



City of Ontario
PUD 22-004

Euclid Walnut

Planned Unit Development

A Project by Legacy Partners



Euclid/Walnut

Planned Unit Development

City of Ontario
PUD 22-004
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Introduction

The Euclid/Walnut Planned Unit Development (PUD) functions as a set of planning and design principles, development regulations, and performance standards to guide and govern the redevelopment of a commercial shopping center into a mixed-use development. The project site comprises three parcels located on the northwest corner of Euclid Avenue and Walnut Street, as shown on Exhibit 1-1: PUD Location Map. This PUD will facilitate development of high-density apartments, restaurants, retail shops, and other commercial services that will achieve the City's goals to economically revitalize and aesthetically enhance an underutilized parcel on the Euclid Avenue corridor.

Exhibit 1-1: PUD Location Map



This document is organized to fulfill the requirements for a PUD, as set forth in the Ontario Development Code (ODC). The Euclid/Walnut PUD replaces the existing zoning district designation and ODC regulations applicable to the affected properties. The properties also lie within the “EA – Euclid Avenue Overlay” district. Any applicable requirements of the overlay district shall remain in full force and effect. Unless otherwise defined or stated herein, definitions and interpretations contained in the ODC shall apply. City staff and private developers will rely on this PUD to determine whether precise plans for development (“Development Plans”) adequately meet the City’s land use and design objectives of The Ontario Plan (TOP) 2050.

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Objectives

2.1 Consistency with The Ontario Plan

The Ontario Plan (TOP), the City's comprehensive plan, has undergone a significant update to shape the Ontario community through 2050. TOP 2050 has three policy level components: the Vision, a Governance Manual, and the Policy Plan (General Plan).

The Ontario Vision – adopted by the City Council envisioning “A sustained, community-wide prosperity which continuously adds value and yields benefits.” Value is comprehensive in this regard and is expressed in land, revenues, infrastructure, businesses, education, employment, health, community services, recreation, etc. In particular, Ontario is committed to being “A Premier Community by Design.” One of the foundations to accomplish this is described in the Vision as ensuring that development is “distinctive.” The Euclid/Walnut PUD helps the City realize specific “Points of Vision” as outlined for “Distinctive Development” as follows:

- A system of vibrant retail, town, and neighborhood centers responsive to market demands and woven into the fabric of the community.
- A demonstrated ability to attract housing in pursuit of our acknowledged responsibility to balance housing with the job growth that drives our quality of life.
- Superior quality and design of the built environment and open spaces through careful attention to detail at every scale, including public and private spaces and structures.

The Governance Manual – institutionalizes Ontario’s approach to governance and provides a business plan for the City. Ontario believes the City has the obligation to create, maintain, and grow economic value. The Manual guides the City’s leadership and ensures that TOP 2050 is integrated into daily operations and provides for effective administration. The Euclid/Walnut PUD is established in conformance with the City’s requirements and includes an administrative section consistent with provisions contained in the ODC for consideration of “Development Plans.”

The Policy Plan (General Plan) – includes the Land Use Element, which designates the subject parcels within the Euclid/Walnut PUD as “MU - Mixed Use.” Generally, these properties are developed with a mix of uses

that, when concentrated, create focal points for community activity and facilitate walking, biking, and transit use. The MU – Mixed Use land use category accommodates a horizontal and/or vertical mix of retail, service, office, restaurant, entertainment, cultural, and residential uses. The densities and intensities of the MU – Mixed Use designation represent the intended level of anticipated development; however, individual projects may vary depending upon an approved master plan, such as a specific plan or planned unit development.

Within the Land Use Element, the MU – Mixed Use designation is broken down into unique sub-categories to further refine the type of mixed-use development desired by the City. The parcels comprising the Euclid/Walnut PUD are part of a sub-area categorized as MU-NH – Mixed Use Neighborhood Activity Hub. This specific designation envisions low-rise (three to five stories) buildings, with a mix of retail and residential uses that will create identity and place, and serve surrounding residents. This category allows for residential densities ranging from 20 to 75 dwelling units per acre and non-residential intensity of 1.00 floor area ratio (FAR). Five locations within the City have the MU-NH land use designation. The Future Build-out Projections Table of the Land Use Element provides details for each of these five MU-NH sub-areas. The build-out of the 16-acre “MU-NH (Euclid & Walnut)” sub-area is projected to be 369 dwelling units and 142,840 square feet of non-residential development.

This PUD regulates the redevelopment of 10.6 acres of this sub-area to create a mixed-use project providing a total of 369 dwelling units and 12,000 non-residential square feet. The other 5.4 acres of the sub-area is located north of the PUD boundary and currently developed with 15 single family dwelling units, and approximately 28,000 square feet of non-residential development. There is a nominal increase to the total build-out projection for the number of residential dwelling units within this sub-area resulting from the combination of existing to remain and construction of new within the boundaries of this PUD. However,

it is offset by a significant reduction in the build-out of non-residential square footage should the existing uses/buildings remain unchanged on the 5.4-acre portion. Implementation of this PUD would still allow for redevelopment of the 5.4 acre portion of the sub-area of up to 130,000 of non-residential square footage, consistent with the TOP 2050 build-out projections for this sub-area.

In addition to the requirements of the Land Use Element, all mixed-use development is subject to specific “Place Types” as defined in the Community Design Element, which represent the intended outcome and character for each area. The Euclid/Walnut PUD falls within Place Type 8 (a-e). Properties with this Place Type are considered “Neighborhood Center – Infill” development where commercial and residential parcels were largely developed in an incremental manner prior to 2020. The Community Design Element acknowledges that many properties in this Place Type range in size, complexity, and relationships with surrounding streets and neighborhoods, and that redevelopment

could result in horizontal or vertical mixed use. However, all of these centers are envisioned to incorporate site design that prioritizes safe, attractive, and well-shaded pedestrian access on site, from the public rights-of-way, and from the adjacent neighborhoods.

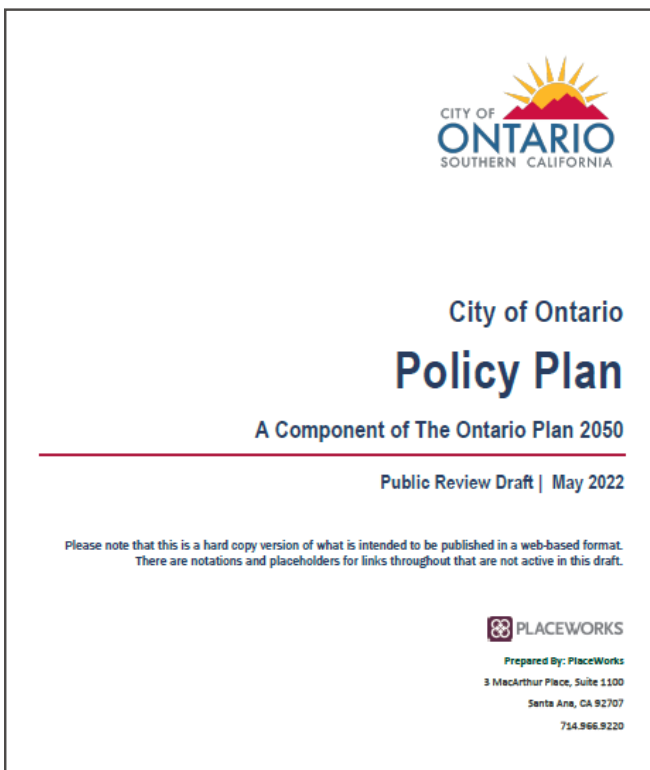
Implementation of the Euclid/Walnut PUD will achieve many City goals and policies outlined in The Policy Plan (General Plan). Those specific goals and policies are as follows.

Land Use Element

Goal LU-1 Balance

A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.

- **LU-1.1 Strategic Growth.** We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, foster the development of transit, and support the expansion of the active and multimodal transportation networks throughout the City.
- **LU-1.5 Jobs-Housing Balance.** We coordinate land use, infrastructure, and transportation planning and analysis with regional, county, and other local agencies to further regional and subregional goals for jobs-housing balance.
- **LU-1.6 Complete Community.** We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers, and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario.



Goal LU-2 Compatibility

Compatibility between a wide range of uses and resultant urban patterns and forms.

- **LU-2.1 Land Use Decisions.** We minimize adverse impacts on adjacent properties when considering land use and zoning requests.
- **LU-2.2 Buffers.** We require new uses to provide mitigation or buffers between existing uses where potential adverse impacts could occur. Additional mitigation is required when new uses could negatively impact environmental justice areas.

Goal LU-4 Phased Growth

Development that provides short-term value only when the opportunity to achieve our Vision can be preserved.

- **LU-4.2 Interim Development.** We allow development in urban, mixed use, and transit-oriented Place Types that is not immediately reflective of our ultimate Vision for the Place Type, provided it can be modified or replaced when circumstances are right to support development aligned with the Place Type Vision. We will not allow development that impedes, precludes, or compromises our ability to achieve our Vision.
- **LU-4.3 Infrastructure Timing.** We require that the necessary infrastructure and services be in place prior to or concurrently with development.
- **LU-4.4 Shared Infrastructure.** We encourage and facilitate the use of shared infrastructure (including shared or managed parking) in urban, mixed use, and transit-oriented Place Types.

Housing Element

Goal H-2 Housing Supply & Diversity

Diversity of types of quality housing that are affordable to a range of household income levels, accommodate changing demographics, and support and reinforce the economic sustainability of Ontario.

- **H-2.1 Corridor Housing.** We revitalize transportation corridors by encouraging the production of higher density residential and mixed-uses that are architecturally, functionally, and aesthetically suited to corridors.

- **H-2.5 Housing Design.** We require architectural excellence through adherence to City design guidelines, thoughtful site planning, environmentally sustainable practices, and other best practices.
- **H-2.6 Infill Development.** We support the revitalization of neighborhoods through the construction of higher-density residential developments on underutilized residential and commercial sites.

Goal H-3 Governmental Regulations

A City regulatory environment that balances the need for creativity and excellence in residential design, flexibility and predictability in the project approval process, and the provision of an adequate supply and prices of housing.

- **H-3.2 Flexible Standards.** We allow flexibility in the application of residential and mixed-use development standards in order to gain benefits such as exceptional design quality, economic advantages, sustainability, or other benefits that would otherwise be unrealized.

Environmental Resources Element

Goal ER-1 Water & Wastewater

A reliable and cost-effective system that permits the City to manage its diverse water resources and needs.

- **ER-1.4 Supply-Demand Balance.** We require that available water supply and demands be balanced.
- **ER-1.6 Urban Run-off Quantity.** We encourage the use of low impact development strategies, including green infrastructure, to intercept run-off, slow the discharge rate, increase infiltration, and ultimately reduce discharge volumes to traditional storm drain systems.
- **ER-1.7 Urban Run-off Quality.** We require the control and management of urban run-off, consistent with Regional Water Quality Control Board regulations.
- **ER-1.8 Wastewater Management.** We require the management of wastewater discharge and collection consistent with waste discharge requirements adopted by the Regional Water

Quality Control Board.

Goal ER-3 Energy

Cost-effective and reliable energy system sustained through a combination of low impact buildings, site and neighborhood energy conservation, and diverse sources of energy generation that collectively helps to minimize the region's carbon footprint.

- **ER-3.3 Building and Site Design.** We require new construction to incorporate energy efficient building and site design strategies, which could include appropriate solar orientation, maximum use of natural daylight, passive solar, and natural ventilation.

Goal ER-4 Air Quality

Improved indoor and outdoor air quality and reduced locally generated pollutant emissions.

- **ER-4.1 Land Use.** We reduce GHG and other local pollutant emissions through compact, mixed use, and transit-oriented development and development that improves the regional jobs-housing balance.

Community Economics Element

Goal CE-1 Complete Community

A complete community that provides for all incomes and stages of life.

- **CE-1.6 Diversity of Housing.** We collaborate with residents, housing providers, and the development community to provide housing opportunities for every stage of life; we plan for a variety of housing types and price points to encourage the development of housing supportive of our efforts to attract business in growing sectors of the community while being respectful of existing viable uses.
- **CE-1.7 Retail Goods and Services.** We seek to ensure a mix of retail businesses that provide the full continuum of goods and services for the community.

Goal CE-2 Placemaking

A City of distinctive neighborhoods, districts,

corridors, and centers where people choose to be.

- **CE-2.1 Development Projects.** We require new development and redevelopment to create unique, high-quality places that add value to the community.
- **CE-2.2 Development Review.** We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional, and sustainable places that will compete well with their competition within the region.

Safety Element

Goal S-1 Seismic & Geologic Hazards

Minimized risk of injury, loss of life, property damage, and economic and social disruption caused by earthquake-induced and other geologic hazards.

- **S-1.1 Implementation of Regulations and Standards.** We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.
- **S-1.2 Entitlement and Permitting Process.** We follow state guidelines and the California Building Code to determine when development proposals must conduct geotechnical and geological investigations.

Goal S-2 Flood Hazards

Minimized risk of injury, loss of life, property damage and economic and social disruption caused by flooding and inundation hazards.

- **S-2.5 Stormwater Management.** We maintain the storm drain system to convey a 100-year storm, when feasible, and encourage environmental site design practices to minimize flooding and increase groundwater recharge, including natural drainage, green infrastructure, and permeable ground surfaces.

Goal S-3 Fire & Rescue Hazards

Reduced risk of death, injury, property damage and economic loss due to fires, accidents and normal everyday occurrences through prompt

and capable emergency response.

- **S-3.1 Prevention Services.** We proactively mitigate or reduce the negative effects of fire, hazardous materials release, and structural collapse by implementing the regularly adopted California Fire Code and California Building Code.
- **S-3.8 Fire Prevention through Environmental Design.** We require new development to incorporate fire prevention consideration in the design of streetscapes, sites, open spaces, and buildings.

Goal S-4 Noise Hazards

An environment where noise does not adversely affect the public's health, safety, and welfare.

- **S-4.1 Noise Mitigation.** We utilize the City's Noise Ordinance, building codes, and subdivision and development codes to mitigate noise impacts.

Goal S-5 Wind-Related Hazards

Minimize the risk of injury, property damage, and economic loss resulting from windstorms and wind-related hazards.

- **S-5.1 Dust Control Measures.** We require the implementation of Best Management Practices for dust control at all excavation and grading projects.

Goal S-7 Law Enforcement

Residential neighborhoods, commercial areas, and industrial districts that are kept safe through a multi-faceted approach of prevention, suppression, and community involvement in public safety.

- **S-7.4 Crime Prevention through Environmental Design (CPTED).** We require new development to incorporate CPTED in the design of streetscapes, sites, open spaces, and buildings.

Community Design Element

Goal CD-1 Image & Identity

A dynamic, progressive city containing distinct and complete places that foster a positive sense of identity and belonging among residents, visitors, and businesses.

- **CD-1.2 Place Types.** We establish Place Types in urban, mixed use, and transit-oriented areas to foster the City's identity as a premier community and require new development within each Place Type to incorporate prescribed urban patterns, forms, and placemaking priorities.

Goal CD-2 Design Quality

A high level of design quality resulting in neighborhoods, commercial areas, public spaces, parks, and streetscapes that are attractive, safe, functional, human-scale, and distinct.

- **CD-2.1 Quality Building Design and Architecture.** We encourage all development projects to convey visual interest and character through:
 1. Building volume, massing, and height to provide context-appropriate scale and proportion;
 2. A true architectural style which is carried out in plan, section, and elevation through all aspects of the building and site design and appropriate for its setting; and
 3. Exterior building materials that are articulated, high quality, durable, and appropriate for the architectural style.
- **CD-2.4 Urban, Mixed Use, and Transit-oriented Areas.** We establish Place Types to require mixed use, urban, and transit-oriented areas to be designed and developed as pedestrian oriented areas that are integrated with adjacent neighborhoods and promote a vibrant, comfortable, and functional environment, as defined for each Place Type.
- **CD-2.7 Sustainability.** We collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping, and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials, and construction techniques.

- **CD-2.8 Safe Design.** We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintaining visibility and accessibility, and using lighting.
- **CD-2.9 Landscape Design.** We encourage durable, sustainable, and drought-tolerant landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.
- **CD-2.13 Entitlement Process.** We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

Goal CD-3 Urban, Mixed Use, and Transit-Oriented Place Types

Vibrant urban environments that are organized around intense buildings, pedestrian and transit areas, public plazas, and linkages between and within developments that are conveniently located, visually appealing and safe during all hours.

- **CD-3.1 Unique Identity.** We promote development that heightens the unique character and identity of each Place Type by requiring compatible land uses and land planning, site design, and building design that promotes an active public realm.
- **CD-3.4 Context-Aware and Appropriate Design.** We require appropriate building and site design that complements existing development, respects the intent and identity of the Place Type, and provides appropriate transitions and connections between adjacent uses to ensure compatibility of scale, maintain an appropriate level of privacy for each use, and minimize potential conflicts.
- **CD-3.5 Active Frontages.** We create lively pedestrian streetscapes by requiring primary building, business, and residential entrances, outdoor dining, and storefronts be located on ground floors adjacent to sidewalks or public spaces and designed to maximize safety, comfort, aesthetics, and the intended functionality (as defined by the Place Type).

CD-3.1 Unique Identity



CD-3.4 Context Aware and Appropriate Building Design



CD-3.5 Active Frontages



CD-3.6 Managed Infrastructure



2.2 Euclid Avenue (EA) Overlay District and Historic Resources

The EA Overlay zoning district was established to recognize, protect, and enhance the visual character and quality of Euclid Avenue as a major scenic and historic resource in Ontario as well as its position on the National Register of Historic Places. Properties located within the EA require approval of a Certificate of Appropriateness to ensure no adverse impacts to designated historic resources occur as a result of new development and buildings. This PUD includes design criteria within Chapter 5 for site and building design that strengthen the overall character of Euclid Avenue.

The public right-of-way of Euclid Avenue from Philadelphia Street northward to the Interstate 10 was designated as Local Landmark No. 67 on January 16, 2001 by the Ontario City Council. On August 10, 2005, the public right-of-way of Euclid Avenue from Philadelphia Street in Ontario northward to 24th Street in Upland was listed on the National Register of Historic Places as a significant cultural landscape. One contributing

character defining-feature of the right-of way is the 60-foot-wide median separating the north/southbound vehicular lanes of Euclid Avenue. This PUD does not propose to alter or affect this character-defining feature.

Although the parcels within this PUD have Euclid Avenue frontage, the location of this PUD is separated from the southern boundary (Philadelphia Street) of this Local Landmark/National Register of Historic Places designation by a distance of approximately 0.4 miles. The extended view of the Euclid Avenue corridor, when viewed northward from the parcels or southward towards the parcels of this PUD, is also visually disrupted within the immediate foreground view as a result of the Pomona Freeway (SR-60), which is elevated above Euclid Avenue. Additionally, this PUD is separated from the closest boundary of an historic district, the Downtown Historic District, by a distance of approximately three miles. Based upon the City's Historic Preservation records, there are no potential or proposed historic resources within the immediate surrounding area of the parcels within this PUD.



Historic Euclid Avenue

2.3 Euclid / Walnut PUD Objectives

The Euclid/Walnut PUD establishes a set of planning and design principles, development regulations, and performance standards to guide and govern the development of a defined project site. This PUD will facilitate redevelopment of the project site with structures and related improvements that support residential and non-residential land uses within the same project site. In addition to facilitating achievement of many City goals and policies as outlined herein, this PUD has the following objectives:

- Develop and provide new, high-quality rental housing combined with a mixed-use component.
- Provide transition between new mixed-use development and surrounding residential neighborhoods and commercial properties.
- Provide areas of private and passive open space for each residential unit, as well as community gathering and active open spaces.
- Promote development that is consistent with the MU-NH – Mixed Use Neighborhood Activity Hub land use designation.
- Promote revitalization of commercial uses on the project site by establishing new ground-floor retail and similar uses that serve on-site residents and those in surrounding neighborhoods.
- Provide outdoor gathering places adjacent to commercial storefronts, such as outdoor patio or bench seating with inviting/attractive landscape elements.
- Orient non-residential, ground-floor uses towards Euclid Avenue.
- Incorporate site design solutions to allow for phased development.
- Satisfy the build-out projections for residential dwelling units within the MU-NH (Euclid-Walnut) sub-area, as defined in TOP 2050.



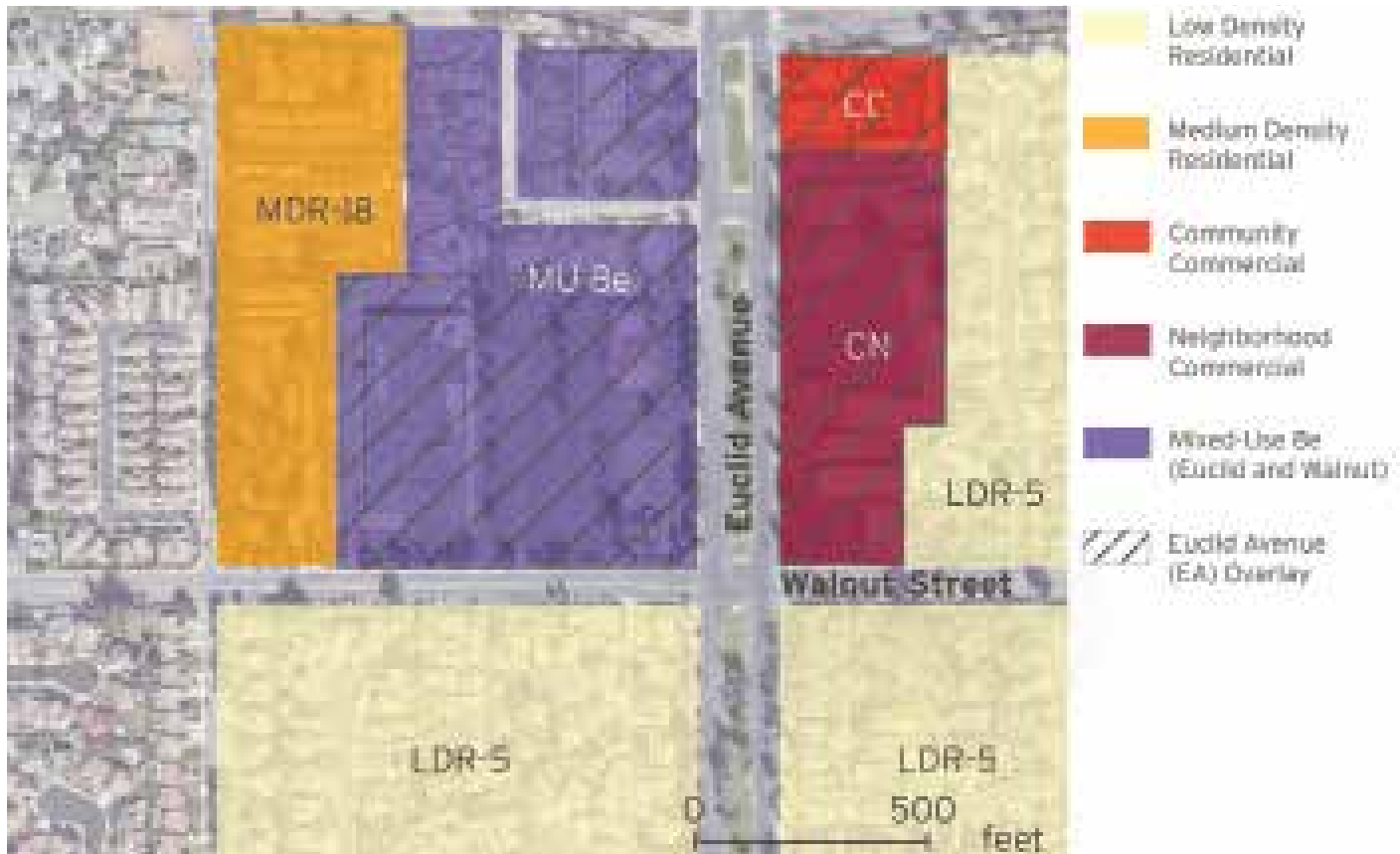
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Land Use Plan

3.1 Land Use and Zoning

The Euclid/Walnut PUD applies to the parcels shown on Exhibit 3-1: Land Use/Zoning Map. The map establishes a single zoning district of PUD - Planned Unit Development providing for a mix of commercial and residential uses consistent with TOP 2050 MU-NH land use designation. This PUD allows both horizontal and vertical mixed-use development in buildings of three and four stories. Buildings with direct Euclid Avenue frontage will contain ground-floor commercial uses and residential units directly above. All other buildings will contain residential units on all floor levels. A combination of garages, tandem spaces, carports, and surface parking spaces will be provided, with gated access limited to residents and residents' guests. Unrestricted access to surface-level parking will serve the commercial uses and provide additional resident guest parking spaces. Residents will enjoy a low-maintenance, urban lifestyle with conveniently located shopping, dining, and personal service businesses in combination with convenient access to established transportation routes and employment hubs.

Exhibit 3-1: Land Use/Zoning Map



3.2 Phasing and Building Out

Implementation of the land use plan and the build-out allowable under this PUD will be achieved through two redevelopment phases. Exhibit 3-2: Phase 1 Conceptual Site Plan illustrates the development plan for the initial phase.

The first phase will retain the fast-food, drive-through restaurant use, occupying an approximately 4,100-square-foot building and its related site improvements. The remaining area within the boundaries of this PUD will be developed with two four-story buildings and six three-story buildings, providing a combined total of 346 dwelling units, 5,400 square feet of ground-floor commercial space, associated on-site parking areas for both residential and non-residential land uses, and landscaping and recreational amenities for residents¹.

The second phase will implement the full build-out of the PUD area with demolition of the restaurant and related site improvements; replacing them with an additional mixed-use, four-story building. Completion of the second phase will provide up to an additional 23 dwelling units and up to an additional 6,600 square feet of ground-floor commercial space, plus associated site improvements.

This PUD, inclusive of all development standards and requirements, applies to both phases. Ultimate build-out will result in a maximum of 369 dwelling units and approximately 12,000 square feet of commercial land uses.

1. Demolition of approximately 100,950 square feet of older commercial buildings will occur before project construction proceeds.

Exhibit 3-2: Phase 1 Conceptual Site Plan



3.3 Permitted Uses

Table 3-1: Permitted Uses lists the allowable land use, activity, or facility permitted within this PUD. A land use that is not listed shall be considered a prohibited land use unless otherwise allowed by the Zoning Administrator in accordance with the requirements and procedures outlined in the ODC. The land uses established in this table are consistent with those listed uses and land use definitions of the ODC. The ODC relies upon the North American Industry Classification System (NAICS) for non-residential land uses, utilizing the NAICS website definitions for each business establishment classification. The “Notes or ODC Regulations” column provides reference to the location of any specific regulations, operating conditions, and/or development standards applicable to the corresponding land use, activity, or facility; as well as exception to any standards or requirement as modified within this PUD. The “Permit Type” column symbols shall have the same meaning and utilize the same permit type, process, and approvals as contained in the ODC.

Table 3-1: Permitted Uses		
Land Uses, Activities, and Facilities	Permit Type “P” - Permitted by Right “C” - Conditional Use Permit “A” - Administrative Use Permit	Notes or ODC Regulations
Residential		
Accessory Dwelling Units	P	ODC Section 5.03.010
Animal Keeping (accessory) Household Pets - 4 or fewer pets	P	
Community Gardens (accessory)	A	ODC Section 5.03.410
Home Occupation (accessory)	A	ODC Section 5.03.240
Multiple-Family Dwellings	P	
Mixed Uses		
Residential Mixed-Use Developments	P	ODC Section 5.03.285
Non-Residential Uses - Limited to Ground Floor and Euclid Avenue Frontage		
Alcoholic Beverage Sales (off-premise)	C	ODC Section 5.03.025
Art Dealer	P	
Clothing, Shoes and Jewelry Store	P	
Consignment Shop	P	
Convenience Store	P	
Document Preparation Services	P	
Drycleaning and Laundry Services - Limited to Drop-off and Pick-up	P	Drive-thru prohibited
Electronics and Appliance Store	P	ODC Section 5.03.175
Finance and Insurance Services	P	Check Cashing, Advanced Payday, and Pawnshops prohibited

Table 3-1: Permitted Uses

Land Uses, Activities, and Facilities	Permit Type "P" - Permitted by Right "C" - Conditional Use Permit "A" - Administrative Use Permit	Notes or ODC Regulations
Florist	P	
Furniture and Home Furnishings Store	P	ODC Section 5.03.210
General Merchandise Store	P	
Health and Personal Care Store	P	
Investigative and Security Services	P	
Office Administrative Support Services	P	
Office Supplies, Stationary and Gift Store	P	
Personal and Household Goods Repair	P	
Personal Care Services With Massage Services	P A	ODC Section 5.03.270
Personal Fitness Training Studio	P	Limited to 10,000 sq. ft.
Pet Supply Store	P	Animal Sales prohibited
Pharmacies and Drug Store	P	Drive-thru prohibited
Police Storefront/Community Services	P	
Private Mail Centers and Postal Supply	P	
Professional and Technical Services	P	Limited to non-medical
Real Estate, Rental, and Leasing Services	P	
Restaurants, Fast Food With Drive-Thru	P P	ODC Section 5.03.150
Restaurants, Limited Service With Alcoholic Beverage Sales With Live Entertainment	P C C	ODC Section 5.03.025 ODC Section 5.03.257
Restaurants, Snack and Nonalcoholic Beverage Bar	P	
Specialty Food and/or Beverage Store With Alcoholic Beverage Sales	P C	ODC Section 5.03.025
Sporting Goods, Hobby, Book, and Music Store	P	
Supermarket and Grocery Store	P	
Travel Arrangement Services	P	

4

Development Regulations

This section sets forth standards that govern the placement, height, and bulk of permitted buildings and other structures; establishes locational criteria for vehicular access to development sites; establishes parking and loading requirements; and specifies minimum requirements for recreational amenities for residential uses. Unless otherwise modified herein, development within this PUD shall comply with the ODC standards and requirements as may apply generally to Multiple-Family Dwellings and Commercial development, as determined appropriate by the Director. Table 4-1: Summary of Development Standards provides an at-a-glance reference to the regulations for the various standards, and is to be used in combination with the descriptions and specific criteria listed for each of the standards.

4.1 Intensity

The intensity of non-residential development shall not exceed a maximum 0.5 floor area ratio (FAR) based upon the net site area. The calculation shall be derived by dividing the gross square footage of the commercial space of the vertical mixed use buildings by the net site area. In determining FAR, this square footage should not include indoor common amenity space or other interior square footage serving the residential land uses.

4.2 Density

The density of residential development shall not exceed a maximum 40 dwelling units per acre based upon the net site area. In no case shall the total number of residential units exceed 369 units upon build-out of Phase 2.

4.3 Building Envelope

- a. Non-residential land uses shall be on the ground-floor level of vertical mixed-use buildings.
- b. Residential dwelling units may be located on any floor level.
- c. The height of four-story buildings shall not exceed 60 feet. The height of three-story buildings shall not exceed 50 feet. Height shall be measured as specified in the ODC and is inclusive of architectural projections.
- d. Any rooftop mechanical venting or communications equipment shall be built within or otherwise screened by the roof structure so that they do not project above parapets and are not visible from any public right of way, or neighboring building.
- e. The location of vertical mixed-use buildings shall be limited to buildings with frontage along Euclid Avenue.
- f. The building edge along Euclid Avenue may vary. It may occur a minimum of 10 feet behind the public right-of-way line or at a point that allows for up to two parking bays

served by a drive aisle, up to a maximum building setback of 80 feet.

- g. The building edge along Walnut Street shall provide a minimum setback of 10 feet.
- h. Building setbacks shall be measured from the ultimate property lines or ultimate right-of-way width, whichever is greater.
- i. Placement of buildings and structures shall conform with other specifications of Table 4-1: Summary of Development Standards.
- j. Any yard areas provided between the buildings and the right-of-way may be finished with hardscape, including walls/fences, or landscape.

4.4 Vehicle Access

Vehicular access from any public right-of-way shall be limited to two locations along Euclid Avenue and a maximum of three locations along Walnut Street, as approved by the City Engineer.



4.5 Parking Facilities, Supply, and Design

On-street parking on Euclid Avenue and Walnut Street adjacent to this PUD shall not be allowed.

- a. Non-residential uses shall be provided with parking at a minimum ratio of one parking space per 250 gross square feet of building area. Such parking shall be located on site, and shall be accessible during operating hours of the businesses being served.
- b. Residential uses shall be provided with parking at a minimum ratio of 1.2 parking spaces per bedroom in each dwelling unit, inclusive of providing guest or unassigned parking spaces. Resident parking shall be located on site, and may have access restricted by gated entrance. Resident parking for each dwelling unit or guests of that dwelling unit may be provided within a garage space, as a tandem space, within a carport, as surface level parking, or in combination. Tandem spaces are restricted to those directly in front of a garage door and shall be assigned to the same dwelling unit as the garage space.
- c. A parking management plan shall be submitted for the Planning Director approval prior to the issuance of building permits. The plan shall address the assignment, distribution, and functionality of all parking spaces among the various uses, including the use of non-residential spaces providing overflow resident guest spaces when businesses are closed.
- d. Parking spaces shall not obstruct access to building entrances, pedestrian paths, trash storage areas, or loading areas.
- e. Parking space dimensions, drive aisles, etc. shall generally conform to the standards set forth in the ODC unless modified herein.

4.6 Residential Open Space and Common Amenities

Open space for the residential component shall be provided at a minimum ratio of 250 square feet per dwelling unit. Such space can be a combination of residential private open space and common amenities, subject to the following:

- a. A minimum of 50 square feet of individual private open space, in the form of balcony or patio area directly accessible from the interior of each dwelling unit, shall be provided. Individual balcony or patio areas shall have a minimum dimension for length and width of five feet.
- b. Common amenities shall be provided at the minimum ratio of 175 square feet per dwelling unit. This may include a combination of passive and active, indoor and outdoor spaces, roof-top or upper floor decks, as well as landscaped and hardscaped ground surfaces providing paseos between or adjacent to buildings. Up to 15 percent of the overall common amenity square footage may consist of indoor area and be grouped into a single building that is accessible to all residents. Such indoor area shall provide opportunities for fitness, lounge/gathering space, business/mail center, and similar amenities. The remaining common amenities provided shall be in the form of outdoor common areas consisting of both programmed and unprogrammed spaces. Programmed space may provide specific amenities: such as a dog park, seating/conversational areas, outdoor cooking facilities with table seating areas, etc. Unprogrammed space may provide passive use such as landscaped paseos.

4.7 Service Facilities

Service areas and facilities shall comply with the following:

- a. Loading and unloading in proximity to both the residential and non-residential uses shall be addressed as part of the parking management plan submitted to the Planning Director to ensure coordination of operational hours and occupancy/vacancy of parking areas.
- b. Trash receptacles/recyclable container storage areas shall be provided for all residential and non-residential uses. Such receptacle/storage area may receive trash from commercial and residential sources. Locations, sizes, and design of such areas shall be readily accessible by trash disposal company equipment and work crews, as approved by the Planning and Public Works Directors, in consultation with the trash disposal vendor.
- c. Individual storage units shall be provided for the occupants of each dwelling unit, exclusive of any closets in the units. The total amount of cubic feet provided shall average 150 cubic feet per dwelling unit.

4.8 Signs

A Master Sign Program shall be submitted for approval by the Planning Director prior to issuance of a building permit to provide design and standards applicable to both residential and non-residential land uses within this PUD. The program will include specific sign criteria for gated access points. All signs shall comply with standards in the ODC. Any signage within the Euclid Avenue Caltrans right-of-way will require Caltrans review and approval.

4.9 Landscape/Hardscape

- a. A detailed plan shall be submitted with the Development Plan specifying all landscape and hardscape elements of the residential open space and common amenities, as well as the perimeter yards abutting the street rights-of-way and all street trees.
- b. Water conservation shall be provided through low water using plant materials, hydro zones, water efficient irrigation and weather-based controllers as required by City codes. Landscaped areas may be used for storm water infiltration through vegetated swales, retention basins, or dry wells as needed with the use of appropriate planting materials.
- c. The landscape design shall generally satisfy the requirements of the Landscape Development Standards outlined in the ODC and shall create well-functioning spaces within a sustainable design utilizing materials as provided in Table 5-1: Master Plant Palette.
- d. Within parking areas, the following landscape areas and standards apply:
 1. For each row of parking spaces located within the restricted access (gated) parking areas, planter islands of at least six feet in width that extend the full length of the abutting parking space shall be located at a minimum rate of every 15 spaces. This rate shall be increased to every 10 spaces for parking areas with unrestricted access and/or adjacent to Euclid Avenue.
 2. Tree wells, tree diamonds, or center planter strips shall be provided to allow for the planting of shade trees at a minimum ratio of one tree for each five parking spaces. Tree wells shall not have a minimum dimension less than five feet.
 3. All landscape planters within parking areas shall be delineated with a six-inch-wide curb regardless of parking space configuration. The use of a 12-inch-wide curb may be provided to allow for a "step area" in circumstances where there is increased frequency of passengers exiting or entering a vehicle.



4. Bordering the Euclid Avenue frontage, a minimum 10 foot in depth planter area shall be provided between the public right-of-way and a parking space oriented perpendicular to the right-of-way.
5. A minimum 20-foot deep planter area shall be provided at a driveway between any public right-of-way to the first parking space to allow for a minimum 20-foot drive aisle throat.
- f. Street trees shall comply with the variety, size, and spacing as directed by the City of Ontario Master Street Tree Plan.

4.10 Fences and Walls

- a. Fences and walls shall be an integral design or compatible with the building architecture and shall comply with the height and materials shown in Exhibit 5-6: Fence/Wall Concepts.
- b. Fences and walls may be setback zero feet from property lines except where such fence or wall is required to comply with Engineering Corner Sight Distance Standards and other applicable standards.
- c. Decorative walls, monuments, and/or other similar features shall not encroach into the public right-of-way.

4.11 Public Right-of-Way Improvements

As determined by the City Engineer, design and construction of any street improvements adjacent to the property frontage of Euclid Avenue and Walnut Street shall be conditioned and may include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, and parkway landscaping. Any improvements within the Euclid Avenue Caltrans right-of-way will require Caltrans review and approval.

4.12 Infrastructure

The parcels within the boundary of this PUD shall be served by existing water lines and wastewater flows and/or upgraded to satisfy the required capacities as determined by the City and its service purveyors/agencies, including the Fire Department.

On-site stormwater drainage facilities shall be provided consistent with the San Bernardino County Stormwater Program's Water Quality Management Plan (WQMP) requirements for new development projects. Stormwater capture and infiltration facilities may include the utilization of vegetated swales, depressed landscaped basins, pervious concrete pavement, and/or underground stormwater retention/infiltration vaults.

The parcels within the boundary of this PUD are considered a Priority Land Use (PLU). A PLU shall comply with the statewide Trash Provisions adopted by the State Water Resources Control Board (SWRCB) and trash requirements in the most current San Bernardino County Area-Wide MS4 Permit. Drainage from the PLU shall be designed with conveyance tributary to a Full Trash Capture System which has been approved by the SWRCB.

4.13 Summary of Development Standards

Table 4-1: Summary of Development Standards provides the quantitative development standards set forth in previous Sections 4.1 through 4.12 and any additional requirements for development within this PUD.

Table 4-1: Summary of Development Standards		
Development Standard	Requirement	Notes
Maximum Intensity - Floor Area Ratio	0.50 FAR	Gross building square footage of commercial space
Density Range - Minimum and Maximum	20.1 - 40	Up to a maximum of 369 dwelling units
Maximum Building Height by Number of Stories Four Stories Three Stories	60 ft. 50 ft.	Inclusive of architectural projections and equipment screening
Building Setbacks - From Right-of-Way	10 ft. minimum	
Setbacks - Interior Property Line Buildings Adjacent to Residential Buildings Adjacent to Non-Residential Carport or Trash Enclosure	50 ft. minimum 5 ft. minimum 5 ft. minimum	
Building Separation Building to Building Building to Drive Aisle or Parking Areas Building to Carport Patio to Patio	25 ft. minimum 5 ft. minimum 25 ft. minimum 15 ft. minimum	Individual driveway depth limited to 5 ft. or less, or 18 ft. or more
Minimum Number of Parking Spaces Ratio for Residential Uses Ratio for Non-Residential Uses	1.2 spaces/bedroom 1 space/250 sq. ft.	Inclusive of guest spaces
Residential Open Space and Common Amenities - Combined Minimum Ratio Minimum Private Open Space Ratio Minimum Common Amenity Ratio	250 sq. ft./du 50 sq. ft./du 175 sq. ft./du	5 ft. minimum width and length 15% maximum indoor
Residential Storage Units	150 cubic feet/du minimum	Does not include closets or cabinets interior to the unit

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5

Design Criteria

New development implemented under this PUD will generate new uses and design aesthetics in a way that fulfills many of the design goals and policies discussed previously in Chapter 2. The Community Design Element in TOP 2050 outlines specific “Place Types”; this PUD is categorized under Place Type 8e, which is considered “Neighborhood Center – Infill” type development, where the commercial and residential parcels were largely developed in an incremental manner prior to 2020. Redevelopment could result in either horizontal or vertical mixed use and are envisioned to incorporate site design that prioritizes safe, attractive, and well-shaded pedestrian access from the public rights-of-way and adjacent neighborhoods.

The parcels within this PUD site do not contain significant buildings, structures, or locations subject to historic preservation. While the first phase of development retains an existing fast-food restaurant structure, this building is not considered historic. The new infill development will include architecture that creates a dynamic visual environment and increases the pedestrian experience. The design criteria for the buildings provide articulation, dynamic materials and colors, and avoid bulky and monotonous elevations. Street trees and landscaped street-facing setback areas will provide opportunities to frame the street, create a pleasant pedestrian pathway, and minimize the building bulk from the public right-of-way.

The following sections provide guidance to City staff and private developers in the design of buildings, yards, and streets. Variations from strict interpretation of the standards are permitted, provided that the integrity of the urban design is not compromised. The following criteria shall be incorporated into the Development Plan for each phase of this PUD, subject to final interpretation by the Planning Commission.

5.1 Building Orientation

- a. Buildings along Euclid Avenue shall provide storefronts that invite pedestrian activity.
- b. Architectural focal treatments such as taller elements, textured surfaces, and unique fenestration shall be provided on frontage facing public streets.
- c. Buildings located at the street corner shall be designed to incorporate architectural features that respond to the corner location by having directed entries and/or tower elements.
- d. Multiple shop entrances and display windows with clear glazing, shall be provided along Euclid Avenue facades.

5.2 Access and Parking Facilities

- a. Vehicular access and on-site parking shall be designed to reduce visual impact along Euclid Avenue and Walnut Street.
- b. On-site parking facilities serving non-residential uses shall be readily accessible, screened, and separated from the public right-of-way views with landscaping, including shade trees.
- c. On-site parking facilities serving residential uses may be located behind gated ingress/egress points. Gate access points from Euclid Avenue shall be set back to allow stacking of at least two vehicles, with sufficient space configured to allow a vehicle to turn around without backing into the street. The primary entry gate serving residential uses shall be designed to be easily recognizable to visitors.
- d. Carports and individual garage entries shall be designed to be compatible with the building architecture and use similar colors, materials, and details.

5.3 Service Facilities

- a. Service, loading and, storage facilities shall be located away from public streets, outdoor spaces, and adjacent residential uses.
- b. Electrical equipment shall be located on the interior of a building. When interior locations are not practical, electrical equipment shall be enclosed and screened from public streets with walls, fencing, and/or landscaping that allows for sufficient ventilation, or buried in vaults.
- c. Service areas shall be screened and gated.
- d. All types of loading doors within view of public streets shall be screened with walls, berms, or plant materials.

5.4 Pedestrian Linkages

- a. Pedestrian pathways shall be designed and located for clear and comfortable on-site pedestrian circulation. Sidewalks and pedestrian paths shall provide convenient connections between storefronts, outdoor spaces, and parking, as well as portals to adjacent residential uses.
- b. Landscape paseos shall be used to reinforce pedestrian connections. For instance, attractive paving and planting design may identify and highlight these connections by establishing a visual separation between vehicular and pedestrian routes and provide passive open space opportunities for residents.

5.5 Architectural Character

- a. The architectural character shall reflect the various styles within the City and along Euclid Avenue and shall fit in contextually without matching. The use of complementing proportions, building details, and building materials shall be employed.
- b. Compatibility between the vertical and horizontal mixed-use architecture shall be achieved through the use of unifying elements such as similar materials and colors.
- c. A schematic illustration of acceptable architectural character is shown in Exhibit 5.1: Architectural Character - Vertical Mixed-Use, Exhibit 5-2: Architectural Character - Three Story Residential, and Exhibit 5-3: - Four Story Residential.

5.6 Massing & Scale

- a. Simple, yet varied massing shall be used, with wall openings that create shadow line and provide visual relief.
- b. Massing and height of corner elements shall be emphasized by using strong and identifiable building forms such as taller building mass, tower element, or cupola.
- c. Building increments shall employ various architectural devices such as changes in colors/finish material, horizontal breaks and offsets, upper building portion reflecting the same increment of articulation as the ground level, and use of trim and moldings at the top of facades that reflect the vertical massing of the building.
- d. Where buildings will be of varying heights, they shall be designed to promote transition in massing and avoid abrupt changes in scale within the development.

5.7 Articulation & Fenestration

- a. Buildings shall have three-dimensional qualities.
- b. The base and upper levels of a vertical mixed use building shall be differentiated with features for storefronts such as a bulkhead, display windows, and/or transom and detailed trim.
- c. Buildings shall be articulated on all sides. Fenestration, changes in wall plane, material, texture, color, etc. shall be used to create shadow lines and articulate building walls.
- d. Highly visible public entrances shall be provided where buildings are oriented towards Euclid Avenue to provide individual shop entrances featuring recesses, overhangs, special materials, and/or detailing.

Exhibit 5-1: Architectural Character — Vertical Mixed-Use



- A** PACER WHITE SW6098 (OR SIMILAR)
 - B** MYSTERIOUS MAUIVE SW6262 (OR SIMILAR)
 - C** STARRY NIGHT SW4540 (OR SIMILAR)
 - D** IRON ORE SW7047 (OR SIMILAR)
 - E** TRICORN BLACK SW4526 (OR SIMILAR)
 - F** HIGH REFLECTIVE WHITE SW7004 (OR SIMILAR)
- G** NAVEL SW6887 Bldg. A Accent Color
 - H** FORTUNA SW6907 Bldg. B Accent Color
 - I** CENTER STAGE SW6920 Bldg. C Accent Color

- 1** EXTERIOR PLASTER 20/30 SAND FINISH TO MATCH PAINT SPECS
- 2** FOAM TRIMS SHAPES AND SIZES WILL VARY TO MATCH PAINT SPECS F
- 3** FIBER CEMENT LAP SIDING SMOOTH TO MATCH PAINT SPECS C & D
- 4** FIBER CEMENT TRIM BOARDS SMOOTH TO MATCH PAINT SPEC F
- 5** ALUMINUM STOREFRONT PAINT SPEC E
- 6** METAL AWNING STYLE AND DESIGN MAY VARY TO MATCH PAINT SPEC E
- 7** FABRICATED METAL RAILING TO MATCH PAINT SPEC E
- 8** VINYL WINDOWS
- 9** STONE VENEER
- 10** METAL TRELLIS PAINT SPEC D

Exhibit 5-2: Architectural Character — Three-Story Residential



Exhibit 5-3: Architectural Character — Four-Story Residential



5.8 Architectural Details

- a. Architectural details shall be used to enhance a building's appearance at the base, eaves, parapets, and around entries and windows.
- b. Human-scaled details such as canopies and awnings, transparent windows and window displays shall be provided facing Euclid Avenue.
- c. Architectural features and details shall be an integral part of the building without an appearance of being "tacked on."

5.9 Storefronts

- a. Storefronts for each commercial establishment shall have a unifying architectural aesthetic, but may include alteration of exterior treatments on the individual frontage of the space where such modifications compliment the overall design quality of the development.
- b. Storefronts shall incorporate desirable building materials such as brick, stone, tile, exterior cement plaster, or fiber cement siding.
- c. Storefront glazing shall be clear glass to permit clear views into the interior space. The amount of such glass shall provide a balance between high visibility into the store interior and architectural quality.
- d. Entrance doors shall be of a traditional style and as transparent as possible.

5.10 Material & Colors

- a. Materials shall be those of permanence and quality and that unify a building's appearance on all sides.
- b. Materials and colors shall accentuate the architectural details of the building and promote visual harmony.
- c. To create visual interest, at least three different building materials shall be used.

5.11 Roof/Rooftop Equipment

- a. At least one break in roof plane shall be provided on each building
- b. Rooftop equipment, including ladders and antenna devices, shall be screened so as not to be visible from streets and adjacent buildings. Methods of rooftop screening should be integral to the building's form.

5.12 Non-Residential Outdoor Dining Areas

Outdoor dining areas adjacent to a ground-level eating or drinking establishment shall be oriented toward Euclid Avenue.

5.13 Residential Outdoor Space, Common Recreational Amenities

- a. Private balcony and/or patio enclosures shall consist of materials that are complementary to materials and colors used on the building elevations. Each balcony shall be oriented or enclosed sufficiently to increase privacy between balconies of adjacent units.
- b. Common outdoor spaces providing passive recreation shall include either shade elements and/or trees providing shade canopy.
- c. Indoor recreation/fitness/community facilities shall be of the same architectural style and materials that match or complement the primary building architecture with a layout as shown in Exhibit 5-4: Typical Common Recreational Amenity.
- d. Outdoor seating, tables and umbrellas, gazebos, barbecues, natural or artificial lawn area, and/or other place-making features that are provided shall be compatible with the architectural style of the buildings with a layout as shown in Exhibit 5-5: Typical Courtyard.

Exhibit 5-4: Typical Common Recreational Amenity



Exhibit 5-5: Typical Courtyard



5.14 Landscape / Hardscape Elements

- a. Landscaping elements shall contribute and complement the aesthetic quality and character of the public and private spaces.
- b. Table 5-1: Master Plant Palette shall guide the selection of materials for street trees, perimeter trees and shrubs, courtyard and common area trees, vines, screening and hedge plants, and groundcover.
- c. Landscaping shall be provided to define and enrich courtyards and walkways and shall include specimen trees of minimum size 24 inch box.
- d. Hardscaping shall be composed of decorative paving materials and patterns, rather than a single, continuous surface.
- e. Fences/walls shall complement the building materials similar to those depicted in Exhibit 5-6: Fence/Wall Concepts.

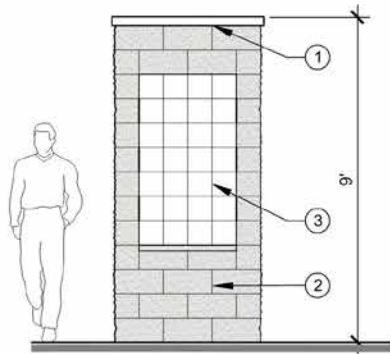
Table 5-1: Master Plant Palette

Botanical Name	Common Name	Minimum Size
Street Trees		
Grevillea robusta	Silk Oak (Euclid)	24" Box
Platanus wrightii	Arizona Sycamore	
Site Trees and Palms		
Quercus agrifolia	Coast Live Oak	48" Box
Platanus racemosa	California Sycamore	
Ulmus parvifolia 'True Green'	Evergreen Elm	
Koelreuteria paniculata	Golden Rain Tree	36" Box
Lagerstroemia hybrids 'Muskogee'	Crape Myrtle (Lavender)	
Chilopsis linearis	Desert Willow	
Aloe bainesii	Tree Aloe	24" Box
Arbutus 'Marina'	Strawberry Tree	
Cercis occidentalis	Western Redbud	
Platanus acerifolia 'Bloodgood'	London Plane Tree (anthracnose res.)	
Podocarpus gracilior	Fern Pine	
Quercus wislizeni	Interior Live Oak	
Tristania conferta	Brisbane Box	
Phoenix dactylifera	Date Palm	16' Brown Trunk Height

Table 5-1: Master Plant Palette

Botanical Name	Common Name	Minimum Size
Shrubs		
Agave 'Blue Flame'	Blue Flame Agave	5 Gallon
Agave desmettiana 'Variegata'	Variegated Dwarf Century Plant	
Alyogne huegelii 'MONleon'	Leon's Purple Delight Lilac Hibiscus	
Arbutus unedo 'Elfin King'	Elfin King Strawberry King	
Buxus microphylla japonica	Japanese Boxwood	1 Gallon
Calandrinia spectabilis	Rock Purslane	
Carex tumulicola	Foothill Sedge	
Carissa grandiflora 'Green Carpet'	Natal Plum	
Dianella revoluta 'DR5000'	Little Rev Flax Lily	
Dianella tasmanica 'Silver Streak'	Silver Streak Flax Lily	
Ilex crenata 'Sky Pencil'	Sky Pencil Ilex	
Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	
Lantana montevedensis 'Monma'	White Lightin' Lantana	1 Gallon
Ligustrum japonicum 'Texanum'	Wax Leaf Privet	5 Gallon
Lomandra longifolia 'LM300'	Breeze Dwarf Mat Rush	
Muhlenbergia capillaris 'Regal Mist'	Regal Mist Muhly	
Myoporum parvifolium	No Common Name	
Philodendron x 'Xanadu'	Dwarf Philodendron	5 Gallon
Pittosporum tobira	Tobira	
Podocarpus elongatus 'Monmal'	Icee Blue Yellow-Wood	
Prunus caroliniana 'Bright n' Tight'	Carolina Cherry	
Rhaphiolepis indica 'Clara'	Dwarf Indian Hawthorne	
Rhaphiolepis x. 'Montic'	Majestic Beauty Indian Hawthorne	
Rosa 'Flower Carpet var. Noatraum'	Pink Carpet Rose	
Rosa f. 'Ice Berg'	White Shrub Rose	5 Gallon
Trachelospermum asiaticum	Asian Jasmine	1 Gallon
Vines and Espaliers		
Clytostoma callistegioides	Violet Trumpet Vine	5 Gallon
Distictus buccinatoria	Blood Red Trumpet Vine	
Ficus pumila (repens)	Creeping Fig	1 Gallon
Parthenocissus tricuspidata	Boston Ivy	

Exhibit 5-6: Fence/Wall Concepts

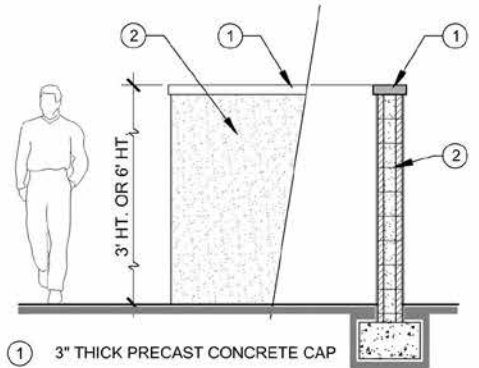


- ① 3" THICK PRECAST CONCRETE CAP
- ② 8x8x16 BURNISHED CMU WALL COLOR: TAN
- ③ PROJECT SIGN TILE INSET

4' SQ. PILASTER



SCALE: N.T.S.

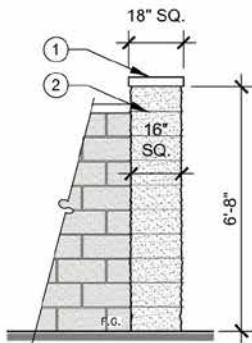


- ① 3" THICK PRECAST CONCRETE CAP
- ② 8" CMU BLOCK WALL W/ STUCCO FINISH COLOR: WHITE

3' HT. OR 6' HT. STUCCO WALL



SCALE: N.T.S.

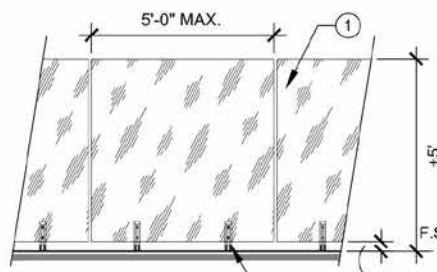


- ① 3" THICK PRECAST CONCRETE CAP
- ② 6x16x16 SPLIT FACE COLUMN BLOCK COLOR: TAN

16' SQ. PILASTER



SCALE: N.T.S.

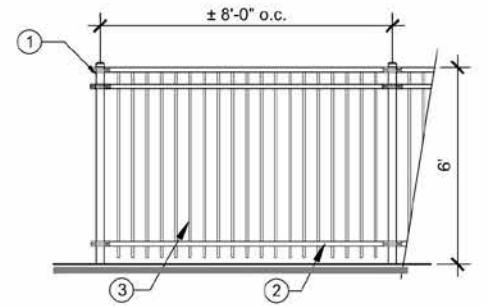


- ① POOL GLASS FENCE
- ② DAYTON RICHMOND DOWEL SPLICER SYSTEM

GLASS FENCE



SCALE: N.T.S.

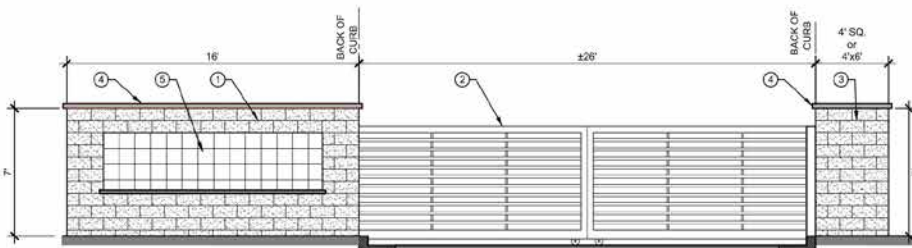


- ① 2" SQ. FENCE POST
- ② 2" SQ. TOP AND BOTTOM RAIL
- ③ 3/8" SQ. PICKETS @ 4" O.C. MAX. FENCE COLOR: BLACK

TUBULAR STEEL FENCE



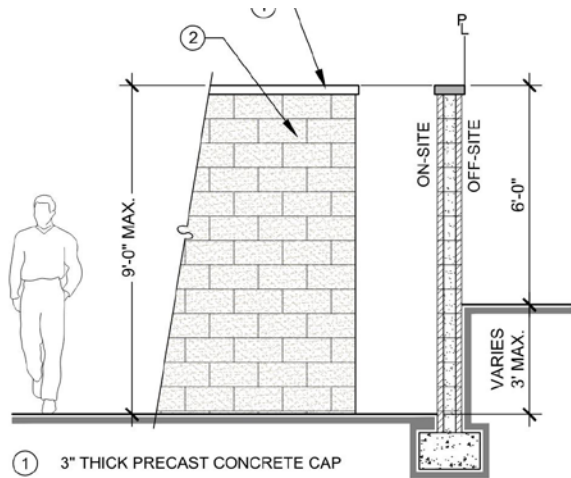
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- ① BURNISHED BLOCK SIGN WALL, COLOR: TAN
- ② SLIDING T.S. VEHICULAR GATE, COLOR: BLACK
- ③ BURNISHED BLOCK PILASTER, COLOR: TAN
- ④ 3" THICK PRECAST CAP, COLOR: NATURAL
- ⑤ PROJECT SIGN AREA W/ TILE BACKDROP

ENTRY GATE



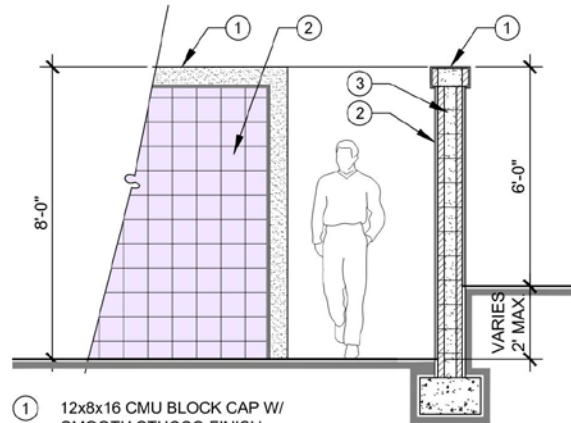


- ① 3" THICK PRECAST CONCRETE CAP
- ② 8x8x16 SPLIT FACE (2-SIDES) CMU WALL
COLOR: TAN

PERIMETER WALL



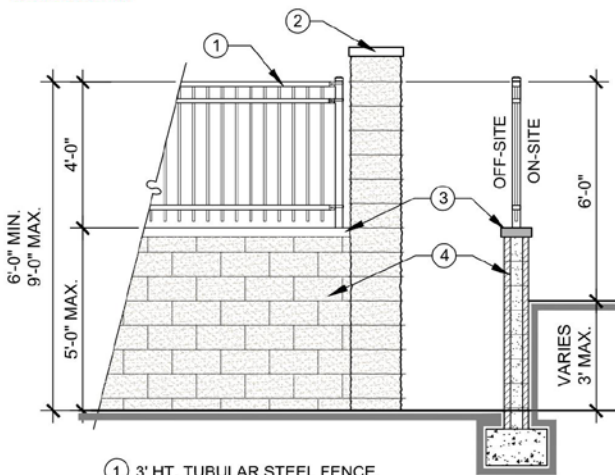
SCALE: N.T.S.



- ① 12x8x16 CMU BLOCK CAP W/
SMOOTH STUCCO FINISH
- ② DECORATIVE TILE VENEER
8" SQ. CEMENTINE TILE
- ③ 8x8x16 CMU BLOCK WALL W/
SMOOTH STUCCO FINISH
COLOR: WHITE

DECORATIVE STUCCO WALL

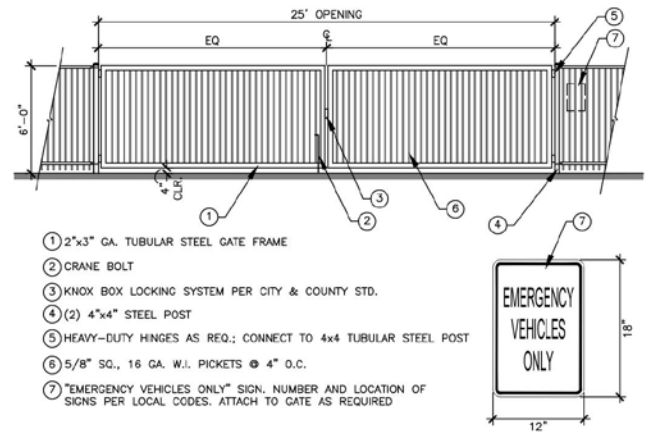
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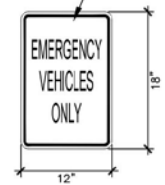
- ① 3' HT. TUBULAR STEEL FENCE
- ② 8X8X16 SPLIT FACE PILASTER
COLOR: TAN
- ③ 3" THICK PRECAST CONCRETE CAP
- ④ 6X8X16 SPLIT FACE CMU WALL
COLOR: TAN

SPLIT FACE COMBO WALL

SCALE: N.T.S.

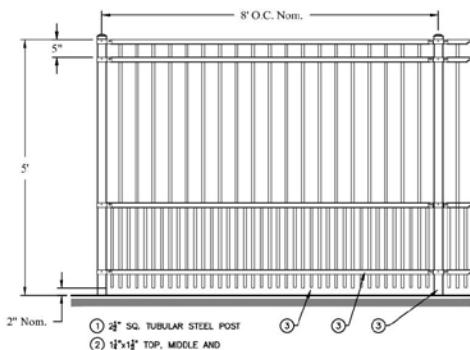


- ① 2"x3" GA. TUBULAR STEEL GATE FRAME
- ② CRANE BOLT
- ③ KNOX BOX LOCKING SYSTEM PER CITY & COUNTY STD.
- ④ (2) 4"x4" STEEL POST
- ⑤ HEAVY-DUTY HINGES AS REQ.; CONNECT TO 4x4 TUBULAR STEEL POST
- ⑥ 5/8" SQ., 16 GA. W.I. PICKETS @ 4" O.C.
- ⑦ "EMERGENCY VEHICLES ONLY" SIGN, NUMBER AND LOCATION OF
SIGNS PER LOCAL CODES, ATTACH TO GATE AS REQUIRED



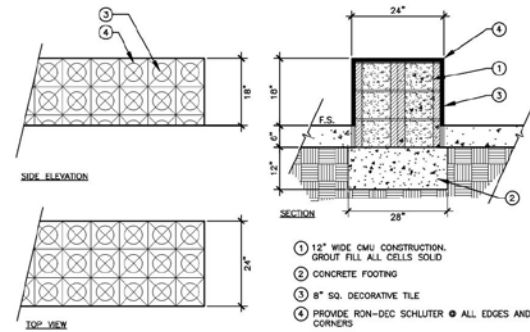
EVA GATE

SCALE: N.T.S.



DOG PARK FENCE

SCALE: N.T.S.



18" HT. DECORATIVE SEAT WALL

SCALE: N.T.S.

6

Administration

6.1 Items Not Addressed in PUD

Any terms not defined herein and any issues affecting the design and development of the subject project area not specifically addressed in this PUD shall be governed by the provisions of the ODC.

6.2 Development Plan and Other Applications

A Development Plan shall be submitted for each phase of this PUD for approval by the Development Advisory Board and the Ontario Planning Commission, pursuant to the requirements and procedures outlined in the ODC.

To ensure proper implementation of the EA Overlay district, an application for a Certificate of Appropriateness shall be submitted in conjunction with the Development Plan required for each phase of this PUD, pursuant to all requirements and procedures outlined in the ODC.

Lot line adjustments or the combining of parcels within this PUD shall comply with all requirements and procedures outlined in the ODC. Such actions may be conditioned for compliance as part of the Development Plan approval process.

6.3 Administrative Exceptions

Deviation from the development standards set forth in this PUD may be granted up to a maximum of 10 percent by the Zoning Administrator. Any deviation that is greater than 10 percent shall require Variance approval pursuant to the requirements and procedures outlined in the ODC.

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