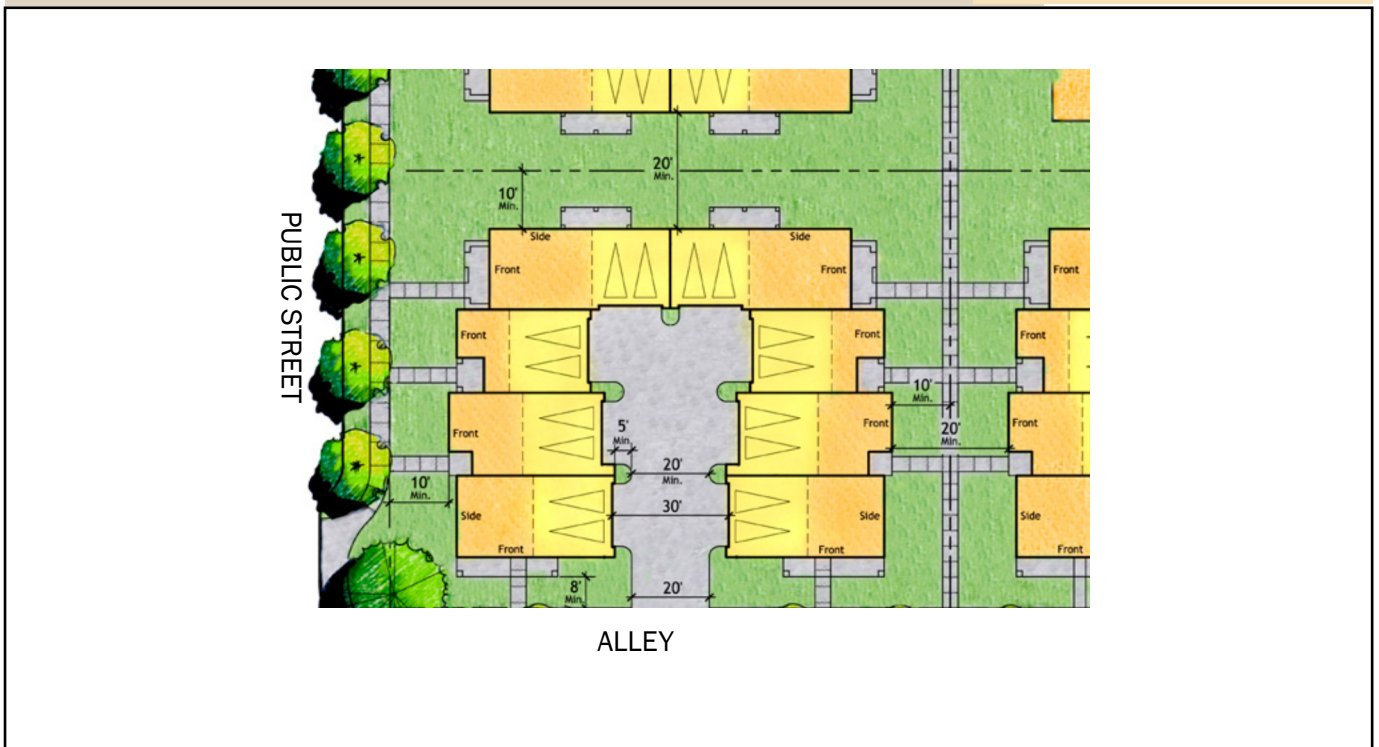
Triplex Demonstration Plotting (Product Type 5)



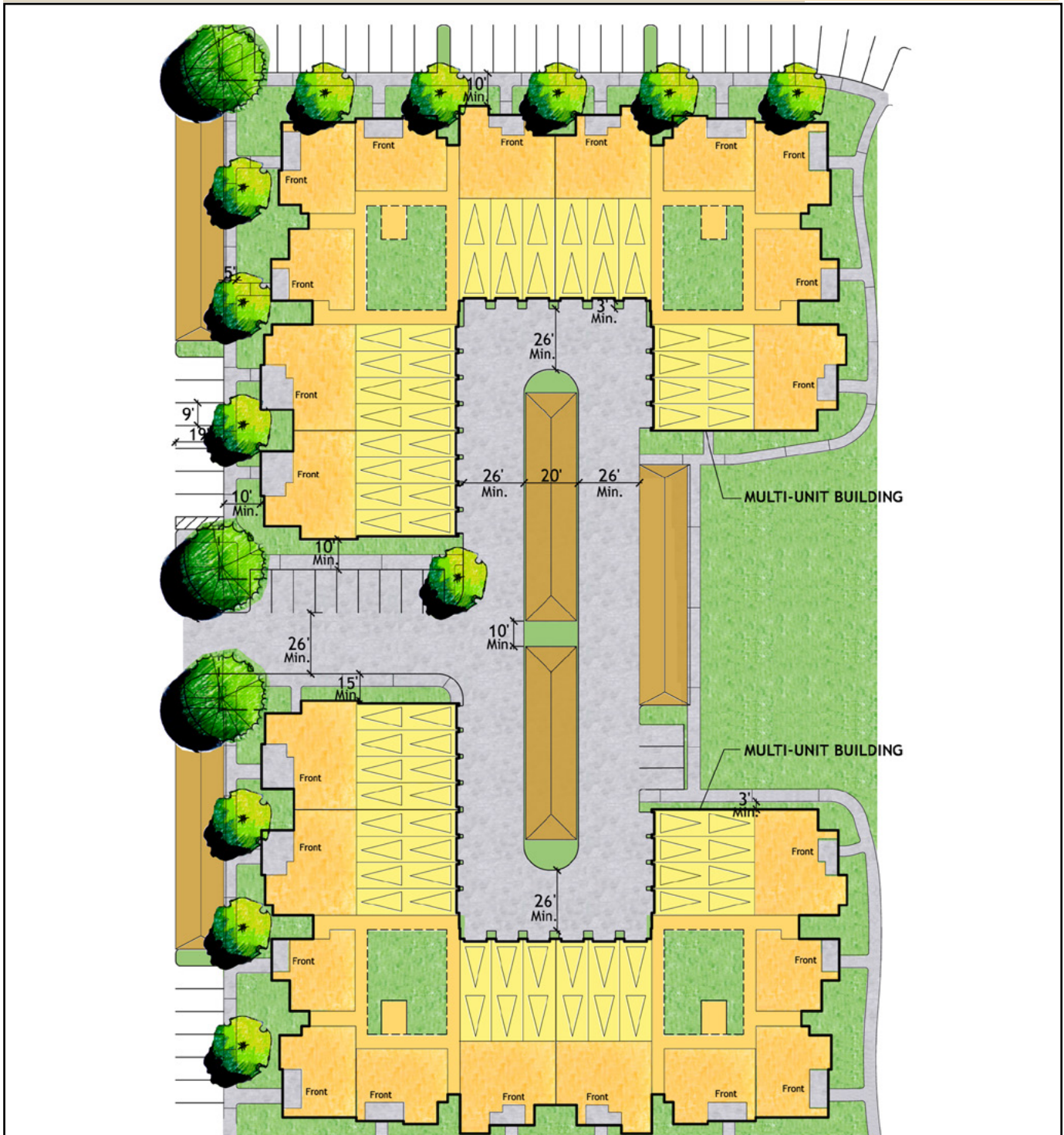
Rowtown Demonstration Plotting (Product Type 6)



Autocourt Demonstration Plotting (Product Type 7)



Autocourt (Greater than 20 DU/Ac) Demonstration Plotting (Product Type 8)



Parking shown is for conceptual purposes only. Tandem parking standards currently under review by the City of Ontario.

6.2.2 Architectural Massing

Building volumes shall be appropriately scaled to the individual lot sizes. The composition of the building mass shall include the incorporation of single-story elements into two-story buildings, variable setbacks along building elevations for porches, living and garage areas, the minimization of sheer two-story façades, and the development of four-sided elevations through articulation and detailing.



Garage and Roof Articulation



Autocourt - Garage and Roof Articulation with Single Story Elements

6.2.3 Corner Home Placement

Special attention must be made to the treatment of architectural massing on corner lots and critical edge conditions.

Architectural elements such as porches, single story elevations, special façade materials and architectural fenestration should wrap around from front to side in these conditions whenever possible.



Wrap Around Porch and Architecture with Side Entry



Wrap Around Porch and Architecture with Side Entry

6.2.4 Roof Lines, Forms

Roof forms are critical in creating interest to the building mass. Roof forms and material finishes help blend the structures into the landscape through shadow patterns, texture, color variations and visual interruption of vertical walls and planes.

The roof forms, lines and ridges should be fenestrated and varied. Architectural features, roof intersections and roof pitches consistent with each style should be incorporated whenever possible.



Side Entry with Wrap Around Architecture

6.2.5 Garage Placement

The location, configuration and orientation of the garage on each lot are an important design element, both for the composition of the dwelling and its contribution to the streetscape.

De-emphasizing the garage is important to community design. The goal is to emphasize the living areas of the home as they address the street. Placing living areas forward in lieu of a garage dominant front elevation encourages “eyes on the street” for neighborhood safety and security while establishing neighborhood orientation to the pedestrian as opposed to the automobile. Garage door patterns are encouraged to be varied among elevation types, and to reinforce the architectural theme of the dwelling.

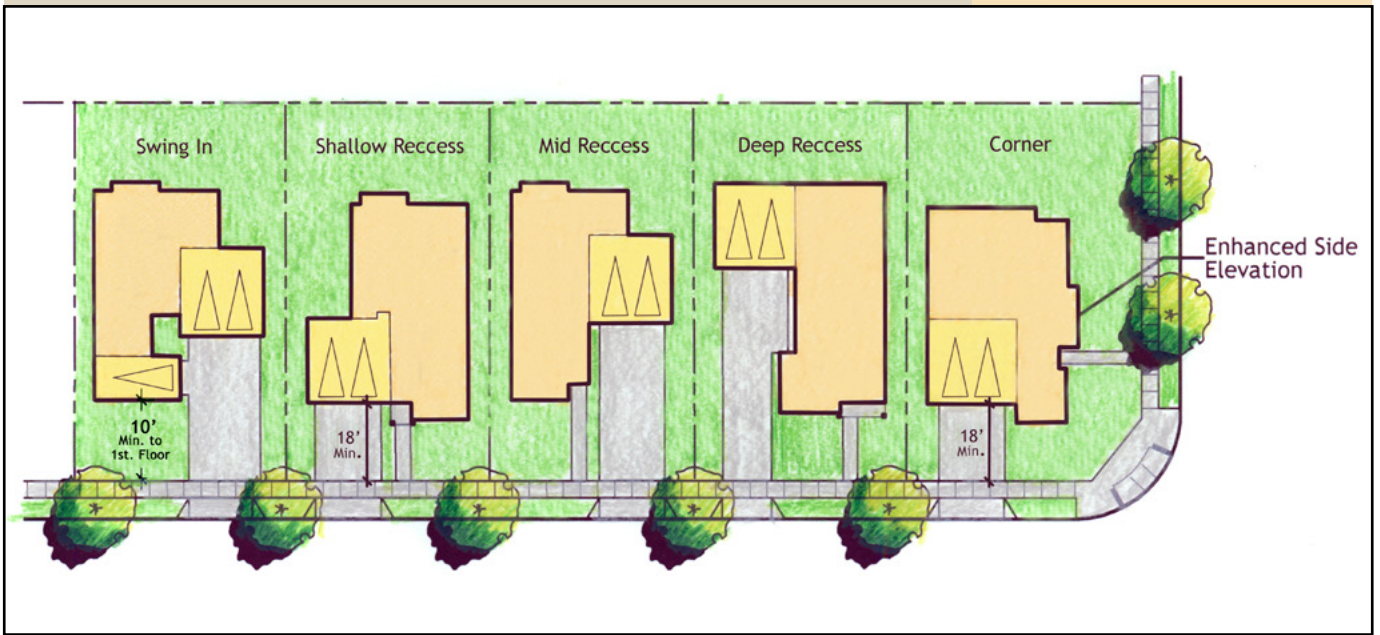


Side Entry with Wrap Around Architecture

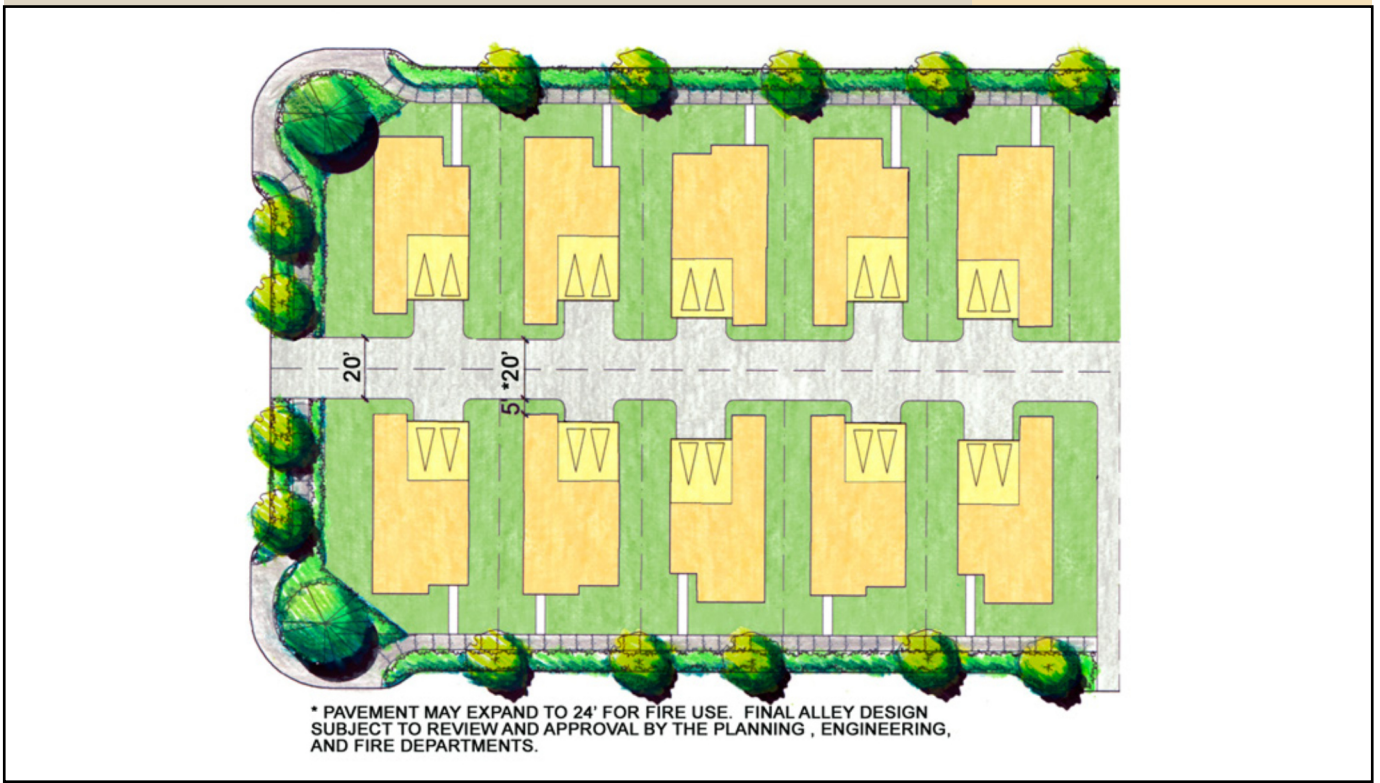
The number of homes with the shallow recess garage condition should be limited to 25% of the total number of units in each builder’s plan package and shall be setback a minimum of 18-feet from property line.

The Avenue

Demonstration Plotting



Alley Demonstration Plotting



The Avenue

SPECIFIC PLAN

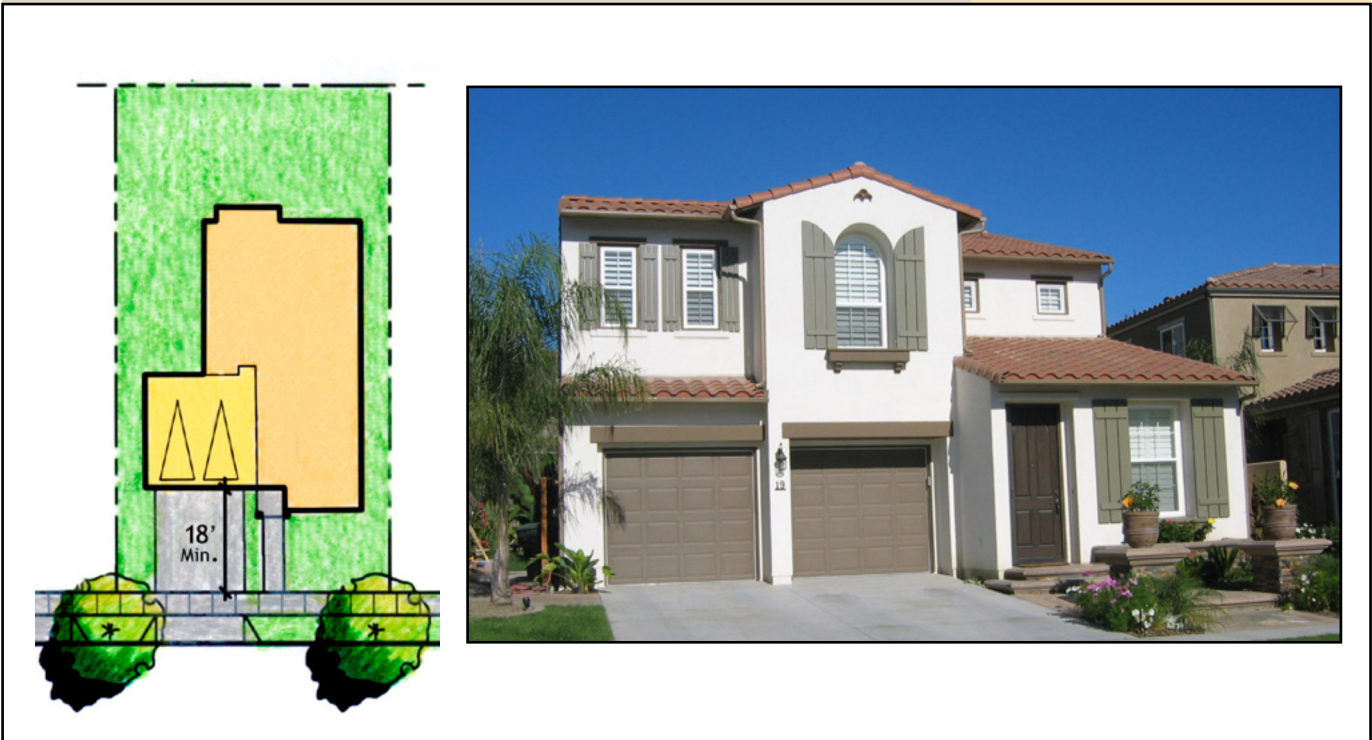
The New Model Colony

ONTARIO, CALIFORNIA

Three Car Swing-In



Shallow Recessed



The Avenue

ONTARIO, CALIFORNIA

The New Model Colony

SPECIFIC PLAN

Mid Recessed



Deep Recessed



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The New Model Colony

ONTARIO, CALIFORNIA

Two Car Swing-In



6.3 Miscellaneous Architectural Elements

Each selected style of architecture has attributes specific to that style. There are architectural features that are particularly important from both a standpoint of helping define the architectural style and from providing lifestyle benefits. These items include porches, trellises and arbors and balconies.



Wrap Around Style

6.3.1 Porches

Sufficiently sized porches (minimum depth: 7', minimum area: 70 square feet) become key elements in creating active, social neighborhood, through the visual and conversational interaction that occurs between these elements and the streetscape.

They provide interest, shadow lines and architectural fenestration to the building.

The **Avenue**

Porches should be provided for various homes in each product area whenever feasible and should have the following attributes:

- Porches should be integrated into the architectural elevation and floor plan consistent with the particular design style
- At corner conditions, porches should wrap around or be designed into two sides of the building
- Porches should be of sufficient depth to allow chair and table placement (seven foot minimum depth at ground level is preferred but can be modified if necessary at side elevations)
- Porches should relate to the streetscape consistent with traditional design aspects

6.3.2 Balconies

Balconies are part of many styles of architecture and can range in size from small decorative balustrades to large inviting verandas. Balconies are more flexible in size than porches and can serve many uses from more decorative, offering visual detail and architectural fenestration to accessible congregation spaces which become important outdoor rooms and overlooks.

Balconies are encouraged elements of the architecture but should adhere to the following principals:

- Balcony design and detailing should be consistent with the architectural style
- Balcony placement is encouraged towards the front of homes whenever feasible
- Balcony placement at rear or sides of homes should consider site plan and adjacent lot privacy issues



Stucco Detailing



Wood Detailing



Balcony on a Multi-Family Building

*Wood Detailing*

6.3.3 Window Treatments

Window treatment is an important element in defining architectural styles and providing detail to buildings. Whether it is recessed or protruding, multi-paned or single paned, rectangular or arched, framed or not, all make a difference in the building character. The window treatment should be consistent with the style of architecture.

Window sizing and scale must be consistent with the architectural enframing. Use of shutters as window detailing and design style elements is encouraged but shutters should be properly sized to the window opening for authenticity.

*Iron Detailing**Recessed Window Detail**Window Surround*

6.3.4 Trellises and Arbors

Trellises and arbors are valuable architectural features for softening building façades, extending indoor rooms into the exterior landscape, and creating shelter from harsh sun and glare. Trellises are also encouraged in the design of each building but must also be consistent with the architectural style, be appropriately sized and scaled, and be constructed of material that will survive the harsh inland sun and hot, dry wind conditions.



Wood Trellis Over Entry Drive

6.4 Architectural Styles and Elements

The architectural character of The Avenue shall consist of the traditional styles found in the Pacific Southwest. These styles were developed over time as reactions to prevailing climate, locally available material, historical tradition and/ or architectural trends of the early twentieth century. Over time, these styles have often become blended in part with new interpretations and in response to modern technologies. While the community infrastructure, architecture, site planning, land design, and landscape architecture are the key factors in creating a unique and special place for The Avenue, the interpretation and execution of the individual architectural styles and residential product types will provide lasting value.



Simple Iron Trellis of Driveway

Each style has aspects relating to massing, articulation, roof form, and garage placement. The development of these styles in an appropriate manner requires incorporation of specific elements of each style.

The chosen styles complement one another through overall scale, massing, proportions, details, and the ability to establish a charming architectural backdrop that will age gracefully over time. The materials and colors of these home styles shall complement the overall landscape design of the neighborhoods. Each style shall be developed appropriate to the region, and address the needs and lifestyles of the residents.

Acceptable architecture styles for The Avenue homes include:

- Monterey
- Bungalow
- Spanish
- California Ranch
- Cottage
- Farmhouse
- Transitional

Note: Additional styles proposed by the homebuilder may be deemed acceptable by the City and Community Design Team.

The following guidelines have been developed by The Avenue Community Design Team in order to create a community with an appropriate diversity of architectural styles and design:

- A variety of styles and plans is encouraged
- The adjacent plotting of the same plan, either standard or reverse, should be discouraged
- A variety of plan orientations is encouraged
- No two adjacent homes shall utilize the same architectural styles

The styles on the following pages will provide the builder and their design consultants the tools to create architectural designs appropriate and authentic to each style.

6.4.1 Monterey

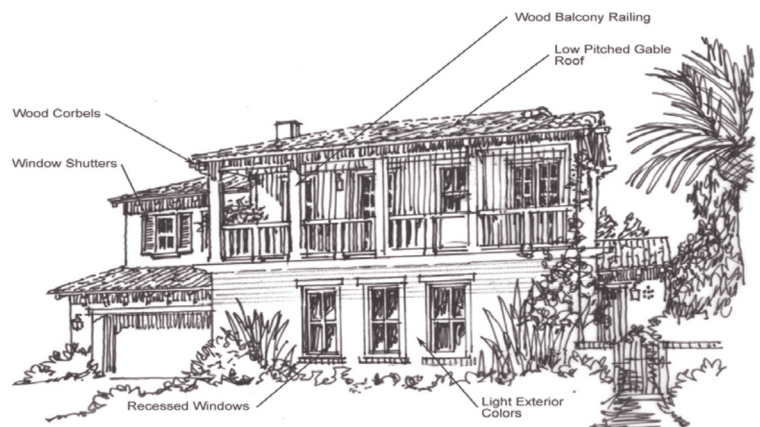
History and Character:

The Monterey style is a combination of Spanish Colonial construction methods and the basic two-story New England Colonial house.

Architects in the 1920's began to reintroduce the style and modify the elements to suit the period preferences. The signature cantilevered balcony on the front of the house may be a prelude to the porch that often surrounds or defines a private courtyard in the back of the house. The original houses used adobe wall construction. Detailing of the porches and the cornice is extremely simple. Rafters are often exposed, gable or hipped roofs are used, chimneys often anchor one end of the house, and flat paneled doors are used both on the ground floor and on the balcony, in addition to a more solid entry door.

General Attributes:

- Simple-box plan form
- Front-to-back gable roof
- Stucco finished walls
- Colonial-style windows with shutters and door trim
- Wrought iron or wood balcony railing
- Light exterior colors
- White or dark trim colors



6.4.2 Bungalow

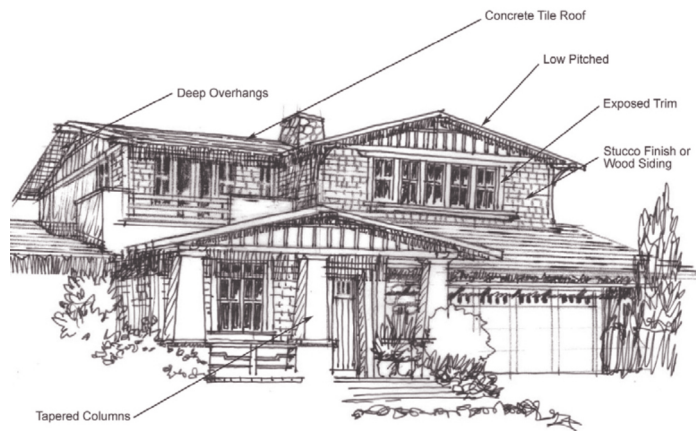
History and Character:

The Bungalow with its variations of the Craftsman style home evolved from the late 19th century American Arts and Crafts movement. These moderately detailed buildings are characterized by the use of hand-finished materials with a rusticated texture. Open porches, sloping roofs with deep overhangs, multiple gables, asymmetrical compositions, oversized first floor windows, expressive trim, rafters, brackets and porches characterize the Bungalow style.



General Attributes:

- Simple plan form massing and simple roof
- Intersecting gable roofs with overhang
- Stucco and/or horizontal siding
- Vertical multi-paned windows at front elevation
- Large picture window at front
- Porches with simple wood columns and railing
- Corbels
- White or dark stucco color
- White or dark color trim



The **Avenue**
SPECIFIC PLAN

6.4.3 Spanish

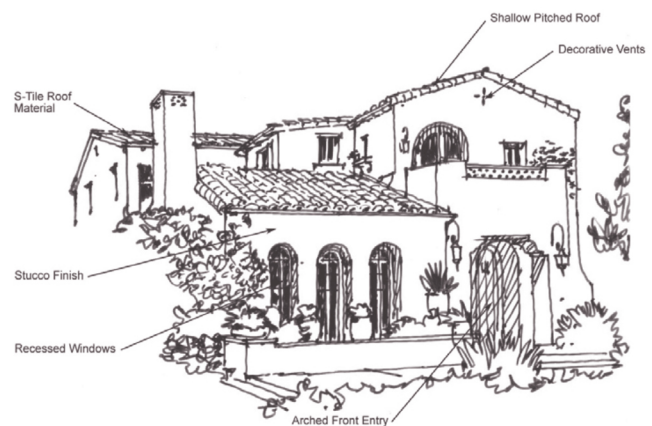
History and Character:

Spanish inspired homes began appearing at the turn of the 20th century in the form of the Mission Style, reflecting a loose adaptation of features often found in detailing from various influences, including Moorish and Spanish Colonial. Spanish Style is a catalog of styles unified by the order of arches, courtyards, strong form and mass, plain wall surfaces and tile roofs all derived from Mediterranean architectural styles. The Spanish style is most often characterized by an informal plan arrangement and massing. This informality reflects the natural composition of the farmhouses and small estates of Spain, which were not symmetrically composed.

General Attributes:

Some identifying features of this style are large distinctive (sometimes arched) windows on the front façade, red clay roofs and light colored stucco walls.

- Two story massing with one story element
- Simple hip or gable roof
- Barrel or 'S' shape concrete tile
- Stucco Finish
- Vertically hung multi-paned windows at front elevation
- Arched stucco column
- Light colors with dark trim
- Wrought iron accent



6.4.4 California Ranch

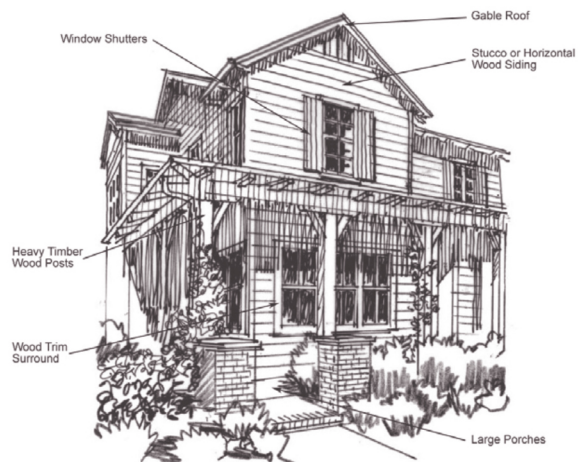
History and Character:

Reminiscent of the early ranchers and farmers of Southern California, the California Ranch Style was developed in response to their lifestyle, available materials and environmental considerations. The strong indoor/outdoor relationship is ideal for the temperature climate of the region and incorporates sliding glass doors, picture windows, terraces and secluded patios. These homes were influenced by Colonial, Spanish Colonial, Stick, Monterey, and Spanish Eclectic architecture; however, the detailing was simplified when adapted to the California Ranch Style.



General Attributes:

- Simple rectilinear form
- Gabled roof
- Long horizontal gable roofs
- Stucco or horizontal wood siding
- Simple column and railing at porches
- White or dark stucco colors
- White or dark color accent trim



The Avenue
SPECIFIC PLAN

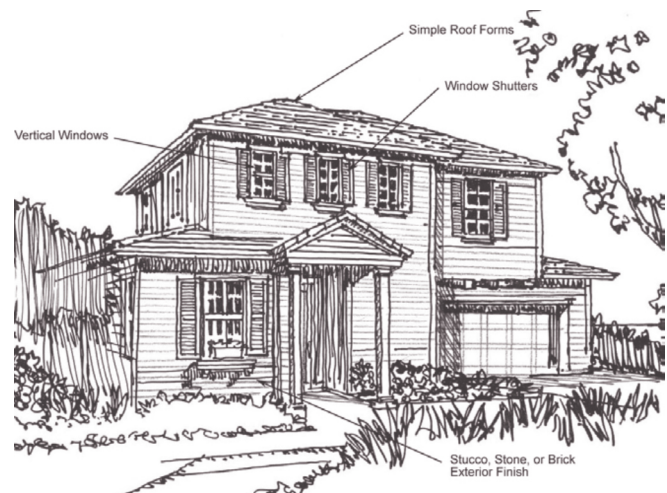
6.4.5 Cottage

History and Character:

The Cottage style is based upon early twentieth century American interpretations of English architecture. The source for design originates from medieval English and French cottages, as well as from the country estates of Brittany and Normandy, larger manor homes, and rural village vernacular houses. The Cottage style captures a romantic and picturesque architecture, and American interpretations include houses with simple volumes most often with front facing gables that have steeply pitched roofs.

General Attributes:

- Asymmetrical massing
- Large simple roof planes
- Stucco finish
- Vertical windows
- Decorative stone or brick veneer
- White, off-white, light earth tone shades



6.4.6 Farmhouse

History and Character:

The Farmhouse style is based upon regional American interpretations of agrarian architecture. The source for design originates from rural residential homes in the early settlements in Midwestern and Southwestern areas of America. The Farmhouse style establishes a pastoral character, and recent interpretations include houses with simple building designs, gabled roof forms characterized by a moderate to steep pitch.



General Attributes:

- Simple rectangular massing
- Large simple roof planes
- Siding or Stucco building materials
- Vertical windows with decorative accent shutters
- Entry porches with low sloping shed roofs
- White or light earth tone shades with contrasting design elements



The Avenue

6.4.7 Transitional

History and Character:

The Transitional style is an interpretive style based upon historic European and American architecture. The design inspiration uses modern building forms and construction materials to develop more contemporary designs that reflect earlier period styles. The Transitional style incorporates clean lines and simplified architectural detailing to reinforce the intended character. This style includes interpretations of Spanish, Monterey, California Ranch and Farmhouse architecture.

General Attributes:

- Building massing to reinforce the intended period style
- Large simple roof planes, including asymmetrical roof forms and limited flat roofs.
- Horizontal siding or smooth stucco finish
- Square or vertically proportioned windows with simple or no trim details.
- Light exterior building shades with contrasting details such as wood trim/fascias, window frames, doors and simple window shutters.



6.5 Commercial Design Guidelines

6.5.1 Introduction

The Avenue Specific Plan area includes one (1) neighborhood center. This 10-acre center is at the southwest corner of Ontario Ranch Road and Haven Avenues. This neighborhood center will allow the homeowners of The Avenue access to shopping and employment opportunities nearby. Residents will have the ability to access services by foot, or ride their bicycles to work via pedestrian trails connecting the community to the neighborhood center.

Throughout the neighborhood center, appropriate landscaping, site planning and architectural design should be considered to create friendly and welcoming places to shop and work and shall continue the vision established in the residential community, including integrating pedestrian-friendly design.

In order to maintain the character of The Avenue, the neighborhood center is expected to be developed with a compatible and harmonious quality. These Avenue Commercial Design Guidelines will help direct the development of the area to enhance the pedestrian experience that positively contributes to the character of The Avenue Specific Plan area. These guidelines are not intended to be strictly enforced rules, but a tool in aiding the design process and are therefore general in nature. Developers of the neighborhood center will be required to submit their own supplemental design guidelines for City approval.

These commercial design guidelines are organized into the following:

- Site Planning
- Building Design
- Architectural Details
- Open Space and Landscaping



Pedestrian-friendly Commercial Retail

A. Guiding Principles

Guiding Principles for commercial design for The Avenue are:

Buildings should contribute to a qualitative nature of the overall neighborhood.

- Proper scale and proportions in massing and details should be used
- Pedestrian open spaces should be provided
- Massing and articulation should be varied
- Buildings shall be designed at a human-scale

The Avenue

Buildings should have an enduring quality.

- Design should draw inspiration from the rich and diverse Southern California architectural heritage
- Materials and colors typical to Southern California should be used
- Details and ornamentation should be authentic
- Design shall create an inviting place to shop and work

B. Review Process

The Commercial Design Guidelines are to be used as a general tool to guide the development of the neighborhood center within The Avenue. Final designs will be subject to the City of Ontario's approval. Additionally, more detailed design guidelines for each development will be required by the City prior to final approval. Refer to the City of Ontario Development Code or the Planning Department for further information regarding the review process.

6.5.2 Commercial Design Guidelines**C. Introduction**

The Neighborhood Center within The Avenue is intended to continue the pedestrian-friendly character established in the residential community. Appropriate site planning can de-emphasize the vehicle, creating a safe outdoor environment without ignoring the necessary needs of vehicular circulation. Through well executed planning, architecture, and landscape design, the Neighborhood Center can complement and integrate the residential community. Images within this section are for illustrative purposes and final plans must be submitted to, and approved by, the City.



Design shall create an inviting place to shop and work

D. Site PlanningOrientation

Buildings should be oriented for optimal visibility from the street. Windows and entries should face the street avoiding blank walls dominating public views. Stores with entries not visible from the street may be oriented towards pedestrian open space and all primary entries should face onto a street or a connecting walkway.

Building clusterings are recommended to help define parking lot areas and encourage walking between stores. Building entries and storefronts should be positioned close to one another to reduce walking distances between them.

The Avenue

SPECIFIC PLAN

The New Model Colony

ONTARIO, CALIFORNIA

Driveways and Sidewalks

The site shall be provided with an adequate number of driveways to facilitate circulation and also reduce the traffic impact along the surrounding arterials. Pedestrian crossing distances should be minimized at driveways. All driveways and sidewalks shall be constructed per City Standards and to the satisfaction of the City Engineer. No decorative paving will be allowed in the public right of way unless otherwise approved by the City Engineer.

Street Frontage and Buildings

Streetside buildings, or those with no parking separating them from the street, should use windows and entry features to soften the building's appearance to the street.

Streetside Setbacks and Buildings

The sides of buildings along street edges shall be landscaped within the setback to soften the building's appearance as well as designed with windows or design elements. Refer to the City of Ontario Development Code for specific setback requirements.

Street Frontage and Parking Lots

Parking lots should generally be placed away from streets. Street frontages shall be broken up with buildings, landscaping, plazas, and other pedestrian features. Continuous parking lots along the street frontage should be avoided. Any parking along street edges shall be set back with a landscaped buffer which can be used to filter parking lot runoff. Continuous parking stalls shall be interrupted by landscaped islands no more than 10 stalls apart. Parking lots are encouraged to be interconnected rather than separated for each building. Separated parking lots encourage customers to drive from store to store.



Retail Orientation to Vehicular Travel Lanes and Parking

Service and Storage Areas

Loading docks, garages and storage areas are to be located behind or to the side of buildings siting onto secondary access and not primary streets. These features must be screened with walls and landscaping as much as possible from public view of streets, residences, pedestrians walkways and connecting trails. Loading docks and storage areas should not conflict with pedestrian walkways.

Refuse Containers, Utility and Mechanical Equipment

Refuse containers and equipment shall be easily accessed by service vehicles. They shall be screened from view of the streets, parking lots, and connecting walkways through roof forms, walls and/or landscaping.

Screening details should incorporate elements that are compatible to the architecture style of the buildings. Proper landscaping, including trellises, may also help to screen these elements. Equipment and enclosures shall not be located near pedestrian walkways. Roof-mounted equipment shall be screened by the roof/parapet.

Sidewalks

Sidewalks shall be located along natural pedestrian travel paths. Sidewalks should be a minimum of 6' wide along pedestrian pathways and a minimum of 8' wide along more heavily traveled commercial areas.

E. Building DesignMassing

With larger buildings, appropriate massing becomes more important to maintain the human-scale of the development and create a visually pleasing environment. Bay windows, stepped buildings, height changes and setback variations between stores help to break up large buildings as well as indicate entries and store locations to customers. Tower elements or monumental features are encouraged at focal points, such as corners, plazas, major entrances, or where walkways meet streets.



Architectural Massing and Materials

Varying setbacks along the front façade of buildings are recommended to create small outdoor public spaces for pedestrians to gather and sit.

Roof Forms

Hipped and gable roofs are encouraged. Roof pitches shall be compatible to the architectural style of the buildings. Flat roofs should vary in height and be accompanied by cornice, trim or other accent features.

Arcades and Awnings

Outdoor arcades along store fronts are encouraged over pedestrian walkways. Arcades may be used to connect separate buildings providing a more pleasing experience for pedestrians. Trellises or awnings may also be used to create a covered walkway to protect pedestrians from the sun and rain.

The Avenue

Entry Design

Building entries shall be prominent and easily identified. Various elements can be used to enhance the entry features including massing variation, materials and color change, change in roof form, and awnings. For smaller retail buildings, part of a cluster or strip, arcades, awnings and simple signage may be acceptable as entries.

No signs shall be placed in the public right-of-way and shall be in accordance with City standards regarding corner site distance.



Commercial Retail Massing, Material Change, Entry Design

Design Flexibility

Retail spaces exceeding 30,000 SF should be designed with the flexibility to be divisible into smaller retail spaces should future market demand change.

F. Architectural DetailsArchitectural Styles

A variety of compatible architectural styles should be used throughout the Neighborhood Center to create a sense of continuity and visual interest between the buildings. Related elements, such as trellises, planters, light-standards, windows, doors, etc. shall also adopt detailing that is compatible to the selected architectural styles. The selected styles of the Neighborhood Center do not necessarily need to be of any one of those specified for the residential community but shall be compatible with them.

Architectural styles shall derive from southern California and Ontario historic precedents. Modern and “high- tech” styles are not acceptable style choices. Acceptable styles generally respond to the region’s climate including such features as outdoor circulation, outdoor courtyards or plazas, recessed window frames, awnings, arcades, loggias, and trellises.

Building Wall Treatment

No wall should have a blank, uninterrupted length exceeding 20 feet without including one of the following:

- Change in texture
- Change in material
- Change in plane
- Lattice
- A tree or equivalent element

Façades that are visible from adjacent streets or walkways should display even greater visual interest by using architectural elements that break up the massing of large buildings, such as windows, arcades, awnings, porticos, and other architectural features.

Base And Top Treatments

Base and top treatments help to balance the “weight” of the building visually. Bases should appear to “ground” the building, while tops create a defined edge to the roofline. Possible treatment techniques are as follows:

Base:

- Natural materials
- Pre-cast materials
- Thicker walls
- Enriched landscaping with a mature height of at least 18”
- Other decorative, durable materials as approved by the City

Special materials, such as ceramic tile, granite and marble are encouraged at major entries.

Tops:

- Cornice treatments
- Stepped parapets
- Roof overhangs with brackets
- Textured materials

Colored “stripes” are not acceptable as the only treatment.

Exterior Materials

Recommended materials include, but are not limited to stucco, exterior plaster, brick, wood siding, tile, pre-cast concrete or stone. Exterior materials that appear pre-fabricated are not recommended. Selected materials and detailing should have an enduring appearance. Foam products should be avoided at the pedestrian level.

Roof Materials

Roofing materials that are generally acceptable include standing metal seam, concrete tile, tile and slate or slate-like materials. Asphalt or wood shingles are prohibited.

Colors

Color selection shall be consistent with the selected architecture style.

G. Commercial Site Landscape Requirements

The Neighborhood Center site will be developed both architecturally and through landscape treatments as an extension of The Avenue. The land plan encourages integration of the Neighborhood Center by providing for frontage on Ontario Ranch Road and Haven Avenues, while also incorporating a major community entry. Commercial uses appropriate to and compatible with The Avenue’s residential community will be encouraged.

Minimum Landscape Requirements

- Builder/developer shall refer to City of Ontario standards for the percentage of gross commercial site acreage required to be landscaped.
- All areas of the site not occupied by buildings, parking or otherwise utilized shall be landscaped with groundcover, turf or tree materials from the community plant list.
- Appropriate street trees should be utilized adjacent to street frontage integrating the site into the overall community setting.
- Side yard and rear service yard use areas should be screened with a combination of a six foot (6') wall and dense landscape buffer. Tubular steel fencing and gates should be used adjacent to interior residential streets to control access points.
- Accent tree entry planting should be incorporated at the site's vehicular access points.
- No shrubs higher than 3 feet and no tree canopy lower than 7 feet as to allow officers on patrol the ability to view the business, without obstructing their view.
- Plants by low-lying windows may have thorns as a deterrent.

Parking Areas

- Where a parking lot contains 10 or more parking spaces and is visible from a street, not less than 10-15% of the total area (excluding any perimeter landscaping), shall be landscaped. Such landscaping shall not be concentrated in any one location. A minimum of 50% of the plant material shall be canopy or shade trees and shrubs shall be 3' or less to provide clear visibility.
- All rows of parking spaces shall be provided with landscape islands at each row terminus to protect parked vehicles, ensure visibility, confine moving traffic to drive aisles and driveways, and provide space for landscaping. Within each row of parking spaces, landscape islands shall be placed to prevent more than 10 vehicles from being parked side-by-side in an abutting configuration. These landscape islands shall measure a minimum of five (5) feet in width, exclusive of curbs. Creation of large planting islands (tree groves) are encouraged as opposed to small pockets of individual trees.
- Planter islands for a single row of parking spaces shall be landscaped with at least one (1) tree and vegetative groundcover or turf. Planter islands for a double row of parking spaces shall contain not less than two (2) trees and vegetative groundcover or turf.
- Landscaped areas shall be delineated with a concrete curb which may have curb cuts to facilitate sheet flow runoff from parking lots to infiltrate the landscape planters.
- Parking area landscaping is required for the screening of large parking areas to limit their visual impact.
- When parking is located adjacent to a public street or interior residential street, a combination of landscaped berms and/or planting totaling three feet (3') high is to be used to screen views or parked cars.



- Wherever possible, pedestrian traffic should be separated from vehicular traffic by additional sidewalks. The parking lot should have crosswalks highlighted with decorative or varied texture paving.

H. Open Space and Landscaping

Site Accessories

Site accessories, such as recycling bins, bike racks, litter cans, planters, benches and transit shelters, should use materials and have an architectural character consistent with the overall project. These accessories should be graffiti-resistant with materials that are easy to clean and paint.

Connecting Walkways

Walkways throughout The Avenue's neighborhood center shall connect the various buildings to each other and to the sidewalks along adjacent arterials. Use of trellises, landscaping, seating areas and building placement adjacent to one another will encourage pedestrian activity within the center. A typical walkway shall be a minimum of 6' wide. In large parking lots, pedestrian walkways shall be provided within the median of at least one parking aisle for eight aisles of 20 stalls or more.

Pedestrian walkways that may also be used for emergency access must allow minimum clearance of 26' wide and 14' vertical clearance. Off-site connections will be provided from the neighborhood center to The Avenue's residential development.

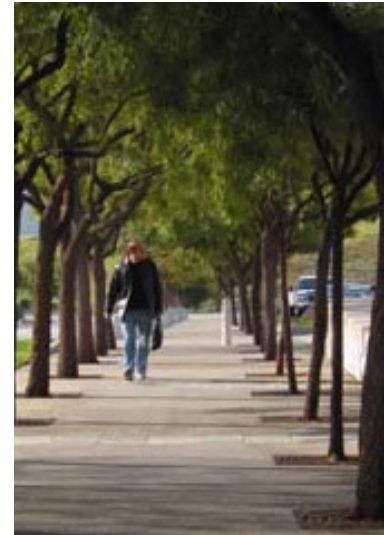
Plazas

Plazas are encouraged to emphasize a pedestrian-friendly environment by creating locations within the Neighborhood Center that allow for people to gather. Plazas create a more inviting feeling for pedestrians, allowing them to feel safe from the vehicular-dominated parking lot. These outdoor places may include water features, landscaping, and other elements to create a comfortable place to sit. Plazas are encouraged where high levels of pedestrian activity are expected. Major entrances and nearby uses that allow for more interaction with the plaza such as delis, cafes, restaurants, bakeries and other food services are a few key examples.

Landscaping

Landscaping helps to soften the feel of the buildings and parking lot while enhancing the visual aspect of the site. The following landscaping techniques may be used:

1. Provide special landscaping treatment at all project and building entries.
2. Provide shade/canopy trees within parking areas.



Connecting Shaded Walkway

3. Use plants to define outdoor spaces such as along edges, outdoor plazas, or pathways between parking and building entrances.
4. Plantings shall provide a continuity of form across the entire project.

Outdoor Storage Areas

Outdoor storage areas should be incorporated into the design of a project to avoid visual impacts on the site. Outdoor storage areas shall be located away from the street, behind or to the side of buildings. Walls and landscaping shall be used to screen stored materials. Materials placed on palettes in front of buildings are not permitted.

Transit Shelters

Transit shelters should be incorporated into the design of neighborhood center. The design of transit related structures shall be integrated architecturally with the project through its color, materials and architectural style. Walkways shall be provided for easy accessibility by pedestrians moving to and from transit stops to the Neighborhood Center.

Fence and Wall Design

Chain-link fencing, barbed wire, corrugated metal fencing and tennis windscreens are not permitted. Fences and walls should be built with attractive, durable materials, including (but not limited to) wrought iron, textured concrete block, or formed concrete with reveals. Fences or walls should be consistent with architectural style, materials and designs used throughout the project.

Adjacent to residential areas walls and fences should not exceed a height of six feet (6') without being made of textured concrete block, interlocking "diamond" blocks, formed concrete with reveals, or similar materials to a maximum of eight feet (8') from grade.

Along streets, walls and fences should not exceed 36" in height and long expanses of uninterrupted fences and walls should be avoided. Use of openings, planter boxes, material changes, pilasters or posts are acceptable. Openings shall be provided to connect walkways directly to the street avoiding long, inconvenient walking paths. These pedestrian portals should be announced by pilasters, trellis, special landscaping, or other features.

Lighting

On-site lighting standards shall provide adequate illumination throughout the site during the nighttime hours. Lighting fixtures shall be designed to be compatible with the architectural styles selected for the project. All light standards should have an attractive base and top; overhead "cobrahead" standards are not permitted.

Along pedestrian walks, lighting fixtures should not exceed 12' in height and may include lighting within bollards. Pedestrian lighting shall provide appropriate illumination at a human scale without too much glare. Lighting within larger parking lots shall not exceed 25' in height providing enough visibility for customers

and employees to walk safely to their vehicles. The same bulb type shall be used for all parking lot and pedestrian lighting fixtures within the development. Service area lighting should be positioned so no bulbs can be seen from public view. Any street light within the public right-of-way shall be per City standards and to the satisfaction of the City Engineer.

G. Main Street Design Guidelines

Building Form and Massing:

- Building heights shall consist of a mix of building heights to provide visual interest.
- Tower elements and other vertical/prominent building features should be used to accentuate key elements such as building entries, pedestrian nodes, plazas or courtyards.
- Modulation and variation of building masses between adjacent buildings. Three and four story elevations should have varied massing and architecture, both in height and depth along the façade.

Materials and Colors:

- Materials and colors should be applied to create obvious and identifiable delineation between uses.
- All materials shall wrap architectural elements in their entirety, on primary elevations and where exposed to public spaces.
- Materials applied to any elevations shall turn the corner of a minimum of 8 feet, or to a logical termination point in relation to architectural features or massing.
- Rough cut, rustic appearances through the use of stone, brick, or siding is encouraged. Only finished materials are allowed, no exposed or untreated concrete masonry materials, unless consistent with the architectural style.

Exterior Design:

Building shall have articulation along auto and pedestrian corridors to generate pedestrian scaling and visual interest along the streetscape.



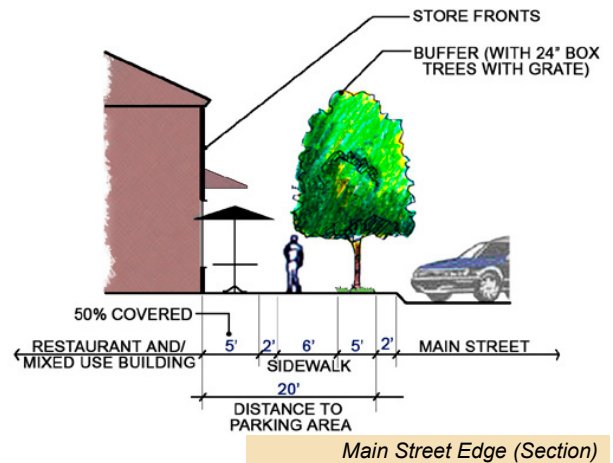
Main Street architecture, walkway and outdoor seating

- No single building shall have a singular wall plane or building height on the primary elevation.
- Front wall planes of commercial/mixed-use buildings, including retail/shop space veneer configurations, shall be articulated.
- Articulation can include, but is not limited to: 1) Vertical and horizontal offsets, 2) Color blocking and 3) appropriate use of detail elements.

- Mixed-use buildings, multi-tenant shop buildings with more than one ground floor tenant: no more than 66% of the front elevation may consist of a single contiguous wall plane on a tenant by tenant basis.

Primary exposures/elevations shall be appropriately detailed and articulated consistent with the architectural style and character of the development, as established by these guidelines.

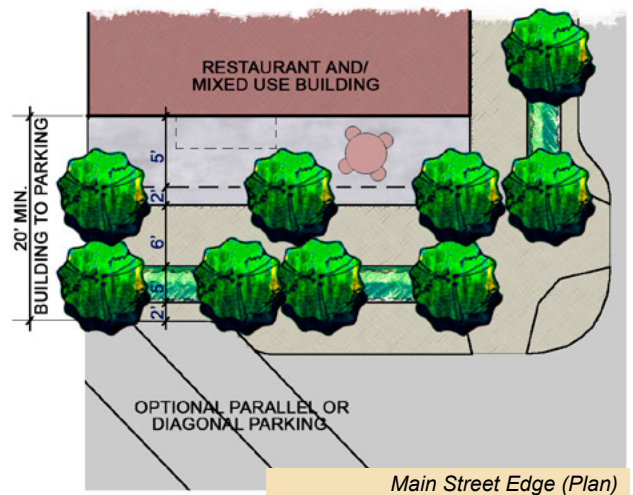
- First-story pedestrian scale character and commercial retail exposure is crucial to business viability. In-line retail/commercial/service space shall be designed to optimization of space, exposure and aesthetic articulation.
- No adjacent mixed-use buildings shall have identical architectural appearance, or use of materials, or color palette unless pairing is integral feature of the project design theme.
- Projections, overhangs and recesses may be used to provide shadow articulations and scale to building elevations.
- At least 40% of ground floor of the primary exposure of an in-line/shop-space/free standing show use, excluding restaurant pads, shall be devoted to transparent windows and/or doors.



Roof Form and Slope:

Building height shall be varied to provide interest to the “Main Street” as viewed from community streets, open space, or other public spaces.

- Variety in roof forms, ridge heights and direction of gables is required.
- Although the majority of commercial roof area may be flat, visible elevations should be treated with sloping roof elements, including hips or gables forms (as appropriate to the primary architectural style) or parapet treatments.
- Architectural exposed roof materials shall be consist of flat, barrel, or “S” tile concrete or slate tiles or shakes. Metal roofs are permitted as feature elements consistent with the architectural style.



Patio Dining:

Outdoor seating, in conjunction with business, shall be encouraged to enliven the street scene along commercial edges. Patio dining along retail storefronts have the dimensions:

- A minimum 20-foot area from building to parking area/drive aisle/interior Street. Patio seating area must have an internal minimum dimension of 5 feet clear, with an additional 2-foot buffer area (plant hedge or low fence).
- Minimum 6-foot sidewalk
- Minimum 5-foot landscape buffer or tree well
- Minimum 2-foot paving edge (Along parking area/drive aisle/interior Street).

Signage Guidelines:

A sign guideline section should be incorporated to promote an overall “sense of place” through signage that is architecturally integrated and visually interesting while conforming to applicable code requirements. The guidelines should include the following criteria:

- Signage Design Objectives
- General Sign Design and Limits
- Identity Signs
- Directional Signs
- Information Signs
- Regulation Signs
- Amenity Signs (Banners on light fixtures, etc..)
- Commercial, Retail and Residential Design Guidelines.
- Fabrication and Installation
- Sign Maintenance
- Sign Location
- Temporary Signs
- Sign Illumination

Landscape Design Guidelines:

To create a distinct and unified landscape character for “Main Street”, specific landscape design guidelines should be incorporated. The guidelines should include the following criteria:

- **Parking/Shopping Interface:** To provide a safe and comfortable pedestrian experience and reduce the presence of the parking area from shoppers with buffer planting.
- **Retail Plazas:** To provide active and passive pedestrian spaces that encourage user interaction; Fountains, stages, public art is encouraged for these spaces.
- To provide shaded and non shaded restaurant/outdoor eating and dining areas, use of awnings or umbrellas in west or south facing building exposures, planting as a way to provide a comfortable barrier and also allow for people watching (a 2-foot minimum plant barrier can be substituted for a rail).
- **Building Edge/Retail Shops:** Planting areas to create a buffer zone between the parking lot and promenade.

6.6 Landscape Design Guidelines

The Landscape Design Guidelines describe the key elements of the proposed landscape treatments within The Avenue Specific Plan area, which will develop over several years. These guidelines will help maintain a consistent design theme in a high quality, visually attractive and resource efficient framework.

The objectives of the Design Guidelines are:

- To provide guidance to developers and builders, as well as to engineers, architects, landscape architects and other professionals, as to the quality and character of the community and development of each planning area.
- To assure the City of Ontario that The Avenue will develop in accordance with the guidelines provided herein.
- To provide guidance to City decision makers in the review of future development projects in The Avenue.
- To provide guidance in formulating Covenants, Conditions and Restrictions.

These Landscape Design Guidelines are intended to be flexible and are, therefore, illustrative in nature. As a flexible document, the guidelines can, over time, accommodate changing community desires, economic conditions and the marketplace.

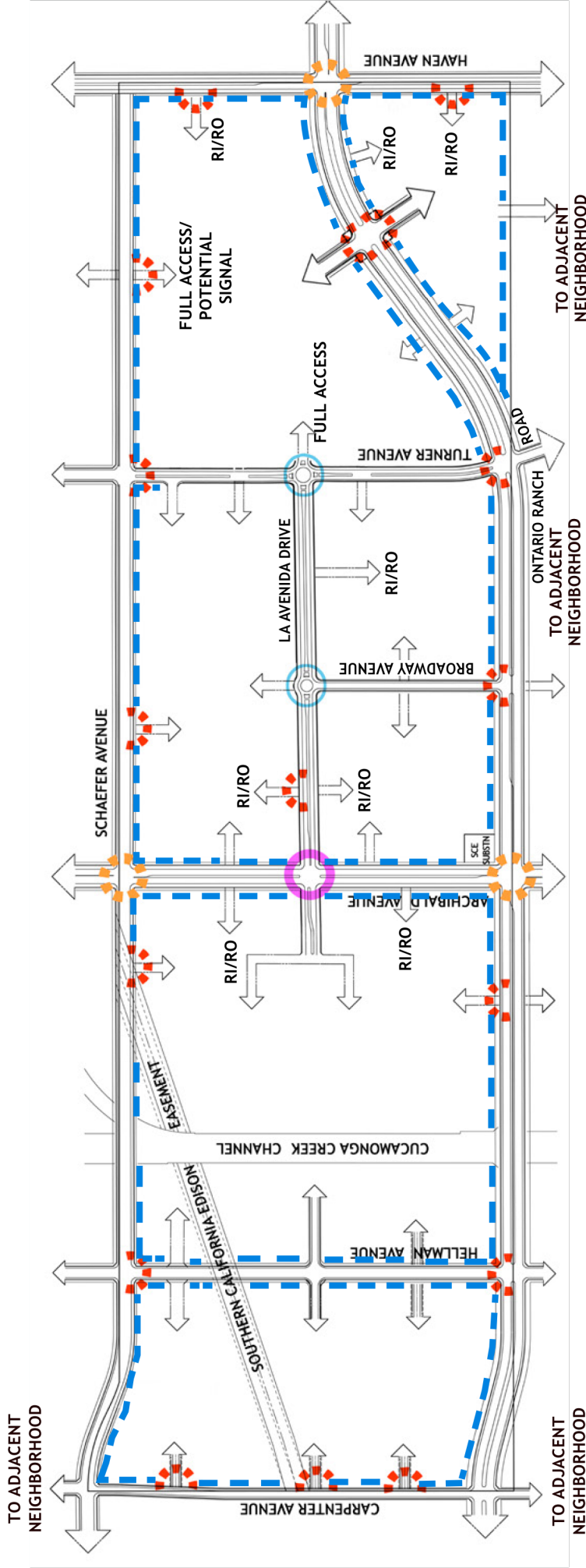
The General Landscape Guidelines address typical areas of importance and concern with regards to landscape architecture such as resource conservation, landscape lighting impacts and maintenance issues. The Plant Material Guidelines provide a specific list of plants compatible with the community design theme and the New Model Colony Streetscape Master Plan. The lists are organized by community elements and streetscape themes.

Although a great deal of specific design information is provided in these Landscape Design Guidelines, there will at times be a need for interpretation of the intent of the guidelines in keeping with the spirit of The Avenue's design theme. It is critical that these guidelines are followed in a manner consistent with this design theme, in order to create a unified landscape, while providing the opportunities for diversity and visual interest that are so apparent in the most successful residential communities in the City of Ontario.

6.6.1 Community Fences and Walls

Community fences and walls are a major visual element and help unify the appearance of the community. Community walls and fences have been carefully designed to complement the overall theme. They will be easy to maintain and provide a durable, long term edge enclosure defining "private" and "public" spaces. Community walls and fences shall not encroach into the public right-of-way unless permitted. The size and location of any monument, fence or wall that encroach into the public right-of-way shall require approval by the City Engineer.

An encroachment permit shall be obtained to construct any monument, fence or wall in the public right-of-way. Exhibit 26, "Entries, Intersections, and Community Walls" shows the conceptual location of community walls.



LEGEND

- ROUNDABOUT
- MAIN ENTRY
- PRIMARY ENTRY
- SECONDARY ENTRY
- COMMUNITY WALL

RI/RO RIGHT IN/RIGHT OUT ONLY

NOTE: The locations of entry points is conceptual. Precise locations will be determined as part of the tract map process.

NOTE: If a wall is proposed along the east side of Carpenter Avenue where the homes are plotted to rear onto Carpenter Avenue, a 10-foot wide landscape buffer shall be incorporated along the street frontage. The 10-foot landscape buffer shall be measured from back of sidewalk (ROW) (13-foot parkway + 10 foot landscape buffer = total 23-foot edge measured from curb face).

NOTE: No monuments or walls will be allowed in the public street right-of-way along backbone streets.

The Avenue

Entries, Intersections and Community Walls

SPECIFIC PLAN

The New Model Colony • Ontario, California

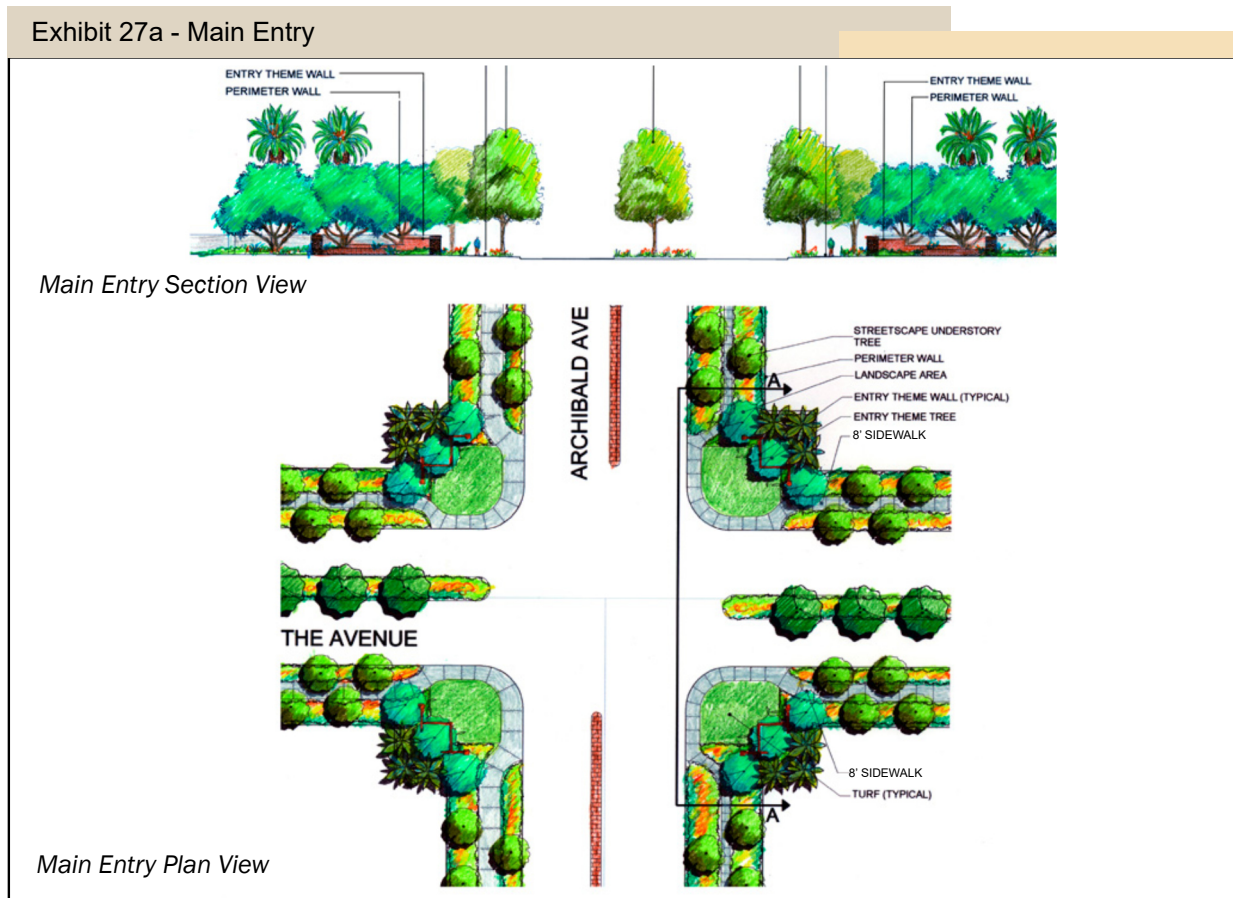
Exhibit 27 - Entries, Intersections and Community Walls

6.6.2 Entries

The entries and intersections within The Avenue establish the design theme for the community while reinforcing the design hierarchy and providing a reassurance of the community areas and boundaries. These features are created through a thematic blend of hardscape and planting schemes, and become the first impressions on all visitors and residents entering the colony. No monuments or walls will be allowed in the public street right-of-way along backbone streets. See Exhibit 26, “Entries, Intersections, and Community Walls” for specific locations of monumentation.

Main Entry

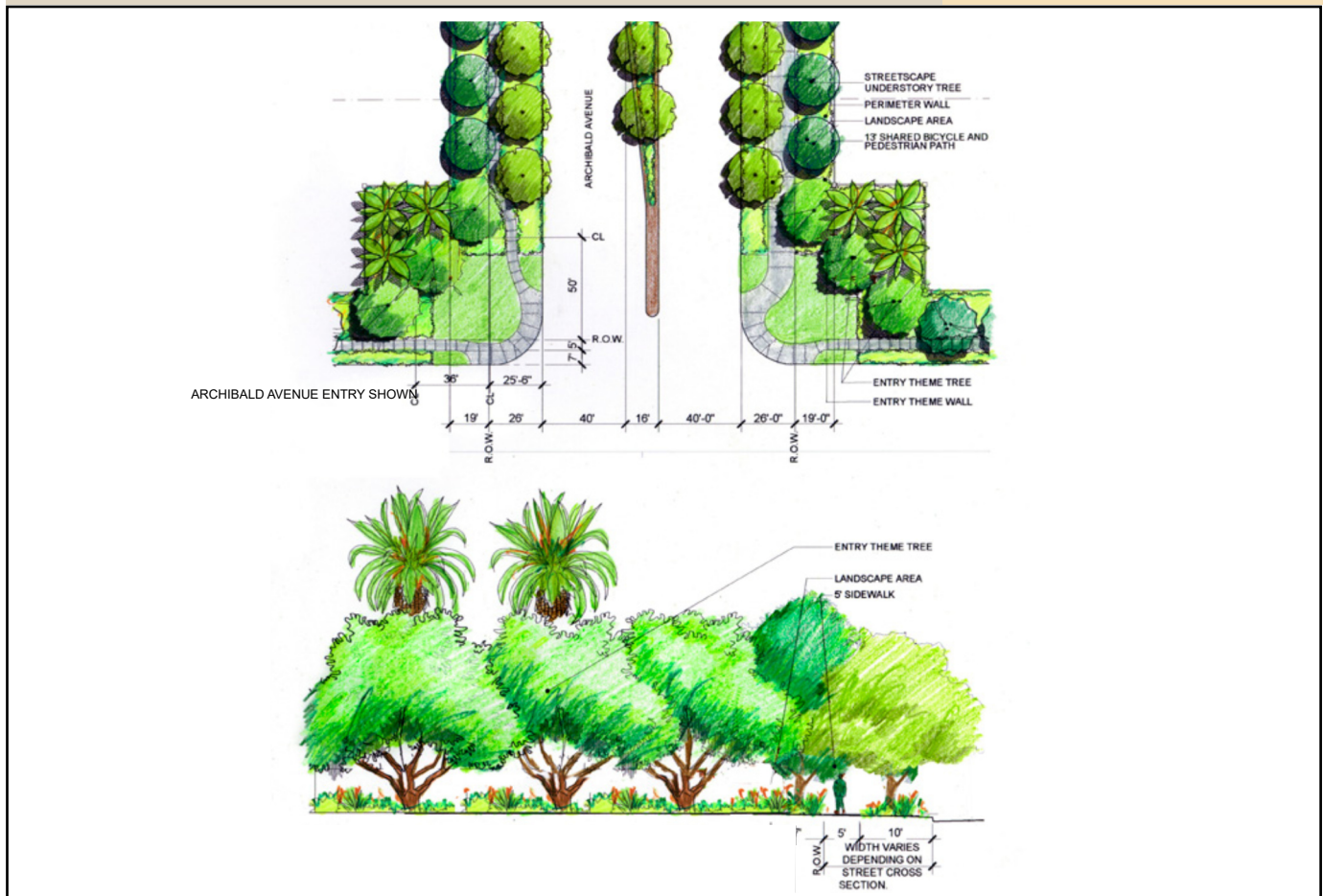
The Avenue is bordered by urban arterials on three sides. This allows easy access to neighborhoods throughout the community but also requires a carefully considered hierarchy and treatment of colony entries. The Main Entry provides a relaxed but strong sense of arrival and identity by utilizing soft open turf leading to stone veneered pilasters and a low planter wall. Clustered palms mixed with evergreen foliage trees and flowering shrubs will evoke the image of a classic Ontario community scene. The developer will be responsible for those improvements to the Main Entry as determined by the City Engineer and pursuant to the mitigation measures identified in the EIR and/or the Conditions of Approval established on the approved tentative maps for the project.



Primary Entries

These entries occur along the urban arterial and collectors throughout the community as shown in Exhibit 26, "Entries, Intersections and Community Walls". They will be smaller scale versions of the main entry and will contain minor sign monuments, theme walls and pilasters, simple attractive evergreen and deciduous tree planting and accent shrubs set behind a simple turf area. These entries will provide an important outlet and inlet for colony traffic to most efficiently access residential enclaves and other community elements. The developer will be responsible for those improvements to the Primary Entries as determined by the City Engineer and pursuant to the mitigation measures identified in the EIR and/or the Conditions of Approval established on the approved tentative maps for the project.

Exhibit 27b - Primary Entries



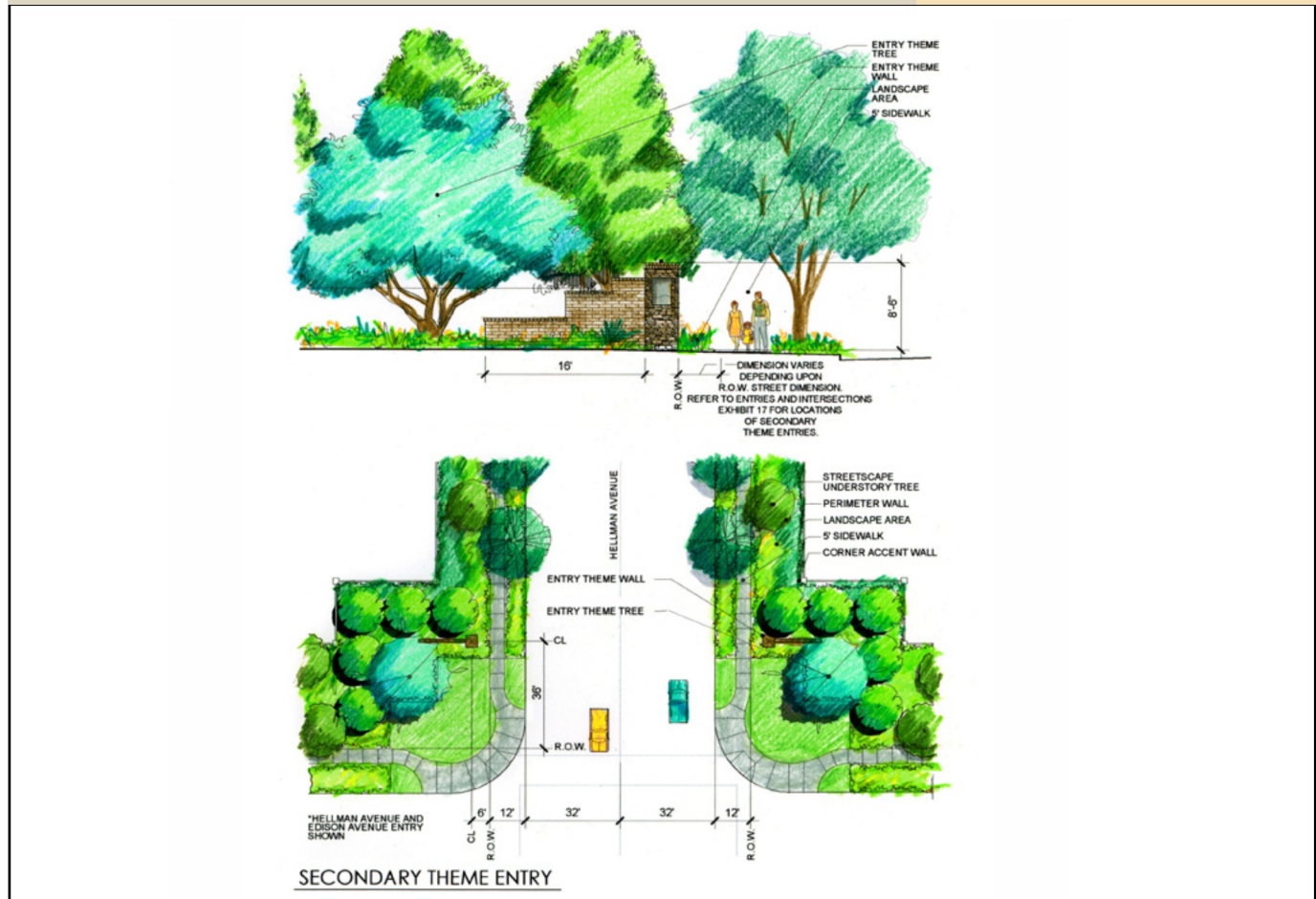
Secondary Entries

These entries will be the primary marketing and residential enclave access for the separate residential products within The Avenue as shown in Exhibit 26, “Entries, Intersections and Community Walls”. These entries occur from the internal road system and will be determined through the separate future planning of each enclave per the City of Ontario’s planning design standards and this Specific Plan document.

Simple identification signage and individualized landscape theming will be allowed. Signage may be permanent or temporary and is subject to review and approval by the master community developer. The signage and landscape materials must be compatible and complementary to The Avenue’s landscape design theme. Flexibility within this framework will allow visual diversity and individualization of the residential neighborhoods.

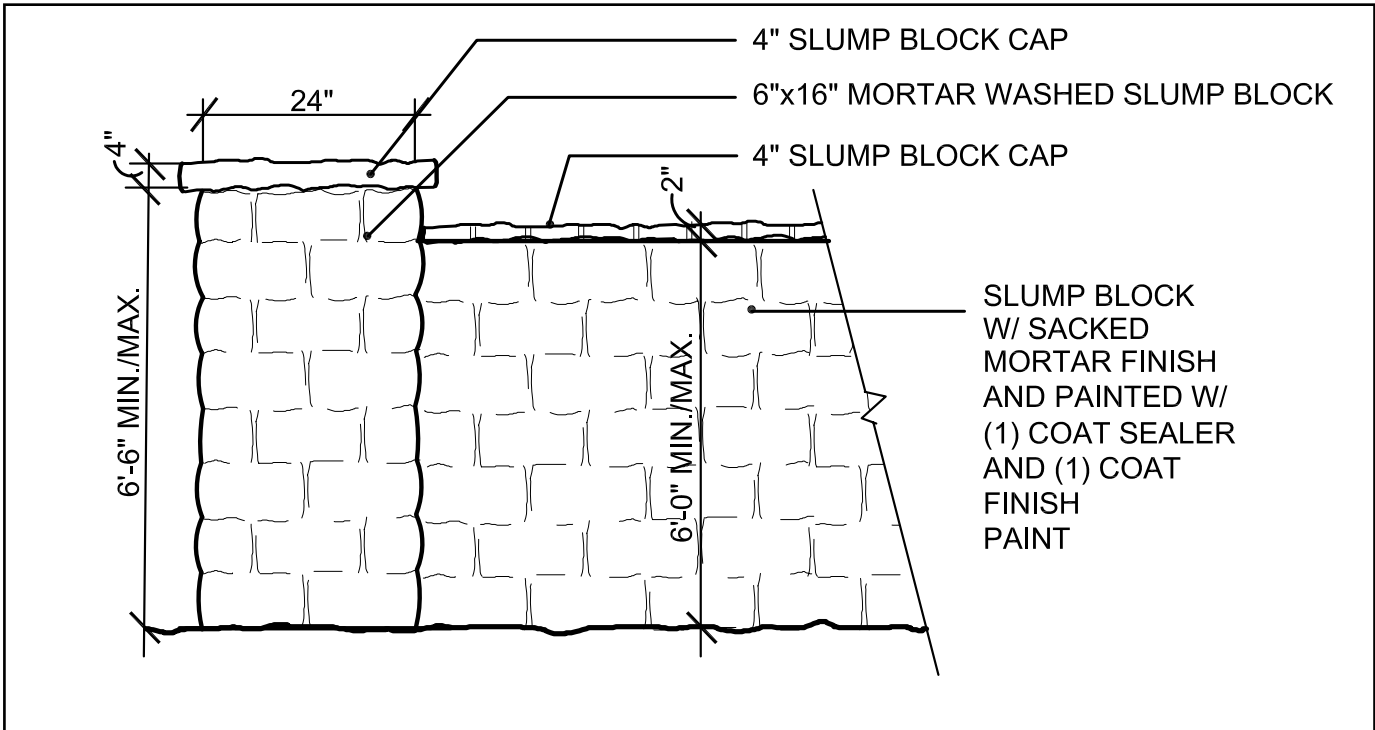
The developer will be responsible for those improvements to Archibald Avenue as determined by the City Engineer and pursuant to the mitigation measures identified in the EIR and/or the Conditions of Approval established on the approved tentative maps for the project.

Exhibit 27c - Secondary Entries



Solid Masonry Theme Wall

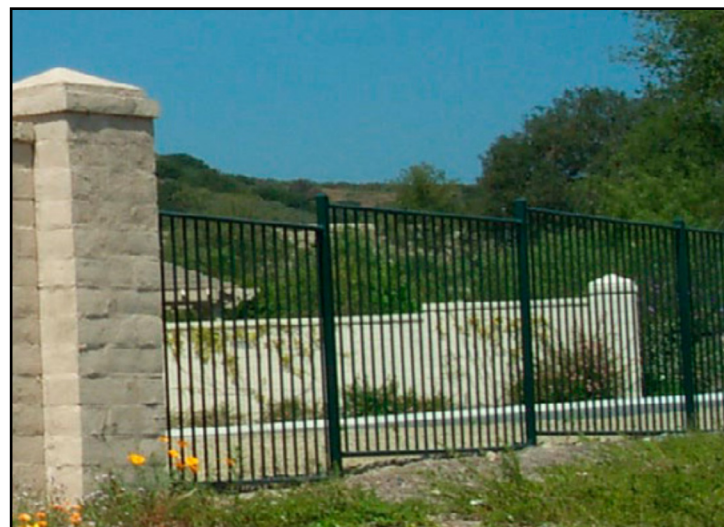
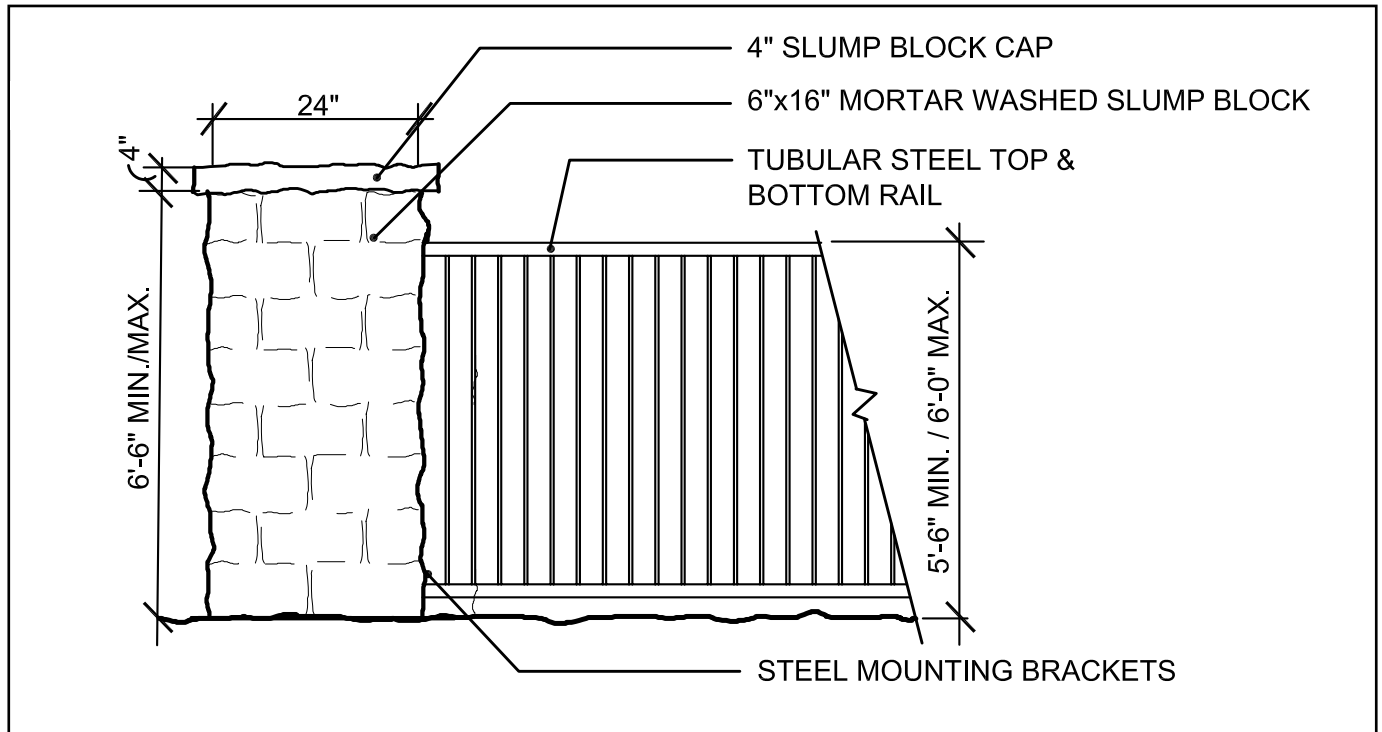
Solid masonry walls will be provided as rear and side yard enclosures where privacy is desired such as adjacent to streetscapes. The solid theme wall used within The Avenue will be a mortar washed painted slump block masonry unit. Pilasters will be placed at wall terminus points and as determined to be necessary for visual benefit.



Open Tubular Steel Fence

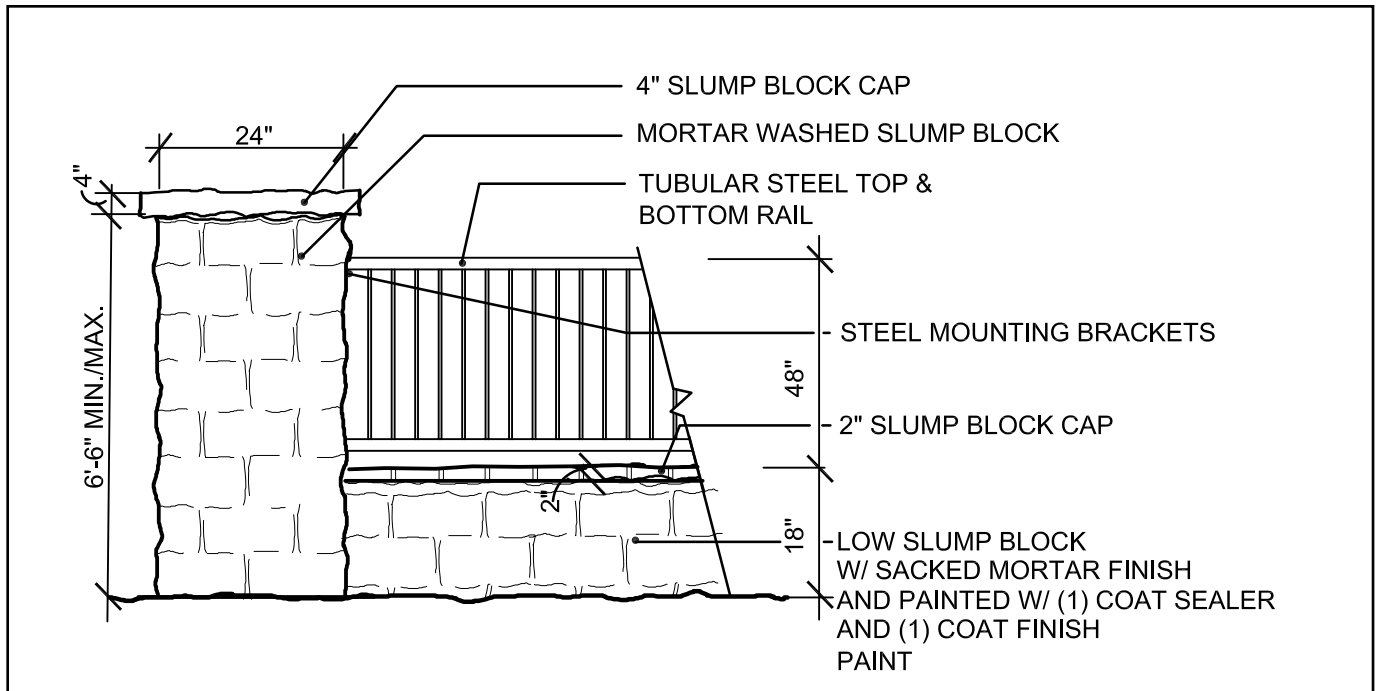
Tubular steel fencing will be used at residential interfaces to allow maximum view retention. Tubular steel fencing may also be used where an attractive open enclosure is necessary at park sites or recreation facilities.

Where feasible, the tubular steel fence will be interspersed with thematic community stone or masonry pilasters.



Combination Fence/Wall

This combination enclosure of a tubular steel fence mounted on a low solid masonry theme wall occurs where partial privacy is necessary, but permits some view opportunity. Pilasters shall occur at the intersections of rear and side property lines and shall be constructed of solid masonry theme wall materials.



Community Wood Fence

Wood fencing is acceptable when not adjacent to common open spaces such as school sites, parks or commercial sites. Wood fencing is allowed for front yard low (3'-6" high max.) decorative fencing. Wood fencing will not be permitted in rear or sides (masonry block only). Wood fence materials must be of sufficient quality to accept solid and semi-transparent stains required to help prevent rotting and weathering. No transparent stains will be allowed.

Interior Neighborhood Streetscene Walls

- Walls adjoining any interior neighborhood streetscene shall have a perimeter streetscene solid community theme treatment.
- The community solid theme wall shall be utilized at all residential corner lot side yards which parallel or are viewed from public streets.
- Wood fencing is permitted within the individual neighborhood provided the fencing is not readily visible from the community streetscenes, except as located behind the front yard setback.

Commercial, Institutional and Other Uses

Screen and security fences and walls are encouraged only in rear or side yards. Trash deposit areas shall be enclosed within a six foot (6') high gated trash enclosure wherever located.

Wall and Fence Heights

Residential, Institutional and Commercial Uses:

- Front yard wall heights must be compatible with the visual appearance and integrity of the front yard streetscene. Fences and walls in the front setback and street side setback shall not exceed three and one-half feet (3 ½') above grade. However, security fencing may be approved if there is a demonstrated need for security. The maximum height for this fencing shall be six feet (6') above grade. In this instance a combination wall/open fence enclosure shall be encouraged.
- Side and rear fences or walls shall not exceed a height of six feet (6').
- Pool Code: All fencing shall conform to the applicable City of Ontario pool code fencing requirements.

Wall and Fence Materials and Colors

All fences and walls within the private residential lots shall be designed and constructed as part of the overall architectural site design. All materials shall be durable and finished in textures and colors complementary to the overall architectural design.

- Permitted Wall Materials: Stone veneer, stucco (including stucco covered block), masonry, brick, slump block, block and wrought iron combination are acceptable.
- Conditionally Acceptable Wall and Fence Materials: Glass and/or heavy, break-resistant plastic are acceptable for use in fences and walls when necessary to preserve views while providing protection against winds, etc., if used in conjunction with the community solid theme wall.
- Prohibited Wall and Fence Materials: Barbed wire, wire, electrically charged fences, plain exposed precision block; plastic materials, corrugated metal, chain link and grape stake fencing are prohibited.
- Color and Special Wall and Fence Treatments: Walls may be left natural or covered with stucco, except plain precision block must be covered with stucco. Brick or slump block walls may be painted or covered with stucco, if desired. Stone surfaces shall remain natural or unpainted.
- Special Wall and Fence Regulations: A six foot (6') high minimum masonry wall shall be constructed on each property line prior to development of any commercial, industrial or business related use that adjoins any parcel specifically zoned for residential use or destined for open space or as a school site.

Special Wall and Fence Regulations

- A six foot (6') high masonry wall shall be constructed on each property line prior to development of any commercial/office related use that adjoins any parcel specifically zoned for residential use, or designed for open space or as a school site.
- All fences and walls connecting two (2) separate residential dwelling units shall be constructed of the same color and material and shall be compatible with the color and material of the architecture.
- Long walls should be broken up with landscaping, alignment offsets and material changes to relieve visual monotony. When possible, a three foot (3') minimum space should be left between paved areas and walls and fences to allow for vines and espaliers.
- All walls and/or fencing in commercial areas shall be planted with vines or screened by dense shrubbery.
- Brick walls or screening walls should have climbing plants or anti-graffiti elements such as anti-graffiti paint to prevent walls from being vandalized.
- If a wall is proposed along the east side of Carpenter Avenue where the homes are plotted to rear onto Carpenter Avenue, a 10-foot wide landscape buffer shall be incorporated along the street frontage. The 10-foot landscape buffer shall be measured from back of sidewalk (ROW) (13-foot parkway + 10 foot landscape buffer: Total 23-foot edge measured from curb face).



Typical residential streetscene

6.6.3 Local Streets/Residential Lot Frontage and Private Lot Landscaping

The local roads within The Avenue consist of private front or side yards of single family residences. Street trees and front and exterior side yards will be required to be installed by the residential enclave builder, however, the rear and interior side yards will be the responsibility of each individual homeowner.

Residential Lot Landscape Requirements

Each single-family dwelling/lot shall be provided with front yard landscaping and a permanent automatic irrigation in the front yard of each lot. At a minimum, a seeded turf lawn, appropriate shrubs and trees and an automatic irrigation system shall be provided. Furthermore, a variety of typical landscape designs shall be provided for use on each lot within the subdivision.

Multiple-family residential projects shall be provided with full landscape improvements throughout the development. At a minimum, a seeded turf lawn, appropriate shrubs and trees, and a permanent automatic irrigation system shall be provided.

Landscape and irrigation drawings of the entire project site must be submitted to the Building department in conjunction with construction plans. The plans shall be approved by the Planning Department and the Public Facilities Development Department prior to the issuance of building permits.

Those portions of a property which are not used for drive entries, parking, or approved outdoor uses shall be fully landscaped; all unpaved areas shall be landscaped; and all future development phase areas shall be hydroseeded.

Per City of Ontario's landscape Development Standards, each residential lot shall receive minimum of one (1) - 24" box size street tree planted in the right-of-way. Corner lots shall receive two (2) -24" box size street trees also planted in the right-of-way. Street trees planted in the right-of-way shall be thirty feet (30') maximum on center. Tree varieties shall be chosen from The Avenue's Plant Palette contained herein. Trees should be clustered near property lines to maximize their buffering effect and streetscene impact. One (1) species of tree shall be selected and approved for each residential street to maximize visual neighborhood identity. Deciduous or flowering evergreen accent trees which contrast with the chosen street trees are encouraged at cul-de-sacs, knuckles and intersections to provide seasonal emphasis and interest.

Residential Front Yard Requirements

A maximum of fifty percent (50%) of the front yard, excluding driveways and sidewalks may be seeded or sodded turf. A minimum of ten (10) 5 gallon shrubs, twenty (20) 1 gallon shrubs and an automatic irrigation system shall be installed by the builder/developer in the front yard of each residential lot. The turf, shrubs and irrigation shall be installed up to a property line from the curb face to the front of house and side yards. Side yard slopes over 3:1 surface gradient and three feet (3') in height should be planted with ground cover. Low slopes may be graded out to a less than 3:1 surface gradient and planted with turf.

A minimum of one (1) 15 gallon size tree shall be planted in the front yard of each residential lot in addition to the required street tree. These trees may match the street trees planted in the right-of-way and be located in proximity to said street trees in order to create a more harmonious effect. The trees may also contrast with the street tree and form backdrop tree clusters. Overall, the front yard scheme shall create a streetscene appearance of tree clusters meandering through the project and across streets.

6.6.4 General Landscape Guidelines

Individual homeowners shall be responsible for the maintenance of public street landscape frontage or side of their property unless otherwise identified within their legal ownership documents. Private homeowners shall also be responsible for all maintenance within their private lot area as well as fences and wall faces on their internal boundaries. For public and common area landscape maintenance responsibility refer to Table 4, "Maintenance Responsibility Matrix".

Outdoor Lighting

All street and commercial developments within The Avenue shall have uniform lighting standards with regard to style, materials and colors in order to ensure consistent design. Each residential development may develop its own lighting standards, provided that the selected lighting fixture style is used consistently throughout the project. Lighting fixtures shall be well integrated into the visual environment and the appropriate architectural theme. All lighting fixtures within The Avenue project area shall comply with the following regulations and provisions.



- All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed and arranged to minimize glare and illumination of streets or adjoining property. Low intensity, energy conserving night lighting is preferred.
- Lights shall be unbreakable plastic, recessed or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
- Neon and similar types of lighting are prohibited in all areas of The Avenue except in retail commercial developments.
- All exterior lighting designs should develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of streets and plazas; and also distinguishes vehicular and pedestrian circulation patterns. Community entry areas (both pedestrian and vehicular), public plazas, community facilities and highly used recreation areas shall be creatively lit to develop a sense of place and arrival.
- All exterior lighting designs shall address the issue of security. Parking lots, pedestrian walkways and building entrances shall be well lighted for security reasons.

The Avenue

- Street lighting should be metal halide to project true colors and clear visibility for safety and security reasons.
- All lighting is required to have anti-vandalism fixtures.
- Residential units will be required to have their addresses illuminated on their home as close to the front door as possible. In addition, an illuminated address on the garage door should be present if the garage door faces a private drive. Also, the address numbers should be painted on the curb with white reflective paint on a black background. Each homeowner will be responsible for the maintenance of these numbers.
- All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
- No freestanding lighting fixtures shall exceed twenty-five feet (25') in height.
- Service area lighting shall be contained within the service yard boundaries and enclosure walls.
- The lighting concept of the entry monumentation features is to illuminate the sign graphics and to gently wash the walls and pilasters with light. Trees and other landscape features should be illuminated by concealed uplight fixtures.
- All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.
- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the City of Ontario. Energy conservation, safety and security should be emphasized when designing any light system.
- All community landscape common areas, public facilities, commercial sites, streetscapes, parks, schools and other areas may, at the discretion of the project developer or builders, contain area, accent sports or other night lighting entities.

Irrigation

All landscaped areas shall be watered with a permanent underground irrigation system. Irrigation systems which adjoin a separate maintenance responsibility area shall be designed in a manner to ensure complete water coverage between the areas.

Proper consideration of irrigation system design and installation in the climate extremes of The Avenue area is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind must be carefully considered in proper irrigation design and equipment selection.

Overhead spray irrigation systems shall be designed with head to head 100 percent double coverage at a minimum. Native and drought tolerant shrub areas will use a combination of spray (temporary) and drip or bubbler irrigation to shrubs and trees. All trees shall have a bubbler or spray irrigation system separate from shrubs and groundcovers. In addition, all irrigation systems shall run by an automatic irrigation controller operated by a centralized computer system with manufacturer to be selected by the Parks and maintenance Department.

Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials.

- Reclaimed Water: Irrigation systems designed for use with both domestic and reclaimed water are encouraged (Refer to the city's New Model Colony Recycled Water Master Plan for additional information). All irrigation systems shall be designed for the eventual use of reclaimed water and/or conversion when available per current applicable standards.

Water Conservation Measures

- Drip and/or bubbler irrigation will be used where appropriate.
- Use of moisture sensors and/or central control irrigation systems may be incorporated where appropriate and feasible.
- Irrigation systems will be designed per AB 325 guidelines and/or the City of Ontario's Water Conservation Ordinance.
- Irrigation systems and plans will be prepared per landscape maintenance district or the City of Ontario's Landscape Development Standards.



Farming next to Flood Control Channel

- Place plants in similar hydro zone groupings to maximize efficient water use. Do not mix drought tolerant or native plants with ornamental plants that have dissimilar water requirements

6.6.5 Plant Material Guidelines

The Avenue will have a vastly different appearance from initial planting to several years into development. The quality of that appearance will depend on many factors including the initial selection of the plant material palette, soil preparation and installation, irrigation management and care and maintenance. All of these issues have been addressed in the preparation of the planting design theme and plant palette selection. A brief discussion of the planting approach and key issues follows:

General Landscape Requirements

- All areas required to be landscaped shall be planted with turf, groundcover, shrub or tree materials selected from the plant palette contained in these guidelines or other drought-tolerant or regionally appropriate species subject to the approval of Public Facilities Development.
- The owners of parcels which require landscape development shall consider any existing common landscape areas adjoining their property. Where feasible, landscape development shall reinforce or be compatible with such existing common area setting.

The Avenue

- Cut slopes equal to or greater than eight feet (8') in vertical height and fill slopes equal to or greater than five feet (5') in vertical height shall be planted with an erosion ground cover to protect the slope from erosion and instability. Slopes exceeding fifteen feet (15') in vertical height shall be planted with shrubs, spaced not more than ten feet (10') average on center or trees spaced not to exceed thirty feet (30') average on center or a combination of shrubs and trees at equivalent spacings, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
- Reference should be made to the City of Ontario Landscape Development Standards for erosion control methods for slopes and other landscaped areas.
- Parkway Tree Planting: All street or parkway trees shall be planted so as to maintain adequate distance and shall maintain the following planting distances:
 - Ten feet (10') from all water and sewer lines, fire hydrants, light standards and power poles.
 - Five feet (5') from all flat hardscape (sidewalks, curbs, vaults, etc.) except as otherwise approved by the City.
 - Twenty-five feet (25') from street intersection beginning of curb returns (BCR).

Climate Constraints

Plant material palettes for The Avenue contained herein are compatible with the climatic setting of the area. The utilization of some materials, depending upon their site location, exposure and relationship to other influential factors may not be appropriate.

Planting Time

Due to the climate extremes of the area, the installation of plant materials during the coldest winter months (December through March) and the hottest summer/fall months (July through September) can be difficult. Container plant materials not acclimated to the area can easily suffer from damage or sun/heat exposure resulting in partial or entire foliage loss even through such materials are perfectly suited to the temperature ranges once established. If planting must be done during these difficult periods, plant establishment may be difficult and require a prolonged period of time, as well as additional replacement plants.

Horticultural Soils Test Requirements

Soil characteristics within The Avenue project may be variable. The owners of parcels which require landscape development shall procure a horticultural soils report in order to determine proper planting and maintenance requirements for proposed plant materials. Such a soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

Topography

The Avenue lies across a flat plain. There may be extreme cold conditions occurring during winter months. This will be affected by the development patterns of the community and are difficult to predict. The plant palette proposed may, on occasion, suffer adverse affects in certain areas of the community. Adjustments may need to be made at that time and other drought-tolerant or regionally appropriate species may be substituted subject to the approval of Public Facilities Development.

Drought Tolerance/Water Conserving Plant Material

Although a plant may be considered as drought tolerant or water conserving, that plant requires proper care, installation, watering and maintenance to maintain an optimum healthy condition.

- **Degrees of Drought Tolerance/Water Conservation:** There are degrees of drought tolerance with some plants able to withstand or go without water for a greater period of time than others. Water conserving plant material may not be drought tolerant but can thrive on low water amounts throughout the year once established.
- **Plant Installation Water Demand:** Drought tolerant plants like other plants, require more watering during the initial installation period and for at least a three month maintenance period following to become established. Therefore, if drought tolerant plants are installed in the warmer months more supplemental water will be required until the plant is established.
- **Deep Watering Practices:** Drought tolerant plants like most plants need the proper deep watering practices to encourage deep root system development. Drought tolerant plants with a shallow root system resulting from frequent light applications of water will not be drought tolerant. Checking the depth of water penetration into the soil with a soil probe or spade and adjusting irrigation run times enhance plant vigor and prevents plant loss from drought stress over saturation.
- **Warmer Months Water Application:** Although a plant is labeled drought tolerant, that does not necessarily mean it can survive without summer water, the plant may have low water requirements. Depending upon the plant, drought tolerant plants will have a better appearance and health during the warmer months with infrequent deep watering. Do not water during the heat of the day and avoid overhead watering; prolonged leaf wetting can promote disease.
- **Full Season Plant Water Requirements:** After drought tolerant plants have grown a full season, the water application rate should be diminished and the drought tolerant plant allowed to survive on less water.
- **Maintenance:** Drought tolerant and California native plants still need regular maintenance such as pruning, fertilizing, deep watering and checking for pests and diseases.



Deer Grass

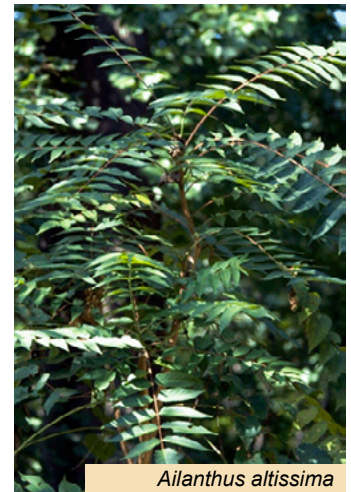


Manzanita

Invasive Species

Non-native invasive plant species shall not be used in landscape plans. Controlled invasive non-native species shall include the following:

Non-native Acacia's (Acacia spp.)
 Tree of Heaven (Ailanthus altissima)
 Giant reed (Arundo donax)*
 Hottentot-fig (Carpobrotus edulis)
 Garland chrysanthemum (Chrysanthemum coronarium)*
 Pampas grass (Cortaderia atacamensis)*
 French broom (Cytisus monspessulans)
 Scotch broom (Cytisus scoparius)
 Crystal ice plant (Mesembryanthemum crystallinum)
 Small-flowered ice plant (Mesembryanthemum nodiflorum)
 Bermuda buttercup (Oxalis pes-caprae)*
 German ivy (Senecio mikanoides)
 Pink periwinkle (Vinca major)
 Tamarisk (Tamarix spp.)*
 Gorse (Ulex europaeus)



Ailanthus altissima

* Indicates a species that may not be used in any plant palettes, regardless of location in the development, due to its ability to readily spread via airborne seeds, rather than vegetatively.

Plant Pest and Disease Control

A consistent problem in ornamental and native planting schemes is the disease and pests which have affected trees and shrubs often in significant visual patterns through a community. Recent well documented problems include oleander scorch blight and several eucalyptus and olive problems, however, a series of other problems have occurred on an annual basis. There is no way to predict the occurrence of new pests or diseases, however, there are useful methods to limit the impact of outbreaks. These include the following:

- Maintain optimum plant health through soil preparation, water management and nutrient monitoring.
- Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
- Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
- Provide good cultural practices to maintain plant health and disease resistance with adequate mulch, sufficient air circulation and protection from mechanical injury from mowers and edgers.

The following Plant List is to provide design guidance and intent. While this list is not a comprehensive list of suitable plants for The Avenue, other drought-tolerant or regionally appropriate species, preferably from the low and moderate species of the WUCOLS (Water Use Classification of Landscape Species) classification system, may be substituted subject to the approval of Public Facilities Development.

Table 5 - Plant List

Trees		Archibald Avenue	Hellman Avenue	Haven Avenue	SCE Corridor	Edison Avenue	Schaefer Avenue	Turner Avenue	The Avenue	Neighborhood Streets	Alleys	Residential Street Trees	Accent Trees	Primary Entries	Secondary Entries	Residential Entry	Typ. Neighb. Park 1 & 2	Sports Park	Retail/Commercial Area
		Per NMC Streetscape Plan																	
Botanical Name	Common Name																		
<i>Acacia subporosa</i>	Weeping Acacia																		x
<i>Agonis flexuosa</i>	Peppermint Tree			x															
<i>Albizia julibrissin 'Rosa'</i>	Silk Tree																		
<i>Arbutus unedo</i>	Strawberry Tree											x				x			
<i>Bauhinia variegata</i>	Purple Orchid Tree												x				x		
<i>Cassia leptophylla</i>	Gold Medallion Tree																		x
<i>Cedrus deodara</i>	Deodar Cedar												x	x	x	x			
<i>Chamaerops humilis</i>	Mediterranean Fan Palm													x	x				
<i>Chionanthus retusus</i>	Chinese Fringe Tree	x																	
<i>Cinnamomum camphora</i>	Camphor Tree													x	x				
<i>Citrus spp.</i>	Citrus												x				x	x	
<i>Cupaneopsis anacardioides</i>	Cottonwood			x						x							x	x	x
<i>Eriobotrya deflexa</i>	Loquat		x	x	x														
<i>Eucalyptus spp.</i>	Eucalyptus			x															
<i>Fraxinus spp.</i>	Ash													x	x		x	x	
<i>Geijera parviflora</i>	Austrailian Willow											x					x		x
<i>Gleditsia triacanthos</i>	Honey Locust			x													x	x	x

Trees		Archibald Avenue	Hellman Avenue	Haven Avenue	SCE Corridor	Edison Avenue	Schaefer Avenue	Turner Avenue	The Avenue	Neighborhood Streets	Alleys	Residential Street Trees	Accent Trees	Primary Entries	Secondary Entries	Residential Entry	Typ. Neighb. Park 1 & 2	Sports Park	Retail/Commercial Area
		Per NMC Streetscape Plan																	
Botanical Name	Common Name																		
<i>Jacaranda mimosifolia</i>	Jacaranda		x										x	x					
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree			x								x				x		x	x
<i>Lagerstroemia indica</i>	Crape Myrtle		x		x							x	x				x	x	x
<i>Liquidamber styraciflua</i>	Sweet Gum															x			
<i>Liriodendron tulipifera</i>	Tulip Tree	x										x	x	x	x	x	x	x	x
<i>Magnolia grandiflora</i>	Southern Magnolia												x	x					
<i>Melaleuca linariifolia</i>	Flaxleaf Paperbark																	x	x
<i>Melaleuca nesophila</i>	Pink Melaleuca												x	x					
<i>Melaleuca quinquenervia</i>	Cajuput Tree		x																
<i>Michelia champaca</i>	Michelia																		
<i>Olea europea</i>	Olive												x	x			x	x	
<i>Phoenix dactylifera</i>	Date Palm												x	x			x	x	x
<i>Pinus spp.</i>	Pine												x	x	x	x	x	x	x
<i>Pistacia chinensis</i>	Chinese Pistache		x									x				x	x	x	x
<i>Plantanus acerifolia</i>	London Plane Tree			x								x					x		
<i>Plantanus racemosa</i>	California Sycamore		x														x	x	
<i>Prunus spp.</i>	Plum												x						
<i>Pyrus spp.</i>	Pear												x	x					
<i>Quercus agifolia</i>	Coast Live Oak													x	x	x	x	x	
<i>Quercus ilex</i>	Cork Oak													x	x	x	x	x	
<i>Podocarpus gracilior</i>	Fern Pine															x	x		x
<i>Rhaphiolepis 'Magestic Beauty'</i>	N.C.N.																x		x
<i>Rhus lancea</i>	African Sumac																x	x	x
<i>Robinia Pseudoacacia</i>	Locust																		x
<i>Schinus molle</i>	California Pepper		x											x	x	x	x	x	
<i>Sequoia sempervirens</i>	Aptos Blue Redwood													x	x				
<i>Sophora japonica</i>	Japanese Pagoda		x																
<i>Trachycarpus fortunei</i>	Windmill Palm																x	x	
<i>Tristania conferta</i>	Brisbane Box		x										x						x
<i>Tristania laurina</i>	N.C.N.																		x
<i>Ulmus parvifolia</i>	Evergreen Elm												x				x	x	x

Shrubs		Archibald Avenue	Hellman Avenue	Haven Avenue	SCE Corridor	Edison Avenue	Schaefer Avenue	Turner Avenue	The Avenue	Neighborhood Streets	Alleys	Primary Entries	Secondary Entries	Residential Entry	Typ. Neighb. Park 1 & 2	Sports Park	Retail/Commercial Area
		Botanical Name	Common Name	Per NMC Streetscape Plan													
<i>Acacia 'Desert Carpet'</i>	Acacia	X						X	X	X	X	X	X	X	X	X	X
<i>Agave attenuata</i>	Foxtail Agave		X					X	X	X	X	X	X	X	X	X	
<i>Aloe species</i>	Aloe		X					X	X	X	X	X	X	X	X	X	X
<i>Alyogene huegelii</i>	Blue Hibiscus							X	X	X	X	X	X	X	X	X	X
<i>Arctostaphylos 'Howard McMinn'</i>	Sur Manzanita																
<i>Baccharis 'spp</i>	Coyote Bush													X	X		
<i>Bougainvillea species</i>	Bougainvillea							X	X	X	X	X	X	X	X		X
<i>Buxus m. japonica</i>	Japanese Boxwood			X	X	X	X	X	X	X	X	X	X	X	X	X	X
<i>Ceanothus concha</i>	California Lilac																
<i>Cistus spp.</i>	Rock Rose	X						X	X	X	X	X	X				
<i>Coprosma kirkii</i>	Cooprosma											X	X	X	X		X
<i>Cotoneaster spp.</i>	Cotoneaster	X						X	X			X	X				
<i>Dietes Bicolor</i>	African Iris			X	X	X	X	X	X	X	X	X	X	X	X	X	X
<i>Echium fastuosum</i>	Pride of Madiera							X	X	X	X	X	X	X	X		
<i>Eleagnus pungens</i>	Silberberry	X														X	X
<i>Encelia farinosa</i>	Encelia																
<i>Escallonia fradesii</i>	Escallonia							X	X	X	X	X	X	X	X		
<i>Festuca californica</i>	California Fescue																
<i>Fremontodendron californica</i>	Flannel Bush																
<i>Grewia caffra</i>	Lavender Star Flower							X	X								X
<i>Hemerocallis species</i>	Day Lily	X	X					X	X	X	X	X	X	X	X		X
<i>Hesperaloe spp.</i>	Hesperaloe	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
<i>Heteromeles arbutifolia</i>	Toyon													X			X
<i>Hibiscus rosa-sinensis</i>	Golden Dust Hibiscus													X	X		
<i>Ilex vomitoria 'Nana'</i>	Holly																X
<i>Lantana montevidensis</i>	Lantana		X					X	X	X	X	X	X	X	X	X	X
<i>Lavandula species</i>	Lavender		X					X	X	X	X	X	X				
<i>Lavatera bicolor</i>	N.C.N.																
<i>Leptospermum scoparium</i>	New Zealand Tea Tree																

Shrubs		Archibald Avenue	Hellman Avenue	Haven Avenue	SCE Corridor	Edison Avenue	Schaefer Avenue	Turner Avenue	The Avenue	Neighborhood Streets	Alleys	Primary Entries	Secondary Entries	Residential Entry	Typ. Neighb. Park 1 & 2	Sports Park	Retail/Commercial Area
		Per NMC Streetscape Plan															
Botanical Name	Common Name																
<i>Ligustrum japonicum</i> 'Texanum'	Glossy Privet									x		x	x	x	x	x	x
<i>Muhlenbergia</i> 'Regal Mist'	Deer Grass											x	x	x	x	x	x
<i>Myoporum parvifolium</i>	N.C.N.									x						x	x
<i>Phlomis fruticosa</i>	Jerusalem Sage																
<i>Phormium spp.</i>	New Zealand Flax											x	x	x	x		x
<i>Pittosporum spp.</i>	Mock Orange									x	x	x	x	x	x	x	x
<i>Plumbago auriculata</i>	Cape Plumbago	x									x				x	x	x
<i>Pyracantha species</i>	Fire Thorn	x															x
<i>Rhamnus spp.</i>	Coffee													x	x		x
<i>Raphiolepis indica</i>	India Hawthorne	x	x								x	x	x	x	x	x	x
<i>Rhus integrifolia</i>	Lemonade Berry																
<i>Rosa species</i>	Rose	x										x	x	x		x	x
<i>Rosemarinus spp.</i>	Rosemary	x	x									x	x	x	x		
<i>Salvia spp.</i>	Sage									x		x	x	x	x	x	x
<i>Salvia spathacea</i>	Hummingbird Sage									x					x	x	x
<i>Tagetes lemmonii</i>	Bush Marigold											x	x				
<i>Trachelospermum spp.</i>	Star Jasmine											x	x	x	x		x
<i>Xylosma congestum</i>	Shing Xylosma	x											x	x	x	x	x



Ceanothus



Bougainvillea

Vines		Archibald Avenue	Hellman Avenue	Haven Avenue	SCE Corridor	Edison Avenue	Schaefer Avenue	Turner Avenue	The Avenue	Neighborhood Streets	Alleys	Primary Entries	Secondary Entries	Residential Entry	Typ. Neighb. Park 1 & 2	Sports Park	Retail/Commercial Area
		Per NMC Streetscape Plan															
Botanical Name	Common Name																
<i>Bougainvillea species</i>	Bougainvillea							x	x			x	x	x	x	x	x
<i>Distictus buccinatoria</i>	Blood Red Trumpet Vine											x	x	x	x	x	x
<i>Gelsemium sempervirens</i>	Carolina Jessamine											x	x	x			x
<i>Grewia caffra</i>	Lavender Star Flower							x				x	x				
<i>Macfadyana unguis-cati</i>	Cat's Claw											x	x		x	x	x
<i>Pandorea jasminoides</i>	Bower Vine											x	x	x	x	x	x
<i>Parthenocissus tricuspidata</i>	Boston Ivy							x				x	x	x	x	x	x
<i>Rosa banksiae</i>	Lady Bank's Rose																
<i>Wisteria sinensis</i>	Chinese Wisteria							x							x	x	x

Groundcovers		Archibald Avenue	Hellman Avenue	Haven Avenue	SCE Corridor	Edison Avenue	Schaefer Avenue	Turner Avenue	The Avenue	Neighborhood Streets	Alleys	Primary Entries	Secondary Entries	Residential Entry	Typ. Neighb. Park 1 & 2	Sports Park	Retail/Commercial Area
		Per NMC Streetscape Plan															
Botanical Name	Common Name																
<i>Acacia 'Desert Carpet'</i>	Dwarf Trailing Acacia														x	x	x
<i>Arctostaphylos 'John Dourley'</i>	Manzanita	x	x					x	x			x	x	x			x
<i>Carex spp.</i>	Carex	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
<i>Ceanothus griseus Hor. 'Yankee Point'</i>	California Lilac	x	x														
<i>Coprosma kirkii</i>	Coprosma	x	x					x	x	x	x	x	x	x	x	x	x
<i>Cotoneaster spp.</i>	Cotoneaster	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
<i>Festuca spp.</i>	Fescue	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
<i>Juncus spp.</i>	Rushes	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
<i>Lonicera japonica</i>	Japanese Honeysuckle	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
<i>Myoporum parvifolium</i>	Myoporum																
<i>Myoporum pacificum</i>	Pacific Myoporum		x						x						x	x	x
<i>Rosmarinus prostratus</i>	Prostratus Rosemary		x						x	x	x	x	x	x	x	x	x
<i>Stipa Pulchra</i>	Purple Needlegrass	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
<i>Trachelospermum asiaticum</i>	Asiatic Jasmine		x						x		x	x	x	x	x	x	x

Turfgrass and Seed:

Year round turf grass mixes as follows:

General turf areas:

100% Dwarf tall fescue blend - 10 lbs. per 1,000 s.f.

Park Site and Athletic areas:

Hybrid bermuda (seeded or stolonized)

Bermuda grass must be planted and mature prior to the dormant season.

