

## Section 2 - Existing Conditions

### 2.1 Site History

The Avenue site has previously been extensively used for agricultural operations, including dairy use. Those areas not in active agricultural production are occupied by rural residential housing, farm buildings and other ancillary facilities. The natural vegetation and soils conditions that once occurred throughout the project area have been significantly altered through agricultural uses, leaving little or no native vegetation. Though still currently in the transitioning phase for development from agricultural uses, the Zoning Classification for parts of the site were once considered as (AG) Specific Plan Ag Preserve.

### 2.2 Existing Site Conditions

The Avenue has undergone a significant change in land use patterns replacing what was historically undeveloped, with agricultural operations scattered throughout the area with lower density urban land uses. Historically, improvements within The Avenue included single-family residences, feed storage areas, and various other farming or cattle raising facilities. Other agricultural-related facilities, such as above ground tanks and modular structures, were scattered throughout, and a commercial nursery was located on the easterly portion of the site. These agricultural uses are transitioning to residential uses, parks and recreational areas and neighborhood commercial development since the Avenue Specific Plan has been approved and has been implemented over the plan area.

Exhibit 4 - Site Aerial Photo



### 2.2.1 Site Area

The Avenue Specific Plan is approximately 568.1 gross acres in size. This includes street right-of-ways and all utility easements.

### 2.2.2 Topography

The Project Site is located on gently sloping undeveloped terrain with a relatively uniform slope as illustrated in Exhibit 5, "Existing Topography". The existing ground on the site slopes southerly away from Schaefer Avenue at an approximately 1% grade.

### 2.2.3 Existing On-site Land Use

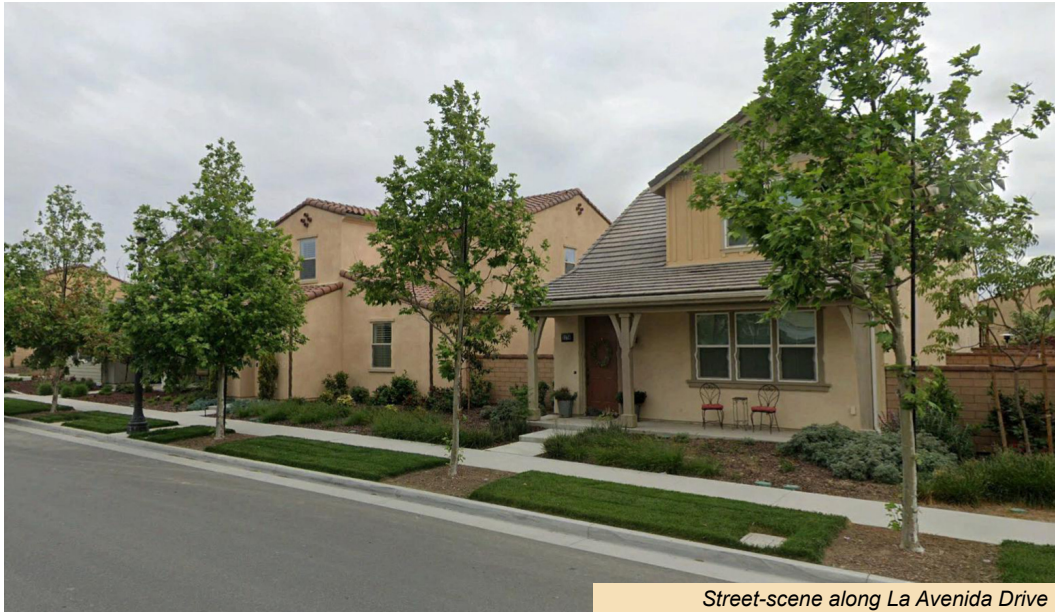
The Avenue Specific Plan currently comprises agricultural, dairy, farming, and other agricultural related land uses. There are utility uses such as the Cucamonga Creek flood control channel and the Southern California Edison utility easement traversing the site, as well as a one-acre Southern California Edison substation.



*View of Dairy Farm that existed on the Project Site prior to the adoption of the original Avenue Specific Plan*



*Historic agricultural uses on the Project Site circa 2004*



Street-scene along La Avenida Drive

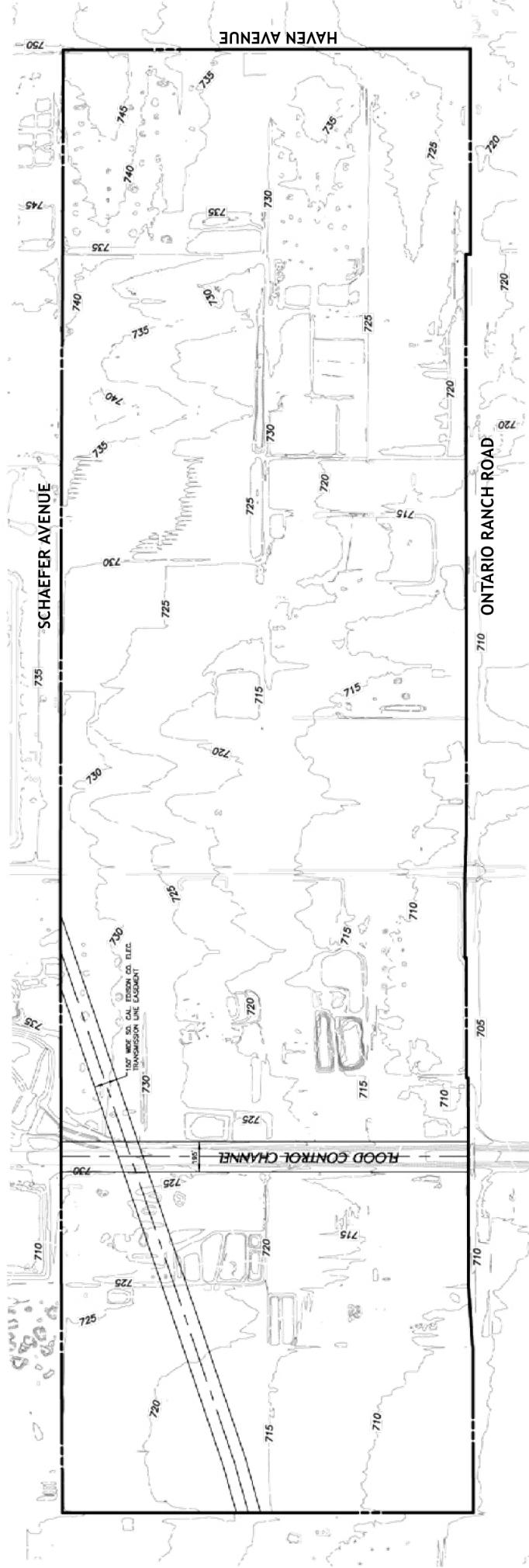


Turner Avenue and La Avenida Drive Intersection



VIEW OF THE AVENUE SPECIFIC PLAN AREA LOOKING WEST

## Existing Conditions



Note: The existing site slopes southerly at approximately 2% grade.

# The Avenue

## SPECIFIC PLAN

## Existing Topography

## 2.2.4 Surrounding Land Use

Land uses adjacent to The Avenue Specific Plan area include:

- North: Existing residential community and SCE Easement.
- East: New residential community, low and medium density developments, farm land and vacant land.
- South: Existing residential community is currently under construction and future mixed use/residential development.
- West: Farm land and vacant land.

The New Model Colony General Plan designates the surrounding areas as:

- North: Low Density Residential, Elementary School, Flood Control and Green Belt (Subareas 5 and 12)
- East: Low Density Residential and Green Belt (Subarea 12)
- South: Low, Medium and High Density Residential, Flood Control and Green Belt (Subarea 23)
- West: Medium Density Residential, High Density Residential and Green Belt (Subarea 17)

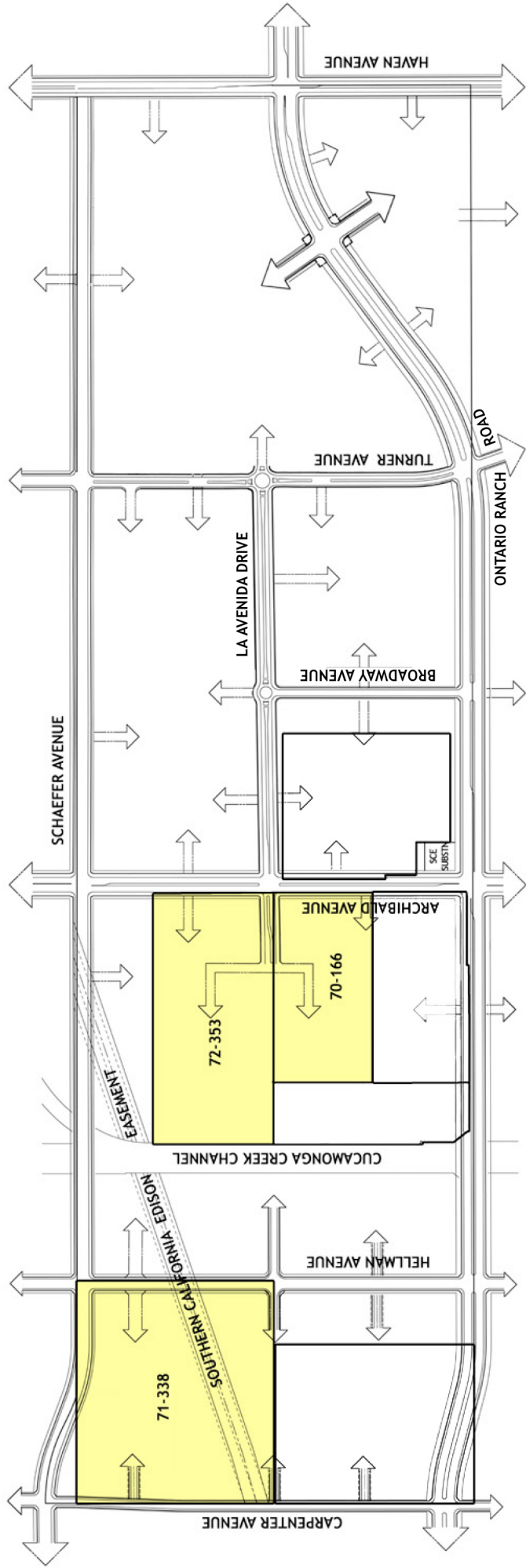


*La Avenida as viewed from Archibald looking East*

## 2.2.5 Williamson Act Contracts

There are currently 3 Williamson Act Contracts within the Specific Plan Area as shown in Exhibit 6, "Williamson Act Contracts".

# Existing Conditions



## LEGEND

 ACTIVE CONTRACT (3)

# The Avenue

## SPECIFIC PLAN

# Williamson Act Contracts

The New Model Colony • Ontario, California Exhibit 6 - Williamson Act Contracts 2-7

## 2.3 Property Ownership

The Avenue Specific Plan has several landowners or interests controlling or sharing control of the identified planning areas. Table 1 below, and Exhibit 7, "Assessors Parcel Numbers" indicates the ownership of parcels within The Avenue Specific Plan area.

| Planning Area | APN        | Current Property Owner              |
|---------------|------------|-------------------------------------|
| 1C            | 218-122-01 | Peter and Henrietta Bosch Trust     |
| 1B            | 218-181-23 | John and Lorraine Anderson          |
| 1B            | 218-181-24 | Jimmie Anderson                     |
| 1B            | 218-181-25 | John and Lorraine Anderson          |
| 1A            | 218-181-26 | Tony and Rickey Anderson            |
| 2A            | 218-181-17 | Parkside West Holding Company, LLC  |
| n/a           | 218-181-19 | Unknown                             |
| 2B            | 218-181-20 | Miguel and Graciela Gomez           |
| 2A            | 218-181-21 | Parkside West Holding Company, LLC  |
| 2B            | 218-181-22 | Miguel and Graciela Gomez           |
| 3A            | 218-191-19 | Parente R/E Inv Mgmt Co.            |
| 3B            | 218-191-24 | GH Dairy                            |
| 4             | 218-191-20 | Parente R/E Inv Mgmt Co.            |
| 5             | 218-191-04 | Richland Communities                |
| 5             | 218-191-05 | Richland Communities                |
| 5             | 218-191-14 | Richland Communities                |
| 5             | 218-191-15 | Richland Communities                |
| 5             | 218-191-16 | Richland Communities                |
| 5             | 218-191-22 | Harada Trust                        |
| 6A            | 218-201-15 | Distinguished Homes                 |
| 6A & 6B       | 218-201-44 | Distinguished Homes                 |
| 7             | 218-201-18 | BrookCal Ontario LLC                |
| 8A            | 218-201-26 | Distinguished Homes                 |
| 8A            | 218-201-27 | Distinguished Homes                 |
| 10A           | 218-201-05 | Dick Dykstra Dairies                |
| 9A & 9B       | 218-201-45 | Dick Dykstra Dairies                |
| 10A, 10B & 11 | 218-201-42 | BrookCal Ontario LLC                |
| 10A & 11      | 218-201-43 | BrookCal Ontario LLC                |
| 10A & 10B     | 218-201-30 | BrookCal Ontario LLC                |
| 11            | 218-201-39 | BrookCal Ontario LLC                |
| n/a           | 218-191-09 | San Bernardino County Flood Control |
| n/a           | 218-191-18 | San Bernardino County Flood Control |
| n/a           | 218-191-21 | San Bernardino County Flood Control |
| n/a           | 218-191-23 | San Bernardino County Flood Control |
| n/a           | 218-201-17 | SCE                                 |
| 8B            | 218-201-19 | Distinguished Homes                 |
| n/a           | 218-201-20 | Abandoned well site                 |



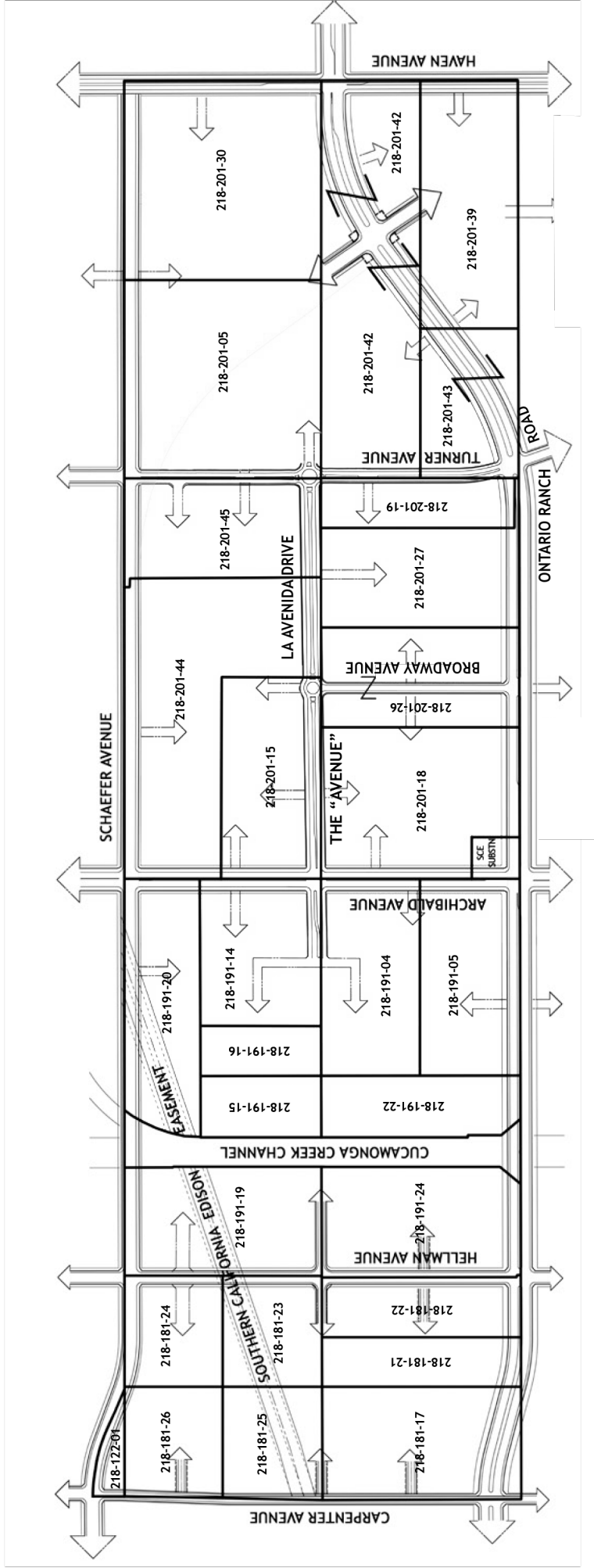
## 2.4 Existing Circulation

Access to The Avenue Specific Plan is currently provided from newly constructed arterial and collector roadways that are developed adjacent to and within The Avenue Specific Plan area. Ontario Ranch Road abuts the plan area on the south and is currently being improved in a phased manner from Haven Avenue westerly towards Carpenter Avenue.

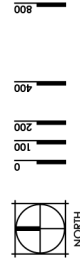
Archibald Avenue has partially been improved to its ultimate condition and bisects the plan area through the center of the project. Schaefer Avenue has been fully constructed from Haven Avenue to Archibald Avenue. Haven Avenue has been fully constructed between Schaefer Avenue and Ontario Ranch Road (formerly Edison Avenue).



*Existing intersection at Archibald and Ontario Ranch Road*



LEGEND



# The Avenue

## SPECIFIC PLAN

# Assessors Parcel Numbers

The New Model Colony • Ontario, California

Exhibit 7 - Assessors Parcel Numbers

## 2.5 Existing Infrastructure and Utilities

### 2.5.1 Water

There is an existing 12-inch main within Archibald. This is a Chino Desalter Authority (CDA) line which extends through La Avenida Drive. The source is well water, the zone is elevation 1010 and the line usage is for dairy lands in this vicinity. The private wells currently in use for this main will eventually be destroyed per DHS standards upon development of this Specific Plan. The location of existing wells are shown in Exhibit 24, "Existing Wells". Per the NMC Water Master Plan, new domestic facilities will be required to serve The Avenue Specific Plan area. Existing water facilities are shown on Exhibit 20, "Domestic Water Master Plan".

In compliance with the Chino Basin Water Master's Well Procedure for Developers, a well use/destruction plan and schedule for all existing private/agricultural wells shall be submitted to the City of Ontario for approval prior to the issuance of permits for any construction activity. If a private well is actively used for water supply, the Developer shall submit a plan to abandon such well and connect users to the City's water system (residential to the domestic water system and agricultural to the recycled water system) when available. Wells shall be destroyed/abandoned per the California Water Resource Guidelines and require permitting from County Health Department. The location of existing wells are shown in Exhibit 24, "Existing Wells". A copy of such permit and Form DWR 188 Well Completion Form shall be provided to the Engineering and Public Works Agency prior to issuance of grading and/or building permits. If the Developer proposes temporary use of an existing agricultural well for purposes other than agriculture, such as grading, dust control, etc., the developer shall make a formal request to the City of Ontario for such use prior to issuance of permits for any construction activity. Upon approval, the Developer shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by the agreement.

### 2.5.2 Recycled Water

There is an existing Chino Basin Municipal Water District 30-inch main within La Avenida Drive. The main is located within the existing and proposed alignment of Carpenter Street extending northerly and southerly of this Specific Plan area. This main will serve The Avenue project along with proposed NMC Master Plan facilities connecting to this 30-inch line as the source of recycled water. Existing recycled water facilities are shown on Exhibit 21, "Recycled Water Master Plan".

### 2.5.3 Sewer

Existing recently constructed IEUA 33-inch and 36-inch Eastern Trunk Sewer mains are located within Archibald Avenue. The Archibald trunk reach eventually joins the existing Kimball 54-inch Interceptor Trunk Sewer to the south of La Avenida Drive. The existing Archibald IEUA sewer will serve the easterly side of The Avenue Specific Plan via proposed NMC Master Plan facilities which will connect to it. La Avenida Drive west of the Cucamonga Flood Channel currently has no gravity sewer service. All other existing septic systems will be destroyed per DHS standards with the development of the Specific Plan. Existing sewer facilities are shown on Exhibit 23, "Sewer Master Plan".

### 2.5.4 Storm Drainage

The Avenue is presently in agricultural use; therefore, only a limited portion of the site is covered with impervious surfaces. Normal rainfall to the area is able to percolate through on-site soils and does not result in high volumes of surface runoff, as typically associated with urban areas. During periods of heavy rainfall when ground surfaces are saturated, surface runoff is collected in the existing drainage ditches and retention basins located within the site. Off-site flows are then directed into the existing storm drain system surrounding The Avenue which is generally unimproved and consists primarily of open earthen swales along area roadways or curbed roadway surfaces.



An existing drainage channel bisects the site but does not collect off-site flows from La Avenida Drive. The channel is a major flood control facility that conveys water from much of the urbanized area located to the north of La Avenida Drive through the site and then to the Prado Basin in the south. Existing storm drain facilities are shown on Exhibit 22 “Storm Drain Master Plan”.

Master planned storm drain facilities have been installed along with development/implementation of the Specific Plan since it was originally approved.

### 2.5.5 Solid Waste

Solid Waste service is provided by the City of Ontario.

### 2.5.6 Gas

No gas is currently available within The Avenue. Individual propane units are currently being used.

### 2.5.7 Electric

Electricity is available from Southern California Edison.

### 2.5.8 Telephone

Telephone is currently available from Verizon.

### 2.5.9 Cable Television

Cable is available in the newly developed areas of The Avenue.



*Schaefer Avenue looking west between Archibald and Haven*



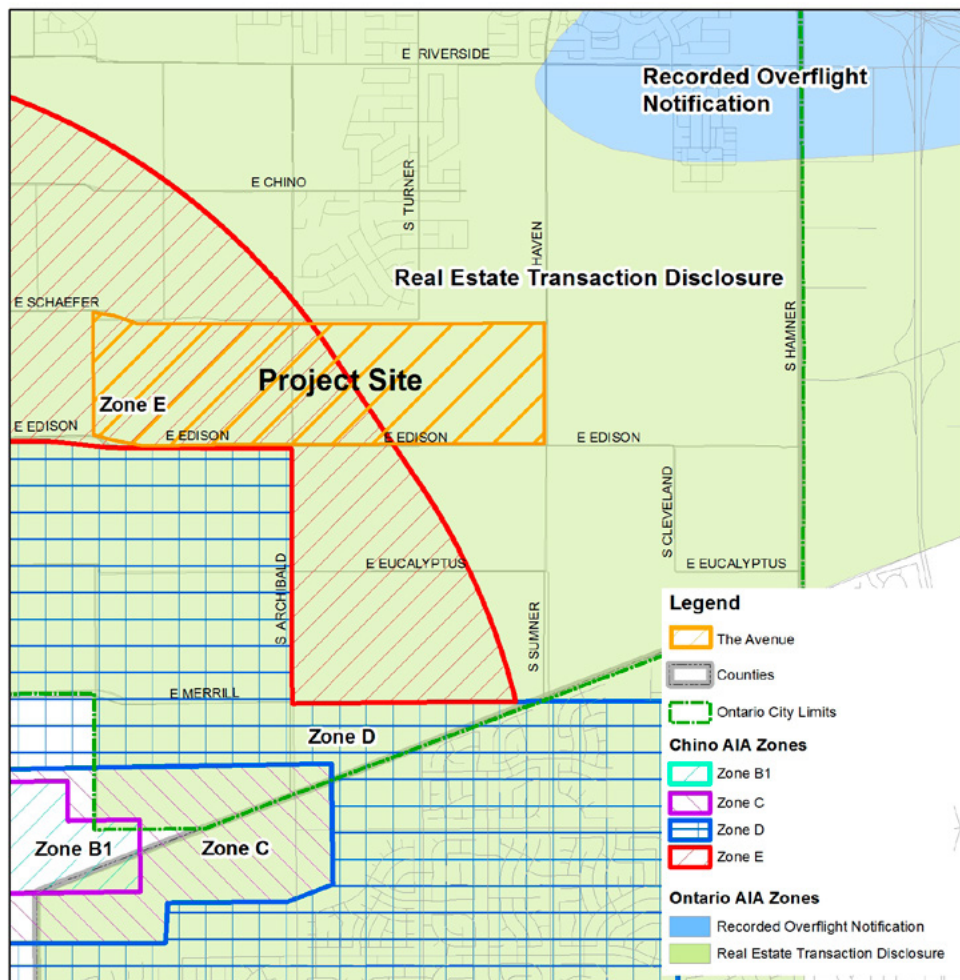
*Ontario Ranch Road looking west*



*Northerly site boundary along Schaefer Avenue*

## 2.6 Airport Influence Areas

The Avenue Specific Plan is located within the Airport Influence Areas of Chino Airport and Ontario International Airport. All development proposals or Specific Plan Amendments must be consistent with the Airport Land Use Compatibility Plans for both airports.



Chino Airport Influence Zone E

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