



City of Ontario
Planning Department
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City of Ontario
JAN 03 2011
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Planning Department

Sign Program Application

APPLICANT/OWNER INFORMATION (print or type)

Property Owner: FIRST MORTGAGE CORP.
Address: 1131 W. 6th STREET, ONTARIO
Telephone No.: 909-595-1996 Fax No.: 909-595-5453

Applicant: EAGLE SIGNS
Address: 1028 E. ACACIA, ONTARIO, CA.
Telephone No.: 909-923-3034 Fax No.: 909-923-3043

Applicant's Representative: BOB KNEEVORS
Address: 1028 E. ACACIA, ONTARIO, CA.
Telephone No.: 909-923-3034 Fax No.: 909-923-3043
(909) 518-6019

(For staff use only)
File No.: RSGP11-001
Related Files: _____
Submittal Date: 01/06/11
Rec'd By: [Signature]
Fees Paid: 1225.-
Receipt No.: R201100090
Action: Approved Denied
By: [Signature]
Date: 3/1/11

SITE INFORMATION

Site Address (include N, S, E or W): 1131 W. 6th ST., ONTARIO, CA.
Assessor's Parcel No.: _____ MOUNTAIN VILLAGE
Development Name: FIRST MORTGAGE CORPORATION BUILDING
Zone: _____ Euclid Avenue Overlay District?: Yes No

NOTES

Sixth Street Center
Sign Program
Ontario, California

PLANNING DEPT APPROVED	
Permit No.	PSGP11-001
By:	A. Meyer
Date:	3/1/11

This criterion has been established for the purpose of creating aesthetic uniform graphic standards essential in maintaining a visually coordinated, balanced and appealing signage environment.

For the mutual benefit of all tenants, conformance will be strictly enforced, and any installed non-conforming or unapproved signs must be brought into conformance at the expense of the tenant.

The owner/tenant shall approve all copy prior to the fabrication of the sign.

A. Required Submittals

1. The tenant shall submit conceptual plans to the landlord and shall be reviewed and approved prior to submittal to the City.
2. Following landlord approval, the tenant shall submit plans to the City of Ontario for review and approval.
3. After receiving approval of the concept design by the landlord, and the City, Tenant's sign contractor shall prepare and submit to landlord the following:
 - A) A set of complete and fully dimensional shop drawings for Tenant's sign ("Shop Drawings"), based on the approved concept design, including material and color references.
 - B) A colored elevation drawing of the proposed signage.

The above drawings can be sent by mail or electronically.

4. Landlord or landlords designated company, Eagle Signs, Ontario, CA., shall review and provide Tenant with approval or Disapproval.
5. If Landlord disapproves or conditionally approves the Shop Drawings submitted, Landlord shall note on a set of the Shop Drawings or separately the reasons for such disapproval or conditional approval, and thereafter Landlord, Tenant and Tenant's

Sign Contractor shall consult as necessary to achieve approvable Shop Drawings consistent with the approved concept design and this Criteria.

6. All appropriate permits shall be obtained by the Sign Contractor.

B. Design Guidelines

1. Two types of signage are envisioned for the building:
 - A) Building/complex identification: and
 - B) Major Tenant identification
2. Major tenants are defined as those tenants occupying in excess of 10,000 square feet of leasable area.
3. The building/complex identification sign (Sign "D" on the Satellite Site Plan), shall consist of individual channel letters not to exceed 24" in height. Two lines of copy are permitted. The maximum sign length shall not exceed 15'.
4. Business names shall consist of internally illuminated channel Letters. Letters shall be industry standard acrylic or acrylic with translucent vinyl overlays.
5. Logos shall consist of internally illuminated channel sections With translucent vinyl graphics.
6. Exterior of letters to be coated in a color submitted to and approved by landlord, interior of letters to be coated white.
7. Sign copy shall consist of business name and optional secondary copy. Logos are acceptable when used in conjunction with tenant name.
8. The maximum number of wall signs shall be limited to two (2) per tenant. The location of the signs shall be consistent with the locations contained on the "Satellite Site Plan" and as approved by the landlord.

9. Letters shall not exceed 36" in height and logos shall not exceed 36" in height. The maximum sign length shall not exceed what is shown on the Satellite Site Plan. If design includes a secondary line of copy, the overall height of the sign shall not exceed 40".
10. Sign colors to be submitted and reviewed by Landlord.
11. Typestyles. A variety of typestyles and logo images will be implemented in order to add a distinct flavor to each tenant sign. Recognized logos and logotypes will be allowed.

C. General Provisions and Construction Requirements

1. Notwithstanding the maximum square footage specified for copy area allowances, signs and typography in all cases shall appear balanced and in scale within the context of the sign space and the building as a whole. All signs shall fit comfortably into designated spaces, leaving sufficient margins and negative space on all sides. Thickness, height and color of sign lettering shall be visually balanced and in proportion to other signs on the building.
2. All sign fabrication work shall be of excellent quality. All logo images and typestyles shall be accurately reproduced. Landlord reserves the right to reject any work deemed to be below standard.
3. Signs must be made of durable rust-inhibiting materials that are appropriate and complimentary to the building.
4. Channel letters and logo sections to have a depth return of 5"
5. Electrical components must match the exact specifications of the approved design.
6. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign lighting. At 30 milliamps. LED (Low Voltage Systems) are also permitted.

7. All signage to be wired with high grade sleeved G.T.O. and have U.L. approved electro-bits if neon is used. All letters to be flush mounted.
8. No exposed conduit or crossovers will be allowed.
9. Underwriter's Laboratory approved labels shall be affixed to all electrical fixtures. Fabrication and installation of electrical signs shall comply with all national and local building and electrical codes.
10. Penetrations into building walls, where required, shall be made waterproof.
11. Each tenant will be allowed a space on the interior sign located in the lobby.

D. Monument Sign Structure

One double face monument sign structure will be allowed for the building. The sign may identify the building/complex and up to five (5) tenants. The monument is to be placed on the street side and should not exceed 7 feet in height and 48 square foot in area. The sign shall be setback a minimum of 10 feet from the property line.

PROHIBITED SIGNS

Paper, cardboard or Styrofoam signs, stickers or decals

Exposed fastenings

Animated signs or other moving sign components

Roof mounted signs

Advertising devices such as attraction boards, posters, banners, flags and

Balloons without landlord approval

Any sign form not specifically allowed by this criteria

Any sign not allowed by the City of Ontario

SATELLITE SITE PLAN



ELEVATIONS



A



B



C



D

ELEVATIONS



E



F



G