



**City of Ontario
Planning Department**
303 East "B" Street
Ontario, CA 91764
Phone: (909) 395-2036
Fax: (909) 395-2420

Sign Program Application



APPLICANT/OWNER INFORMATION

Property Owner: San Joaquin Valley College
Address: 801 S. Akers St. Visalia, CA 93277
Telephone No.: P.559 734-9000 Fax No.: F.559 734-9048
Email: _____

Applicant: Steve Perry, Corporate Director Real Estate Development
Address: 801 S. Akers St. Visalia, CA 93277
Telephone No.: Cell - C.559 280-0129 Fax No.: _____
Email: SteveP@sjvc.edu

Applicant's Representative: Michael J McLaughlin
Address: PO Box 32 Mountain Center
Telephone No.: 760 722 7020 Fax No.: _____
Email: mjmrender1@mac.com

Staff use only

File No.: PSGP13-002

Related Files: PSGP08-003

Submittal Date: 06-05-13

Rec'd By: (initials)

Fees Paid: \$ 1225.-

Receipt No.: 00005941

Action:

Approved Denied

By: 711113

(Historic) By: _____

Date: CBurden

SITE INFORMATION

Site Address (include N, S, E or W): 4580 Ontario Mills Parkway
Assessor's Parcel No.: PM 17393, PDEV12-012 & PCUP12-015 →
Development Name: San Joaquin Valley College
Zone: C2 - Ontario Mills Specific Plan Euclid Avenue Overlay District?: Yes No

PROPERTY OWNER ACKNOWLEDGEMENT (Completion of this section is required only if the applicant is a renter)

I hereby certify and say that I am the owner/authorized agent of the real property involved in this application and do hereby consent to the filing of this Sign Permit application.

Signature: Michael J McLaughlin Steve Perry Date: 5/29/30
Name (print or type): Michael J McLaughlin Steve Perry
Address: PO Box 32, Mountain Center

NOTES

Submittal of revised sign plan for Parkway Business Center
Revised criteria for 2 story educational building, Bldg. 12, replacing the proposed 5 story building at same location.

PARKWAY BUSINESS CENTER

MASTER SIGN PLAN

4550 - 4750 Ontario Mills Parkway

Ontario, California
September 2008

Prepared for
Ontario Parkway, LLC
139 E. Olive Avenue
Monrovia, CA 91016

Prepared by
Michael J. McLaughlin & Associates
DESIGN STUDIO 760-722-7020
mjmc@mac.com

Revised June 2013

for
San Joaquin Valley College
801 S. Akers St. Visalia, CA 93277

PLANNING DEPT APPROVED
Permit No. <u>PSGPI3-002</u>
By: <u>MBurd</u>
Date: <u>7/11/13</u>

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APPENDIX

1.0 INTRODUCTION
 Parkway Business Center is a development comprised of twelve (12) office buildings and a mid-scale hotel. The westerly area of the business center includes a freeway orientated 2-story educational building and a 2-story multi-tenant office building. The easterly area of the site includes mix one and two story office buildings. Some of the buildings are visible from Ontario Mills Parkway and the San Bernardino Freeway (I-10). Parkway Business Center is a 16-acre high quality, xdiverse array of commercial enterprises.

All site and office building signs within the Parkway Business Center shall maintain a consistent theme as well as provide safe and adequate identification for way finding. The hotel business identification sign shall incorporate the registered trademark logo. All of the signs shall make a positive contribution to the appearance of the center and shall exhibit high quality sign design.

1.1 Location
 Parkway Business Center is located on the southerly side of Ontario Mills Parkway. There are two entry driveways: The easterly driveway aligns with the signalized intersection with South Ontario Mills Drive, a signalized intersection (Refer to EXHIBIT 1).

1.2 Purpose
 The purpose of these guidelines is to provide the foundation to create and maintain an attractive setting for business operations within Parkway Business Center.

1.3 Planning and Zoning
 The sign information presented in this document should be used in conjunction with the approved Parkway Business Center Master Sign Plan, and the City of Ontario Municipal Code. It is the building owner's responsibility to conform to the Parkway Business Center Master Sign Plan, Ontario Mills Specific Plan and all requirements set forth by the City of Ontario

2.0 SUBMITTALS AND APPROVALS
 Graphic design, materials, construction and installation of all business occupant signs will be subject to the review and approval of the City of Ontario.

2.1 City Submittal
 Upon receipt of written approval of Shop Drawings from Declarant, business occupant shall submit plans to the City of Ontario for sign building permit. Declarant must review changes or modifications required by the City of Ontario.

2.2 Building Owner Responsibilities
 No signs shall be installed prior to approval by the City of Ontario. The business occupant is responsible for obtaining all required sign, electrical/building permits from the City of Ontario.

City of Ontario
 303 East B Street
 Ontario, Ca 91764
 www.ca.ontario.ca.us

DESCRIPTION

INTRRODUCTION SUBMITTALS

MICHAEL J. McLAUGHLIN & ASSOCIATES
 DESIGN STUDIO
 FOR THESE REPRESENTATIVE AND WAY-FINDING SIGNS
 PO BOX 32 MOUNTAIN CENTER CA 92651
 mjmc@mac.com
 760-773-7020

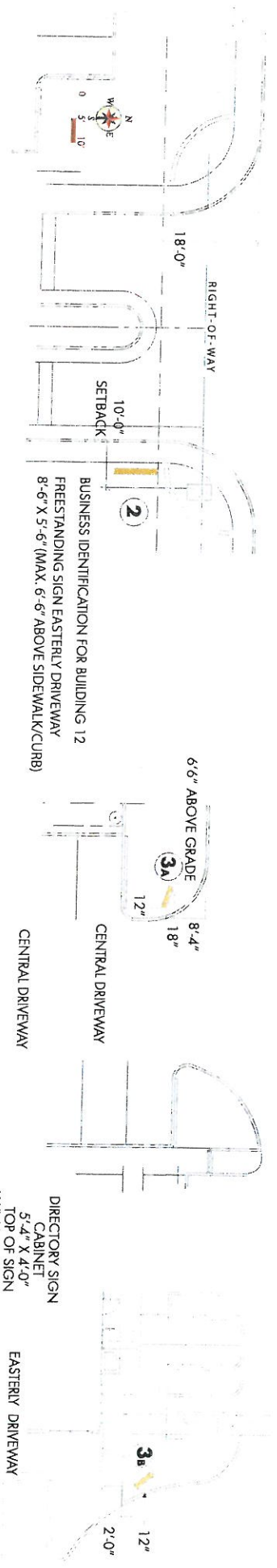
PROJECT

PARKWAY BUSINESS CENTER

ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE

The Bates Company
 139 E. Olive Avenue
 Monrovia, CA 91016
 626-305-5338 office
 626-305-1342 fax



- 1 HOTEL BUSINESS IDENTIFICATION
- 2 PARKWAY BUSINESS CENTER (WEST) 12 - ADDRESS AND BUILDING 12 TENANT IDENTIFICATION
- 3 PARKWAY BUSINESS CENTER (EAST) DIRECTIONAL MAP FOR BUILDINGS 1 THROUGH 10, ADDRESSES



MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR TRADE, INFORMATIONAL AND WAYFINDING SIGNS
 PO BOX 32 MOUNTAIN CENTER, CA 92651
 mjmc@designstudio.com
 760-722-7020

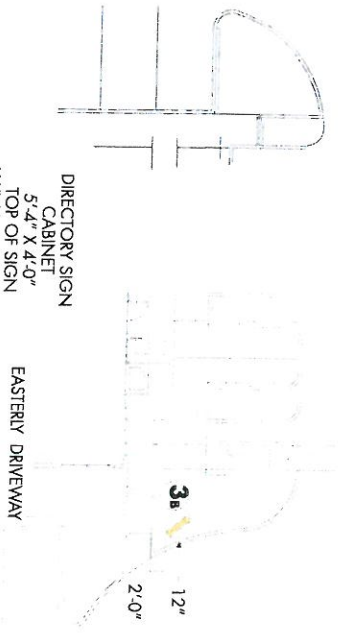
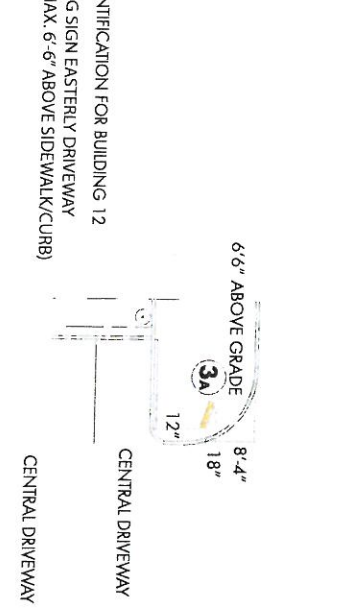
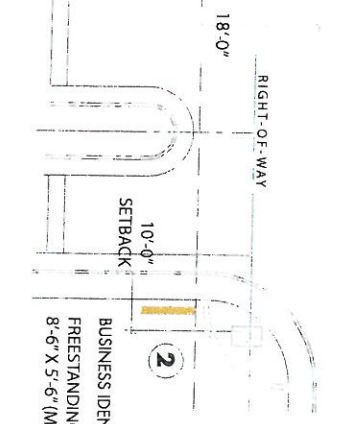
DESCRIPTION
SIGN LOCATION MAP - FREESTANDING SIGNS

EXHIBIT 1
 The Bates Company
 139 E. Olive Avenue
 Mountain View, CA 91016
 626.305.3328 office
 626.305.1342 fax



PROJECT
 PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @ I 10 & 15 FREEWAY INTERCHANGE

MJM



3.0 DESIGN CRITERIA
 Business identification signs at Parkway Business Center establish the identities of designated business occupants. The intent of the sign criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing sign environment.

The design of all signs shall be integrated into the architecture of the building. Wall signs shall maintain a minimum distance of 1/2 the sign height from edges of the building or architectural features. Logo and letter heights shall be as specified and shall be determined by measuring the normal capital letter, exclusive of swashes and ascender or descender letters.

3.1 Fabrication and Installation
 All signs and installation of the signs will conform to the City of Ontario building and electrical codes as well as sign permit requirements. The standard sign color for Parkway Business Center is Dark Metallic Bronze MP 20303. Exception may be granted for registered trademark corporate colors and logos.

Channel Letters are required for all business identification wall signs. Buildings 1 through 11 shall be constructed as painted aluminum reverse channel letters/logo. Logos shall be reproduced as dimensional sign elements. Illuminated cabinets are not permitted. Only the name and/or symbol of the tenant shall be permitted. Signs shall not appear to be an advertisement and symbols or trademarks, such as "™" and "®" are prohibited.

3.2 Graphic Design
 Owner/occupant businesses may use established type styles, logos and/or images that are registered trademarks. A maximum of two lines of text shall be used for Business Identification signs. Taglines or advertising phrases are not permitted unless they are part of the registered business name.

3.3 Illumination
 Illuminated wall signs are permitted for all buildings. Wall signs shall be channel letters with "half" illumination. Freeway oriented signs may also include face illumination. The source of illumination not to be directly visible from parking areas or driveways.

Letters and logos shall be illuminated with low voltage LED lighting or neon emitting a light of constant intensity.

4.0 PERMITTED SIGNS / SPECIFICATIONS
 Parkway Business Center provides for a variety of building sizes. The permitted signs, type, materials and sign location shall vary depending on the architecture and the location of building within the business center.

4.1 Freestanding Signs (Ontario Mills Parkway)
 Four (4) freestanding signs shall be permitted. The signs shall provide for business identification of the (1) hotel, (2) occupant(s) at 4550 Ontario Mills Parkway and two directories for tenants at 4682 through 4750 Ontario Mills Parkway (Refer to Exhibit 3).

4.2 Location:
 The hotel ground sign shall be at the setback limit from the Ontario Mills Parkway and shall be incorporated into a landscape wall parallel to the street. The ground sign for 4550 Ontario Mills Parkway shall be a double-sided sign and located perpendicular to the street. Directory signs shall be located within landscape areas setback into the development.

4.3 Sign Area:
 Maximum sign area is the measured height x width of the sign graphics. Sign area shall not exceed 50 square feet per sign face, excluding any sign base and decorative trim cap.

4.4 Sign Copy & Color:
 Sign copy shall be restricted in size and colors to compliment building architecture. Corporate colors consistent with registered trademarks may be permitted.

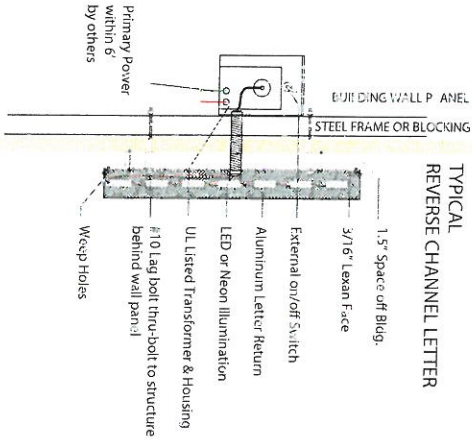
4.5 Fabrication:
 The Hotel Sign shall be non-illuminated (Refer to Exhibit 4)
 The Office Building signs shall be constructed as masonry base and painted aluminum components. Sign copy shall be internally illuminated. Background area of signs shall not be illuminated.

DESCRIPTION	PROJECT	M/J/M
<p>MICHAEL J. McLAUGHLIN & ASSOCIATES DESIGN STUDIO INTERACTIVE AND WAYFINDING SIGNS PO BOX 32 MOUNTAIN CENTER CA 92651 mjmc@designstudio.com 760-727-7020</p>	<p>DESIGN CRITERIA PERMITTED SIGNS / SPECIFICATIONS</p>	
<p>The Bates Company 139 E. Olive Avenue Montevita, CA 91016 626.305.5338 office 626.305.1342 fax</p>	<p>PARKWAY BUSINESS CENTER ONTARIO MILLS PARKWAY @ 0 & 15 FREEWAY INTERCHANGE</p>	

EXAMPLE OF REVERSE CHANNEL LETTER SIGN



BUILDING 1 - 11, AND MAY BE USED FOR BUILDING 12
 REVERSE CHANNEL LETTER
 DARK BRONZE MP 28077
 GRAPHIC FACE & RETURN
 5" LETTER/LOGO RETURNS
 1.5" STAND-OFF FROM WALL
 SIGNS MAY BE ILLUMINATED
 OR NON-ILLUMINATED



Logos shall be reproduced as dimensional sign elements.
 Illuminated cabinets are not permitted. Only the name
 and or symbol of the tenant shall be permitted.



DESCRIPTION

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR IN-SITE, INTERACTIVE AND 3D PRINTING SIGNS
 PO BOX 32 MOUNTAIN CENTER, CA 92551
 mjmc@mtc.com
 760-722-7000

**BUILDING WALL SIGNS
 DESIGN AND SPECIFICATIONS**

EXHIBIT 2

The Bates Company
 139 E. Olive Avenue
 Montevita, CA 91016
 626-305-5338 office
 626-305-1342 fax

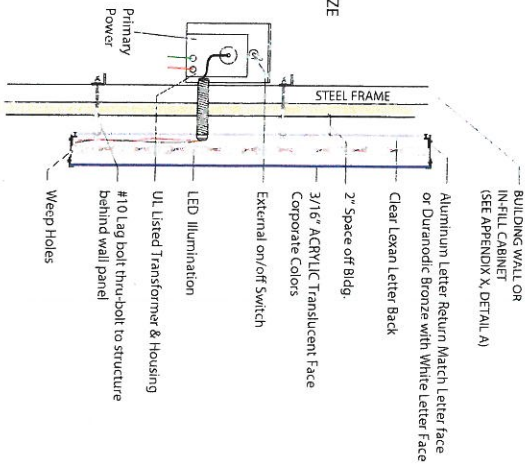


PROJECT
PARKWAY BUSINESS CENTER

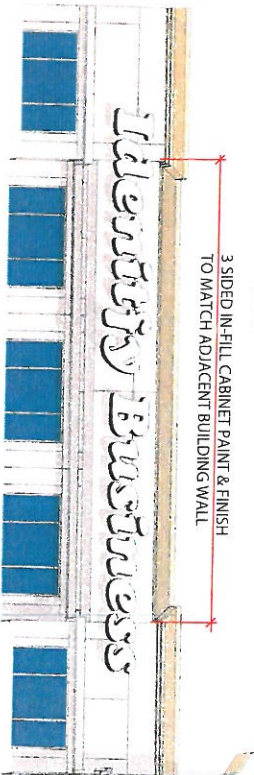
ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE

MJM

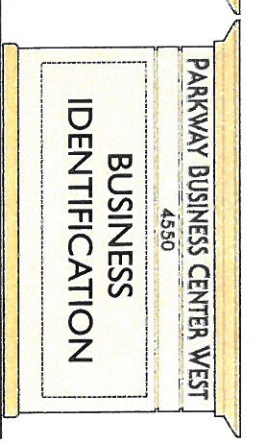
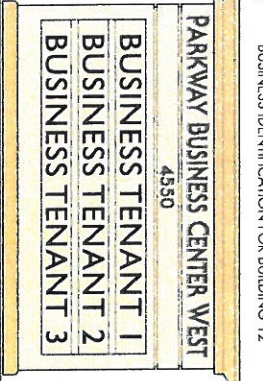
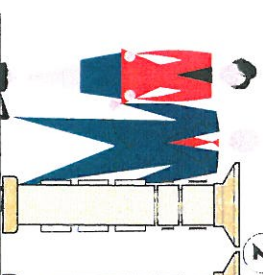
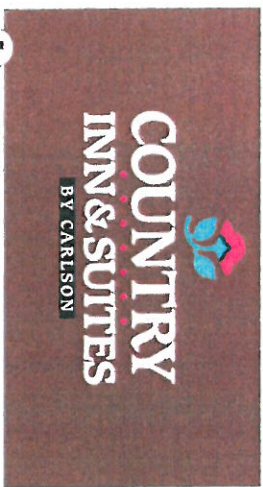
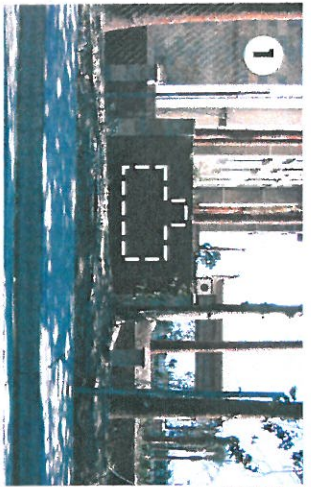
BUILDING 12
 4550 ONTARIO MILLS PARKWAY
 CHANNEL LETTER W/DURANODIC BRONZE
 LETTER RETURNS OR
 CORPORATE OR TRADEMARK COLORS
 ILLUMINATED SIGN FACE
 5" LETTER/LOGO RETURNS
 2" STAND-OFF FROM WALL



BUILDING 12
 CHANNEL LETTER ON IN-FILL CABINET
 OVER 2" RECESS OF BUILDING FACADE



FREEWAY ORIENTED ILLUMINATED SIGN (ARTIST CONCEPT)



1 HOTEL IDENTIFICATION SIGN
 10'-8" x 6' MASONRY WALL
 28 SQ. FT. NON ILLUMINATED
 DIMENSIONAL LETTERS

QUANTITY 1 DOUBLE SIDED SIGN
 4'-4.5" x 6'-6" LOGO SIGN - 28 SQ. FT.
 10'- 8" MASONRY WALL (LANDSCAPE WALL)

NON ILLUMINATED INDIVIDUAL DIMENSIONAL LETTERS
 FOR HOTEL IDENTIFICATION
 ALLOW CORPORATE LOGO TYPEFACE
 AND CORPORATE COLORS
 BACKGROUND COLOR OF SIGN
 TO MATCH BUILDING COLORS

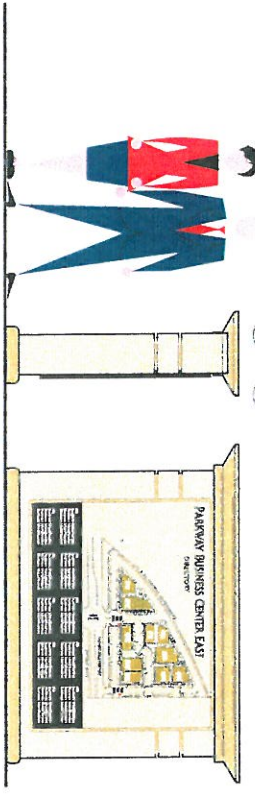
2 BUSINESS IDENTIFICATION FOR BUILDING 12

MULTI-TENANT SIGN PANEL ARE
 88" x 8" X 2" DEEP, 6' LETTER HEIGHT
 4580

SINGLE TENANT SIGN AREA
 88" X 27'-3/4" X 2" DEEP
 4580

3a **3b**

DIRECTORY FOR BUSINESS IDENTIFICATION FOR BUILDING 6 - 10 TENANTS



FREESTANDING SIGN EASTERLY DRIVEWAYS
 7'-6" x 5'-0" (MAXIMUM 6'-6" ABOVE CURB)
 5'-0" X 4'-0" SIGN CABINET 20 SQ FT
 QUANTITY 2, SINGLE SIDED
 INTERNAL ILLUMINATION
 WHITE PUSH-THRU LETTER GRAPHICS
 FOR BUSINESS IDENTIFICATION
 TYPEFACE TO BE GIL SANS
 (ALL CAPITAL LETTERS)

DESCRIPTION
FREESTANDING SIGN CRITERIA

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR TRADE, INTERACTIVE AND WAITING SIGNS
 PO BOX 32 MOUNTAIN CENTER CA 92651
 mjmc@designstudio.com
 760-722-7020

EXHIBIT 3

The Bates Company
 133 E. OLIVE A. 91016
 626.305.5388 office
 626.305.1342 fax

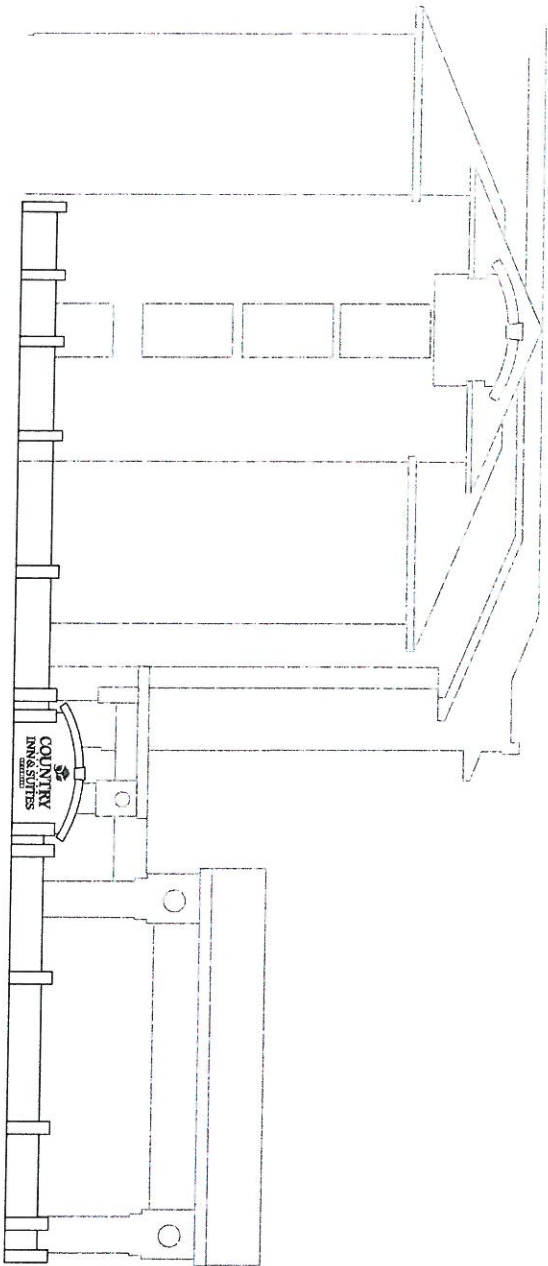


PROJECT
PARKWAY BUSINESS CENTER - HOTEL

ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE

MIM

PORTION OF NORTHERLY BUILDING ELEVATION



HOTEL FREESTANDING GROUND SIGN CRITERIA

- THE HOTEL SHALL BE PERMITTED A MAXIMUM OF 1 FREESTANDING GROUND SIGN. SIGN TO BE LOCATED ON LANDSCAPE WALL FACING ONTARIO MILLS PARKWAY.
- SIGN AREA FOR THE FREESTANDING GROUND SIGN SHALL BE 28 SQ.FT. THE BACKGROUND OF THE WALL SHALL BE APPROXIMATELY 10'-8" X 6'-0"
- SIGN SHALL BE CONSTRUCTED AS NONILLUMINATED CHANNEL LETTERS, MECHANICALLY ATTACHED TO MASONRY WALL
- REGISTERED TRADEMARK CORPORATE COLORS AND LOGOS SHALL BE PERMITTED.

DESCRIPTION

HOTEL GROUND SIGN ELEVATION

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR IMAGE, INTERPRETATIVE AND WAY-FINDING SIGN
 PO BOX 32 MOUNTAIN CENTER CA 92651
 mjl@mtdesign.com
 760-722-7020

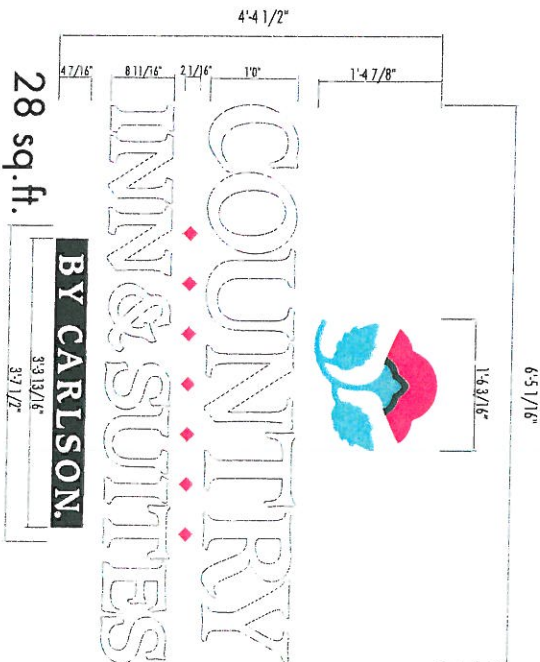
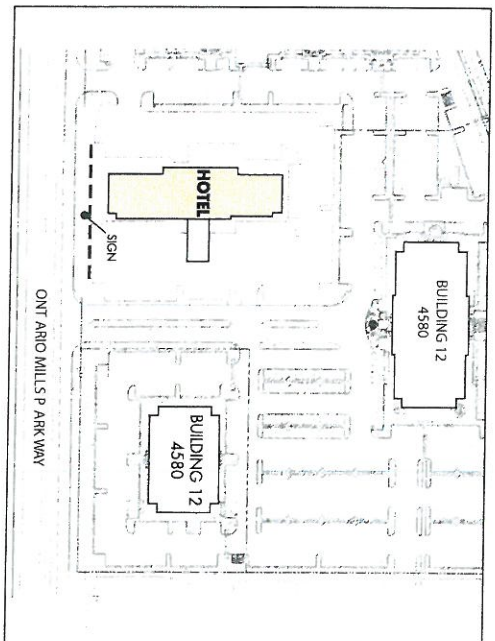


EXHIBIT 4

The Bates Company
 139 E. Olive Avenue
 Morroville, CA 91016
 626.305.5338 office
 626.305.1342 fax



PROJECT
PARKWAY BUSINESS CENTER

ONTARIO MILLS PARKWAY
 @ 10 & 15 FREEWAY INTERCHANGE

MJM

5.0 WALL SIGNS (Buildings 1 through 11)

5.1 Wall Signs Criteria for One & Two Story Office Buildings

Wall signs shall provide for identification of a single or multiple tenants in an office building.

Wall signs, including logos shall be reproduced as individual channel letters and dimensional sign elements, illuminated cabinets are prohibited. The standard sign color for Parkway Business Center is Dark Metallic Bronze M 20303.

Exception may be granted for registered trademark corporate colors and logos.

5.2 Maximum Number of Signs

A maximum of 2 signs per building elevation are permitted. The maximum number of signs per building occupancy is outlined in the Sign Size Table (Refer to Exhibit 5).

5.3 Sign Location

Wall signs shall be located parallel to the building wall and below the eave or fascia. Multi-tenant office buildings shall have the wall signs located on the primary entry building elevation. Additional signage may be permitted for elevations oriented to drive aisles and freeway. Tenant identification sign shall not exceed 75% of the available building frontage.

5.4 Sign Area:

Sign Size Table provides a reference for sign area and corresponding building elevations (Refer to Exhibits 6 - 15). Sign area for all tenants will be calculated at one square foot of sign area per linear foot of building frontage. Signs shall be consistent in size when more than one sign is permitted.

Sign area for upper and lower case letters shall be calculated by measuring the height of the capital letter and length of sign text. The descender portion of letters shall not be included in sign area calculation.

Maximum Sign Height:

Maximum sign height shall include: logo, sign letters with ascender, descender and swash characters. All signs shall maintain space around the sign copy equal to one-half the height of the tallest element of the tenant sign from any building edge or architectural feature. Sign letters/logo may extend over reveals on the same wall surface.

Sign Height:

24" Maximum for single line of text
30" Maximum for single line of text with ascender & descender letters, two lines of text or graphic logos.
In no case shall the sign be comprised of more than 2 lines of copy.

6.0 WALL SIGNS (Building 12 - 4580 Ontario Mills Parkway)

6.1 Wall Signs Criteria for two story office /educational facility

Wall signs shall provide for identification of a single or multiple tenants in Building 12.

Wall signs, including logos shall be reproduced as individual channel letters and dimensional sign elements, illuminated cabinets are prohibited. The standard sign color for Parkway Business Center is Dark Metallic Bronze M 20303.

Exception may be granted for registered trademark corporate colors and logos.

6.2 Maximum Number of Signs

Building 12 as a multi-tenant building, shall be permitted 2 signs each on the northerly and southerly building elevations, maximum of 4 business identification signs. A single tenant occupying Building 12 shall be permitted a sign on the northerly and southerly building elevations, maximum of 2 business identification signs.

6.3 Sign Location

Wall signs shall be parallel to the building wall and below the eave or fascia.

Multi-tenant or single tenant wall signs shall be located on north and south elevations only. Tenant identification sign shall not exceed 75% of the available building frontage. Signs shall be consistent in size when more than one sign is permitted.

6.4 Sign Area:

Sign Size Table provides a reference for sign area and corresponding building elevations (Refer to Exhibit 6). Sign area shall be calculated at one square foot of sign area per linear foot of building frontage. Maximum sign area is 150 square feet per elevation.

Sign area for upper and lower case letters shall be calculated by measuring the height of the capital letter and length of sign text. The descender portion of letters shall not be included in sign area calculation.

6.5 Maximum Sign Height:

Maximum sign height shall include: logo, sign letters with ascender, descender and swash characters. All signs shall maintain space around the sign copy equal to one-half the height of the tallest element of the tenant sign from any building edge or architectural feature. Sign letters/logo may extend over reveals on the same wall surface.

Sign Height:

36" Maximum for single line of text
48" Maximum for single line of text with ascender & descender letters, two lines of text or graphic logos.
In no case shall the sign be comprised of more than 2 lines of copy.



BUILDING# ADDRESS SUITE #	NORTH ELEVATION					WEST ELEVATION					SOUTH ELEVATION					EAST ELEVATION					
	SUITE FRONTAGE (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN ADJ MAX WIDTH	MAXIMUM SIGN AREA	SUITE FRONTAGE (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN ADJ MAX WIDTH	MAXIMUM SIGN AREA	SUITE FRONTAGE (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN ADJ MAX WIDTH	MAXIMUM SIGN AREA	SUITE FRONTAGE (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN ADJ MAX WIDTH	MAXIMUM SIGN AREA	
1 4682																					
1A	60	18 FT.	36 SF.	18 FT.	36 SF.	24	18 FT.	36 SF.													
1B						36	18 FT.	36 SF.													
1C																					
2 4689																					
2A	72	18 FT.	36 SF.	27 FT.	54 SF.																
2B																					
3 4700																					
3A	36	18 FT.	36 SF.	36 FT.	72 SF.																
3B	48	18 FT.	36 SF.																		
4 4730																					
4A	72	18 FT.	36 SF.	27 FT.	48 SF.																
4B																					
4C																					
5 4750																					
5A	60	18 FT.	36 SF.																		
5B	36	18 FT.	36 SF.																		
6 4684																					
6A	84	18 FT.	36 SF.																		
6B	36	18 FT.	36 SF.																		
7 4686																					
7A	72	18 FT.	36 SF.																		
7B																					
8 4688																					
8A	84	18 FT.	36 SF.	18 FT.	36 SF.																
8B	36	27 FT.	54 SF.																		
9 4710																					
9A	96	18 FT.	36 SF.	27 FT.	54 SF.																
9B	36	27 FT.	54 SF.																		
10 4720																					
10A																					
10B																					
11 4350																					
11A																					
11B																					
12 4580																					
12A																					
12B																					

• BUILDINGS 1 THRU 11
 MAXIMUM SIGN HEIGHT 24' SINGLE LINE OF TEXT
 MAXIMUM SIGN HEIGHT 36' TWO LINES OF TEXT
 AND/OR GRAPHIC LOGO

• BUILDING 12
 MAXIMUM SIGN HEIGHT 36' SINGLE LINE OF TEXT
 MAXIMUM SIGN HEIGHT 48' TWO LINES OF TEXT
 AND/OR GRAPHIC LOGO

• SIGN WIDTH NOT TO EXCEED 75% OF
 AVAILABLE SIGN AREA ON BUILDING WALL

• THE STANDARD SIGN COLOR FOR PARKWAY
 BUSINESS CENTER IS DARK METALLIC BRONZE
 MP 20303. COLORS MAY BE PERMITTED FOR
 CORPORATE OR REGISTERED TRADEMARKS

SIGN CRITERIA

EXHIBIT 5

PARKWAY BUSINESS CENTER

MUM

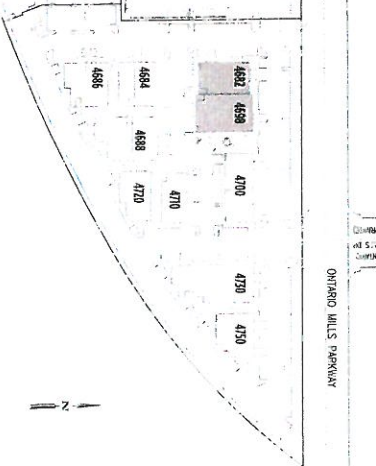
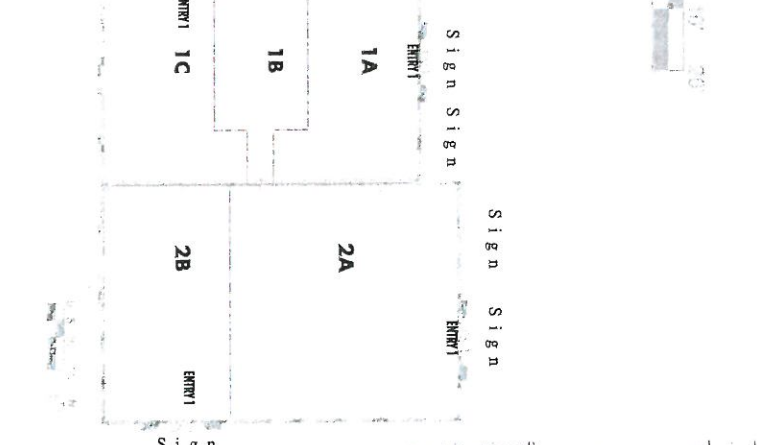
MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR IDEAL, INTERACTIVE AND MAXIMIZING SIGN
 PO BOX 32 MOUNTAIN CENTER CA 92461
 mjmcc@mac.com
 760.772.7020

The Bates Company
 139 E. Olive Avenue
 Modesto, CA 95238
 520.530.5533
 520.530.5533 FAX



ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE

BUILDING#	NORTH ELEVATION				WEST ELEVATION			EAST ELEVATION			
	SUITE (SQUARE FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN (ALT) MAX WIDTH	MAXIMUM SIGN AREA	SUITE (SQUARE FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE (SQUARE FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA
1 4682											
1A	60	18 FT.	36 SF.	18 FT.	36 SF.	2A	18 FT.	36 SF.			
1B						3A	18 FT.	36 SF.			
1C											
2 4689											
2A	72	18 FT.	36 SF.	27 FT.	54 SF.				3A	18 FT.	36 SF.
2B											



MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 CONSULTING ARCHITECTS AND VISUALIZING SIGNS
 101 INGLE, INTERCHANGE AND WASHINGTON SIGNS
 PO BOX 32 MOUNTAIN CENTER CA 92451
 mjmc@mac.com
 760-712-7020

DESCRIPTION
BUILDING 1 & 2 ELEVATIONS
SIGN LOCATIONS

EXHIBIT 6
 The Bates Company
 139 E. ONTARIO AVENUE
 MOUNTAIN VIEW, CA 91016
 626.305.3338 office
 626.305.1342 fax

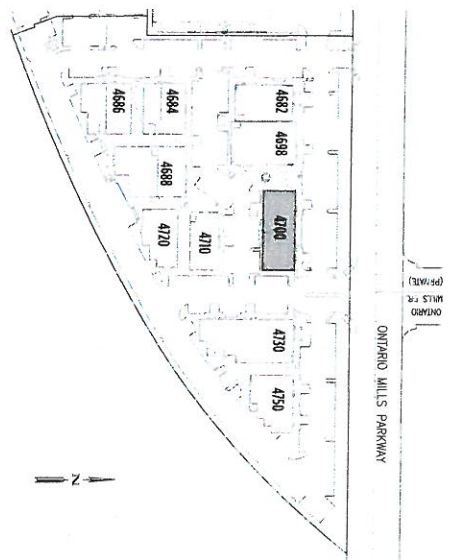
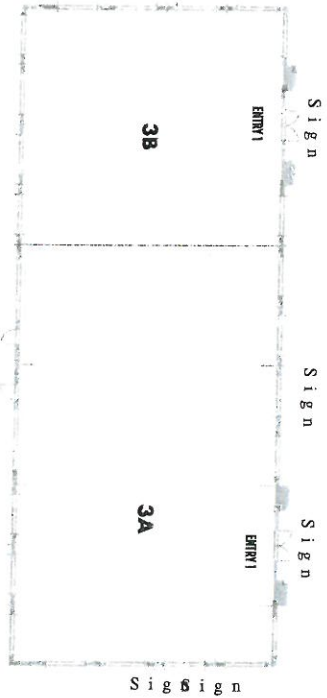
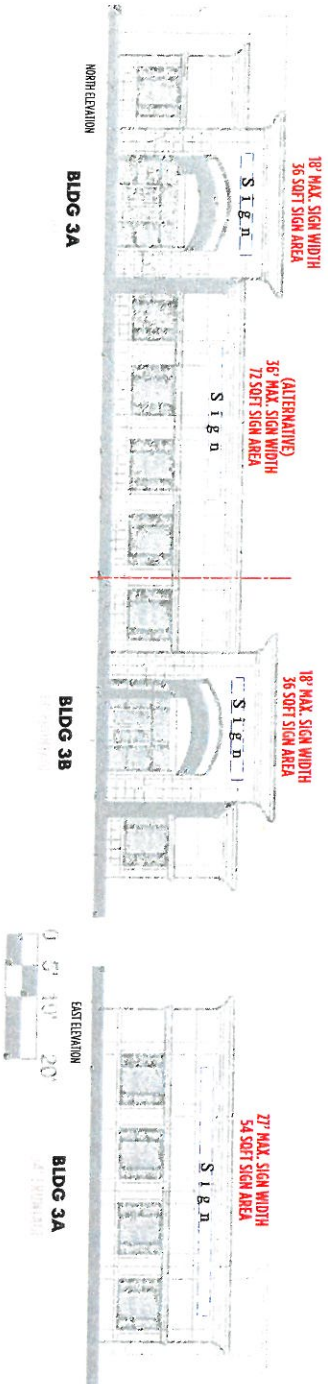


PROJECT
PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE

M/M

- 4682 & 4698 ONTARIO MILLS PARKWAY BUILDINGS 1 & 2 WALL SIGN CRITERIA**
- MAXIMUM 1 SIGN PER TENANT SUITE, PER ELEVATION (SOME BUILDING ELEVATIONS MAY PROVIDE FOR ALTERNATIVE LOCATIONS)
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT AND/OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE MP 20303.

BUILDING# ADDRESS SUITE #	NORTH ELEVATION				EAST ELEVATION			
	SUITE FACILITIES (LINEAL FEET)	SIGN MAX. WIDTH	MAXIMUM SIGN AREA	SIGN (ALT) MAX. WIDTH	MAXIMUM SIGN AREA	SUITE FACILITIES (LINEAL FEET)	SIGN MAX. WIDTH	MAXIMUM SIGN AREA
3 4700								
3A	84	18 FT.	36 SF.	36 FT.	72 SF.	54	27 FT.	54 SF.
3B	48	18 FT.	36 SF.					



- 4700 ONTARIO MILLS PARKWAY
BUILDING 3 WALL SIGN CRITERIA**
- MAXIMUM 1 SIGN PER TENANT SUITE, PER ELEVATION (SOME BUILDING ELEVATIONS MAY PROVIDE FOR ALTERNATIVE LOCATIONS)
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT AND OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE MP 20303.

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 100 HUNTER WINTERGARDEN WAY, SUITE 200 PARKWAY BUSINESS CENTER
 PO BOX 37 MOUNTAIN CENTER CA 92851
 mjc@designstudio.com
 760-722-7020

DESCRIPTION
BUILDING 3 ELEVATIONS
SIGN LOCATIONS

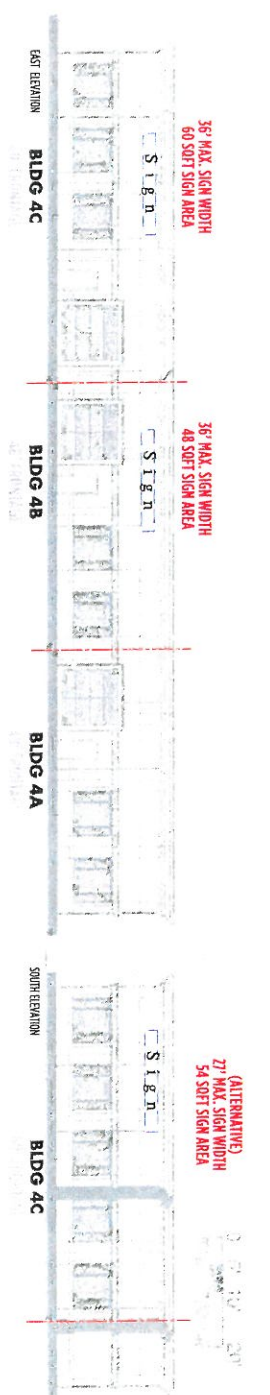
EXHIBIT 7
 The Bates Company
 139 E. Olive Avenue
 Montevita, CA 91016
 626-305-5338 office
 626-305-1342 fax



PROJECT
PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @ 10 & 15 FREEWAY INTERCHANGE



BUILDING# ADDRESS SUITE #	NORTH ELEVATION				WEST ELEVATION				SOUTH ELEVATION		EAST ELEVATION		
	SUITE (PROJECT) (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE (PROJECT) (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE (PROJECT) (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA
4 4730													
4A	72	18 FT.	36 SF.	27 FT.	48 SF.	48	36 FT.	36 SF.	18 FT.	36 SF.	60	27 FT.	54 SF.
4B						48	18 FT.	18 FT.	18 FT.	36 SF.	60	48	36 FT.
4C						60	18 FT.	18 FT.	18 FT.	36 SF.		60	36 FT.
												48 SF.	60 SF.



**4730 ONTARIO MILLS PARKWAY
BUILDING 4 WALL SIGN CRITERIA**

- MAXIMUM 1 SIGN PER TENANT SUITE, PER ELEVATION (SOME BUILDING ELEVATIONS MAY PROVIDE FOR ALTERNATIVE LOCATIONS)
- MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT
MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT
AND OR GRAPHIC LOGO
- SIGN WIDTH NOT TO EXCEED 75% OF AVAILABLE SIGN AREA
- THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE WP 20303.

EXHIBIT 8

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
104 HEDGE INTERCHANGE AND FREEWAY BUSINESS CENTER
PO BOX 33 MOUNTAIN CENTER, CA 92651
mjl@msc.com
760.733.7000

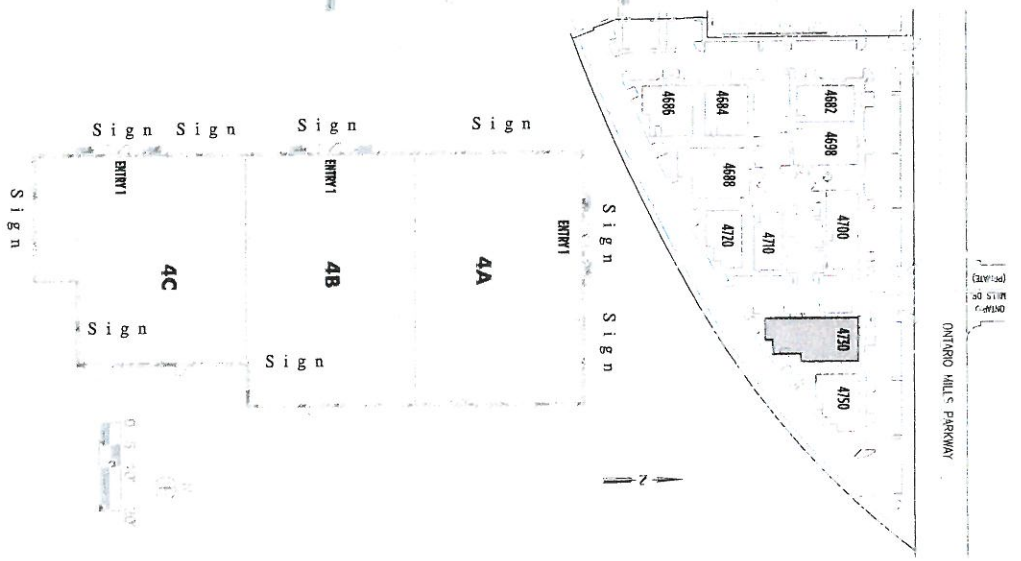
DESCRIPTION
**BUILDING 4 ELEVATIONS
SIGN LOCATIONS**

The Bates Company
139 E. Olive Avenue
Montrovia, CA 91016
626.305.3338 office
626.305.1342 fax

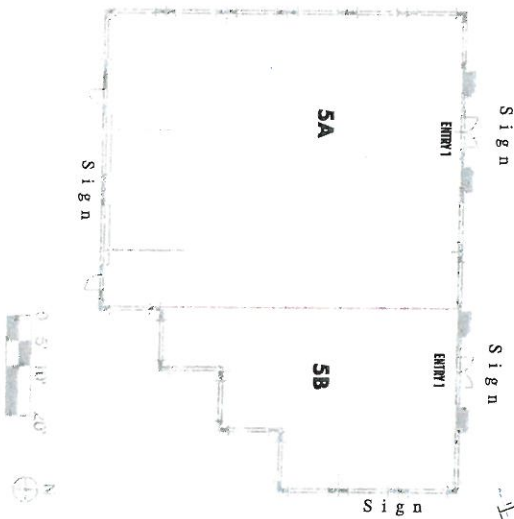
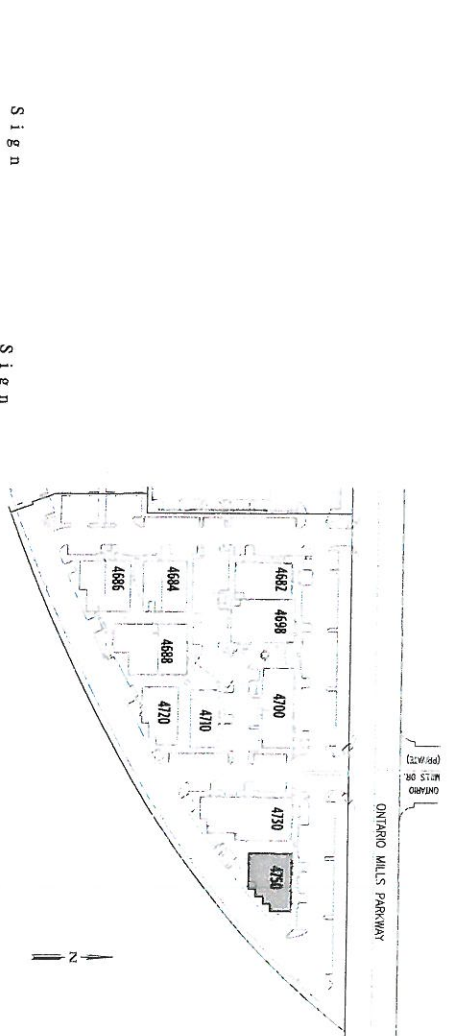
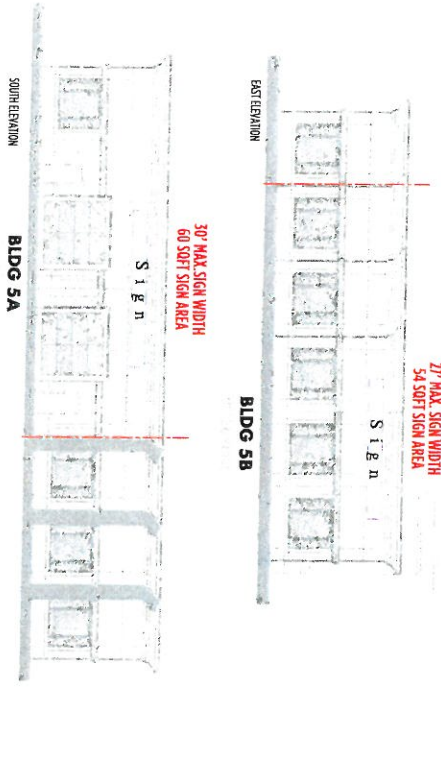
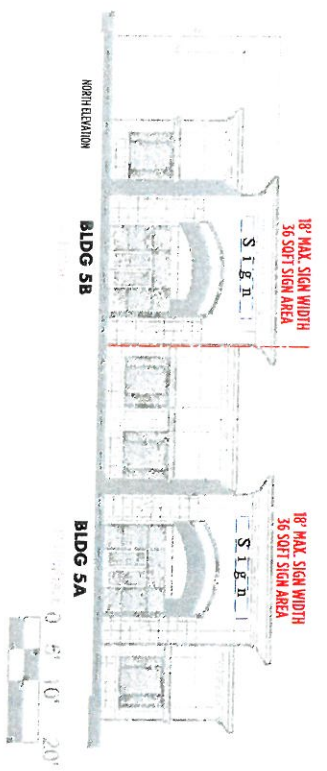


PROJECT
PARKWAY BUSINESS CENTER

ONTARIO MILLS PARKWAY
@10 & 15 FREEWAY INTERCHANGE



BUILDING# ADDRESS SUITE #	NORTH ELEVATION			SOUTH ELEVATION			EAST ELEVATION		
	SUITE FOOTPRINT (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE FOOTPRINT (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE FOOTPRINT (LINEAL FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA
5 4750	60	18 FT.	36 SF.	60	30 FT.	60 SF.	60	27 FT.	54 SF.
5A	36	18 FT.	36 SF.						
5B									



- 4750 ONTARIO MILLS PARKWAY
BUILDING 5 WALL SIGN CRITERIA**
- MAXIMUM 1 SIGN PER TENANT SUITE, PER ELEVATION
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT
MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT
AND OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF
AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER
IS DARK METALLIC BRONZE MP 20303.

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR INTELLECT, INTERPRETIVE AND MAXIMIZING LIGHT
 PO BOX 32 MOUNTAIN CENTER CA 92651
 mjmc@mtc.com
 760-723-7020

DESCRIPTION
**BUILDING 5 ELEVATIONS
 SIGN LOCATIONS**

EXHIBIT 9

The Bates Company
 139 E. Olive Avenue
 45000VIA, CA 91016
 626-303-3335 office
 626-303-1342 fax



PROJECT
PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @ 10 & 15 FREEWAY INTERCHANGE

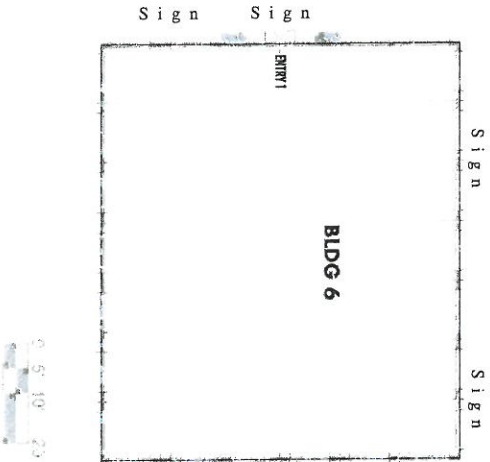
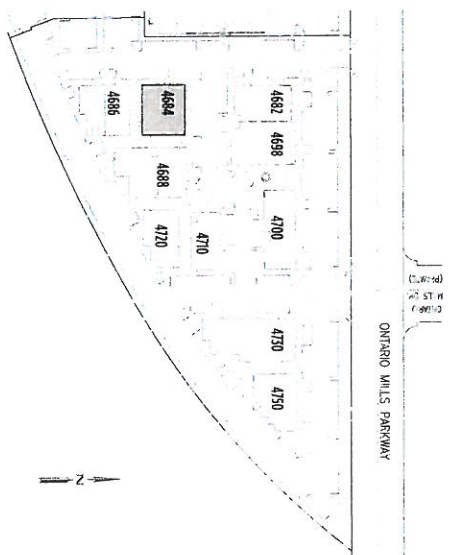
MMA

BUILDING# ADDRESS SUITE #	NORTH ELEVATION			WEST ELEVATION		
	SUITE HEIGHT (FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE HEIGHT (FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA
6A	8.4	18 FT.	36 SF.	7.2	18 FT.	36 SF.
6B	8.4	18 FT.	36 SF.	7.2	18 FT.	36 SF.



MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR ARCHITECTURE AND SIGNAGE DESIGN
 PO BOX 32 MOUNTAIN CENTER CA 97451
 mjmc@designstudio.com
 766-722-7010

DESCRIPTION
BUILDING 6 ELEVATIONS
SIGN LOCATIONS



- 4684 ONTARIO MILLS PARKWAY
 BUILDING 6 WALL SIGN CRITERIA**
- MAXIMUM 1 SIGN PER TENANT SUITE, PER ELEVATION
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT
 MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT
 AND OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF
 AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER
 IS DARK METALLIC BRONZE MP 20303.

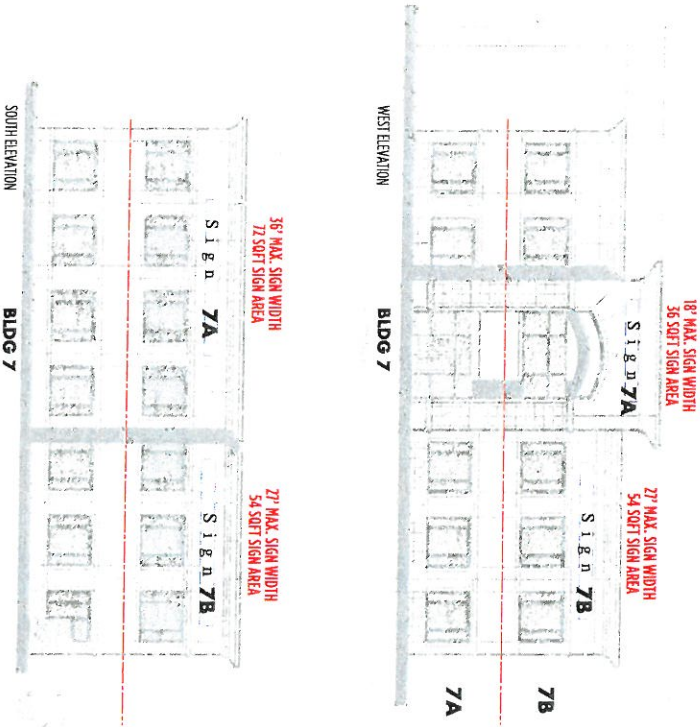
EXHIBIT 10

PROJECT
PARKWAY BUSINESS CENTER

THE BATES COMPANY
 139 E. Olive Avenue
 Monteville, CA 91016
 626.305.3333 office
 626.305.1342 fax

**ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE**

BUILDING#	ADDRESS	SUITE #	WEST ELEVATION			SOUTH ELEVATION		
			SUITE AREA (SQUARE FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE AREA (SQUARE FEET)	SIGN MAX WIDTH	MAXIMUM SIGN AREA
7	4686							
7A			84	18 FT.	36 SF.	84	36 FT.	72 SF.
7B			84	27 FT.	54 SF.	84	27 FT.	54 SF.



MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 COMMERCIAL INTERIOR DESIGN AND MARKETING SIGNAGE
 PO BOX 31 MOUNTAIN CENTER CA 92451
 mjmc@mtc.com
 760/721-7020

DESCRIPTION
BUILDING 7 ELEVATIONS
SIGN LOCATIONS

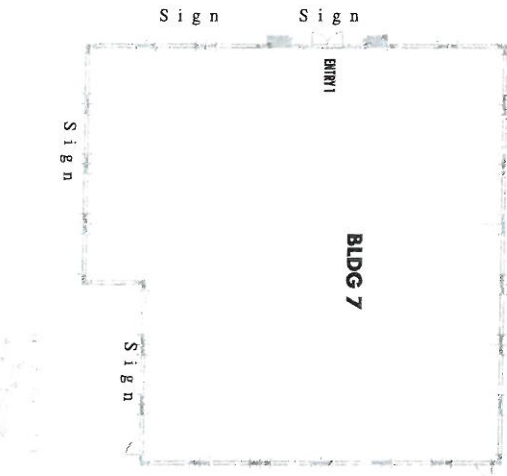
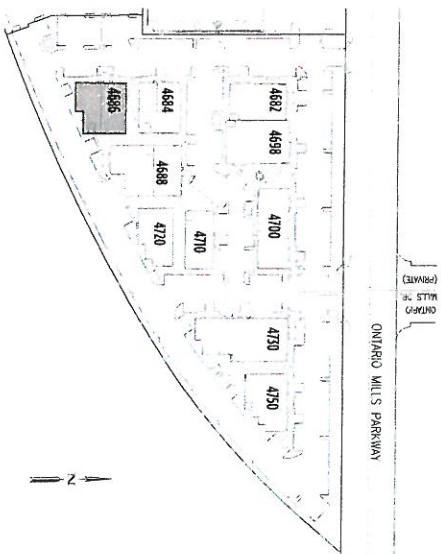


EXHIBIT 11
 The Bates Company
 139 E. Olive Avenue
 Monrovia, CA 91016
 626.305.3338 office
 626.305.1342 fax

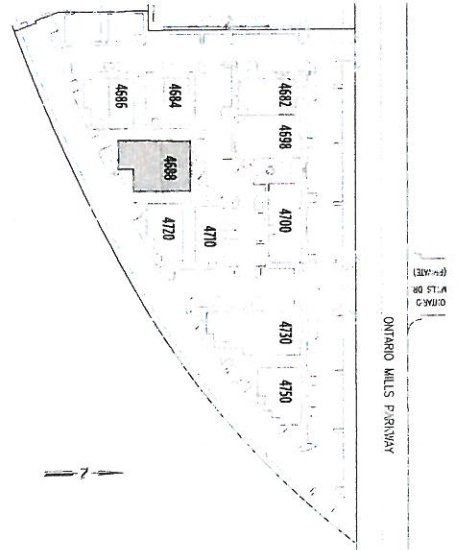
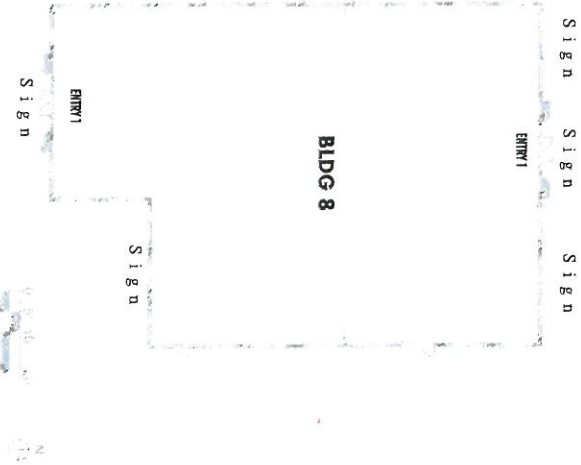
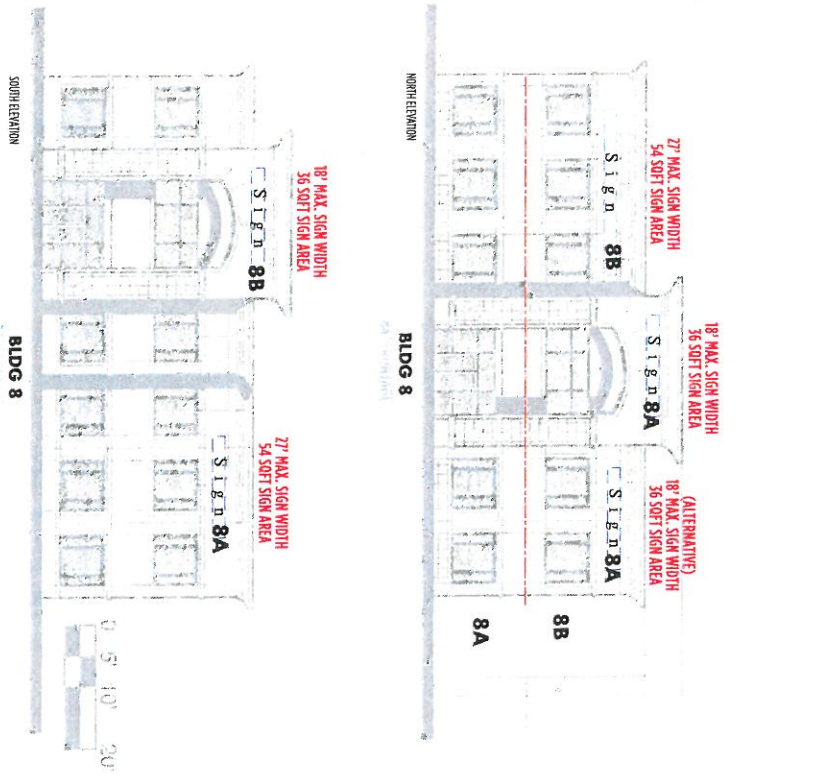


PROJECT
PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE

MMA

- 4686 ONTARIO MILLS PARKWAY BUILDING 7 WALL SIGN CRITERIA**
- MAXIMUM 1 SIGN PER TENANT SUITE, PER ELEVATION
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT
 MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT
 AND OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE MP 20303..

BUILDING#	ADDRESS	NORTH ELEVATION				SOUTH ELEVATION			
		SUITE PERCENTAGE (LINEAL FEET)	SRN. MAX. WIDTH	MAXIMUM SIGN AREA	SRN. MAX. WIDTH	SUITE PERCENTAGE (LINEAL FEET)	SRN. MAX. WIDTH	MAXIMUM SIGN AREA	SRN. MAX. WIDTH
8 4688									
8A		R4	18 FT.	36 SF.	18 FT.	36 SF.			
8B		R4	27 FT.	54 SF.	27 FT.	54 SF.			



MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR ARCHITECTURAL AND INTERIOR DESIGN
 PO BOX 32 MOUNTAIN CENTER CA 92451
 michael@mjmac.com
 760.722.7020

DESCRIPTION
**BUILDING 8 ELEVATIONS
 SIGN LOCATIONS**

EXHIBIT 12
 The Bates Company
 139 E. Olive Avenue
 Montevita, CA 91016
 626.305.5338 office
 626.305.1342 fax

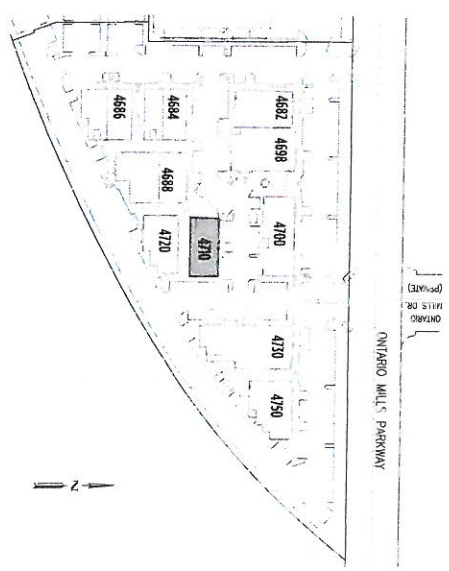
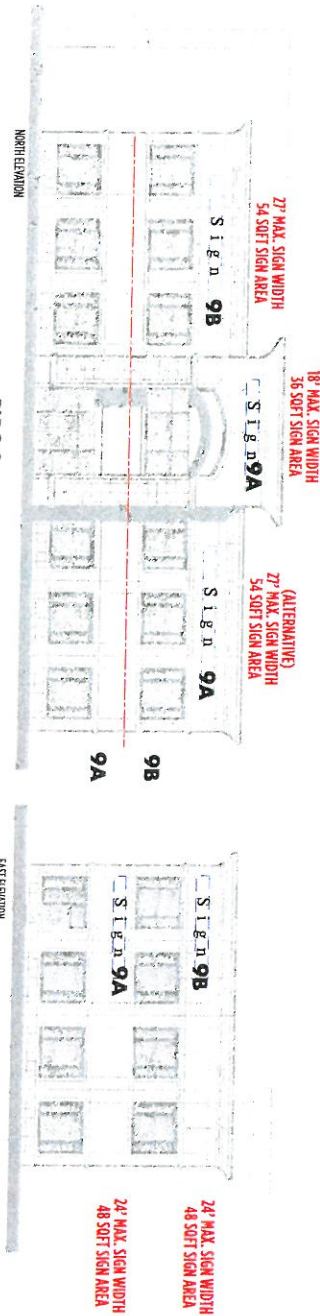


PROJECT
PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @10 & 15 FREEWAY INTERCHANGE

MVA

- 4688 ONTARIO MILLS PARKWAY
 BUILDING 8 WALL SIGN CRITERIA**
- MAXIMUM 1 SIGN PER TENANT SUITE, PER ELEVATION (SOME BUILDING ELEVATIONS MAY PROVIDE FOR ALTERNATIVE LOCATIONS)
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT AND OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE MP 20303.

BUILDING#	ADDRESS	NORTH ELEVATION				EAST ELEVATION			
		SUITE FRONTAGE (LINEAL FEET)	SIGN MAX. WIDTH	MAXIMUM SIGN AREA	SIGN (ALT) MAX. WIDTH	MAXIMUM SIGN AREA	SUITE FRONTAGE (LINEAL FEET)	SIGN MAX. WIDTH	MAXIMUM SIGN AREA
9 4710	9A	96	18 FT.	36 SF.	27 FT.	54 SF.	48	24 FT.	48 SF.
		96	27 FT.	54 SF.			48	24 FT.	48 SF.



REFER TO TABLE A FOR PERMITTED
SIGN AREA PER BUILDING ELEVATION

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
FOR IMAGE, INTERACTIVE AND WAY-FINDING SIGNS
PO BOX 32 MOUNTAIN CENTER CA 92651
mjmrender1@mac.com
760-722-7020

DESCRIPTION
**BUILDING 9 ELEVATIONS
SIGN LOCATIONS**

EXHIBIT 13

The Bates Company
139 E. Olive Avenue
Montreal, QC H3T 1J6
626.305.5338 Office
626.305.1342 Fax

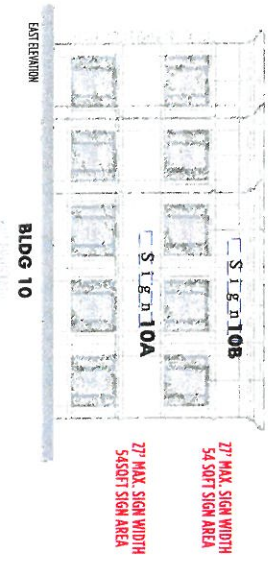
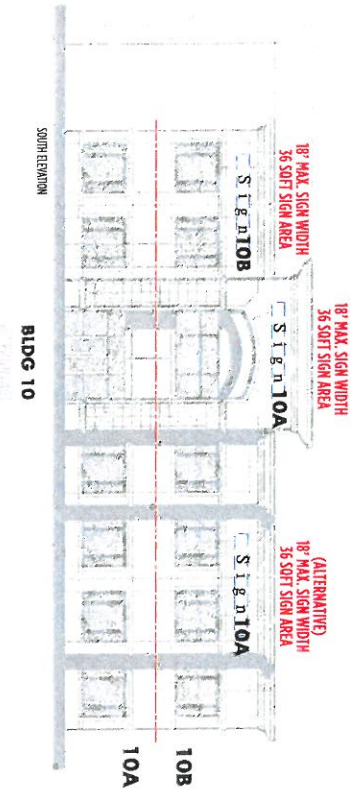


PROJECT
PARKWAY BUSINESS CENTER
ONTARIO MILLS PARKWAY
@10 & 15 FREEWAY INTERCHANGE

MMA

- 4710 ONTARIO MILLS PARKWAY
BUILDING 9 WALL SIGN CRITERIA**
- MAXIMUM 1 SIGN PER TENANT SUITE PER ELEVATION (SOME BUILDING ELEVATIONS MAY PROVIDE FOR ALTERNATIVE LOCATIONS)
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT AND OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE MP 20303.

BUILDING# ADDRESS SUITE #	SOUTH ELEVATION				EAST ELEVATION	
	SUITE ELEVATION HEIGHT (LINEAL FEET)	SIGN MAX. WIDTH	MAXIMUM SIGN AREA	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SUITE ELEVATION HEIGHT (LINEAL FEET)
10 4720						
10A	96	18 FT.	36 SF.	18 FT.	36 SF.	60
10B	96	18 FT.	36 SF.	18 FT.	36 SF.	60
						27 FT.
						54 SF.



MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR ARCHITECTURE, INTERIORS AND LANDSCAPE ARCHITECTURE
 PO BOX 32 MOUNTAIN CENTER, CA 92651
 mjmc@designstudio.com
 760-722-7020

DESCRIPTION
BUILDING 10 ELEVATIONS
SIGN LOCATIONS

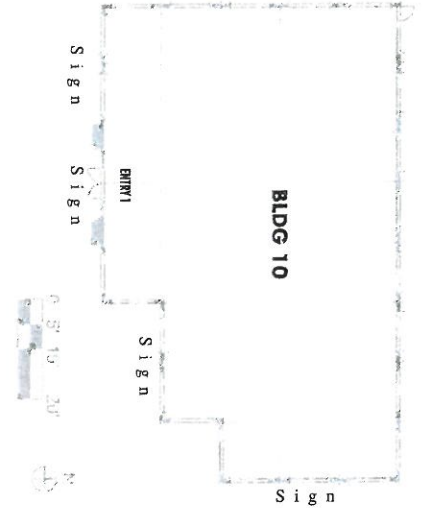
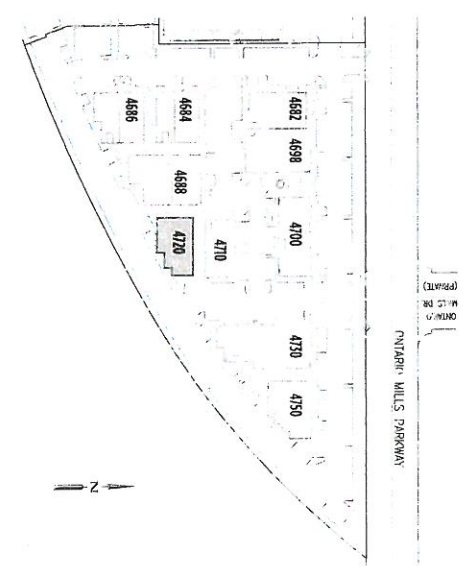


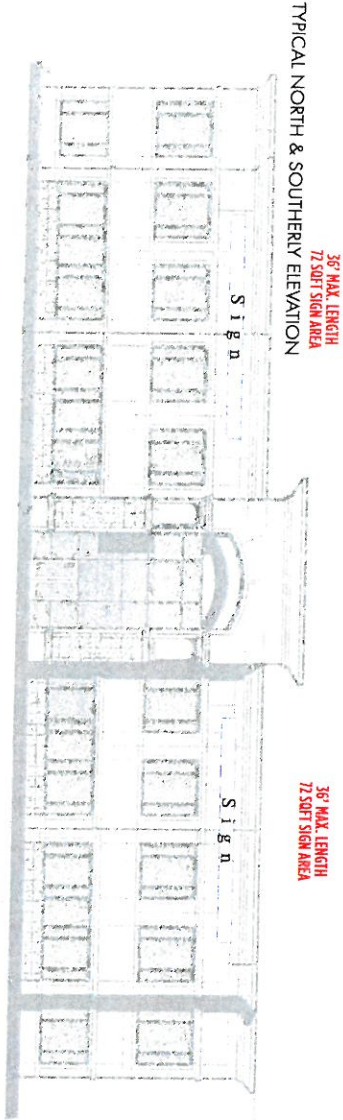
EXHIBIT 14
 The Bates Company
 139 E. Olive Avenue
 Monteville, CA 91016
 626-305-5338 Office
 626-305-1342 fax

PROJECT
PARKWAY BUSINESS CENTER

- 4720 ONTARIO MILLS PARKWAY**
BUILDING 10 WALL SIGN CRITERIA
- MAXIMUM 1 SIGN PER TENANT SUITE PER ELEVATION (SOME BUILDING ELEVATIONS MAY PROVIDE FOR ALTERNATIVE LOCATIONS)
 - MAXIMUM SIGN HEIGHT 24" SINGLE LINE OF TEXT MAXIMUM SIGN HEIGHT 30" TWO LINES OF TEXT AND OR GRAPHIC LOGO
 - SIGN WIDTH NOT TO EXCEED 75% OF AVAILABLE SIGN AREA
 - THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE MP 20303.

BUILDING#
ADDRESS
SITE #
11 4550

NORTH ELEVATION				SOUTH ELEVATION			
LINEAL FEET	SIGN MAX WIDTH	MAXIMUM SIGN AREA	SIGN/ADJ MAX WIDTH	MAXIMUM SIGN AREA	LINEAL FEET	SIGN MAX WIDTH	MAXIMUM SIGN AREA
142'	36 FT.	72 SF.			144'	36 FT.	72 SF.
2 BUSINESSSES IDENTIFIED							



BUILDING 11 WALL SIGN CRITERIA

- BUILDING 11 SHALL BE PERMITTED A MAXIMUM OF 4 WALL SIGNS. TWO SIGNS PERMITTED FOR THE NORTH AND SOUTH ELEVATIONS.
- SIGNS SHALL BE LOCATED AT THE BUILDING PARAPET.
- MAXIMUM 1 SIGN PER TENANT, PER ELEVATION
- SIGN AREA FOR ALL TENANTS WILL BE CALCULATED AT ONE SQUARE FOOT OF SIGN AREA PER LINEAL FOOT OF BUILDING FRONTAGE.
- SIGN HEIGHT:
 24" MAXIMUM FOR SINGLE LINE OF TEXT
 30" MAXIMUM FOR TWO LINES OF TEXT
 ALL SIGNS SHALL MAINTAIN SPACE AROUND THE SIGN COPY EQUAL TO ONE-HALF THE HEIGHT OF THE TALLEST ELEMENT OF THE SIGN FROM ANY BUILDING EDGE, WINDOW OR ARCHITECTURAL FEATURE. SIGN LETTERS/LOGO MAY EXTEND OVER REVEALS ON THE SAME WALL SURFACE.
- ONLY THE NAME AND OR LOGO OF THE TENANT SHALL BE PERMITTED. SIGNS SHALL NOT APPEAR TO BE AN ADVERTISEMENT AND SYMBOLS OR TRADEMARKS, SUCH AS™, AND ® ARE PROHIBITED.
- THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE. AN EXCEPTION MAY BE GRANTED FOR REGISTERED TRADEMARK CORPORATE COLORS AND LOGOS.

MICHAEL J. McLAUGHLIN & ASSOCIATES
DIAMOND AUDIO
 FOR IMAGE, INTERESTATIVE AND WAY-FINDING SIGN
 PO BOX 32 MOUNTAIN CENTER CA 92651
 mjmc@diamondaudio.com
 760-722-7020

DESCRIPTION
BUILDING 11 ELEVATION
SIGN LOCATIONS

EXHIBIT 15

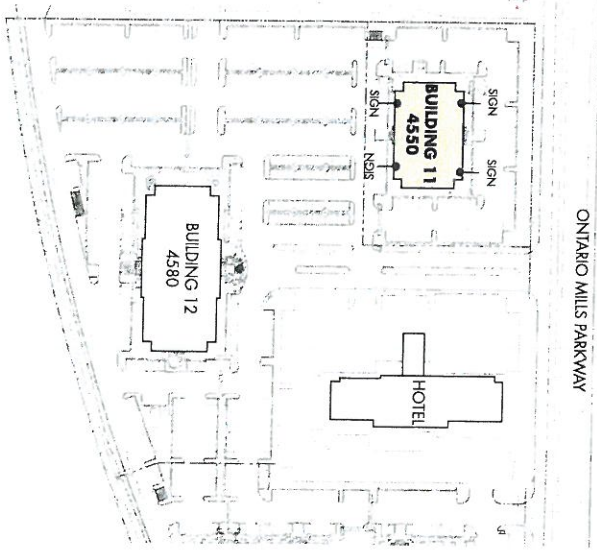
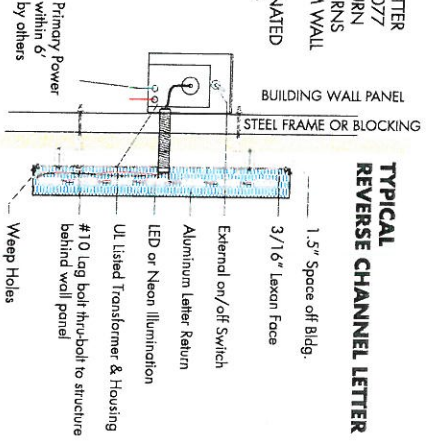
The Bates Company
 139 E. Olive Avenue
 Montrovia, CA 91016
 626-305-3338 office
 626-305-1342 fax



PROJECT
PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @ 10 & 15 FREEWAY INTERCHANGE



BUILDING 11,
 REVERSE CHANNEL LETTER
 DARK BRONZE MP 28077
 GRAPHIC FACE & RETURN
 5" LETTER/LOGO RETURNS
 1.5" STAND-OFF FROM WALL
 SIGNS MAY BE ILLUMINATED
 OR NON-ILLUMINATED



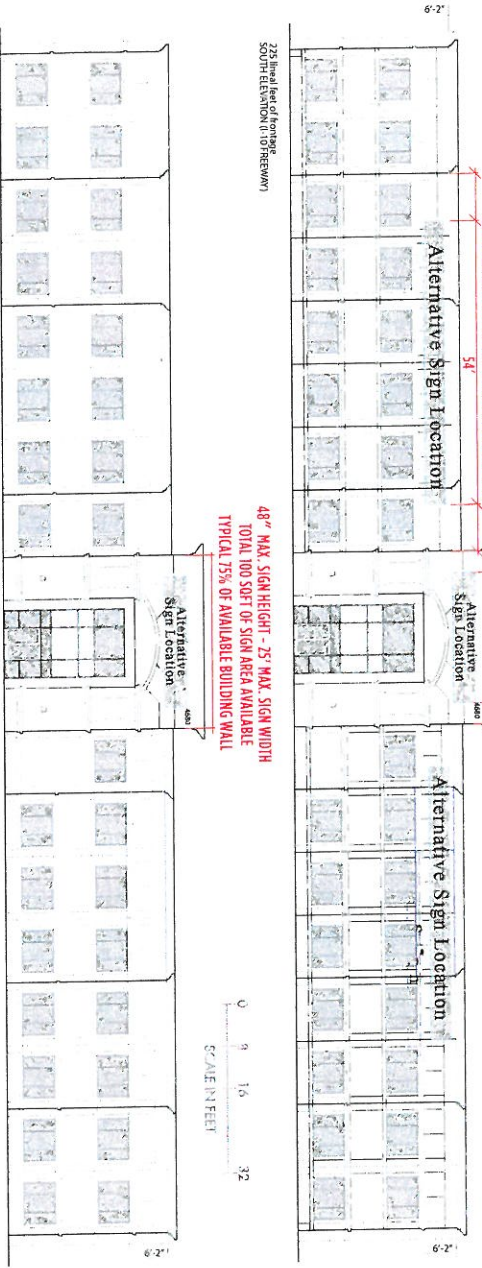
BUILDING 12 NORTH ELEVATION SOUTH ELEVATION EAST ELEVATION

ADDRESS	SITE	MAX SIGN HEIGHT	MAX SIGN WIDTH	MAXIMUM SIGN AREA	SITE	MAX SIGN HEIGHT	MAX SIGN WIDTH	MAXIMUM SIGN AREA	SITE	MAX SIGN HEIGHT	MAX SIGN WIDTH	MAXIMUM SIGN AREA
4580	225' (LINEAL FEET)	25 FT.	100 FT.	100 FT.	225' (LINEAL FEET)	54 FT.	150 FT.	150 FT.	141' (LINEAL FEET)	25 FT.	50 FT.	50 FT.

BIDG 12 225' (LINEAL FEET) 225'

48" MAX. SIGN HEIGHT - 54" MAX. SIGN WIDTH
TOTAL 150 SQFT OF SIGN AREA MAX.
NOT TO EXCEED 75% OF BUILDING WALL 12 LINEAL FEET

48" MAX. SIGN HEIGHT - 25" MAX. SIGN WIDTH
TOTAL 100 SQFT OF SIGN AREA AVAILABLE
NOT TO EXCEED 75% OF AVAILABLE BUILDING WALL



BUILDING 12 WALL SIGN CRITERIA

- BUILDING 12 SHALL BE PERMITTED A MAXIMUM OF 3 WALL SIGNS.
- 1 SIGN PERMITTED FOR THE NORTH, SOUTH AND EAST ELEVATIONS.
- SIGNS SHALL BE LOCATED ABOVE THE SECOND FLOOR WINDOW GLASS.
- 48" MAXIMUM SIGN HEIGHT, INCLUDES UPPER AND LOWER CASE LETTERS, LOGO, AND MAXIMUM TWO LINES OF TEXT.
- ALL SIGNS SHALL MAINTAIN SPACE AROUND THE SIGN COPY EQUAL TO ONE-HALF OF THE HEIGHT OF THE TALLEST ELEMENT OF THE SIGN FROM ANY BUILDING EDGE OR WINDOW.
- SIGN LETTERS/LOGO MAY EXTEND OVER REVEALS OR OTHER CHANGES IN THE BUILDING WALL SURFACE.
- ONLY THE NAME AND/OR LOGO OF A TENANT SHALL BE PERMITTED. SIGNS SHALL NOT APPEAR TO BE AN ADVERTISEMENT AND SYMBOLS, SUCH AS "TM", AND "®" ARE PROHIBITED.
- THE STANDARD SIGN COLOR FOR PARKWAY BUSINESS CENTER IS DARK METALLIC BRONZE MP 20303. AN ACCEPTION MAY BE GRANTED FOR REGISTERED TRADEMARK, CORPORATE COLORS AND LOGOS.

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 FOR IMAGE, INTERACTIVE AND WAY-FINDING SIGNS
 PO BOX 32 MOUNTAIN CENTER CA 92651
 mjc@designstudio.com
 760-727-7020

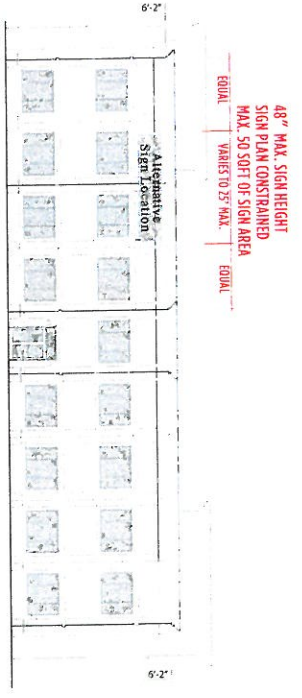
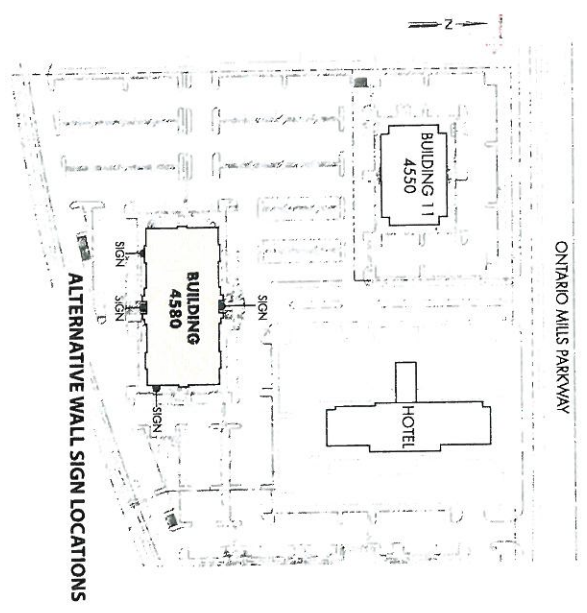
DESCRIPTION
BUILDING 12
TWO STORY ELEVATION
SIGN LOCATIONS

EXHIBIT 16
 The Bates Company
 139 E. Olive Avenue
 Montevita, CA 91016
 626.305.5338 office
 626.305.1342 fax



PROJECT
PARKWAY BUSINESS CENTER
 ONTARIO MILLS PARKWAY
 @10 & 13 FREEWAY INTERCHANGE

MJM



7.0 WALL SIGNS (Hotel)

7.1 Wall Signs Criteria for hotels:

W all signs shall provide for business identification of the Hotel facility. Additional signs may be considered for restaurant and or spa services when they are operated as separate businesses within the hotel.
The hotel shall be permitted a maximum of four (4) wall signs.

7.3 Location:

W all signs shall be located parallel to the building wall and below the eave or fascia line. Wall signs shall not be located on the same elevation.

7.4 Sign Area:

Sign area for all tenants will be calculated at one square foot of sign area per linear foot of building frontage. Maximum sign area is 61 square feet per sign.

7.5 Sign Copy & Color:

The logo shall be reproduced as a dimensional sign. (Refer to Exhibit 17). Illuminated cabinets are not permitted. Only the name and or symbol of the tenant shall be permitted. Signs shall not appear to be an advertisement and symbols or trademarks, such as ™, and ®, are prohibited.

DESCRIPTION
WALL SIGNS (HOTEL)

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
FOR IMAGE, INTERACTIVE AND WAYFINDING SIGNS
PO BOX 32 MOUNTAIN CENTER CA 92851
mjmc@designstudio.com
760-722-7020

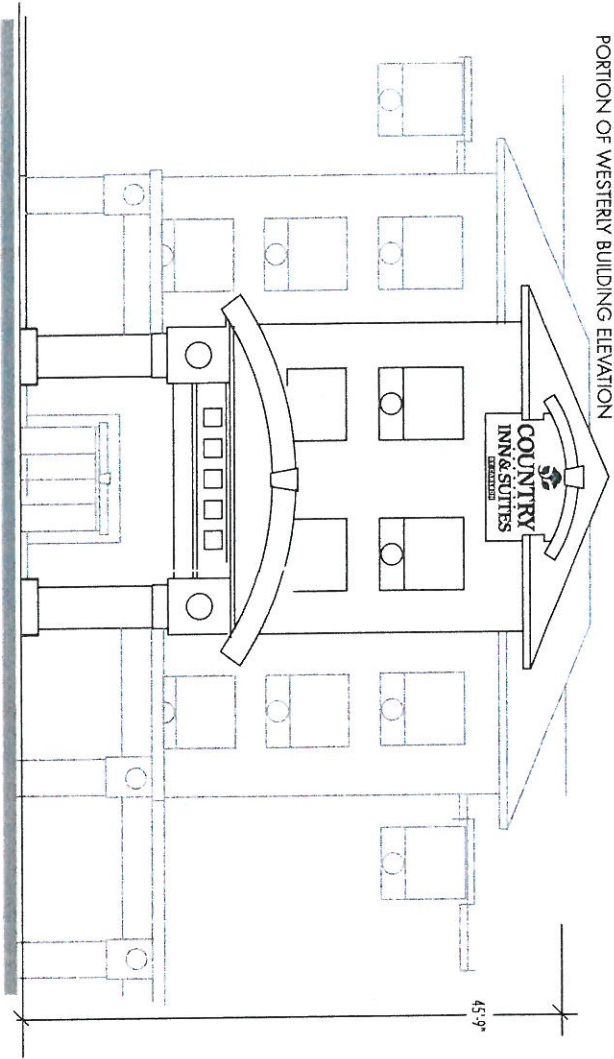
The Bates Company
136 E. Olive Avenue
M.D. #1016
626.305.5329 office
626.305.1342 fax



PROJECT
PARKWAY BUSINESS CENTER
ONTARIO MILLS PARKWAY
@10 & 15 FREEWAY INTERCHANGE

MJM

PORTION OF WESTERLY BUILDING ELEVATION



HOTEL SITE BUILDING WALL SIGN CRITERIA

- THE HOTEL SHALL BE PERMITTED A MAXIMUM OF FOUR (4) WALL SIGNS. ONE TO BE LOCATED ON SEPARATE ELEVATIONS.
- SIGN AREA WILL BE CALCULATED AT ONE SQUARE FOOT OF SIGN AREA PER LINEAL FOOT OF BUILDING FRONTAGE. 6.1 SQUARE FOOT OF SIGN AREA IS PERMITTED FOR EACH SIGN.
- SIGN SHALL BE CONSTRUCTED AS INTERNALLY ILLUMINATED CHANNEL LETTERS WITH LIGHTED FACES.
- REGISTERED TRADEMARK CORPORATE COLORS AND LOGOS SHALL BE PERMITTED.

MICHAEL J. McLAUGHLIN & ASSOCIATES
DESIGN STUDIO
 600 HURON INTERCHANGE, 10TH AND WASHINGTON STS
 PO BOX 32 MOUNTAIN CENTER CA 92651
 mjmredier1@msc.com
 760.722.7020

DESCRIPTION
**HOTEL BUILDING
 SIGN LOCATIONS**

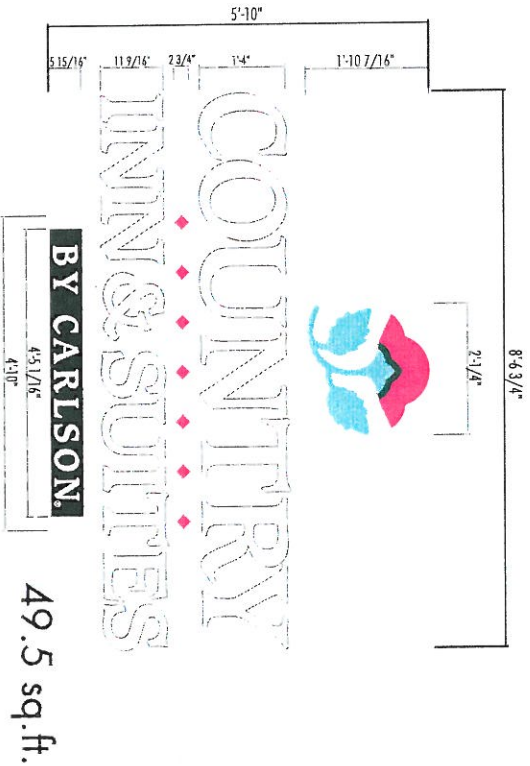
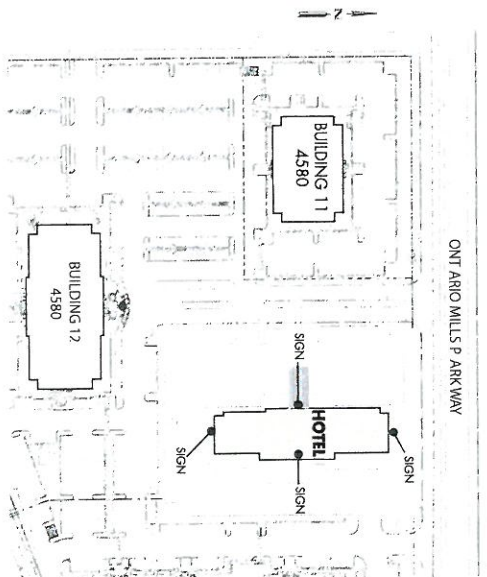
EXHIBIT 17
 The Bates Company
 139 E. Olive Avenue
 Mountford, IL 62638
 626.303.1335 FAX
 626.303.1342 FAX



PROJECT
PARKWAY BUSINESS CENTER

ONTARIO MILLS PARKWAY
 @ 10 & 15 FREEWAY INTERCHANGE

MM



49.5 sq. ft.

APPENDIX

WEST ELEVATION

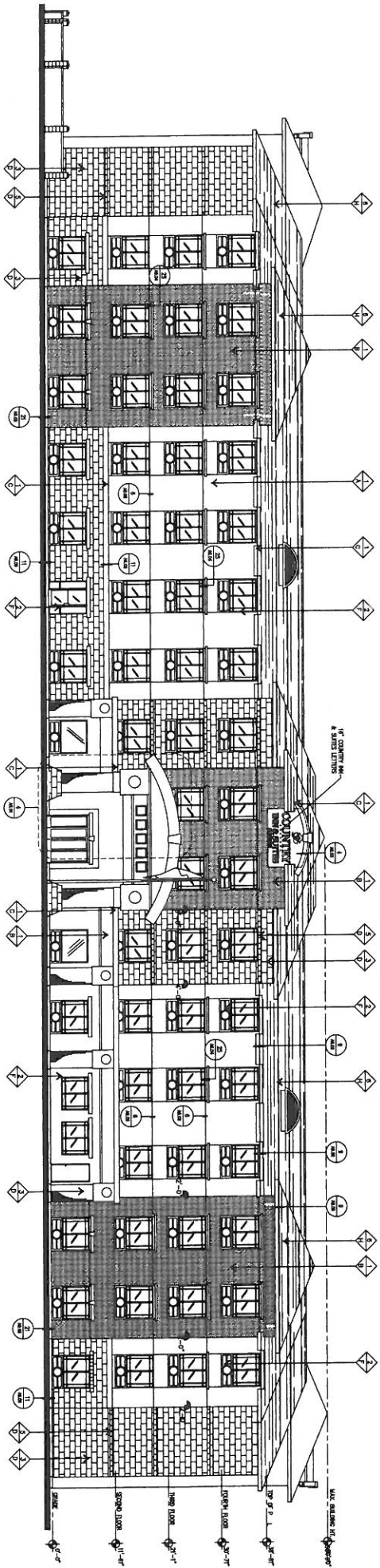
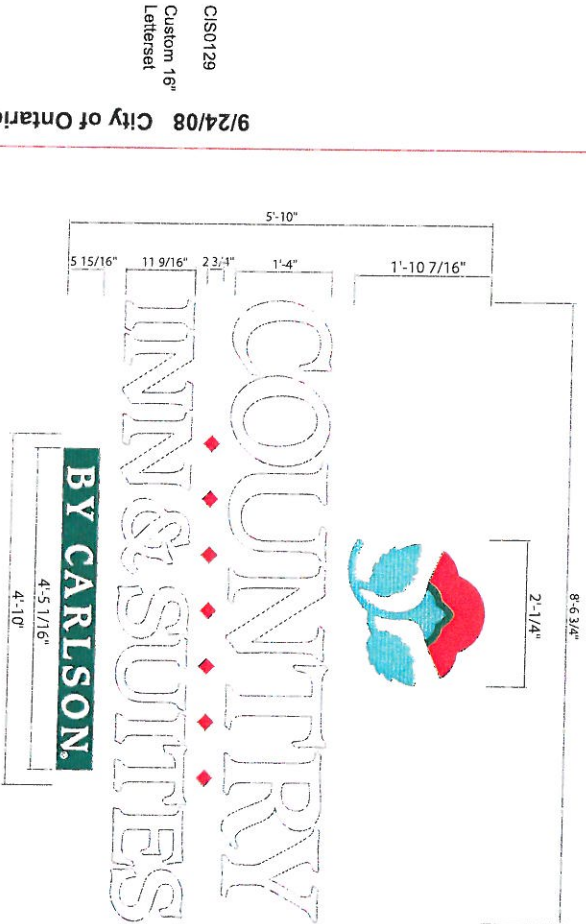




Image Management

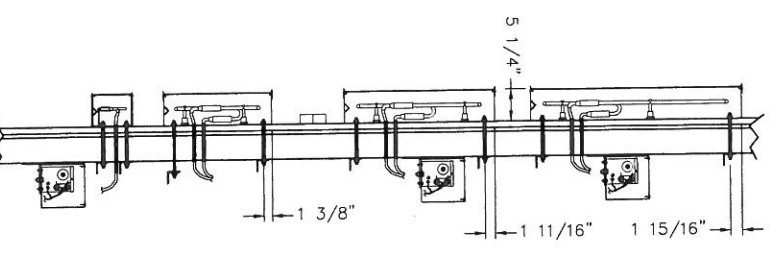
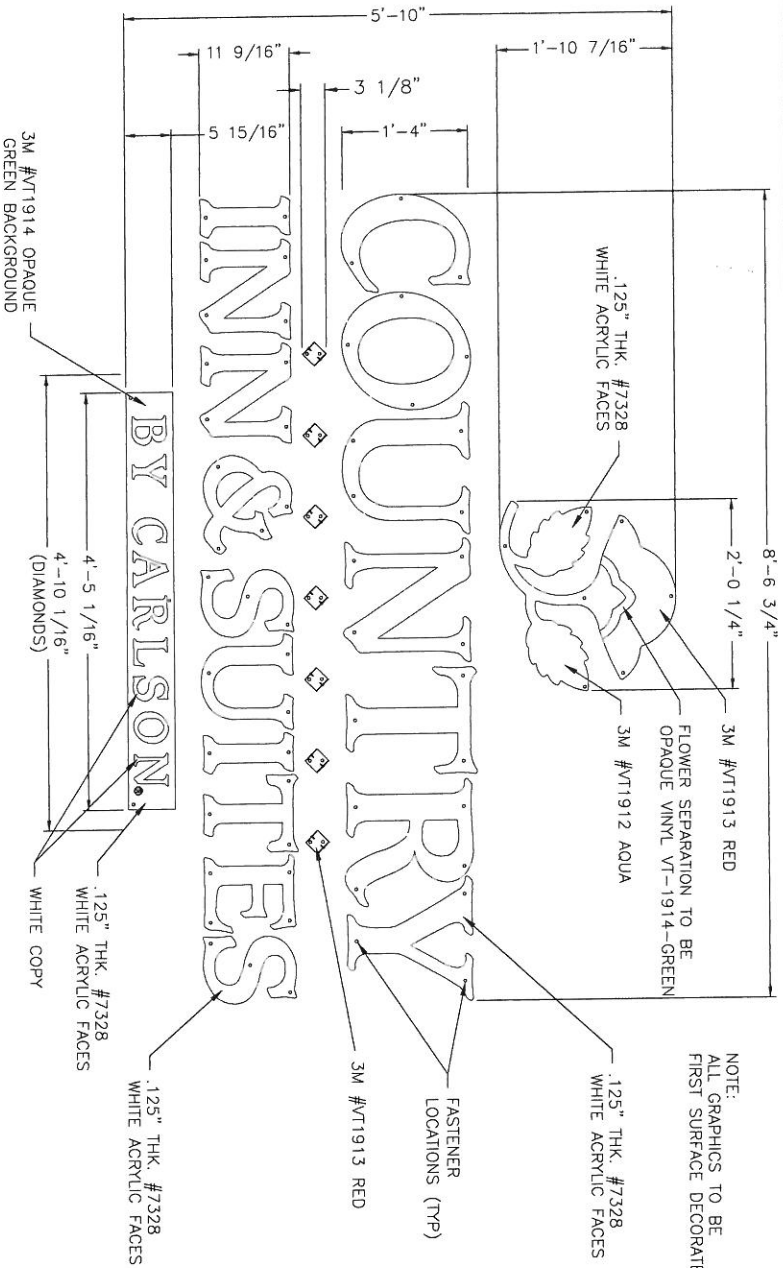
7875 Oak Ridge Highway
Knoxville, Tennessee 37931
(865) 342-6700 Office
(865) 539-6311 Fax

Supporting Artwork



Approved by the University of Tennessee System Board of Regents for use on property owned or operated by the University of Tennessee System.

File Name: C:\129
Drawn By: CDO'S KARL
Scale: 1/8" = 1'-0"
Last Modified: 9/24/08
User: jason



- CONSTRUCTION NOTES:**
1. NEON SPECIFICATIONS:
1.5 MM EQL. (C. DESIGNER 71. WHITE NEON WITH K-4 GAS FILLING (FOR EQUAL) SPACED TO BE 1/8" OR CLINCHED.

- INSTALLATION NOTES:**
1. INSTALLER TO PROVIDE POUNCE PATTERN
 2. INSTALLER TO DRILL HOLES THRU WALL
 3. EACH LETTER TO PASS THRU WALL
 4. ELECTRICIAN TO INSTALL JUNCTION BOXES ON THE INSIDE OF WALL BEHIND EACH LETTER
 5. RUN CONDUIT AND CONNECTING WIRE BETWEEN EACH JUNCTION BOX.

- DESIGN NOTES:**
1. DESIGN IS BASED UPON 90 MPH. 3 SECOND GUST
 2. NO ADDITIONAL WIND CATCHING SURFACES ARE ADDED TO THE BUILDING STRUCTURE. THE CUSTOMER'S BUILDING ENGINEER IS TO DETERMINE THE ADEQUACY OF THE SUPPORTING STRUCTURE.
 3. THIS INSTALLATION WAS DESIGNED TO BE INSTALLED AT THE ADDRESS SHOWN BELOW AND SHOULD NOT BE USED AT OTHER LOCATIONS UNLESS OBTAIN PERMITS BY A COMPETENT PROFESSIONAL ENGINEER.

- GENERAL NOTES:**
1. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS.
 2. EXISTING WALL CONSTRUCTION TYPE MUST BE DETERMINED AT THE ACTUAL PROPOSED LOCATION OF THE LETTERS BY THE CONTRACTOR.
 3. CONSTRUCTION SHALL VERIFY THAT EXISTING CONDITIONS ARE SUITABLE WITH WALL CONDITION TO WITHSTAND THE STATED PULLOUT FORCE.
 4. THE BUILDING ENGINEER SHALL INCLUDE THE LOADS APPLIED BY THE SIGN STRUCTURE IN THE DESIGN OF THE WALL SYSTEM.
 5. INSTALLATION SHALL CONFORM TO NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES.

DO NOT USE GRAPHICS SHOWN ON THIS DRAWING FOR PRODUCTION REFER TO PRODUCTION ELECTRONIC FILES

OVERALL SECTION VIEW

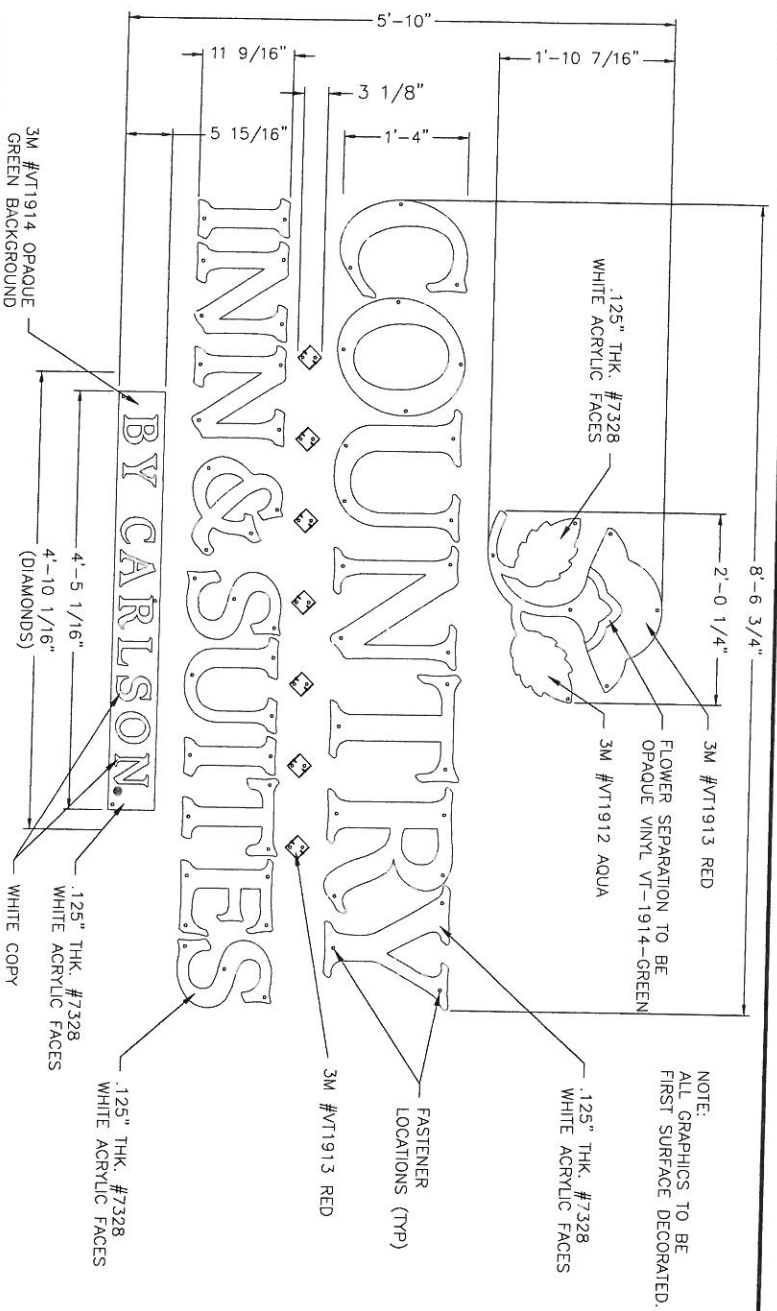
INSTALLATION ADDRESS:
COUNTRY INN & SUITES
4500 EAST ONTARIO MILLS PARKWAY
ONTARIO, CA

CLIENT:
THE INSITE GROUP
7675 OAK RIDGE HWY
KNOXVILLE, TN

THE Site Group
725 Oak Ridge Highway
Knoxville, TN 37920
Phone: 865.528.2833
Fax: 865.528.2810

SHT: 1	REV: TMD	Project Number: CISO129
Page 21	DATE: 6/11/08	Drawing Number: B300125

9/24/08 City of Ontario



NOTE:
ALL GRAPHICS TO BE
FIRST SURFACE DECORATED.

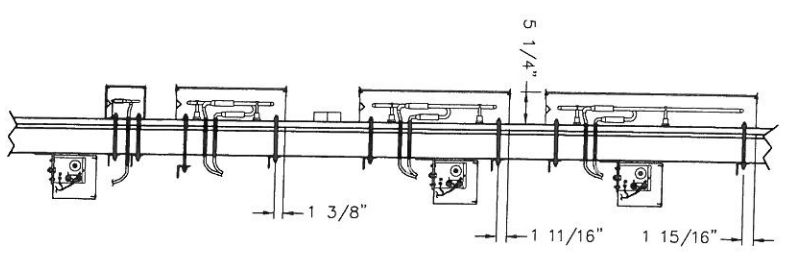
- CONSTRUCTION NOTES:**
1. NEON SPECIFICATIONS:
1.5 MM EGL. CL. DESIGNER 71 WHITE NEON
 2. WITH K-4 GAS FILLING (OR EQUAL)
RETURN TO BACK ATTACHMENT:
STAPLED, WELDED OR RIVETED,
OR CLINCHED.

- INSTALLATION NOTES:**
1. MANUFACTURER TO PROVIDE POUNCE PATTERN
 2. INSTALLER TO DRILL HOLES THRU WALL
 3. EACH LETTER TO PASS THRU WALL
 4. ELECTRICIAN TO INSTALL JUNCTION BOXES
ON THE INSIDE OF WALL BEHIND EACH LETTER
RUN CONDUIT AND CONNECTING WIRE BETWEEN
EACH JUNCTION BOX.

- DESIGN NOTES:**
1. DESIGN IS BASED UPON 90 MPH 3 SECOND GUST
DESIGN WIND SPEED PER IBC 2006, EXPOSURE C.
 2. NO ADDITIONAL WIND CATCHING SURFACES ARE
CALLED FOR THE BUILDING STRUCTURE. THE
CONTRACTOR'S BUILDING ENGINEER IS TO DETERMINE
THE CONTACT OF THE SUPPORTING STRUCTURE.
 3. THIS INSTALLATION WAS DESIGNED TO BE
INSTALLED AT THE ADDRESS SHOWN BELOW AND
UNLESS DETERMINED TO BE OTHERWISE
PROFESSIONAL ENGINEER.

- GENERAL NOTES:**
1. CONTRACTOR SHALL VERIFY ALL SITE
CONDITIONS AND DIMENSIONS.
 2. EXISTING WALL CONSTRUCTION TYPE
MUST BE DETERMINED AT THE ACTUAL
PROPOSED LOCATION OF THE LETTERS
BY THE CONTRACTOR.
 3. CONTRACTOR SHALL VERIFY THAT
FASTENERS CHOSEN ARE SUITABLE
WITH WALL CONDITION TO WITHSTAND
THE STATED PULLOUT FORCE.
 4. THE BUILDING ENGINEER SHALL INCLUDE
THE LOADS APPLIED BY THE SIGN
STRUCTURE IN THE DESIGN OF THE
WALL SYSTEM.
 5. INSTALLATION SHALL CONFORM TO
NATIONAL ELECTRICAL CODE AND
OTHER APPLICABLE CODES.

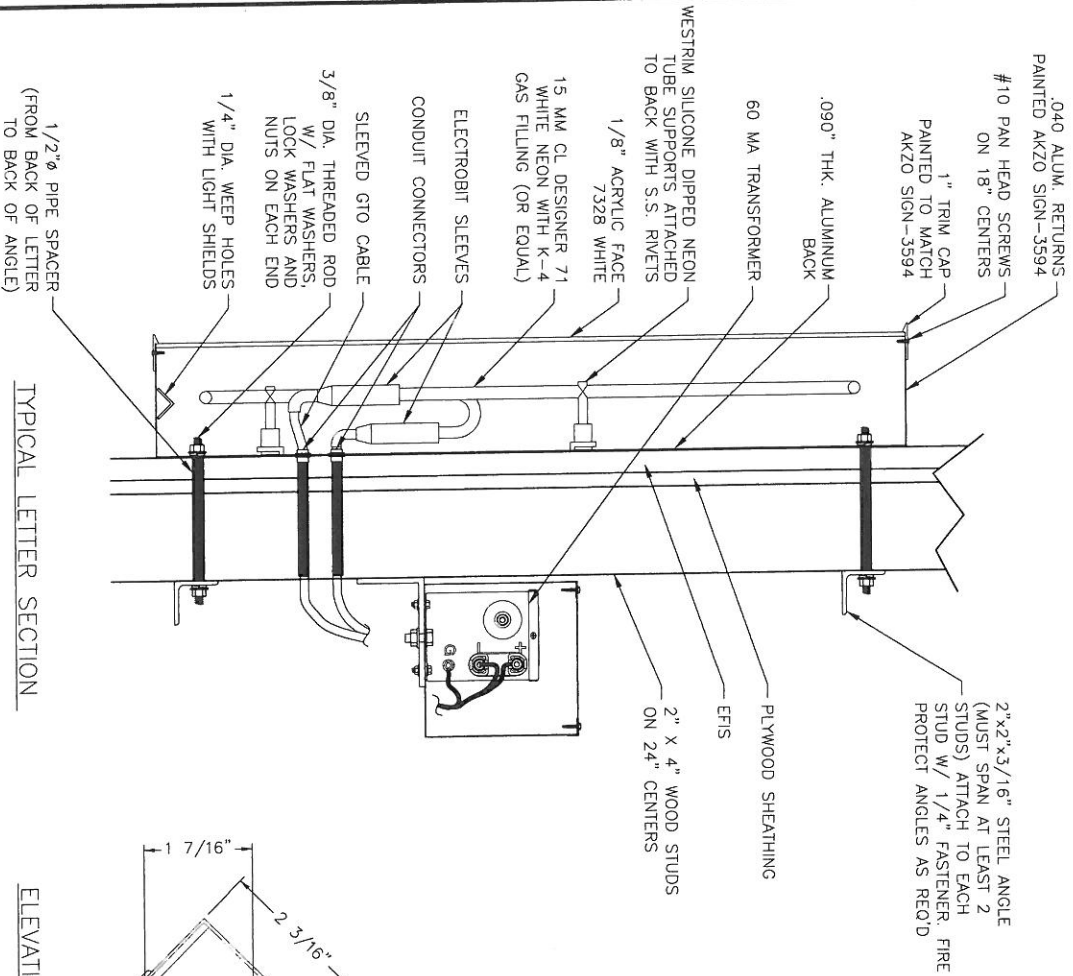
DO NOT USE GRAPHICS
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FOR PRODUCTION REFER TO
PRODUCTION ELECTRONIC FILES



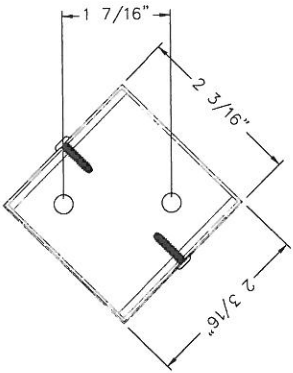
OVERALL SECTION VIEW

9/24/08 City of Ontario

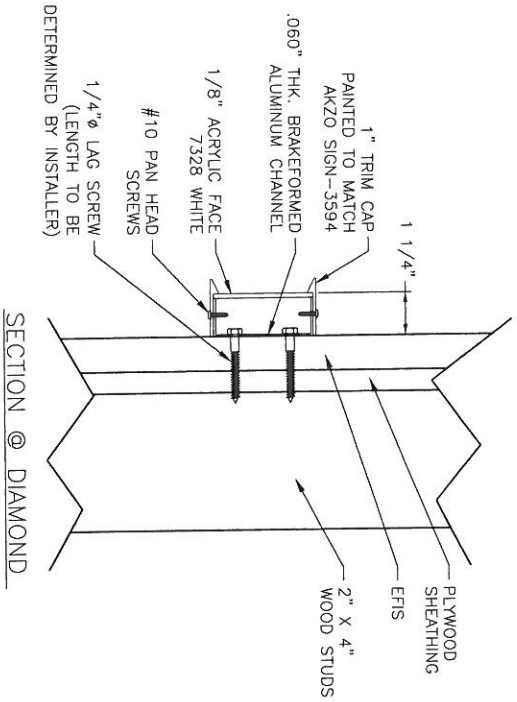
<p>INSiteGroup Sign Management</p> <p>1705 Oak Ridge Avenue Nashville, TN 37217 Phone: 615.242.2033 Fax: 615.242.2010</p>	<p>INSTALLATION ADDRESS: COUNTRY INN & SUITES 4500 EAST ONTARIO MILLS PARKWAY ONTARIO, CA</p>
<p>SHEET: 1 DATE: 6/11/08</p>	<p>CLIENT: THE INSITE GROUP 7675 OAK RIDGE HWY KNOXVILLE, TN</p>
<p>PROJECT NUMBER: CS0129</p>	<p>DRAWING NUMBER: B500125</p>



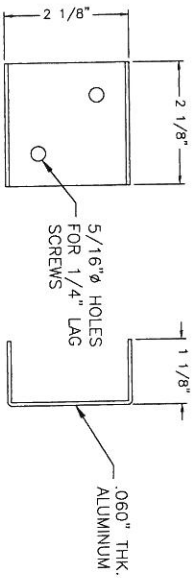
TYPICAL LETTER SECTION



ELEVATION @ DIAMOND

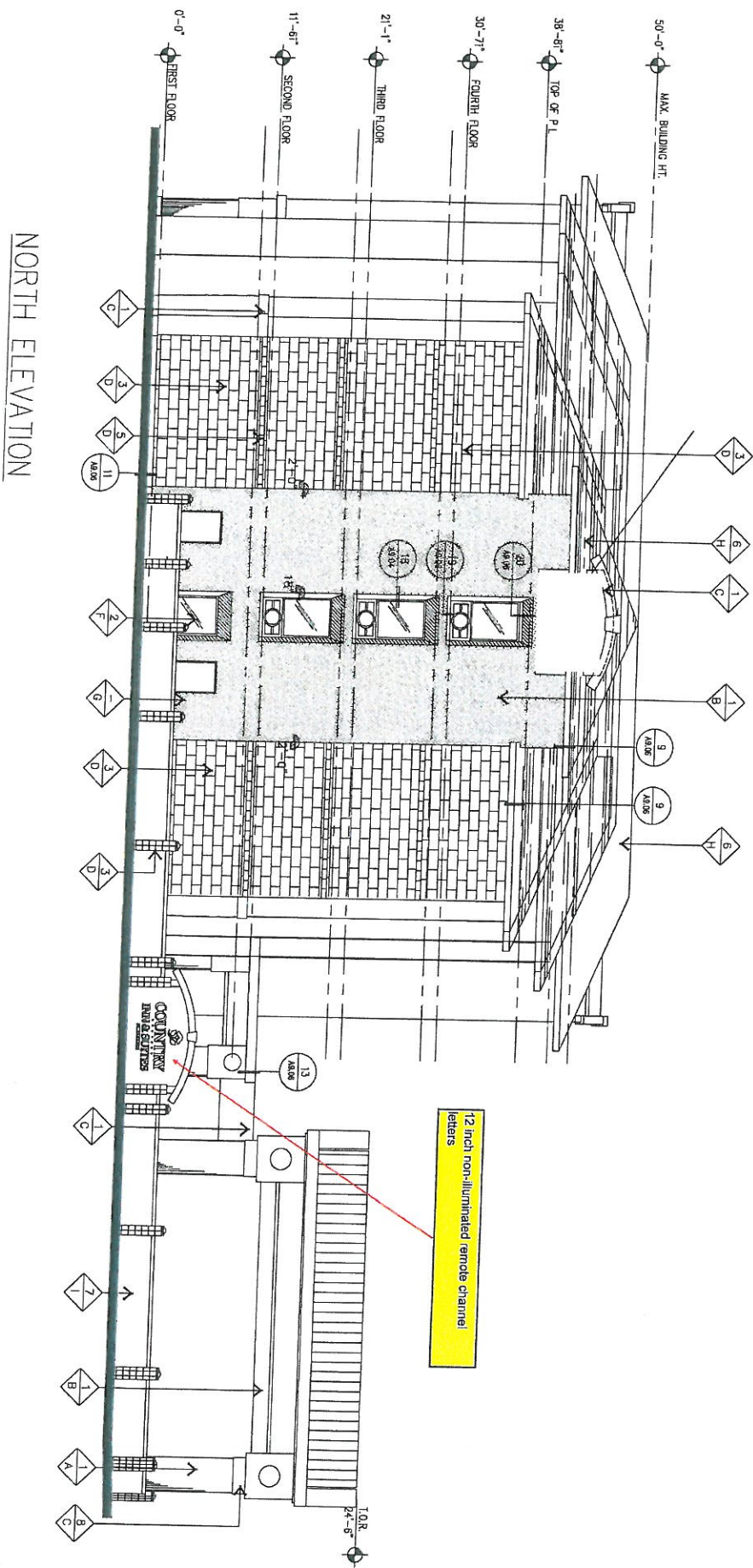


SECTION @ DIAMOND

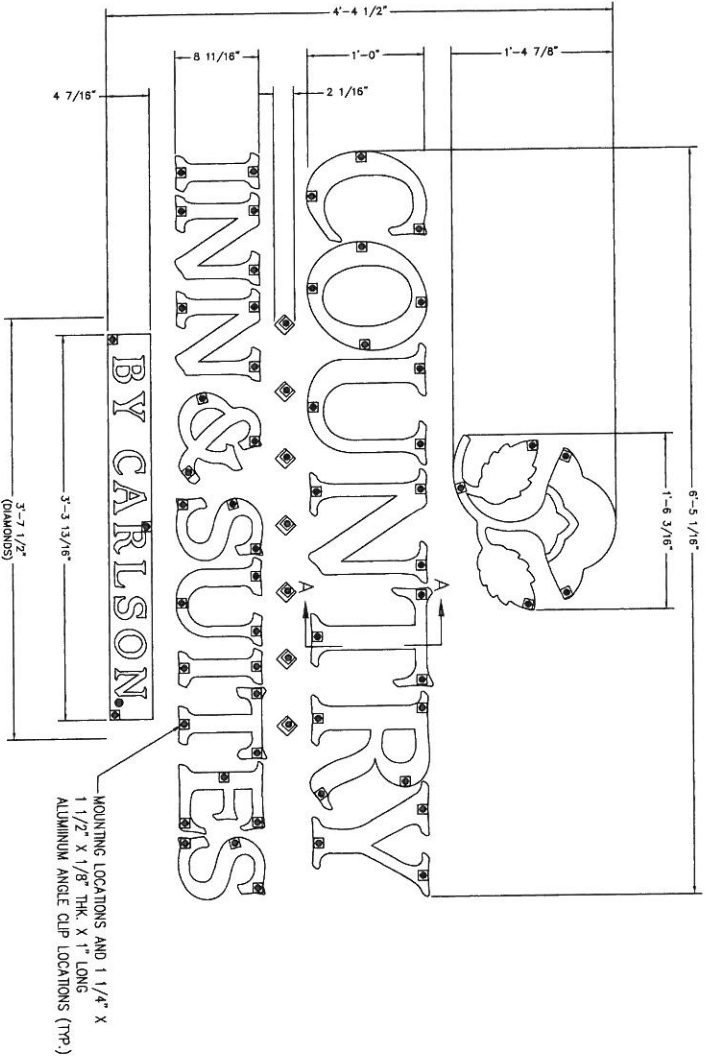


DETAIL @ BRAKEFORMED CHANNEL

THE InSite Group Image Management 1705 Oak Ridge Highway Knoxville, Tennessee 37901 Tel: 615 529 2910	
INSTALLATION ADDRESS: COUNTRY INN & SUITES 4500 EAST ONTARIO MILLS PARKWAY ONTARIO, CA	CLIENT: THE INSITE GROUP 7675 OAK RIDGE HWY KNOXVILLE, TN
SHEET: 2 DATE: 6/11/08	PROJECT NUMBER: CISO129 DRAWING NUMBER: B300125



NORTH ELEVATION



FRONT ELEVATION @ 12" LETTERSET

NOTES:

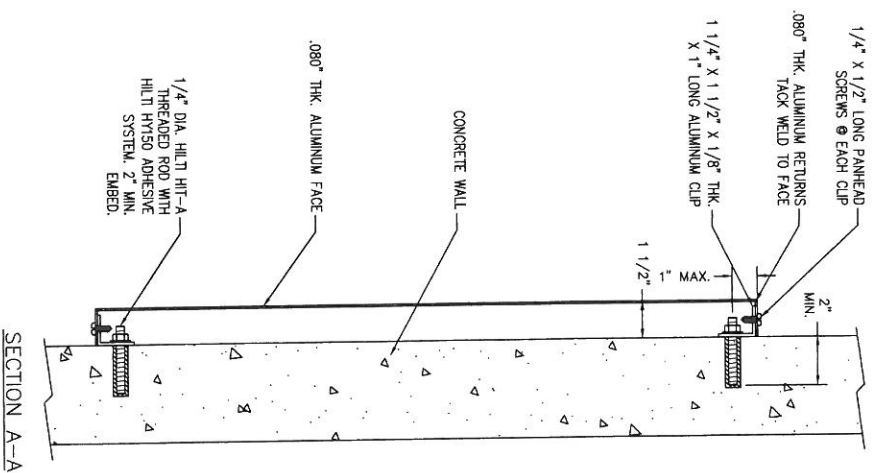
1. Design is based on 90 mph 3 second gust design wind speed per IBC 2006. Exposure C.
2. No additional wind catching surfaces are added to the building structure, the customer's building engineer is to determine the adequacy of the supporting structure.
3. Wall construction depicted is as reported by Client. Should field conditions vary from what is shown, contractor shall contact The InSite Group for direction.
4. Letter design by others.
5. All fasteners shall be zinc coated to prevent corrosion.
6. All wall penetrations shall be sealed to prevent water intrusion.
7. This design is intended to be installed at the address shown below and should not be used at other locations unless deemed suitable by a competent Professional Engineer.

INSTALLATION NOTES:

1. Manufacturer to provide full size mounting pattern.
2. Installer to drill holes thru wall.

DO NOT USE GRAPHICS SHOWN ON THIS DRAWING FOR PRODUCTION REFER TO PRODUCTION ELECTRONIC FILES

HILTI ANCHOR SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.



SECTION A-A

INSite Group
 Project Management
 7815 The Ridge Highway
 Knoxville, Tennessee 37931
 Tel: 615.582.2810

INSTALLATION ADDRESS:
 COUNTRY INN & SUITES
 4500 EAST ONTARIO MILLS PARKWAY
 ONTARIO, CA

CLIENT:
 THE INSITE GROUP
 7675 OAK RIDGE HWY
 KNOXVILLE, TN

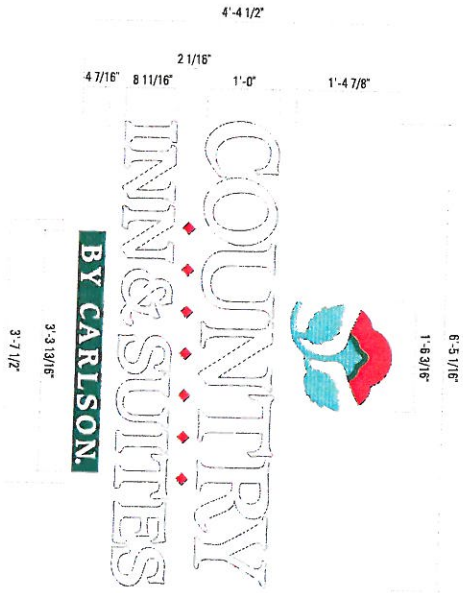
SR#	1	REV	TMD	Project Number:	CIS0129
DATE	6/9/08	Drawing Number:	B300126		



Image Management

7875 Oak Ridge Highway
Knoxville, Tennessee 37931
(865) 342-8200 Office
(865) 539-8311 Fax

Supporting Artwork



CIS0129
Custom 12"
Letterset

Approved by the property of
The City of Ontario, and
approved for reproduction
with the permission of The InSite Group.

Form Name	CIS0129
Drawing No.	CIS0129 & A&M
Scale	1/32"
Client Name	City of Ontario
Sheet #	