



CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD

AGENDA

December 16, 2024

- ▶ **All documents for public review are on file in the Planning Department located in City Hall at 303 East “B” St., Ontario, CA 91764 and on the city’s website at ontarioca.gov/Agendas/DAB**

**MEETING WILL BE HELD AT 1:30 PM IN ONTARIO CITY COUNCIL CHAMBERS
LOCATED AT 303 East “B” St.**

Scott Ochoa, City Manager
Rudy Zeledon, Executive Director, Community Development Agency
Jennifer McLain Hiramoto, Executive Director, Economic Development
James Caro, Building Official
Henry Noh, Planning Director
Khoi Do, City Engineer
Chief Michael Lorenz, Police Department
Fire Marshal Paul Ehrman, Fire Department
Scott Burton, Utilities General Manager
Angela Magana, Community Improvement Manager

PUBLIC COMMENTS

Citizens wishing to address the Development Advisory Board on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to three minutes.

Please note that while the Development Advisory Board values your comments, the members cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.

AGENDA ITEMS

For each of the items listed below the public will be provided an opportunity to speak. The chairperson will open the public hearing. At that time the applicant will be allowed three (3) minutes to make a presentation on the case. Members of the public will then be allowed three (3) minutes each to speak. The Development Advisory Board may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.

CONSENT CALENDAR ITEMS

A. MINUTES APPROVAL

Development Advisory Board Minutes of November 18, 2024, approved as written.

PUBLIC HEARING ITEMS

- B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV24-012:** A public hearing to consider a Development Plan to construct a commercial building totaling 10,788 square feet on 4.12 acres of land, located at 2295 South Euclid Avenue, within the CC (Community Commercial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 1051-081-02) **submitted by M. Muneer Uddin.**

1. CEQA Determination

No action necessary – Exempt: CEQA Guidelines Section § 15332

2. File No. PDEV24-012 (Development Plan)

Motion to Approve / Deny

- C. ENVIRONMENTAL ASSESSMENT, DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT REVIEW FOR FILE NOS. PDEV24-007 AND PCUP24-005:** A public hearing to consider a Development Plan (File No. PDEV24-007) to construct a 950 square-foot commercial building on 0.56 acres of land, in conjunction with a Conditional Use Permit (File No. PCUP24-005), to establish a 950 square-foot drive-through coffee shop (Dutch Bros. Coffee) at 2951 South Euclid Avenue within the CN (Neighborhood Commercial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan. (APN: 1051-614-01) **submitted by Dutch Bros Coffee. Planning Commission action is required.**

1. CEQA Determination

No action necessary – Exempt: CEQA Guidelines Section § 15332

2. File Nos. PCUP24-005 & PDEV24-007 (Conditional Use Permit & Development Plan)

Motion to recommend Approval/Denial

If you wish to appeal a decision of the **Development Advisory Board**, you must do so within ten (10) days of the **Development Advisory Board** action. Please contact the **Planning Department** for information regarding the appeal process.

If you challenge any action of the **Development Advisory Board** in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the **Development Advisory Board** at, or prior to, the public hearing.

The next **Development Advisory Board** meets on **January 6, 2025**.

I, Gwen Berendsen, Administrative Assistant of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **December 12, 2024**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.



Administrative Assistant

CITY OF ONTARIO

Development Advisory Board

Minutes

November 18, 2024

BOARD MEMBERS PRESENT

Henry Noh, Chairman, Planning Department
James Caro, Building Department
David Bucholtz, Community Improvement
Khoi Do, Engineering Department
Paul Ehrman, Fire Department
Christy Stevens, Municipal Utilities Company
Heather Lugo, Police Department

BOARD MEMBERS ABSENT

Charity Hernandez, Economic Development Agency

STAFF MEMBERS PRESENT

Gwen Berendsen, Planning Department
David Eoff IV, Planning Department
Alexis Vaughn, Planning Department
Jocelyn Torres, Planning Department
Nathan Kuan, Engineering Department

Kim Ruddins, Planning Department
Edmelynne Hutter, Planning Department
Elly Antuna, Planning Department
Pablo De Lara, Community Development
Karen Khukoyan, Economic Development

PUBLIC COMMENTS

No person from the public wished to speak.

CONSENT CALENDAR ITEMS

- A. **APPROVAL OF MINUTES:** Motion to approve the minutes of the October 7, 2024, meeting of the Development Advisory Board was made by Mr. Bucholtz; seconded by Ms. Stevens; and approved unanimously by those present (7-0).

PUBLIC HEARING ITEMS

- B. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV23-020:** A public hearing to consider a Development Plan to construct a 45-foot-tall mono-eucalyptus wireless telecommunication facility (AT&T Mobility) and ancillary ground-mounted equipment on 4.6 acres located at 2713 South Grove Avenue, within the LDR-5 (Low Density Residential) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with

the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APN: 0216-441-61) **submitted by AT&T Mobility.**

Mr. Noh opened the public hearing.

John Silverman was present.

Mr. Noh asked if Mr. Silverman had reviewed and agreed with the conditions of approval.

Mr. Silverman stated he had reviewed and agreed with the conditions of approval.

As there was no one else wishing to speak on this item, Mr. Noh closed the public hearing.

Motion to approve **File No. PDEV23-020**, subject to the conditions of approval, was made by Mr. Ehrman; seconded by Ms. Lugo; and approved unanimously by those present (7-0).

- C. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV24-002**: A public hearing to consider a Development Plan to facilitate the construction of a new 68,421 square-foot, 3-story city services building, on approximately 1.2 acres of land generally located between B and D Streets on Sultana Avenue within the CIV (Civic) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan. (APN: 1048-545-16) **City Initiated.**

Mr. Noh opened the public hearing and stated the City of Ontario was the applicant.

Mr. Ehrman asked if the issue with the one-way street at the south end of the project had been worked out.

Associate Planner Antuna stated that a note had been added to the conditions of approval that it will be a one-way street only.

As there was no one else wishing to speak on this item, Mr. Noh closed the public hearing.

Motion to approve **File No. PDEV24-002**, subject to the conditions of approval, was made by Mr. Do; seconded by Mr. Caro; and approved unanimously by those present (7-0).

- D. **ENVIRONMENTAL ASSESSMENT AND TENTATIVE TRACT MAP REVIEW FOR FILE NO. PMTT23-002**: A public hearing to consider Tentative Tract Map No. 20572 to subdivide 77.2 acres of land into seven numbered lots and fourteen lettered lots, located at the northwest corner of Archibald Avenue and Ontario Ranch Road, within the PA-5 (Low-Density Residential, Medium-Density Residential, and School) land use district of The Avenue Specific Plan. Staff is recommending the adoption of an addendum to The Ontario Plan 2050 Subsequent Environmental Impact Report (File No. PGPA20-002, State Clearinghouse No. 2021070364), which was certified by the City Council on August 16, 2022. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan. The project site is also located within the Airport Influence area of Chino Airport and was evaluated and found to be consistent with the policies and criteria of the Chino Airport Land Use Compatibility Plan; (APNs:

Development Advisory Board Minutes
November 18, 2024

0218-191-14, 0218-191-15, 0218-191-04, 0218-191-16 & 0218-191-05) **submitted by Richland Communities. Planning Commission action is required.**

Mr. Noh opened the public hearing.

Derek Barbour, with Richland Developers, was present.

Mr. Noh asked if Mr. Barbour had reviewed and agreed with the conditions of approval.

Mr. Barbour stated he had reviewed them, and they objected to condition 2.18, but excepted all other conditions of approval.

Mr. Noh stated they can continue to work with staff on this condition until the Planning Commission meeting.

Mr. Barbour stated yes.

Mr. Do wanted to clarify that the project would continue forward, but not be scheduled for Planning Commission until the item on the conditions of approval had been worked out.

Mr. Noh stated that is correct.

As there was no one else wishing to speak on this item, Mr. Noh closed the public hearing.

Motion to recommend approval for **File No. PMTT23-002**, subject to the amendment to the conditions of approval, was made by Mr. Ehrman; seconded by Mr. Bucholtz; and approved unanimously by those present (7-0).

There being no further business, the meeting was adjourned to the next meeting on December 2, 2024.

Respectfully submitted,



Gwen Berendsen
Recording Secretary



DEVELOPMENT ADVISORY BOARD STAFF REPORT

December 16, 2024

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Email: PlanningDirector@OntarioCA.gov

FILE NO: PDEV24-012

SUBJECT: A public hearing to consider a Development Plan to construct a commercial building totaling 10,788 square feet on 4.12 acres of land located at 2295 South Euclid Avenue, within the (CC) Community Commercial zoning district (APN: 1051-081-02). **Submitted by M. Muneer Uddin.**

PROPERTY OWNER: Euclid Ontario Development Group, LLC-M. Muneer Uddin

RECOMMENDED ACTION: That the Development Advisory Board approve File No. PDEV24-012, pursuant to the facts and reasons contained in the staff report and attached Decision, and subject to the conditions of approval appended to the attached Decision as "Attachment A."

BACKGROUND: On March 25, 2008, the Planning Commission approved a Development Plan (File No. PDEV07-050) to construct a 41,962-square-foot shopping center consisting of four retail buildings located on the southeast corner of Philadelphia Street and Euclid Avenue. The commercial center was partially developed in 2009 with two of the four commercial buildings.

On September 16, 2024, the Applicant submitted a Development Plan application to construct a multi-tenant commercial building totaling 10,788 square feet, located on the southwest corner of the existing commercial center. There are currently no known tenants for the proposed building. The building is proposed as a "shell building" for future tenants to complete their own tenant improvements. After the construction of the proposed building, the shopping center will have one remaining retail pad available under the original development approval.

PROJECT SETTING: The Project site consists of 4.12 acres of land located at the southeast corner of Euclid Avenue and Philadelphia Street, within the (CC) Community Commercial zoning district, which is depicted in Exhibit A: Project Location Map. The Project site is located within an existing commercial center "The Colonies Marketplace" that was partially developed in 2009 with two buildings totaling 28,789 square feet. The two buildings are centrally located within the commercial center and currently occupied by Walgreens and Grocery Outlet. The overall commercial center was fully developed in 2009 with parking, common drive aisles, public utilities, driveways and landscaping. Currently there are two vacant building pads located on the northeast corner (future restaurant) and southwest corner (proposed multi-tenant building) of the site.

The Project site is surrounded by a church and gas station to the north, a mobile home park to the east, a hotel to the south and a commercial shopping center to the west. The existing surrounding land uses, zoning, and Policy Plan (general plan) and specific plan land use designations are summarized in Table 1: Surrounding Zoning & Land Uses (see Technical Appendix).

PROJECT ANALYSIS:

(1) Development Plan (File No. PDEV24-012)

(a) Site Design/Building Layout — The proposed 10,788 square foot L-shaped multi-tenant commercial building is located on the southwest corner of the existing shopping center. The building is setback 10 feet from the west property line (Euclid Avenue), approximately 6 feet from the south property line, 180 feet from the east property line and 330 feet from the north property line. The required setback from Euclid Avenue is 20 feet however, the previously approved Development Plan (File No. PDEV07-050) included the approval of a 10-foot building setback from Euclid Avenue provided that the project incorporated a small plaza. The applicant is proposing a 750 square foot plaza located north of the building with direct access to Euclid Avenue and building entrances. The existing off-street parking and landscape planters located to the north and east of the building will remain in place. The project will also construct a trash enclosure designed to match the building's architectural design located east of the building.

The building's multi-tenant entrances are located along the north and east side of the building, facing the existing parking lot. Walkways will be located along the perimeter of the building, providing pedestrian connections to each of the multi-tenant entrances from the parking lot and Euclid Avenue (see Exhibit B: Site Plan, attached). The floor plan has been designed to accommodate seven tenant spaces (see Exhibit C: Floor Plan, attached).

(b) Site Access/Circulation — The existing shopping center is presently served by two access points. There is one access point from Euclid Avenue via 32-foot-wide (right in/right out) driveway and one access point from Philadelphia Street via a 26-foot-wide (right in/right out) driveway, that will remain in place.

(c) Parking — The previously approved Development Plan (File No. PDEV07-050) approved the commercial center with 182 off-street parking spaces (44 compact parking stalls). There are currently a total of 151 off-street parking stalls (31 compact spaces) constructed on site, the undeveloped pad located on the northeast corner of the site will be required to construct the remaining 31 parking stalls. The approved off-street parking calculations for the commercial center is summarized in Table 3: Parking Summary.

(d) Architecture — The proposed building has been designed to complement the architectural design theme and materials of the existing commercial buildings,

incorporating enhanced elements and treatments at entries and along street-facing elevations (see Exhibit E: Elevations, attached). The proposed building features earth tone colors, stepped cornices, metal awnings and trellis, slate/tile, and a clear glazing for windows and storefronts.

The mechanical equipment will be roof-mounted and architecturally screened from public view by the parapet walls. Staff believes that the proposed Project illustrates the type of high-quality architecture promoted by the Development Code. This is exemplified through the use of:

- Articulation in the building footprint, incorporating a combination of recessed and popped-out wall areas;
- Articulation in the building parapet/roof line, which serves to accentuate the building's entries and breaks up large expanses of building wall; and
- Variations in building massing.

(e) Landscaping — The Development Code requires a minimum of 10 percent landscape coverage for the commercial center. The previously approved Development Plan (File No. PDEV07-050) approved the commercial center with 16 percent landscape coverage. The project proposes to install landscaping adjacent to the building along Euclid Avenue and within the adjacent existing parking lot. The project is being conditioned to provide an arbor/trellis, landscaping, enhanced paving and seating within the plaza area located north of the proposed building.

The conceptual landscape plan includes a combination of 15 gallon, 24-inch, 36-inch, and 48-inch box accent and shade trees (Western Redbud, Holly Oak, Brisbane Box and Crape Myrtle), in addition to a variety of shrubs and groundcovers that are low water usage and drought tolerant. The proposed landscape improvements will assist in creating a walkable, safe area for pedestrians to access the Project site (see Exhibit D—Landscape Plan, attached).

(f) Signage — All Project signage is required to comply with sign regulations provided in Ontario Development Code Division 8.1. Prior to the issuance of a Building Permit for the installation of any new on-site signage, the Applicant is required to submit Sign Plans for Planning Department review and approval.

(g) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the Project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (PWQMP), which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (LID) best management practices (BMPs), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of existing underground stormwater chambers that are located within southern

parking lot of the commercial center. Any overflow drainage will be conveyed to the public street by way of parkway drains and culverts.

PUBLIC NOTIFICATION: The subject application was advertised as a public hearing in at least one newspaper of general circulation in the City of Ontario (the Inland Valley Daily Bulletin newspaper).

CORRESPONDENCE: As of the preparation of this Agenda Report, Planning Department staff has not received any written or verbal communications from the owners or occupants of properties surrounding the Project site or from the public in general, regarding the subject application.

AGENCY/DEPARTMENT REVIEWS: Each City agency/department has been provided the opportunity to review and comment on the subject application and recommend conditions of approval to be imposed upon the application. At the time of the Decision preparation, recommended conditions of approval were provided and are appended to the attached Decision as Attachment A.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed Project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (general plan), and City Council Priorities components of The Ontario Plan ("TOP"). More specifically, the goals and policies of TOP that are furthered by the proposed Project are as follows:

(1) City Council Goals

- Invest in the Growth and Evolution of the City's Economy
- Focus Resources in Ontario's Commercial and Residential Neighborhoods

(1) Vision

Distinctive Development that integrates our varied and diverse focal points, districts, centers, corridors, and neighborhoods to provide a feeling of coherence without sacrificing uniqueness.

(2) Commercial and Residential Development

- Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

(3) Governance

Decision Making

Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.

- G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision.

(4) Policy Plan (General Plan)

Land Use Element

Goal LU-2 Compatibility: Compatibility between a wide range of uses and a resultant urban patterns and forms.

Community Economics Element:

Goal CE-1 Complete Community: A complete community that provides for all incomes and stages of life.

- CE-1.5 Business Attraction. We proactively attract new and expanding businesses to Ontario in order to increase the City's share of growing sectors of the regional and global economy.

Goal CE-2 Placemaking: A City of distinctive neighborhoods, districts, corridors, and centers where people choose to be.

- CE-2.1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.
- CE-2.2 Development Review. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional, and sustainable places that will compete well with their competition within the region.
- CE-2.4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.
- CE-2.5 Private Maintenance. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Community Design Element

Goal CD-2 Design Quality: A high level of design quality resulting in neighborhoods, public spaces, parks, and streetscapes that are attractive, safe, functional, human-scale, and distinct.

- CD-2.1 Quality Building Design and Architecture. We encourage all development projects to convey visual interest and character through:
 1. Building volume, massing, and height to provide context-appropriate scale and proportion;
 2. A true architectural style which is carried out in plan, section, and elevation through all aspects of the building and site design and appropriate for its setting; and
 3. Exterior building materials that are articulated, high quality, durable, and appropriate for the architectural style.
- CD-2.3 Commercial Areas. We desire commercial areas and centers to be distinctive, pedestrian friendly, functional, and vibrant with a range of businesses, places to gather, and connectivity to the neighborhoods they serve.
- CD-2.8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintaining visibility and accessibility, and using lighting.

- CD-2.9 Landscape Design. We encourage durable, sustainable, and drought-tolerant landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.
- CD-2.10 Parking Areas. We require all development, including single-family residential, to minimize the visual impact of surface, structured, and garage parking areas visible from the public realm in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include:
 1. Surface parking: Shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field.
- CD-2.13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

Goal CD-5 Protection of Investment: A sustained level of maintenance and improvement of properties, buildings, and infrastructure that protects property values and encourages additional public and private investments.

- CD-5.1 Maintenance of Buildings and Property. We require all public and privately-owned buildings and property (including trails and easements) to be properly and consistently maintained.
- CD-5.2 Maintenance of Infrastructure. We require the continual maintenance of infrastructure.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (general plan) component of The Ontario Plan, as the project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

ENVIRONMENTAL REVIEW: The proposed Development Plan is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines and meets all of the following conditions:

(a) *The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.* The proposed Project is located within the General Commercial land use district of the Policy Plan Land Use Map, and the Community Commercial zoning district. The proposed Project is consistent with all applicable general plan policies, as well as with the Community Commercial zoning designation and applicable Development Code regulations.

(b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.* The Project is proposed within the established boundaries of the City of Ontario, on a site totaling 4.12 acres of land, which is surrounded by established development on all sides and consists of a mix of commercial/retail and religious assembly land uses.

(c) *The Project site has no value as habitat for endangered, rare, or threatened species.* The site is located in an urbanized area, is devoid of any flora or fauna, is currently paved and used as a parking lot, and as such not suitable habitat for any endangered, rare, or threatened species.

(d) *Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.* The proposed commercial building development is similar to, and of no greater impact than other allowed uses and development projects within the Community Commercial zoning district.

(e) *The site is adequately served by all required utilities and public services.* All necessary wet and dry utilities are within the public street (Euclid Avenue and Philadelphia Street) and are readily available for connection.

TECHNICAL APPENDIX:

Table 1: Surrounding Zoning and Land Uses

	Existing Land Use	Policy Plan Designation	Zoning Designation	Specific Plan Land Use
Site	Commercial Shopping Center	General Commercial (GC)	Community Commercial (CC)	N/A
North	Gas station & Church	General Commercial (GC) and Low Density Residential (LDR-5)	Community Commercial (CC) and Low Density Residential (LDR-5)	N/A
South	Hotel	General Commercial (GC)	Community Commercial (CC)	N/A
East	Mobile Home Park	Low Medium Density Residential (LMDR)	Mobil Home Park (MHP)	N/A
West	Commercial Shopping Center	General Commercial (GC)	Community Commercial (CC)	N/A

Table 2: General Site & Building Statistics

Item	Required Min./Max.	Provided (Ranges)	Meets Y/N
Project area (in acres):	N/A	4.12 acres	Y
Building Area:	N/A	Existing Buildings - 28,789 Proposed Building - 10,788 sq. ft.	Y
Floor Area Ratio:	.40 (Max.) FAR	0.22 FAR	Y

Table 3: Parking Summary (PDEV07-050 Approved Parking for Commercial Center at complete Build-out)

Type of Use	Building Area (in SF)	Parking Ratio	Spaces Required	Spaces Provided
Retail	33,424	1 space per 250 sq. ft.	134	
Storage	5,638	1 space per 1,000 sq. ft.	6	
Restaurant	2,900	1 space per 75 sq. ft.	39	
TOTAL			178	182

Exhibit A: PROJECT LOCATION MAP

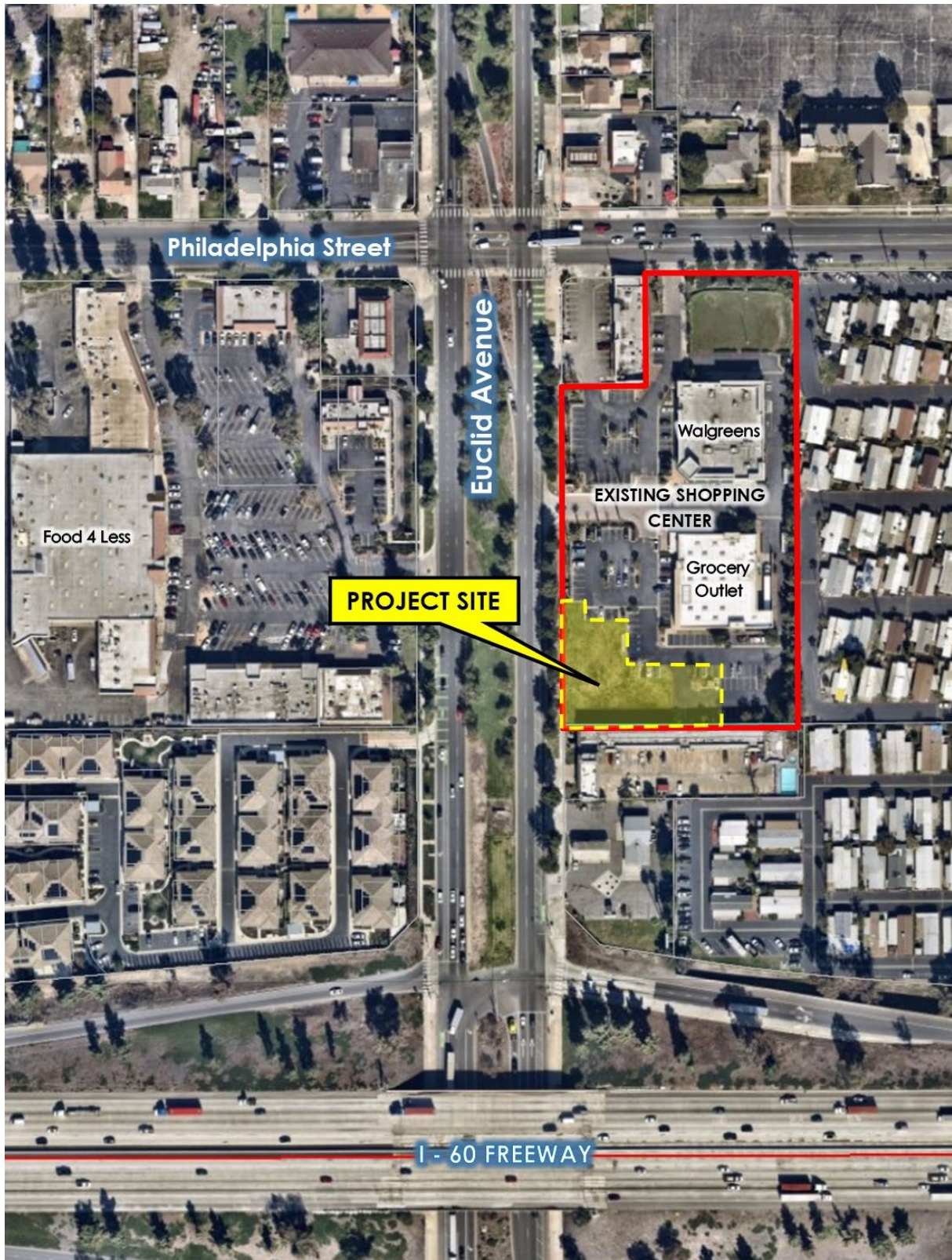


Exhibit B: SITE PLAN

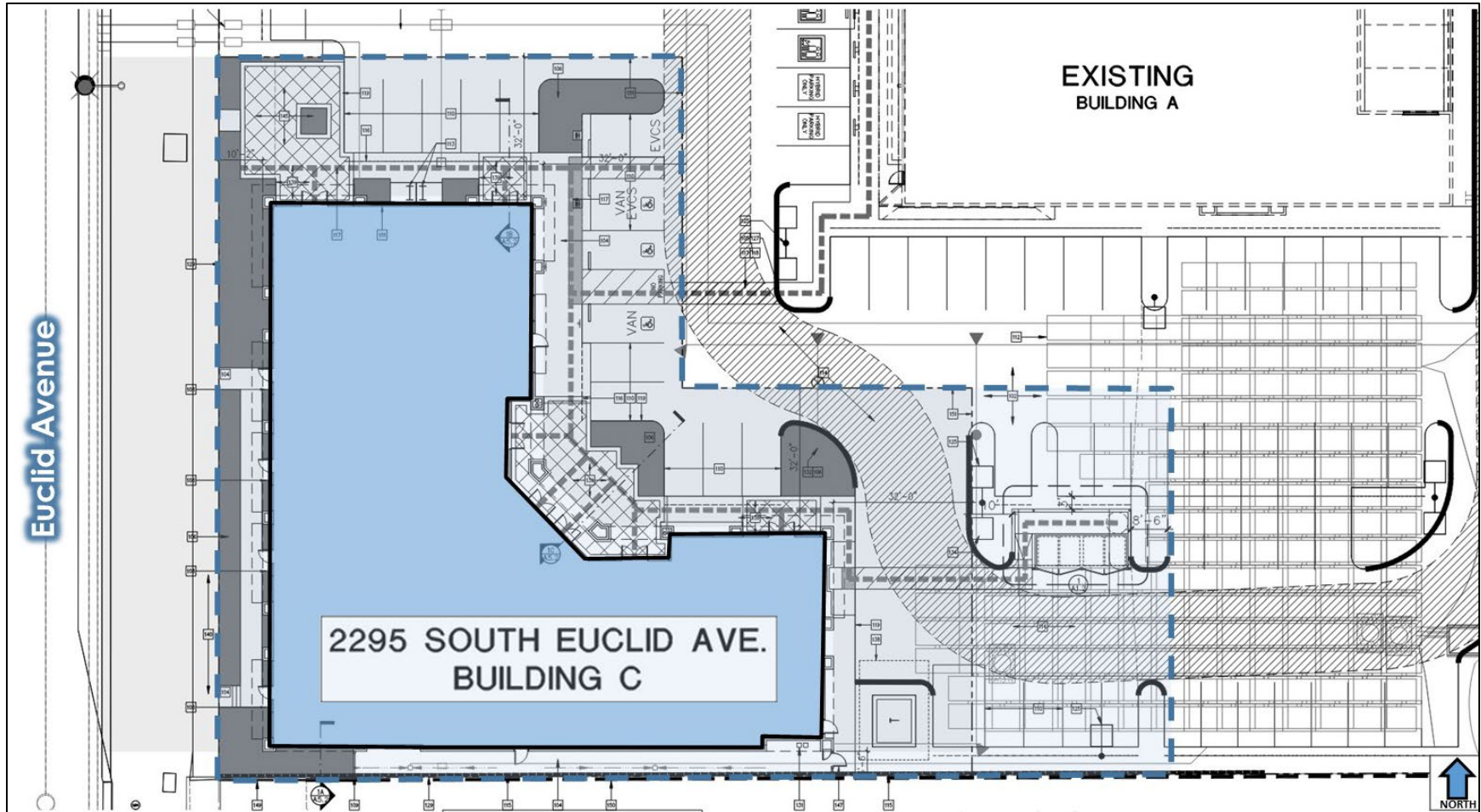


Exhibit C: FLOOR PLAN

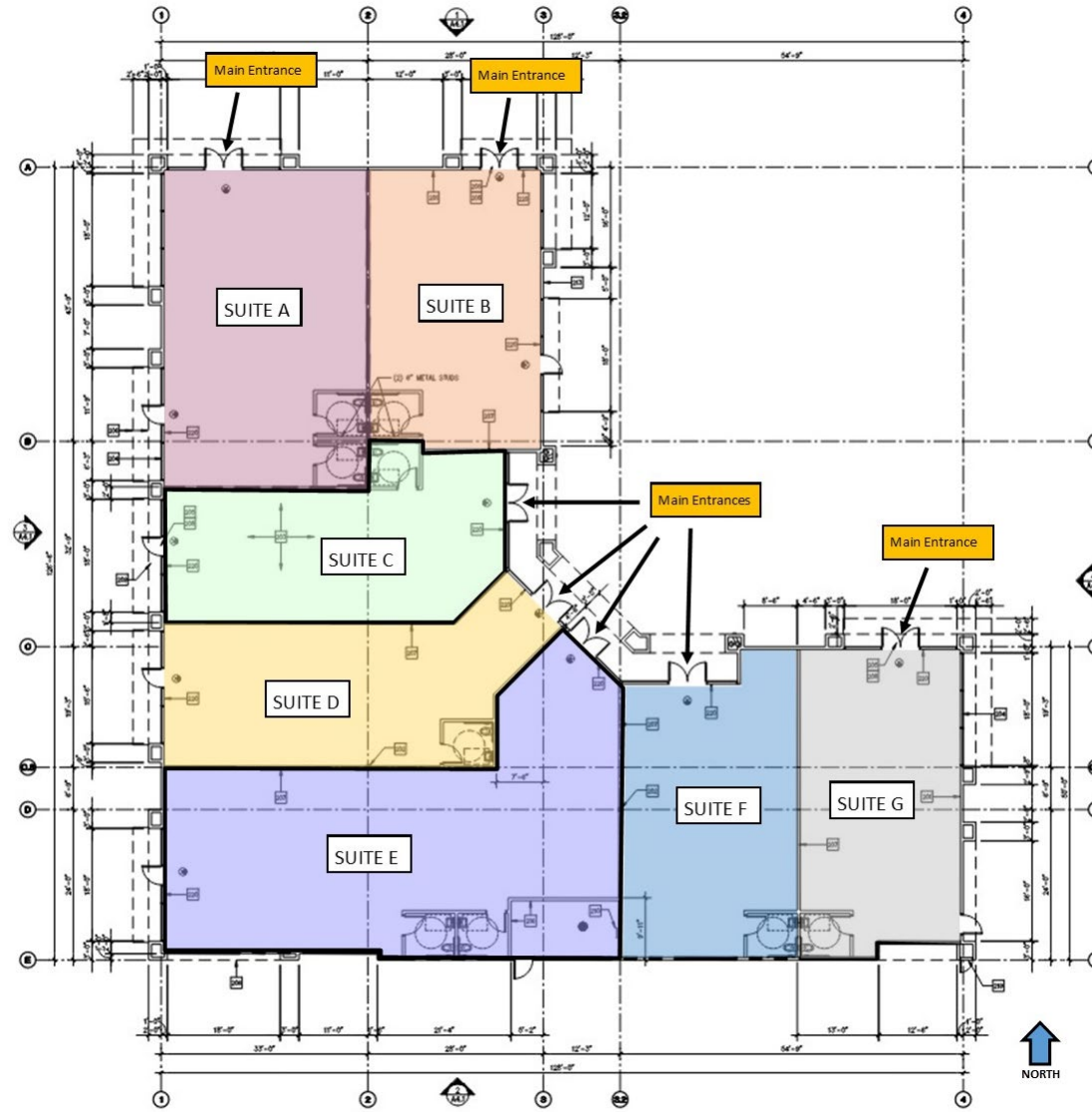
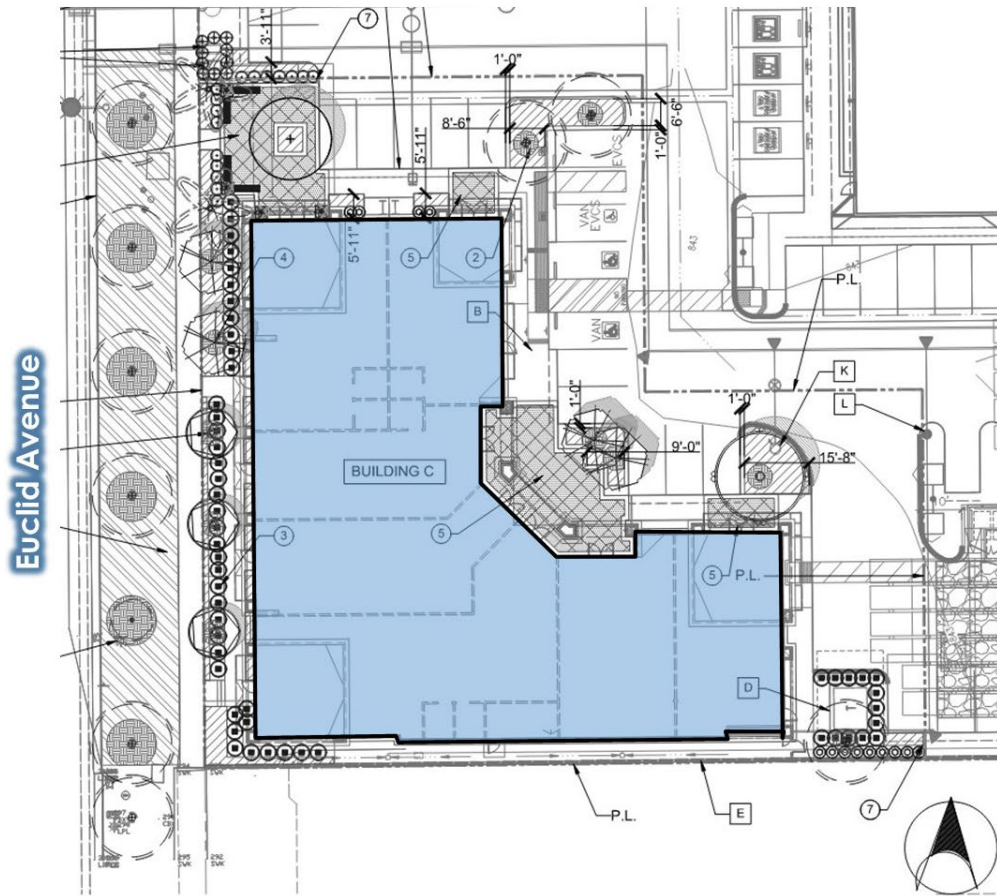


Exhibit D: LANDSCAPE PLAN



PLANTING LEGEND

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	EXISTING STREET TREES IN PARKWAY TO REMAIN. REFER TO TREE INVENTORY PLAN. TREES TO BE REPAIRED IF DAMAGED DURING CONSTRUCTION.		
	FLOWERING ACCENT TREE CERCIS OCCIDENTALIS, WESTERN REDBUD 36" BOX SIZE	4	M
	PARKING LOT SHADE TREE QUERCUS ILEX, HOLLY OAK 24" BOX SIZE	1	L
	VERTICAL TREE AGAINST BUILDING TRISTANIA CONFERTA, BRISBANE BOX 15 GAL. SIZE	3	M
	SPECIMEN SIZE TREE LADYSTROEMIA 1" WATERMELON RED, CRAPE MYRTLE 48" BOX SIZE, MULTI-TRUNK.	1	M

SHRUBS - SHRUBS SHALL BE CHOSEN FROM THE FOLLOWING:

SYMBOL	SHRUB NAME	WUCOLS
	WESTRINGIA F. 'WYNABIE GEM', COAST ROSEMARY 5 GAL. SIZE	L
	LEUCOPHYLLUM F. 'GREEN CLOUD', TEXAS RANGER 5 GAL. SIZE	L
	LIGUSTRUM TEXANUM, TEXAS PRIVET 5 GAL. SIZE	M
	OLEA E. 'LITTLE OLLIE', DWARF FRUITLESS OLIVE 5 GAL. SIZE	L
	MELALEUCA NESOPHYLLA, PINK MMELALEUCA 5 GAL. SIZE	L
	HETEROMELES ARBUTIFOLIA, TOYON 5 GAL. SIZE	VL
	PHORMIUM 'MAORI QUEEN', NEW ZEALAND FLAX HYBRID 5 GAL. SIZE	M

GROUND COVERS

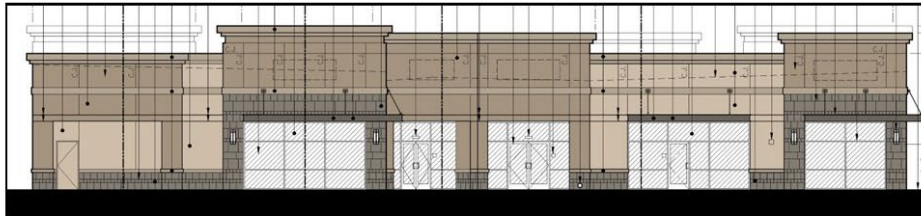
SYMBOL	NAME	WUCOLS
	CAREX TUMUKICOLA, BERKLEY SEDGE 1 GAL. SIZE @ 18" O.C.	L
	ROSMARINUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.	L
	DIANELLA T. 'VARIEGATA', VARIEGATED TASMANIAN FLAX 1 GAL. SIZE @ 30" O.C.	M
	MUHLENBERGIA RIENS, DEER GRASS 1 GAL. SIZE @ 42" O.C.	M
	SALVIA CLEVELANDI, CLEVELAND SAGE 5 GAL. SIZE @ 42" O.C.	L
	GREVILLEA L. 'PENOLA', LAVENDER GREVILLEA 5 GAL. SIZE @ 48" O.C.	L
	DIETES BICOLOR, FORTNIGHT LILY 5 GAL. SIZE @ 30" O.C.	M
	HESPERALOE PARVIFLORA 'YELLOW', YELLOW YUCCA 1 GAL. SIZE @ 30" O.C.	L
	AGAVE 'BLUE FLAME', BLUE FLAME AGAVE 5 GAL. SIZE @ 30" O.C.	VL
	EUPHORBIA CHARACIAS SSP. WULFENI 5 GAL. SIZE @ 30" O.C.	L

NOTE: ALL SHRUB PLANTING AREAS WITHIN LIMIT OF WORK SHALL RECEIVE A 2" LAYER OF SHREDDED WOOD MULCH. PROVIDE SUBMITTAL FOR REVIEW PRIOR TO INSTALLATION. MULCH SHALL BE FREE OF RECYCLED PALM MATERIAL.

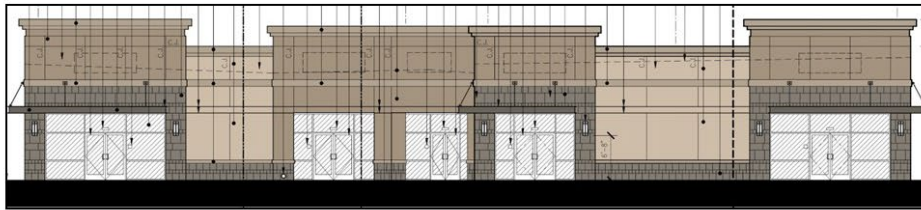
RENOVATED LANDSCAPE & IRRIGATION IN PARKWAY R.O.W.

SYMBOL	NAME	WUCOLS
	CAREX TUMUKICOLA, BERKLEY SEDGE 1 GAL. SIZE @ 18" O.C.	L
	ROSMARINUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.	L
	MUHLENBERGIA C. 'REGAL MIST', PINK MUHLY 1 GAL. SIZE @ 30" O.C.	L

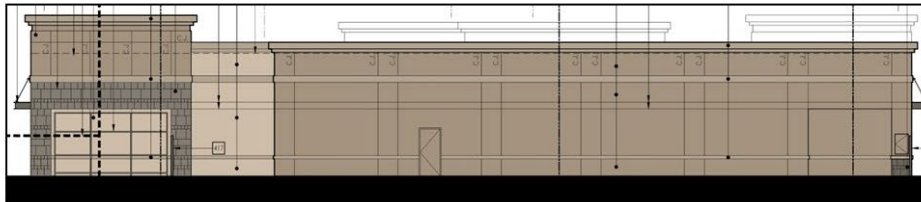
Exhibit E: ELEVATIONS



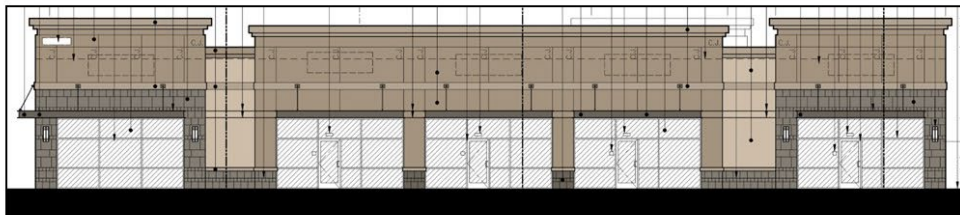
East Elevation



West Elevation



South Elevation



North Elevation

EXTERIOR FINISH LEGEND

NOTE: FINISHES INDICATED ARE TYPICAL U.N.O.

- P1 SHERWIN WILLIAMS – 9110
 MALABAR OR SIMILAR
- P2 SHERWIN WILLIAMS – 7507
 STONE LION OR SIMILAR
- P3 SHERWIN WILLIAMS – 9117
 URBAN JUNGLE OR SIMILAR
- P4 SHERWIN WILLIAMS – 7047
 PORPOISE OR SIMILAR
- M1 ALUM MULLIONS
 FINISH: CLEAR ANODIZED
- M2 METAL CANOPY PAINTED
- G1 GLAZING
 MEDIUM PERFORMANCE
 COLOR: CLEAR
- T1 SLATE-LOOK TILE
 OR SIMILAR – TBD

DECISION NO.: [insert #]

FILE NO.: PDEV24-012

DAB Hearing Date: December 16, 2024

SUBJECT: A Development Plan to construct a commercial building totaling 10,788 square feet on 4.12 acres of land located at 2295 South Euclid Avenue, within the (CC) Community Commercial zoning district (APN: 1051-081-02). **Submitted by M. Muneer Uddin.**

PART 1: RECITALS

WHEREAS, M. Muneer Uddin (hereinafter referred to as "Applicant") filed an Application for the approval of a Development Plan, File No. PDEV24-012, as described in the title of this Decision (hereinafter referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 4.12 acres of land generally located southeast corner of Euclid Avenue and Philadelphia Street, at 2295 South Euclid Avenue within the (CC) Community Commercial zoning district, and is presently developed with a commercial shopping center with vacant building pads; and

WHEREAS, the properties to the north of the Project site, are within the (CC) Community Commercial and (LDR-5) Low Density Residential zoning districts, and are developed with a gas station and church. The property to the east is within the Mobile Home Park zoning district and is developed with a mobile home park. The property to the south is within the (CC) Community Commercial zoning district and is developed with hotel. The property to the west of the Project Site, is within the (CC) Community Commercial zoning district, and is developed with a commercial shopping center; and

WHEREAS, The Project site is located within an existing commercial center "The Colonies Marketplace" that was partially developed in 2009 with two buildings totaling 28,789 square feet; and

WHEREAS, the proposed 10,788 square foot L-shaped multi-tenant commercial building is located on the southwest corner of the existing shopping center; and

WHEREAS, the existing shopping center is presently served by two access points. There is one access point from Euclid Avenue and one access point from Philadelphia Street that will remain in place; and

WHEREAS, the previously approved Development Plan (File No. PDEV07-050) approved the commercial center with 182 off-street parking spaces (44 compact parking stalls). There are currently a total of 151 off-street parking stalls (31 compact

spaces) constructed on site, the undeveloped pad located on the northeast corner of the site will be required to construct the remaining 31 parking stalls; and

WHEREAS, the proposed building has been designed to complement the architectural design theme and materials of the existing commercial buildings. The proposed building features earth tone colors, stepped cornices, metal awnings and trellis, slate/tile, and a clear glazing for windows and storefronts; and

WHEREAS, the Development Code requires a minimum of 10 percent landscape coverage for the commercial center. The previously approved Development Plan (File No. PDEV07-050) approved the commercial center with 16 percent landscape coverage. The project proposes to install landscaping adjacent to the building along Euclid Avenue and within the adjacent existing parking lot; and

WHEREAS, public utilities (water and sewer) are available to serve the Project. The Preliminary Water Quality Management Plan proposes the use of existing underground stormwater chambers that are located within southern parking lot of the commercial center. Any overflow drainage will be conveyed to the public street by way of parkway drains and culverts; and

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (DAB) the responsibility and authority to review and make a decision on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan 2050, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on December 16, 2024, the DAB of the City of Ontario conducted a hearing to consider the Project, and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

PART 2: THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED AND DECIDED by the Development Advisory Board of the City of Ontario as follows:

SECTION 1: *Environmental Determination and Findings.* As the decision-making body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project, including all written and oral evidence provided during the comment period. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The administrative record has been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The proposed Development Plan is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines and meets all of the following conditions:

(a) ***The Project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations.*** The proposed Project is located within the (GC) General Commercial land use district of the Policy Plan Land Use Map, and the (CC) Community Commercial zoning district. The proposed Project is consistent with all applicable General Plan

policies, as well as with the (CC) Community Commercial zoning designation and applicable Development Code regulations.

(b) **The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.** The Project is proposed within the established boundaries of the City of Ontario, on a site totaling 4.12 acres of land, which is surrounded by established development on all sides and consists of a mix of commercial/retail and religious assembly land uses.

(c) **The Project site has no value as habitat for endangered, rare, or threatened species.** The site is located in an urbanized area, is devoid of any flora or fauna, is currently paved and is within an existing shopping center, and as such not suitable habitat for any endangered, rare, or threatened species.

(d) **Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.** The proposed commercial retail building is similar to, and of no greater impact than other allowed uses and development projects within the (CC) Community Commercial zoning district.

(e) **The site can be adequately served by all required utilities and public services.** All necessary wet and dry utilities are within the public street (Euclid Avenue and Philadelphia Street) and are readily available for connection to the Project site.

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Development Advisory Board.

SECTION 2: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Housing Element Sites Inventory contained in Tables B-1 and B-2 of the Housing Element Technical Report.

SECTION 3: Airport Land Use Compatibility Plan ("ALUCP") Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

(1) On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the DAB therefore finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

SECTION 4: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific finding set forth in the Sections above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the (GC) General Commercial land use district of the Policy Plan Land Use Map, and the (CC) Community Commercial zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the (CC) Community Commercial zoning district, including standards relative to the particular land use proposed (commercial retail building), as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions.

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and imposed certain conditions of approval, which have been established

to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan.

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (commercial retail building). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

SECTION 5: ***Development Advisory Board Action.*** Based upon the findings and conclusions set forth in Sections 1 through 4, above, the Development Advisory Board hereby APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as "Attachment A," and incorporated herein by this reference.

SECTION 6: ***Indemnification.*** The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void, or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action, or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: ***Custodian of Records.*** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

SECTION 8: ***Certification to Adoption.*** The DAB Chairman shall certify to the adoption of the Decision.

Development Advisory Board Decision
File No. PDEV24-012
December 16, 2024
Page 7

APPROVED AND ADOPTED this 16th day of December.

Development Advisory Board Chairman

ATTACHMENT A:

**File No. PDEV24-012
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)



LAND DEVELOPMENT DIVISION CONDITIONS OF APPROVAL

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

Date Prepared: 12/16/2024

File No: PDEV24-012

Project Description: A Development Plan to construct a commercial building totaling 10,788 square feet on 4.12 acres of land located at 2295 South Euclid Avenue, within the (CC) Community Commercial zoning district (APN: 1051-081-02). **Submitted by M. Muneer Uddin.**

Prepared By: Diana Prado, Administrative Intern
Phone: 909.395.2143 (direct)
Email: dprado@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for the project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department, Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(d) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(e) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current

regulations contained in CALGreen (CAC Title 24, Part 11). The final design and placement of bicycle parking facilities shall be subject to Planning Department review and approval.

2.6 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lit from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.7 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Signs.

(a) All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.10 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noise levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.11 Environmental Requirements.

(a) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(b) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.12 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.13 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of a NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.14 Additional Requirements.

(a) The plaza shall incorporate an arbor/trellis, landscaping, shade structure or tree, enhanced paving and seating, the final design shall require Planning Director approval.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Land Development Division, Environmental Section, Traffic & Transportation Division, Ontario Municipal Utilities Company, Broadband Department, and Financial Services Agency Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV24-012</u> RELATED FILE NO(S).	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> </u> / <u> </u> / <u> </u>	

CITY PROJECT ENGINEER & PHONE NO: Yesenia Lopez *YL* (909)395-2103

CITY PROJECT PLANNER & PHONE NO: Diana Prado (909)395-2143

DAB MEETING DATE: December 16, 2024

PROJECT NAME / DESCRIPTION: PDEV24-012; a Development Plan to construct one commercial building totaling approximately 10,788 square feet on 4.18 acres of land within the CC (Community Commercial) zoning district (APN(s): 1051-081-02).

LOCATION: 2295 South Euclid Avenue

APPLICANT: Muneer Uddin

REVIEWED BY: *Raymond Lee* 12/10/24
 Raymond Lee, P.E. Date
 Assistant City Engineer

APPROVED BY: *Khoi Do* 12-10-24
 Khoi Do, P.E. Date
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below to achieve:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s):
 A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.

 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario per Certificate of Compliance Instrument No. 2009-0321051.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 Apply for a:
 - Certificate of Compliance with a Record of Survey;
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
 - Make a Dedication of Easement.



- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.

- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.

- 2.08 **Submit a soils/geology report.**

- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: _____

- 2.10 Dedicate to the City of Ontario the right-of-way described below:

_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____ and _____.

- 2.11 Dedicate to the City of Ontario the following easement(s): _____

- 2.12 **Vacate the following street(s) and/or easement(s):**
 - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**

- 2.13 Ontario Ranch Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a



maximum 3-foot high retaining wall.

- 2.14** **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**
- 2.15** The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.16** **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$7,100, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.**
- 2.17** Other conditions: _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Euclid Ave.	--	--
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> See 2.28	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral



Water (see Sec. 2.D)	<input type="checkbox"/> Main <input type="checkbox"/> Service <input checked="" type="checkbox"/> See 2.31	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____
Other Improvements	_____	_____	_____

Specific notes for improvements listed in item no. 2.18, above: _____

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the existing section of the following street(s):
- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.21 **Depending on site conditions and number of utility service cuts at time of construction, additional pavement restoration may be required.**
- 2.22 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service
 sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.



- 2.23 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately _____, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.24 Other conditions: _____

C. SEWER

- 2.25 **An 8-inch sewer main is available for connection by this project in Euclid Avenue.**
(Ref: Sewer Drawing Number: S11618-S11619)
- 2.26 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.27 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.28 **Other conditions:**
a) See Exhibit 'B' for additional Sewer Conditions of Approval from OMUC Utilities Engineering Division.

D. WATER

- 2.29 **A 12-inch water main is available for connection by this project in Euclid Avenue.**
(Ref: Water Drawing Number: W10243 and W11036)
- 2.30 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.31 **Other conditions:**
a) See Exhibit 'B' for additional Water Conditions of Approval from OMUC Utilities Engineering Division.

E. RECYCLED WATER

- 2.32 A _____ inch recycled water main is available for connection by this project in _____.
(Ref: Recycled Water Drawing Number: _____)
- 2.33 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.34 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.35 Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.

Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678 or email OMUCWQPlanCheck@ontarioca.gov regarding this requirement. *Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.*

- 2.36 Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.



- 2.37 Other conditions:**
a) **See Exhibit 'B' for additional Recycled Water Conditions of Approval from OMUC Utilities Engineering Division.**

F. TRAFFIC / TRANSPORTATION

- 2.38** Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
1. On-site and off-site circulation
2. Traffic level of service (LOS) at 'build-out' and future years
3. Impact at specific intersections as selected by the City Engineer
- 2.39** New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.40 Other conditions:**
a) **Existing parking restrictions along project frontage on Euclid Avenue and Philadelphia Street shall remain in place.**
b) **All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.**

G. DRAINAGE / HYDROLOGY

- 2.41** A _____ inch storm drain main is available to accept flows from this project in _____.
(Ref: Storm Drain Drawing Number: _____)
- 2.42** **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**
- 2.43** **An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans. Hydrology study shall confirm that existing storm water detention facility has the capacity for proposed development.**
- 2.44** Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.45** Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.46** Other conditions: _____



H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

2.47 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.

2.48 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at:
<http://www.sbcounty.gov/dpw/land/npdes.asp>.

2.49 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.

2.50 Other conditions: _____

J. SPECIAL DISTRICTS

2.51 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.

2.52 Other conditions: _____

K. FIBER OPTIC

2.53 A _____ fiber optic line is available for connection by this project in _____
 (Ref: Fiber Optic Drawing Number: _____)

2.54 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage of the proposed development in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.**

2.55 **Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.**

2.56 **Other conditions:**
 a) **See Exhibit 'C' for additional Fiber Optic Conditions of Approval from Broadband Operations Section.**



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV24-012

All plan check submittals are to be done digitally through the City of Ontario Citizen Portal Access. The following items are to be included with the first plan check submittal:

1. **A copy of this checklist**
2. **Payment of fee for Plan Checking**
3. **Engineering Cost Estimate (on City form) with engineer's wet signature and stamp**
4. **Project Conditions of Approval**
5. Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
6. Public Street improvement plan with street cross-sections
7. Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
8. Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
9. Public Sewer improvement plan
10. Public Storm Drain improvement plan
11. Public Street Light improvement plan
12. Signing and Striping improvement plan
13. **Fiber Optic plan (include AutoCAD electronic submittal)**
14. HOA Landscape improvement plans. Show corner sight line distance per City of Ontario Standard Drawing No. 1309
15. CFD Landscape improvement plans. Show corner sight line distance per City of Ontario Standard Drawing No. 1309
16. Dry Utility plans within public right-of-way (at a minimum, the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility locations including centerline dimensions, wall-to-wall clearances between proposed utility and adjacent public line, street work repaired per City of Ontario Standard Drawing No. 1306. Include Auto CAD electronic submittal)
17. Traffic Signal improvement plan and one (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications
18. Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP)
19. **Hydrology/Drainage study**
20. **Soils/Geology report**
21. Payment for Final Map/Parcel Map processing fee



- 22. Final Map/Parcel Map
- 23. Approved Tentative Map
- 24. **Preliminary Title Report (current within 30 days)**
- 25. Traverse Closure Calculations
- 26. **Set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 27. Supplemental Engineering Report, in electronic format (PDF format), for recycled water use only must be reviewed and submitted to the Division of Drinking Water by OMUC Water Quality Programs before clearing plan check workflows (including grading and landscape plan reviews). Approval letter issued by the Division of Drinking Water must be obtained before meter installation and, if applicable, occupancy release
- 28. **Other: Precise Grading Plan and Final Utilities Systems Map (USM)**



CITY OF ONTARIO MEMORANDUM



DATE: December 09, 2024
TO: Yesenia Lopez, Engineering Department
CC: Diana Prado, Planning Department
 Lorena Mejia, Planning Department

FROM: Jeff Krizek, Utilities Engineering Division (QCR: CLS)

SUBJECT: DPR2.1 & Utilities Engineering Conditions of Approval (COAs)
PROJECT NO.: PDEV24-012

BRIEF DESCRIPTION:

***PDEV24-012:** A Development Plan to construct 1 commercial building totaling approximately 10,788 square feet on 4.18 acres of land located at 2295 South Euclid Avenue, within the CC (Community Commercial) zoning district (APN(s): 1051-081-02). Related File(s): PDEV07-050.*

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

General Conditions:

1. **Standard Conditions of Approval:** Project shall comply with the requirements set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. **Inherited Requirements and Conditions of Approval:** This project is subject to all the Requirements and Conditions of Approval of related entitlements: PDEV07-050. Any conflict in Conditions of Approval and requirements, the Conditions of Approval below for this Project will supersede previous Conditions of Approval.
3. **Final Utilities Systems Map (USM):** Submit a Final Utilities Systems Map (USM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.
4. **Public Utilities and Public Right-of-Way including Public Utility Easements (PUE):** All City of Ontario Public Utilities shall be installed within a Public Right-of-Way (RoW), or within a Public Utility Easements (PUE), or within a combination of RoW and PUE. In this case, Public Utilities is referring to the mains and connected appurtenances of the following City of Ontario/OMUC Utilities: Public Potable Water; Public Recycled Water;

and Public Sanitary Sewer. All Public Utilities shall be subject to the Minimum RoW/PUE Area Requirements and PUE Restrictions:

- a. **Minimum RoW Area Requirements:** Public Utilities shall be installed within in existing RoW/PUE in alignments/locations that meet the following minimum RoW/PUE areas surrounding the Public Utilities, and/or additional RoW/PUE shall be dedicated/granted to the City to provide the following minimum RoW/PUE areas surrounding the Public Utilities:
 - i. For each main, the RoW/PUE Area shall be a minimum of 20 feet wide, centered on the utility main with a minimum of 10 feet of RoW/PUE on each side of the main and this minimum area shall extend a minimum for 10 feet past the end of a main;
 - ii. For each Service/Lateral, the RoW/PUE Area shall be a minimum of 10 feet wide, centered on the service/lateral with a minimum of 5 feet of PRow on each side of each service/lateral;
 - iii. For each water meter box, the RoW/PUE Area shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box;
 - iv. For each water appurtenances (fire hydrants, blowoffs, airvacs, etc), the RoW/PUE Area shall be a minimum of 5 feet on each side surrounding the water appurtenances (fire hydrants, blowoffs, airvacs, etc);
 - v. The RoW/PUE minimum areas for separate Public Utilities may overlap, provide that all minimum separations and PUE Restrictions are met.
- b. **PUE Restrictions:** The Minimum PUE Area required surrounding Public Utilities shall be subject to the following restrictions:
 - i. The Minimum PUE Area required surrounding Public Utilities shall not contain:
 - A. Any storm water quality improvements (infiltration, detention, retention, bioswale, etc);
 - B. Landscaping with thick or intrusive root structures,
 - C. Any trees;
 - D. Any private utilities, plumbing lines, private fire system, or irrigation lines; or,
 - E. Any permanent structures or overhangs of permanent structures.
 - ii. The PUE surface shall be designed to allow vehicle access over and along the full length of the utility main by any City maintenance vehicle.
 - iii. **Minimum Separations:** Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met for all Public Potable Water Mains and Services between: all Public City Utilities; Non-City Utilities; and Private Utilities. Additionally, the following Minimum Separations shall be met:
 - A. At minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside edge of the Joint Utility Trench and the outside wall of the Utility Pipeline.
 - B. Public Utility mains shall not be located behind curb or under curb & gutter and shall be located at minimum of 8 feet from curbface. With specific written permission of OMUC Management Staff, in rare circumstances, this 8 feet minimum can be reduced to 5 feet in specific locations where the 8 feet is not feasible, but at all locations the utilities alignments shall be optimized to meet this minimum location, while still maintaining all other minimum separation.

5. Revise Site Layout:

- a. **For all future plan submittals, the overall site plan shall be revised to reflect current site improvements per the underlying project/site that was constructed per approved precise grading plan (with utility plan) Delta 4 to B200801106 (with approval date 12/15/2008). What is currently shown on the entitlement plans submitted does not reflect what has already been constructed at the site.**
- b. **For all future plan submittals, the site layout and proposed improvements needs to be revised to meet all conditions of approval. Most recent entitlement plans submitted do not meet or address all the conditions of approval.**

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

6. **Sanitary Sewer Infrastructure:** Not Applicable.

7. **Sanitary Sewer Service:**

- a. **Public Sewer Laterals for Non-Residential Uses:** Each building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per

Standard #2003. The quantity of Public Sewer Laterals for the site shall be limited to the minimum necessary to meet all of the conditions of approved and as required by the City.

- i. Multiple buildings may share an onsite sewer and Public Sewer Lateral subject to Building Department, Building Code, and Plumbing Code requirements.
 - b. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or with 5 feet of any Public Sewer Lateral.
 8. Private Onsite Sewer System and Plumbing: The Building Plumbing, Building Sewer, and Onsite Sewer System shall be privately maintained by the property owner and shall meet the following requirements:
 - a. For wastewater flows for non-residential uses:
 - i. The building plumbing, building sewer, and Onsite sewer system shall be designed in such a way that the wastewater flows for each unit of the building leaves the building separately from other units.
 1. **Most recent entitlement plans submitted do not meet or address this condition of approval.**
 - ii. The building plumbing, building sewer, and Onsite sewer system for each unit shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary process wastewater flows (industrial, process, or kitchen, etc.) and the design shall allow for all units to install a separate non-sanitary process wastewater sewer line with separate pretreatment equipment and devices in the future as required by the City for future occupants during the tenant improvement process.
 1. **Most recent entitlement plans submitted do not meet or address this condition of approval.**
 2. **Unit/Suite A & Unit/Suite B have been designated for food establishments. Each unit will require its own separate pretreatment devices (grease interceptor).**
 3. **The existing pretreatment devices (grease interceptor) for Building C in front of Unit/Suite A may be required to be resized or replaced new as determined by the City during Final Design.**
 - iii. The onsite sewer system shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer Lateral per City Standards. Each building shall have its own onsite monitoring manhole prior to the point of connection with the Onsite Sewer System that captures all the wastewater flows from the building per City Standards; multiple monitoring manholes may be required to meet this condition.
 1. **Most recent entitlement plans submitted do not meet or address this condition of approval.**
 - b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or with 5 feet of any Private Onsite Sewer pipes.
 9. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

10. Potable Water Infrastructure: Not Applicable:
11. Potable Water Service:
 - a. Domestic Service:
 - i. For Non-Residential Uses: Each buildings needing potable water service for domestic uses shall have its own potable water service and meter with backflow prevention device connected to the Public Potable Water System separate from the other buildings and separate from irrigation and fire uses. For multi-tenant buildings, each unit shall have a private submeter to meter the water use separate from other units.
 - b. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water, the landscape irrigation uses shall have a separate irrigation water service and meter with backflow prevention device

connected to the Public Potable Water System. The onsite landscape irrigation system shall be separate from the onsite domestic water plumbing system and the onsite fire system..

- i. **Community Service District (CFD) Maintained Irrigation Areas:** Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association.

- c. **Backflow Prevention:**
 - i. A Backflow Prevention Device is required for each Meter connected to the Public Potable Water System that: serves any residential use that is more than one (1) single family residential unit; or, any non-residential use; or, only irrigation use.
 - 1. A Meter connected to the Public Potable Water System that serves only one (1) single family residential unit (and an ADU and/or JADU) in most cases does not require a backflow device.

- d. **Fire Water Service:** For onsite private Fire System uses:
 - i. Where the domestic water service and meters connected to the Public Potable Water System that serves any use that is more than one (1) single family detached residential unit, or any non-residential use: if an onsite private fire system is required, then a separate Fire Service with Double Check Detector Assembly (DCDA) per City Standard #4208 connected to the Public Potable Water System is required, to serve the onsite private fire system. The onsite fire system shall be separate from the onsite domestic water plumbing system and the onsite landscape irrigation system.

- e. **Fire Hydrants:**
 - i. Fire Hydrants along Public Potable Water Mains shall be installed to be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - ii. Existing Public Fire Hydrants along the Project frontage that do not meet current City Standards shall be abandoned and replaced with new Fire Hydrants that meet current City Standards.

- f. **Private Onsite Water System and Plumbing:** The Onsite Water Systems (Domestic, Fire, Irrigation) shall be privately maintained by the property owner.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

- 12. **Recycled Water Infrastructure:** Not Applicable.
- 13. **Recycled Water Service:** Not Applicable.



CITY OF ONTARIO MEMORANDUM

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL Broadband Operations Section

DATE: 6-12-24

PROJECT: PDEV24-012

LOCATION: Philadelphia and Euclid

PROJECT ENGINEER: Brenda

BROADBAND PLAN CHECKER: Cameron Chadwick - CChadwick@ontarioca.gov

The following Conditions of Approval requirements must be incorporated prior to the Development Advisory Board and/or Zoning Administrator Hearing.

1. Project shall be designed and constructed to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole in the Right-of-Way (ROW) and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.
2. Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties within a reasonable distance. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
3. Where a joint telecom or street light street crossing is required, include (2) 2" HDPE SDR-11 conduits or (1) 4" schedule 80 conduit sleeve. Terminate the street crossing conduit(s) in a new HH-3/22 OntarioNet hand hole in the right of way
4. The City requires a public utility easement for fiber optics on all private aisles/alley ways.
5. Hand holes - Design and install OntarioNet fiber optic hand hole HH-FP (10x00x10), HH-1 (13x24x18), HH-2 (17x30x24), HH-2A (24x36x30), HH-3 (30x48x36) and/or HH-4 (36x60x36) as needed. Respectively, Newbasis Part # PLA100010T-00002, PCA132418-00006, PCA-173024-90116, PCA-243630-90064, PCA-304836-90244 and PCA-366036-90146 or equivalent as specified per City Standard 1316. Conduits sweeping into hand holes shall enter in flush with the cut-out mouse holes aligned parallel to the bottom of the box and come in perpendicular to the wall of the box. Conduits shall not enter at any angle other than parallel. Provide 5-foot minimum clearance from existing/proposed utilities. All hand holes will have ¼-inch galvanized wire between the hand holes and the gravel it is placed on.
6. ROW Conduit – Design and install fiber optic conduit at a minimum depth of 36-inch. Trenching shall be per City Standard 1306. Install (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct and (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange with Black Stripe) duct. Conduit(s) between ROW hand holes and hand holes on private property shall be 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct.
7. Building Entrance (Single Family) – Design and install 0.75-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct from hand holes on property or hand holes in the ROW. Consult City's Fiber Team for design assistance.
8. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install

locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct

9. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
10. A minimum 13/16 millimeter microduct joint use telecommunications conduit with pull-rope from the single-family, multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
11. Warning Tape - Contractor shall supply and install an approved non-detectable warning tape 18-inch above the uppermost conduit when backfilling trenches, pits or excavations greater than 10' in length. Warning Tape shall be non-detectable, Orange in color, 4-inch minimum width, 4 mil, 500% minimum elongation, with bold printed black letters "CAUTION - BURIED FIBER OPTIC CABLE BELOW" printed in bold black lettering no less than 2-inch high.
12. All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All hand holes, conduits and ducts shall be placed in the public right of way.
13. All unused conduits/ducts/microducts shall be protected with duct plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
14. Locate/Tracer Wire - Conduit bank requires (1) 12AWG high strength (minimum break load 452#) copper-clad steel with 30mil HDPE orange insulation for locate/tracer wire. Contact City's Fiber Team for tracer wire specifications and see note 8.
15. Multi-family dwellings are considered commercial property.
16. Refer to the In-tract Fiber Network Design guideline on the City's website for additional in-tract conduit guidelines.

PROJECT REVIEW BOARD COMMENTS
***** BUILDING DEPARTMENT *****

Planning Case File No(s): PDEV24-012

Case Planner: Diana Prado

Applicant: M. Muneer Uddin

Location: 2295 South Euclid Avenue

Project: (1st Submittal) A Development Plan to construct 1 commercial building totaling approximately 10,788 square feet on 4.18 acres of land located at 2295 South Euclid Avenue, within the CC (Community Commercial) zoning district Related File(s): PDEV07-050

APN(s): 1051-081-02

Reviewed By: Jesse Sanchez

Date: 6/25/2024

Following Standard Building Department Conditions of Approval
Are Applicable to This Project:

See checked boxes below

Specific Conditions:

A)

Specific Comments (NOTE: THESE COMMENTS ARE NOT CONDITIONS!):

A)

(NOTE: Standard Conditions of Approval are attached.)

BUILDING DEPARTMENT**GENERAL CONDITIONS**

- 1. Shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Existing Building Code
 - D. California Electrical Code
 - E. California Mechanical Code
 - F. California Plumbing Code
 - G. California Energy Code.
 - H. California Fire Code
 - I. California Green Building Standards Code.
- 2. The property owner/business operator shall comply with all applicable City of Ontario Municipal Codes and Ordinances.
- 3. The requirements of the Department of Environmental Health Services and the Air Quality Management District shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
- 4. Pursuant to the California Business and Professions Code Section 6737, most projects are required to be designed by a California Licensed Architect or Engineer. The project owner or developer should review the section of the California Codes and comply with the regulation
- 5. All perimeter / boundary walls shall be designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
- 6. All lot lines, easement lines, etc. shall be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Building Code, or any other applicable law, ordinance, or code.
- 7. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall obtain clearances from each department and division prior to requesting a final building inspection from the Building Department. Each department shall sign the Building Department Job Card
- 8. All signs shall be Underwriters Laboratories, or equal, approved.

9. Permits are required prior to the removal and/or demolition of structures.
10. In addition to approval from Building Department, approval is required from the County of San Bernardino, Department of Public Health and the California Regional Water Quality Control Board, Santa Ana Region for the Private Sewage Disposal System.
11. The existing private sewage system will have to be modified as required to accommodate the new use. Plans and/or supporting data will have to be submitted to, and approved by, the Building Department regarding the new use and necessary modifications. Additionally, approval from the Regional Water Quality Control Board, Santa Ana Region, is required for the new use.
12. The coach shall bear a State of California, Department of Housing and Community Development (HCD) insignia indicating the occupancy group and design loads that the coach conforms to, and other relevant information regarding exiting, fire safety, electrical, plumbing and mechanical. The foundation system, porch and awning shall comply with plans that bear the HCD "Standard Plan Approval" stamp. The coach, foundation system, porch and awning shall comply with the City of Ontario's design loads and site-specific conditions.
13. The conversion of the existing single-family dwelling(s) into a commercial use changes the occupancy group classification, and therefore the existing buildings must be made to comply with the requirements of all applicable codes for the new occupancy classification. Complete plans, calculations and other specifications shall be submitted to the Building Department for review, approval and subsequent permit issuance. The plans, calculations and other specifications shall be prepared by an Architect or Registered Civil/Structural Engineer licensed by the State of California who is qualified to perform said work.
14. The site, or a portion of the site, is in a flood hazard area. Justification that the proposed development does not adversely affect the location or carrying capacity of the floodway, nor does it adversely affect upstream or downstream sites shall be provided to Building Department. Additionally, all provisions must be taken to protect the site from flood damage.
15. All exterior lighting shall be orientated, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.
16. Site facilities such as parking open or covered, recreation facilities, and trash dumpster areas, and common use areas shall be accessible per the CBC, Chapter 11.
17. Trash Enclosure shall be covered, and the interior clearances shall be designed to accommodate the following:
- 4' min. side access entrance

- 3' min. wide clear pathway along rear of enclosure between trash bins and back wall.
 - Trash bins must be oriented sideways to allow access from the narrow dimension.
 - Use of curbs or wheel stops shall be provided within the enclosure to maintain access clearances and bin orientations.
18. The applicant/developer shall include the conditions of approval of this resolution on the construction plans.
19. Site development and grading shall be designed to provide access to all entrances and exterior ground floors exits and access to normal paths of travel, and where necessary to provide access. Paths of travel shall incorporate (but not limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable warning, signage, gates, lifts and walking surface materials. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site, California Building Code, (CBC) Chapter 11, Sec, 11A and 11B.
20. Commercial/Industrial gated site must have at least one pedestrian emergency gate, 3'-0' x 6'-8" min. gate size, equipped with panel hardware on the inside, and gate must swing out. Pedestrian emergency gates can be installed integrated with vehicular gates.
21. New residential single-family dwelling (SFD's):
- The side yard gate must swing out toward the street.
 - The gas meter shall not obstruct side yard access gates.
 - Air Conditioning unit located at side yard shall maintain 3' min. clearance from property line wall to AC unit.
 - Provide a continuous concrete walk between garage side door to driveway or sidewalk.
22. New development projects located in the Ontario Ranch specific plan are required to submit a **methane assessment report**. This report shall be submitted to the Building Department for review and approval at grading plan submittal.
23. If hazardous substances are used and/or stored, a technical opinion and report, identifying and developing methods of protection from the hazards presented by the hazardous materials may be required. This report shall be prepared by a qualified person, firm, or corporation and submitted to Building Department. This report shall also explain the proposed facility's intended methods of operation and list all of the proposed materials, their quantities, classifications, and the effects of any chemical (material) intermixing in the event of an accident or spill.
24. The property owner/business operator shall provide a grease interceptor at a location where it shall be easily accessible for inspection, cleaning, and removal of accumulated grease. The sizing and installation shall conform to the current California Plumbing Code. The grease interceptor shall be constructed in accordance with plans approved by the Director of Public

Works and the Building Official. The property owner/business operator shall contract with a maintenance company for maintenance and cleaning of the grease interceptor.

SITE CONSTRUCTION REQUIREMENTS

- 25. All construction sites must be protected by a security fence and screening. The fencing and screening shall always maintained to protect pedestrians
- 26. Temporary toilet facilities shall be provided for construction workers. The toilet facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3
- 27. Construction projects which require temporary electrical power shall obtain an Electrical Permit from Building Department. No temporary electrical power will be granted to a project unless one of the following items is in place and approved by Building Department and the Planning Department.
 - (A) Installation of a construction trailer, or
 - (B) Security fenced area where the electrical power will be located
- 28. Installation of construction/sales trailers must be located on private property. No trailers can be in the public street right of way
- 29. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.
- 30. Prior to issuance of a Building Permit all of the following must be in place: portable toilet with hand wash station, all BMP's, fencing and signage on each adjacent street saying "If there is any dust or debris coming from this site please contact (superintendent number here) or the AQMD if the problem is not being resolved" or something similar to this.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 31. The following grading items shall be completed and/or submitted – as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification completed
 - D. Pad elevation certification completed
 - E. Rough grade inspection signed off by a City's Building Inspector
- 32. Prior to the issuance of a Building Permit, the applicant shall pay all Development

Improvement Fees to the City. Copies of receipts shall be provided to the Building Department prior to permit issuance.

- 33. The Tract or Parcel map shall record prior to the issuance of any permits.
- 34. The existing parcels shall be combined into a single parcel, or a lot line adjustment shall be done so that the proposed structure(s) does not cross any lot line and complies with all requirements of the California Building Code, prior to any building permits being issued.
- 35. Fire sprinklers, fire alarm systems and fire hydrant plans shall be submitted for plan review concurrently with building plans and shall be approved prior to permit issuance
- 36. Prior to issuance of Building Permits, school fees need to be paid to school district where project is located



CITY OF ONTARIO

MEMORANDUM

TO: Diana Prado, Administrative Intern
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: June 12, 2024

SUBJECT: PDEV24-012 - A Development Plan to construct 1 commercial building totaling approximately 10,788 square feet on 4.18 acres of land located at 2295 South Euclid Avenue, within the CC (Community Commercial) zoning district (APN(s): 1051-081-02). Related File(s): PDEV07-050.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: Type V-B
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 10,788 Sq. Ft.
- D. Number of Stories: 1
- E. Total Square Footage: 10,788 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): M

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within one hundred and fifty feet (150’) of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty-five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four feet (24’) wide circulating all weather access roads shall be provided to within one hundred and fifty feet (150’) of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a maximum spacing of three hundred feet (300') apart, on alternating sides of the street. Streets with a center median shall require public hydrants spaced five hundred feet (500') apart, on the same side of the street.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

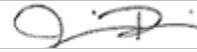
6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve feet (12') in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off



Jamie Richardson, Sr. Landscape Architect

10/16/2024

Date

Reviewer's Name:

Jamie Richardson, Sr. Landscape Architect

Phone:

(909) 395-2615

D.A.B. File No.:

PDEV24-012

Case Planner:

Diane Prado

Project Name and Location:

Commercial Building
 2295 South Euclid Avenue

Applicant/Representative:

GAA Architects Roger Deitos rogerd@gaaarchitects.com (949) 474-1775 x 237
 8811 Research Drive, Suite 200
 Irvine, CA 912681



Preliminary Plans (dated 09/18/2024) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.



Preliminary Plans (have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.

DIGITAL SUBMITTALS MUST BE 10MB OR LESS.

Civil/Site Plans

1. Replacement and mitigation for removed trees shall equal the trunk diameter of heritage trees removed per the Development Code Tree Preservation Policy and Protection Measures, section 6.05.020.
2. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
3. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
4. Show backflow devices set back 4' from paving on all sides. Locate on level grade.
5. Locate utilities including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.
6. Note for compaction to be no greater than 85% in landscape areas. All finished grades at 1 ½" below finished surfaces. Slopes to be maximum 3:1.
7. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12"x12"x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can

be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.

Landscape Plans

8. Show backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Do not encircle utility; show as masses and duplicate masses in other locations at regular intervals.
9. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
10. Verify parkways trees, planting and irrigation. Replant and repair where required.
11. Replace Phormium with Dianella or Dietes.
12. Show 6' diameter of mulch only at new trees, 12' min. at existing trees. Detail irrigation dripline outside of mulched root zone.
13. Overhead spray systems shall be designed for plant material less than the height of the spray head.
14. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans.
15. Show minimum on-site tree sizes per the Landscape Development standards; see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
16. Show 25% of trees as California native (*Platanus racemosa*, *Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
17. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <https://www.ontarioca.gov/Planning/Landscape>
18. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.



CITY OF ONTARIO

MEMORANDUM

TO: Diana Prado , Administrative Intern

FROM: Heather Lugo, MA, Police Department

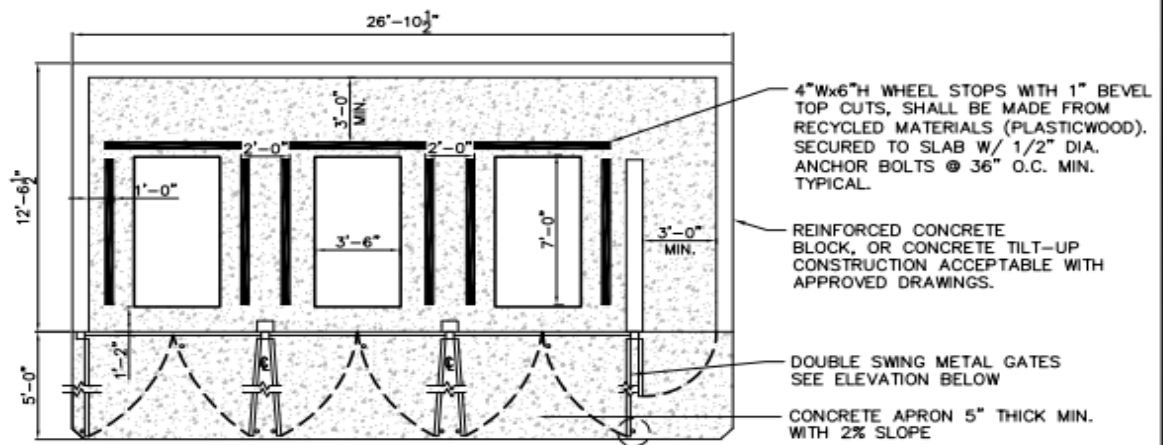
DATE: June 10, 2024

SUBJECT: PDEV24-012 - A Development Plan to construct 1 commercial building totaling approximately 10,788 square feet on 4.18 acres of land located at 2295 South Euclid Avenue, within the CC (Community Commercial) zoning district (APN(s): 1051-081-02). Related File(s): PDEV07-050.

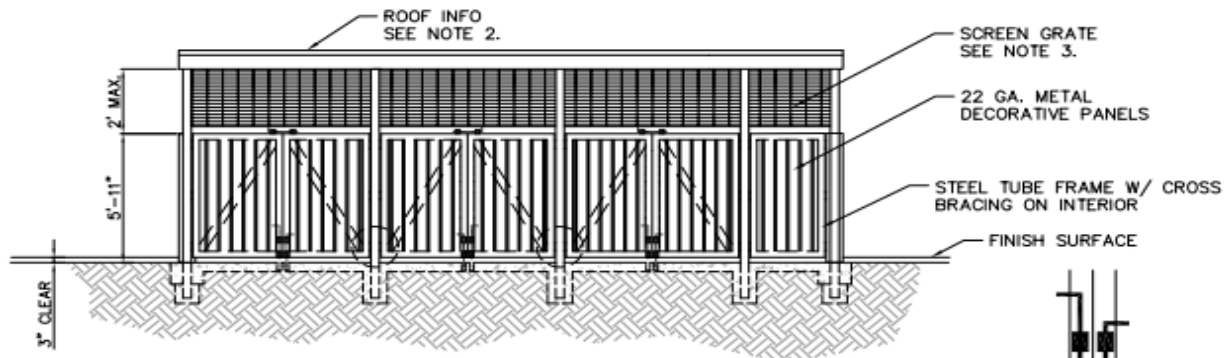
The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 6 feet tall and 2 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The Applicant shall install a video surveillance system on the site. Cameras shall cover at a minimum all entry doors, all cash registers, and at least one camera shall capture any vehicle utilizing the drive-thru. Cameras shall be positioned to maximize the coverage of patrons and vehicles in these areas. Cameras shall record at least 15 frames per second and at a minimum of 640x480 lines of resolution. Recordings shall be stored for a minimum of 30 days and made available upon request to any member of the Ontario Police Department.
- All exterior electrical outlets shall be secured and locked.
- All exterior water spigots / water supply sources shall be secured and locked.
- Trash enclosure shall be fully secured/enclosed by locks, mesh, and screen grate to reduce crime and encampment opportunities for homeless persons.

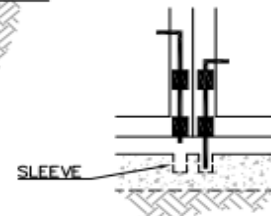
The Applicant is invited to contact Heather Lugo at (909) 408-1074 with any questions or concerns regarding these conditions.



PLAN VIEW



ELEVATION



SLEEVE DETAIL

NOTES:

- ① THIS DRAWING SERVES AS A GUIDELINE TO THE TRASH ENCLOSURE BIN LAYOUT. PLANS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL TO MEET CURRENT BUILDING CODES.
- ② SOLID ROOF TO MEET ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.
- ③ TRASH ENCLOSURE SHALL BE FULLY SECURED/ENCLOSED BY LOCKS, MESH, AND SCREEN GRATE.

CITY OF ONTARIO - INTEGRATED WASTE DEPARTMENT

EXAMPLE 1

COMMERCIAL/INDUSTRIAL REFUSE, RECYCLING AND ORGANICS ENCLOSURE (THREE 4-6 CU. YD. BINS)

December 16, 2024

303 East B Street, Ontario, California 91764 / Phone: 909.395.2036 / Email: PlanningDirector@OntarioCA.gov

FILE NOS: PCUP24-005 and PDEV24-007

SUBJECT: A public hearing to consider a Development Plan (File No. PDEV24-007) to construct a 950 square-foot commercial building on 0.64 acres of land, in conjunction with a Conditional Use Permit (File No. PCUP24-005), to establish a 950 square-foot drive-through coffee shop (Dutch Bros. Coffee) at 2951 South Euclid Avenue within the CN (Neighborhood Commercial) zoning district (APN: 1051-614-01); **submitted by Dutch Bros Coffee. Planning Commission action is required.**

PROPERTY OWNER: Euclid & Riverside, LLC.

RECOMMENDED ACTION: That the Development Advisory Board consider and recommend approval for File Nos. PDEV24-007 and PCUP24-005 to the Planning Commission, pursuant to the facts and reasons contained in the staff report and attached Decisions, and subject to the conditions of approval appended to the attached Decisions as "Attachment A."

BACKGROUND: On March 19, 2024, the Applicant submitted a Development Plan (File No. PDEV24-007) to construct a 950 square-foot commercial building, in conjunction with a Conditional Use Permit (File No. PCUP24-005), to establish a drive-through coffee shop (Dutch Bros. Coffee) on the Project site.

PROJECT SETTING: The Project site consists of 0.64 acres of undeveloped land located at the northeast corner of Euclid Avenue and Riverside Drive at 2951 S. Euclid Avenue, within the Neighborhood Commercial (CN) zoning district, which is depicted in Exhibit A: Project Location Map.

The Project site is located within a large commercial shopping center that encompasses six (6) separate parcels totaling approximately 8.47 acres. The existing commercial center was constructed in the 1980's, and is developed with a single-tenant building, two multi-tenant buildings, and three (3) vacant retail pads, including the subject property. The multi-tenant buildings that appear to be joined together are located towards the northwest portion of the center. They are occupied by an anchor retail store (Dollar Tree) and various other retail services that include a grocery store, bakery shop, donut shop, and restaurant. The vacant pad, situated to the east side of the center, was recently approved for the development of a 126,652 square-foot commercial self-storage facility. In 2014, the 7,454 square-foot stand-alone O'Reilly Auto Parts store was developed at the southeast portion of the commercial center. The commercial center currently has CC&Rs in place that addresses the maintenance, shared parking, access, and on-site circulation between the parcels.

The existing surrounding land uses, zoning, and Policy Plan (general plan), and specific plan land use designations are summarized in Table 1: Surrounding Zoning & Land Uses.

PROJECT ANALYSIS:

(1) Development Plan (File No. PDEV24-007)

(a) Site Design/Building Layout — The proposed development consists of a 950 square-foot drive-through coffee shop (Dutch Bros. Coffee) that will be developed on a 0.64-acres parcel. The building will be setback approximately 28 feet from the west (Euclid Avenue) property line, 100 feet from the east property line, 10 feet from the north property line, and 90 feet from the south (Riverside Avenue) property line.

The proposed building will be oriented in a north to south configuration, with the drive-through pick-up window facing east (see Exhibit B – Site Plan, attached). The primary building entrance will be located along the south elevation facing Riverside Avenue. A walk-up window is located on the west side of the building facing Euclid Avenue, opposite the drive-through window. Customers will be able to place orders at the walk-up window. There is no proposed indoor or outdoor seating for the Project.

(b) Site Access/Circulation — The Project will not have direct vehicle access from the public streets as the Applicant proposes to abandon an existing driveway, located along the south property line (Riverside Drive). Vehicle access to the site will be available via shared circulation through the site from two driveways on Riverside Drive and two along Euclid Avenue. Access to the Project site along Euclid Avenue will be restricted to right-in and right-out turns only, on both driveways. The two existing driveways along Riverside Drive will have full access. Pedestrian access to the coffee shop will be provided by a six-foot-wide accessible pathway from the Euclid Avenue public sidewalk.

The coffee shop's drive-through will be located along the east side of the building. The drive-through will be accessed by two 12-foot-wide lanes. Entrance to the drive-through will be taken along the southeast side of the Project site (see Exhibit B – Site Plan, attached) and the exit will be located along the northeast side of the building. The Project will provide a vehicle stacking length of 150 feet, for 12 vehicles before reaching the drive-through window. Additionally, the drive-through lane is designed with a 10-foot wide "escape lane" that permits vehicles to exist the line as soon as their drinks are delivered by a drink runner/staff or for emergency purposes.

Dutch Bros. Coffee is a business that is known to generate a higher drive-through demand for their operations. As a result, the Project will provide pavement markings that read "Keep Clear" in three separate areas along the drive aisle to the east (located on adjacent parcel), allowing vehicles to access the Project's parking lot and exit the facility (see Exhibit J – On-Site Improvement Plan, attached). In addition, as part of the proposed traffic management plan, the Applicant will place hazard cones along the adjacent

drive-aisle to the east of the Project site, to manage vehicle containment for idled vehicles.

Dutch Bros. Coffee will implement a “runner system” at the proposed facility that is designed to increase speed and efficiency in serving the drive-through customers. Staff will travel from vehicle to vehicle to take orders. The staff member, known as the “Line Buster”, will utilize a handheld device to take customer orders and accept payment.

Dutch Bros. Coffee operates with a Traffic Management Team that includes:

- Line Buster (LB) – Increases speed of the customers experience by taking orders while ensuring 2-foot gap between cars.
- Drink Runner (DR) – Delivers completed drinks to the customer in line before reaching the drive-through window.
- Dutch Bros. Traffic Controller (DBTC) – Directs traffic in and out of the project site, preventing vehicles from blocking critical drives or otherwise restricted traffic flow (on-site).
- Third Party Traffic Controller– Directs traffic in and out of Project site. Preventing vehicles from blocking critical drives or otherwise restricting traffic flow (off-site).

The proposed drive-through will not include speaker boxes. All customer orders will be taken in-person at the window or by the “Line Buster”. This process will minimize potential noise impacts and will decrease the time vehicles are idling in the drive-through lane.

(c) Parking — The Project has provided off-street parking pursuant to the fast-food parking standards specified in the Development Code. The Project site is designed with a parking lot that includes (8) eight parking spaces located along the east side of the proposed building. The number of off-street parking spaces provided within the subject site complies with the minimum parking requirement for the Project. The off-street parking calculations for the Project are summarized in Table 3: Parking Summary.

(d) Architecture — The Project has been designed to provide maximum exposure to the street frontages on Euclid Avenue to the west and Riverside Drive to the south. The building design incorporates a contemporary architectural style that will improve the overall appeal of the existing commercial center. The building features modulation with a decorative architectural tower element along the south and east sides of the building and building materials that are aesthetically pleasing. The building materials proposed include a gray two-tone vertical metal siding and a blue horizontal metal siding at the tower, metal awnings over store fronts, and stone veneer (El Dorado) along the base of the building and enhanced drive-through columns (see Figure 1: Walk-Up Window View Perspective and Exhibits D & E: Building Elevations, attached).

Staff believes that the proposed Project illustrates the type of high-quality architecture promoted by the Development Code and the Ontario Plan (TOP), and it is exemplified through the use of:

- Articulation in the building parapet/roof lines, which serves to accentuate the building's entry and to break up large expanses of building wall;
- A mix of exterior materials, finishes, and fixtures; and
- High-quality building materials and vibrant colors.



Figure 1: Walk-Up Window View Perspective (Euclid Avenue)



Figure 2: Drive-Through Window View Perspective

(e) Landscaping — The Project provides roughly 45 percent of landscape coverage throughout the site, which exceeds the minimum landscape coverage of 18 percent required for corner lots. The Project provides a landscape setback of 20 feet along the Riverside Drive and Euclid Avenue frontages, and a five-foot landscape setback along the north property line. The Project will also provide landscaping along the interior of the parking lot area. A combination of 48-inch, 36-inch, 24-inch, and 15-inch box trees are proposed throughout the Project site. The parkways along Euclid Avenue and Riverside Drive will also be landscaped as part of the off-site improvements. The drive-through lanes will be screened from public views by a decorative profile block wall that will be designed to complement the building. The proposed on-site and off-site landscape improvements will assist towards creating a walkable and safe area for pedestrians (see Exhibit H—Landscape Plan, attached), and help relieve the massing of the building and exposure of the drive-through from public views (see Figure 3: Southeast View Perspective).



Figure 3: Southeast View Perspective (Corner)

(f) Signage — All Project signage is required to comply with sign regulations provided in Ontario Development Code Division 8.1. Prior to the issuance of a Building Permit for the installation of any new on-site signage, the Applicant is required to submit Sign Plans for Planning Department review and approval.

(g) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the Project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes the Project’s compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (“LID”) best management practices (“BMPs”),

such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of an underground infiltration chamber system located at the southern portion of the site underneath the drive-through. Any overflow drainage will be conveyed to the public street by way of parkway drains and culverts.

(2) Conditional Use Permit (File No. PCUP24-005)

A Conditional Use Permit review is required to ensure that the proposed use will operate in a manner consistent with all local regulations and to ensure that the use will not be detrimental to the health, safety, or general welfare of the public, or improvements in the surrounding vicinity. The Project site is located within an established commercial shopping center that includes retail, restaurants, and service-related uses, and is surrounded by a commercial development (Home Depot) to the west of the Project site.

The Project's site plan has been designed to incorporate the overall circulation of the drive-through coffee shop to sufficiently mitigate any potential negative impacts to traffic and access associated with the proposed use. Additionally, the nearby businesses within and surrounding the area will not be exposed to any impact beyond those that would normally be associated with any other drive-through facility or those of the existing commercial shopping center.

Staff does not anticipate any land use compatibility issues with the drive-through coffee shop use based on the Project's proposed on-site and off-site improvements, traffic management plan, and the available on-site parking. Ultimately, the proposed drive-through coffee shop will provide added convenience for the surrounding community.

PUBLIC NOTIFICATION: The subject application was advertised as a hearing in at least one newspaper of general circulation in the City of Ontario (the Inland Valley Daily Bulletin newspaper).

CORRESPONDENCE: As of the preparation of this Agenda Report, Planning Department staff have not received any written or verbal communications from the owners or occupants of properties surrounding the Project site or from the public in general, regarding the subject application.

AGENCY/DEPARTMENT REVIEWS: Each City agency/department has been provided the opportunity to review and comment on the subject application and recommend conditions of approval to be imposed upon the application. At the time of the Decision preparation, recommended conditions of approval were provided and are appended to the attached Decisions as "Attachment A."

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed Project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan (TOP). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

(1) City Council Goals

- Invest in the Growth and Evolution of the City's Economy
- Focus Resources on Ontario's Commercial and Residential Neighborhoods
- Operate in a Businesslike Manner

(2) Vision

Distinctive Development that integrates our varied and diverse focal points, districts, centers, corridors, and neighborhoods to provide a feeling of coherence without sacrificing uniqueness.

Commercial and Residential Development

- Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.
- A system of vibrant retail, town, and neighborhood centers responsive to market demands and woven into the fabric of the community.
- Distinctive and well-maintained neighborhoods that offer exceptional variety in lifestyles, with convenient access to schools, recreation and cultural facilities, places of worship, places of employment and shopping.

Development Quality

- Unique and authentic districts, centers, and corridors of varied scales that establish Ontario as one of the most vital and diverse locales in Southern California.
- Superior quality and design of the built environment and open spaces through careful attention to detail at every scale, including public and private spaces and structures.

(3) Governance

Decision Making

Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.

- G1-1 Consistency with Policies. We require that staff recommendations to the City Council be consistent with adopted City Council Priorities (Goals and Objectives) and The Policy Pan.
- G1-2 Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision.

(4) Policy Plan (General Plan)

Land Use Element

Goal LU-1 Balance: A community that has a spectrum of housing types and price ranges that match the jobs in the City and that make it possible for people to live and work in Ontario and maintain a quality of life.

- LU-1.1 Strategic Growth. We concentrate growth in strategic locations that help create place and identity, maximize available and planned infrastructure, foster the development of transit, and support the expansion of the active and multimodal transportation networks throughout the City.
- LU-1.6 Complete Community. We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers, and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario.

Goal LU-2 Compatibility: Compatibility between a wide range of uses and a resultant urban patterns and forms.

- LU-2.1 Land Use Decisions. We minimize adverse impacts on adjacent properties when considering land use and zoning requests.
- LU-2.2 Buffers. We require new uses to provide mitigation or buffers between existing uses where potential adverse impacts could occur. Additional mitigation is required when new uses could negatively impact environmental justice areas.
- LU-2.4 Regulation of Nuisances. We regulate the location, concentration, and operation of potential nuisances.
- LU-2.5 Regulation of Uses. We regulate the location, concentration, and operation of uses that have impacts on surrounding land uses.
- LU-2.6: Infrastructure Compatibility: We require infrastructure to be aesthetically pleasing and in context with the community character.
- LU-2.11 Context-Aware Transitions and Connections. We require new development projects and land-planning efforts to provide context-aware and appropriate transitions and connections between existing and planned neighborhoods, blocks, sites, and buildings.

Goal LU-3 Flexibility: Staff, regulations and processes that support and allow flexible response to conditions and circumstances in order to achieve the Vision.

- LU-3.1 Development Standards. We maintain clear development standards which allow flexibility to achieve our Vision and provide objective standards that ensure predictability and deliver the intended physical outcomes.

Goal LU-5 Airport Planning: Integrated airport systems and facilities that minimize negative impacts to the community and maximize economic benefits.

- LU-5.7 ALUCP Consistency with Land Use Regulations. We comply with state law that requires general plans, specific plans, and all new development to be consistent with the policies and criteria set forth within an Airport Land Use Compatibility Plan for any public-use airport.

Community Economics Element

Goal CE-1 Complete Community: A complete community that provides for all incomes and stages of life.

- CE-1.5 Business Attraction. We proactively attract new and expanding businesses to Ontario in order to increase the City's share of growing sectors of the regional and global economy.

Goal CE-2 Placemaking: A City of distinctive neighborhoods, districts, corridors, and centers where people choose to be.

- CE-2.1 *Development Projects*. We require new development and redevelopment to create unique, high-quality places that add value to the community.
- CE-2.2 *Development Review*. We require those proposing new development and redevelopment to demonstrate how their projects will create appropriately unique, functional, and sustainable places that will compete well with their competition within the region.
- CE-2.4 *Protection of Investment*. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.
- CE-2.5 *Private Maintenance*. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Mobility Element

Goal M-1 Roadway System: A system of roadways that meets the mobility needs of a dynamic and prosperous Ontario.

- M-1.4 *Complete Streets*. We work to provide a complete, balanced, context-aware, multimodal transportation network that meets the needs of all users of streets, roads, and highways, including motorists, pedestrians, bicyclists, children, persons with disabilities, seniors, movers of commercial goods, and users of public transportation. We prioritize implementation of complete streets improvements in environmental justice areas to facilitate opportunities for residents to use active transportation systems.

Goal M-2 Active Transportation: A system of trails and corridors that facilitate and encourage active modes of transportation.

- M-2.3 *Pedestrian Walkways*. We require streets to include sidewalks and visible crosswalks at major intersections where necessary to promote safe and comfortable mobility between residential areas, businesses, schools, parks, recreation areas, and other key destination points.

Community Design Element

Goal CD-1 Image & Identity: A dynamic, progressive city containing distinct and complete places that foster a positive sense of identity and belonging among residents, visitors, and businesses.

- CD-1.1 City Identity. We take actions that are consistent with the City being a leading urban center in Southern California while recognizing, enhancing, and preserving the character of our existing viable neighborhoods.
- CD-1.2 Place Types. We establish Place Types in urban, mixed use, and transit-oriented areas to foster the City's identity as a premier community and require new development within each Place Type to incorporate prescribed urban patterns, forms, and placemaking priorities.
- CD-1.3 Existing Neighborhoods. We require the existing character of viable residential and non-residential neighborhoods be preserved, protected, and enhanced.

Goal CD-2 Design Quality: A high level of design quality resulting in neighborhoods, public spaces, parks, and streetscapes that are attractive, safe, functional, human-scale, and distinct.

- CD-2.1 Quality Building Design and Architecture. We encourage all development projects to convey visual interest and character through:
 1. Building volume, massing, and height to provide context-appropriate scale and proportion.
 2. A true architectural style which is carried out in plan, section, and elevation through all aspects of the building and site design and appropriate for its setting; and
 3. Exterior building materials that are articulated, high quality, durable, and appropriate for the architectural style.
- CD-2.3 Commercial Areas. We desire commercial areas and centers to be distinctive, pedestrian friendly, functional, and vibrant with a range of businesses, places to gather, and connectivity to the neighborhoods they serve.
- CD-2.5 Streetscapes. We design new and, when necessary, retrofit existing streets to improve walkability, bicycling and transit integration, strengthen connectivity, and enhance community identity through improvements to the public right-of-way such as sidewalks, street trees, parkways, curbs, street lighting and street furniture.
- CD-2.8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintaining visibility and accessibility, and using lighting.

- CD-2.9 Landscape Design. We encourage durable, sustainable, and drought-tolerant landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.
- CD-2.10 Parking Areas. We require all development, including single-family residential, to minimize the visual impact of surface, structured, and garage parking areas visible from the public realm in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include:
 1. Surface parking: Shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field.
- CD-2.11 Entry Statements. We encourage the inclusion of amenities, signage, and landscaping at the entry to neighborhoods, commercial centers, mixed use areas, industrial developments, and public places that reinforce them as uniquely identifiable places.
- CD-2.13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

Goal CD-5 Protection of Investment: A sustained level of maintenance and improvement of properties, buildings, and infrastructure that protects property values and encourages additional public and private investments.

- CD-5.1 Maintenance of Buildings and Property. We require all public and privately-owned buildings and property (including trails and easements) to be properly and consistently maintained.
- CD-5.2 Maintenance of Infrastructure. We require the continual maintenance of infrastructure.

HOUSING ELEMENT COMPLIANCE: The Project is consistent with the Housing Element of the Policy Plan (general plan) component of The Ontario Plan, as the project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

ENVIRONMENTAL REVIEW: The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines and meets all of the following conditions:

(a) ***The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and***

regulations. The proposed Project is located within the Neighborhood Commercial (NC) land use district of the Policy Plan Land Use Map, and the Neighborhood Commercial (CN) zoning district. The proposed Project is consistent with all applicable general plan policies, as well as with the Neighborhood Commercial (CN) zoning designation and applicable Development Code regulations.

(b) **The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.** The Project is proposed within the established boundaries of the City of Ontario, on a site totaling 0.64 acres of land, which is surrounded by commercial land uses to the north, east, and west, and vacant agricultural fields to the south.

(c) **The Project site has no value as habitat for endangered, rare, or threatened species.** The subject site is located within an existing commercial shopping center surrounded by commercial buildings to the north, east, and west, and as such is not a suitable habitat for any endangered, rare, or threatened species.

(d) **Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.** The proposed coffee shop building is similar to, and of no greater impact than other allowed uses and development projects within the Neighborhood Commercial (CN) zoning district. The Project would not result in any significant impacts through implementation of a required state, regional, and local development and performance standards.

(e) **The Project site can be adequately served by all required utilities and public services.** All necessary wet and dry utilities are available for the Project site.

TECHNICAL APPENDIX:

Table 1: Surrounding Zoning and Land Uses

	Existing Land Use	Policy Plan Designation	Zoning Designation	Specific Plan Land Use
Site	Vacant Pad/ Commercial Shopping Center	NC (Neighborhood Commercial)	CN (Neighborhood Commercial)	N/A
North	Vacant Land & Multi-Tenant Commercial Buildings	NC (Neighborhood Commercial)	CN (Neighborhood Commercial)	N/A
South	Vacant/Agricultural Fields	MU – Mixed Use	SP (AG) – Specific Plan (Agricultural) Overlay District	N/A
East	Vacant Land and Commercial Building (O'Reilly Auto Parts)	NC (Neighborhood Commercial)	CN (Neighborhood Commercial)	N/A
West	Commercial Shopping Center (Home Depot)	GC (General Commercial)	SP – Borba Village Specific Plan	Commercial Service

Table 2: General Site & Building Statistics

Item	Required Min./Max.	Proposed (Range)	Meets Y/N
Project Area (in acres):	10,000 SF	27,878 SF (0.64 acres)	Y
Minimum lot dept (in FT):	100 FT	159 FT	Y
Minimum lot width (in FT):	100 FT	176 FT	Y
Building Area:	N/A	950 square feet	Y
Floor Area Ratio:	0.40 Max.	0.036	Y
Maximum coverage (in %):	40%	3.6 %	Y
Minimum Landscape Coverage for Corner Lots:	18%	45%	Y
Minimum building setback (in FT) from principal arterial (Euclid Avenue):	20 FT	28 FT	Y
Minimum building setback (in FT) from minor arterial (Riverside Drive):	20 FT	90 FT	Y
Minimum building interior setback (in FT):	5 FT	5 FT & 10 FT	Y
Building Height:	35 feet Max.	24 feet	Y

Table 3: Parking Summary

Type of Use	Building Area (in SF)	Parking Ratio	Spaces Required	Spaces Provided
Coffee Shop	950	13.3 spaces per 1,000 SF of GFA.	13	
		Restaurants with drive-thru may be credited one space for each 24 lineal feet of drive-thru lane behind the pickup window. (150 lineal feet is provided)	(-6)	
TOTAL			7	8

Exhibit A: PROJECT LOCATION MAP



Exhibit B: SITE PLAN

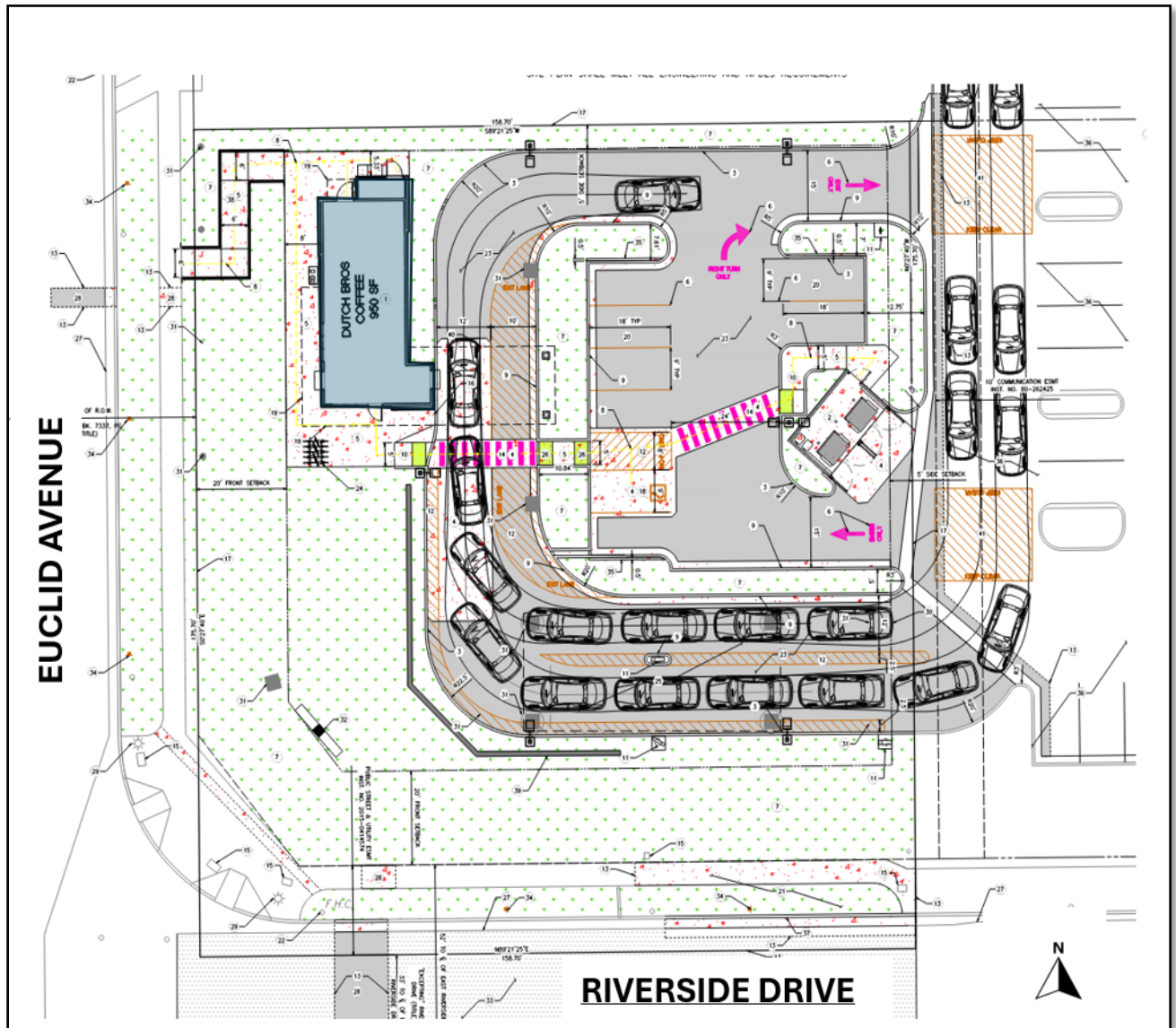


Exhibit C: FLOOR PLAN

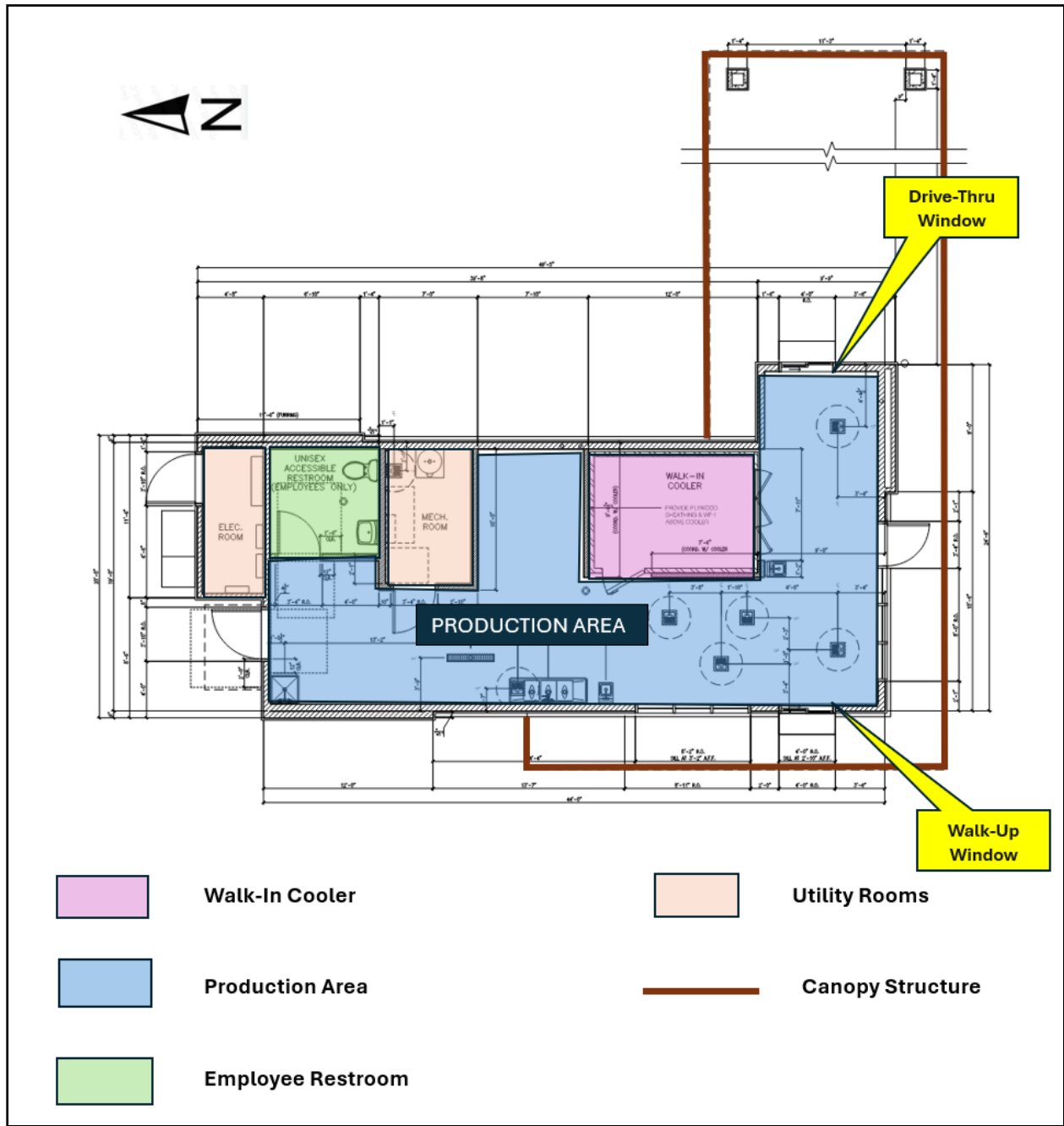


Exhibit D: EXTERIOR ELEVATIONS

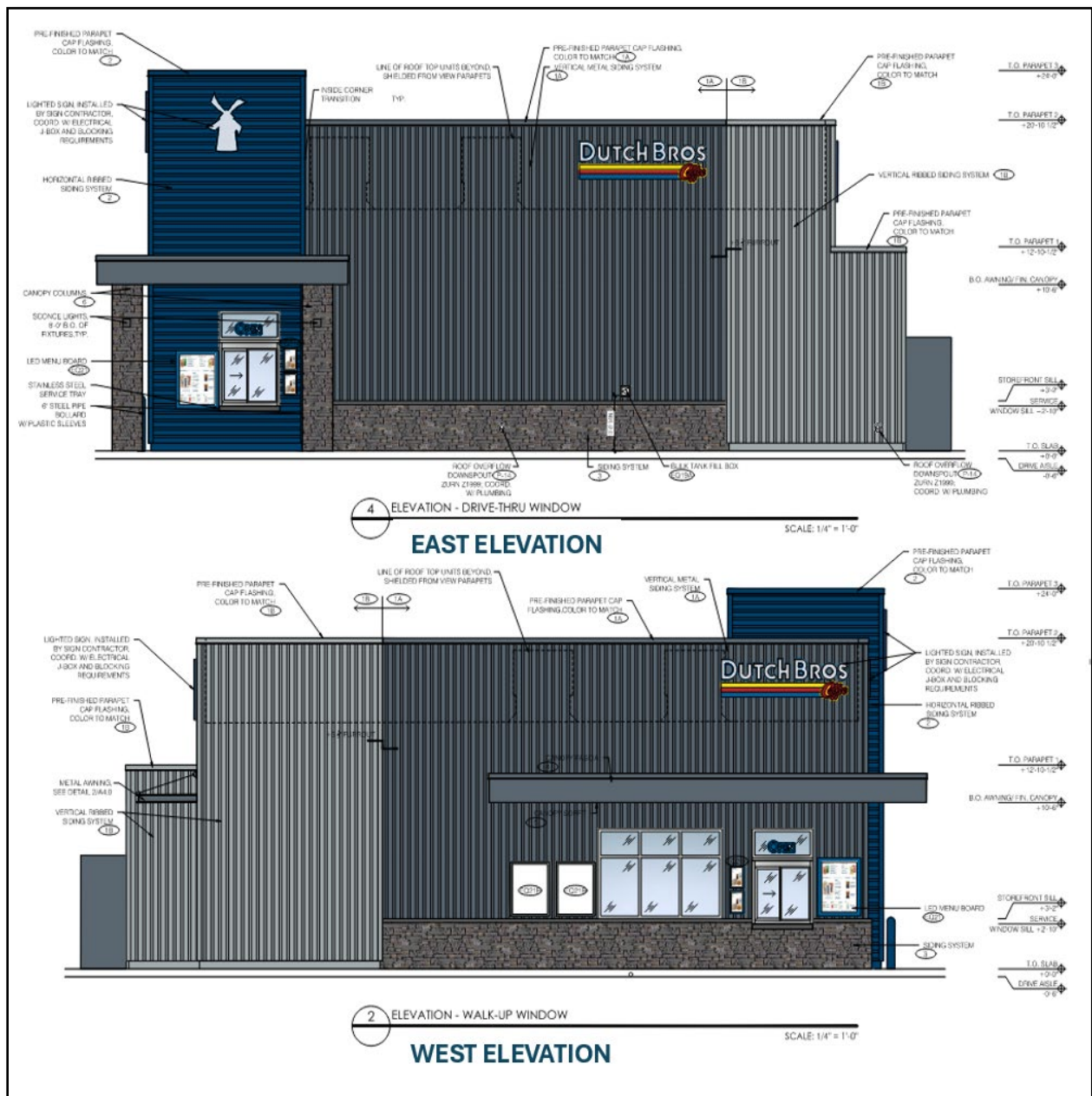


Exhibit E: EXTERIOR ELEVATIONS CONT'D

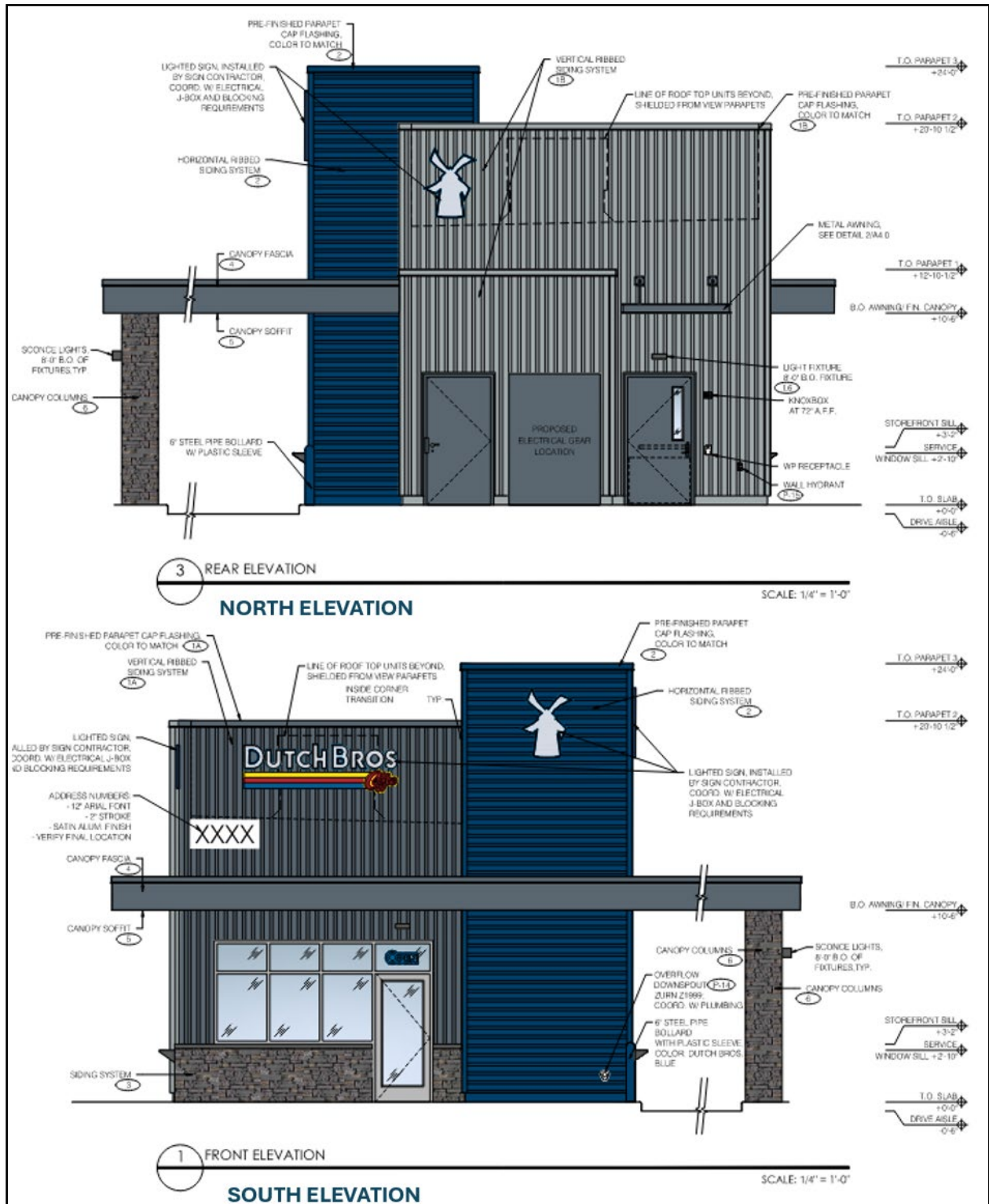


Exhibit F: COLOR AND MATERIAL BOARD







		
STONE VENEER AT WAINSCOT ELDORADO STONE COLOR: BANFF SPRINGS		WAINSCOT SILL ELDORADO STONE - SNAPPED EDGE COLOR: PEWTER
	→	
METAL PANEL AT TOWER WESTERN STATES METAL - WESTERN WAVE, 24 GA ORIENTATION: HORIZONTAL		COLOR: DUTCH BROS BLUE
	→	
METAL PANEL AT BUILDING: WESTERN STATES METAL - WESTERN WAVE, 24 GA ORIENTATION: VERTICAL		COLOR: DUTCH BROS DARK GRAY
	→	
		COLOR: DUTCH BROS LIGHT GRAY
	Dutch Bros Coffee CA6302 2951 S. Euclid Ave. Ontario, CA 91762	

Exhibit G: TRASH ENCLOSURE ELEVATIONS

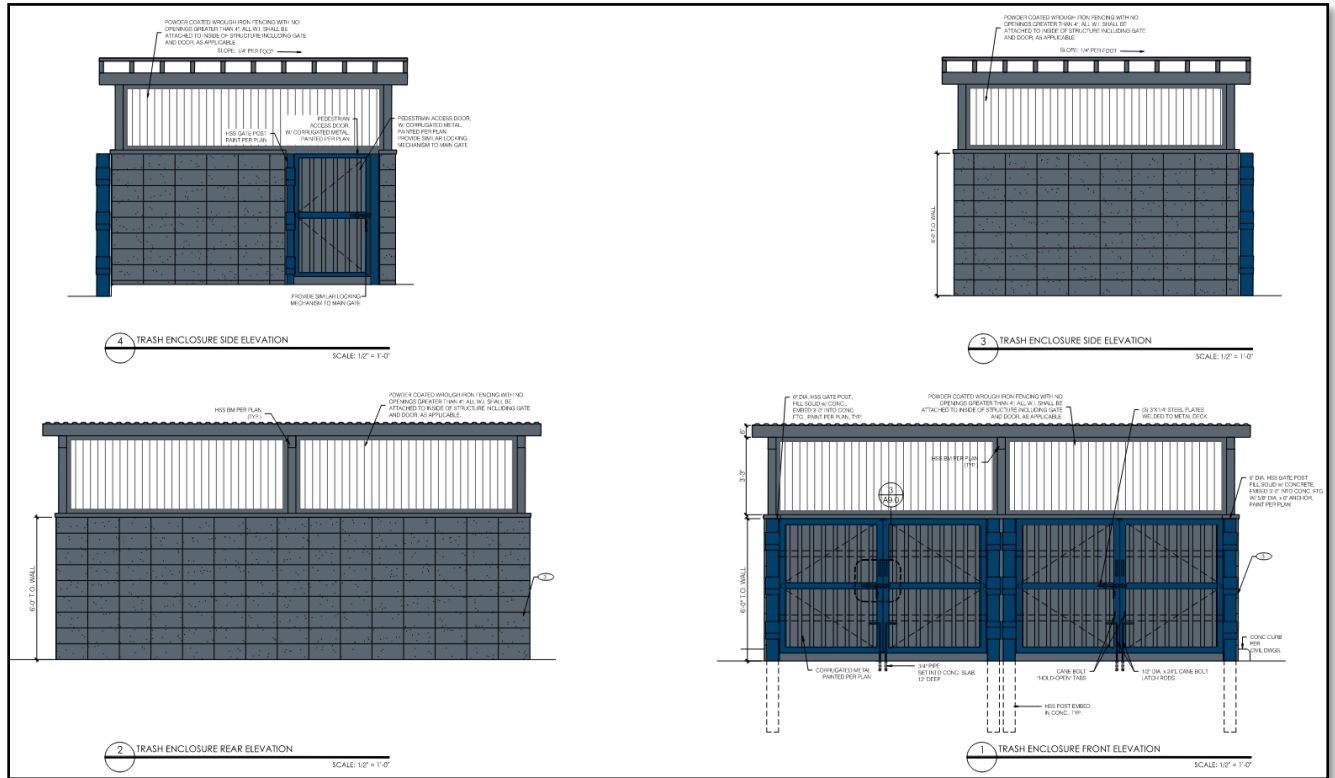


Exhibit H: LANDSCAPE PLAN

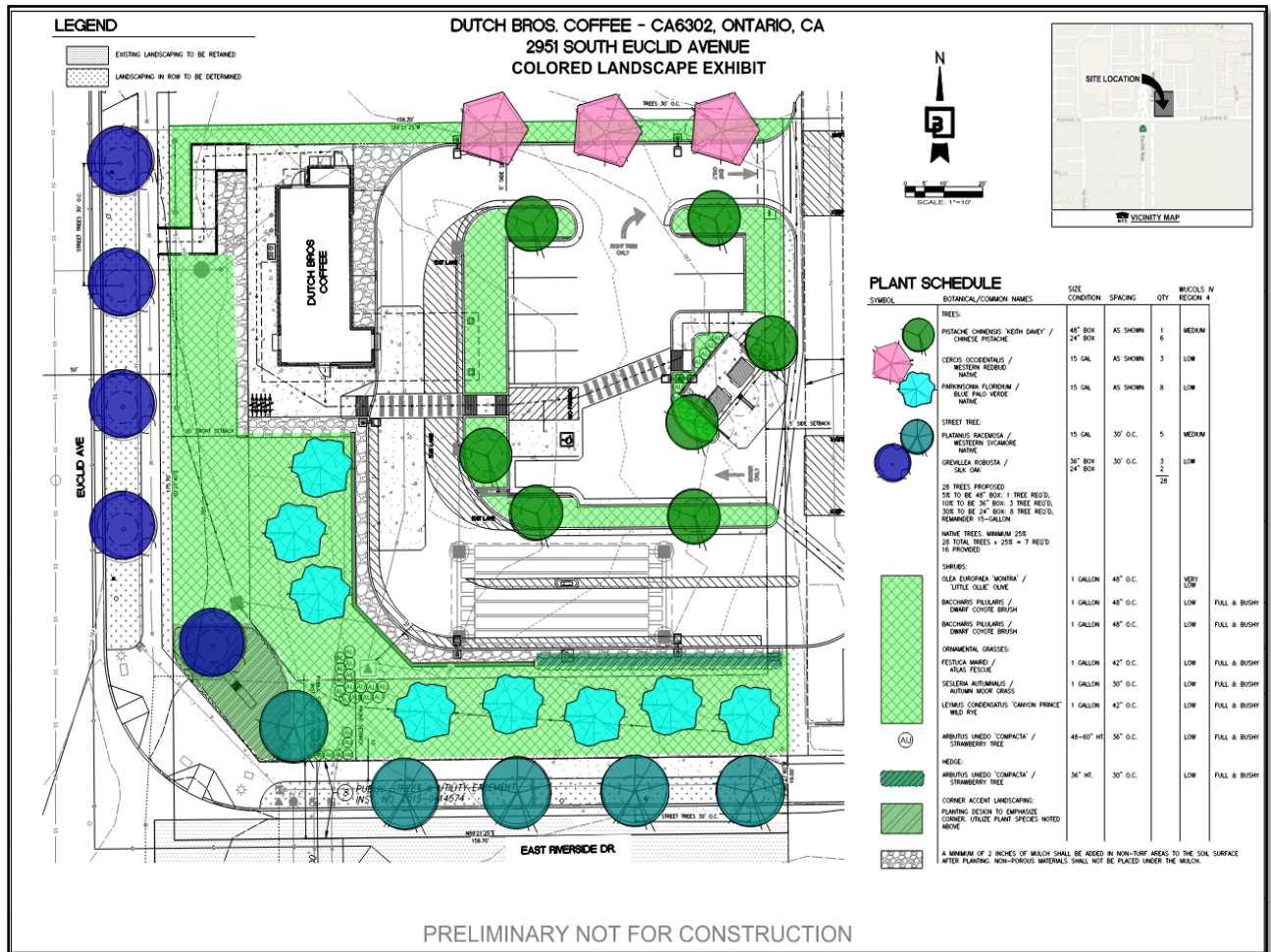


Exhibit I: SITE PHOTOS

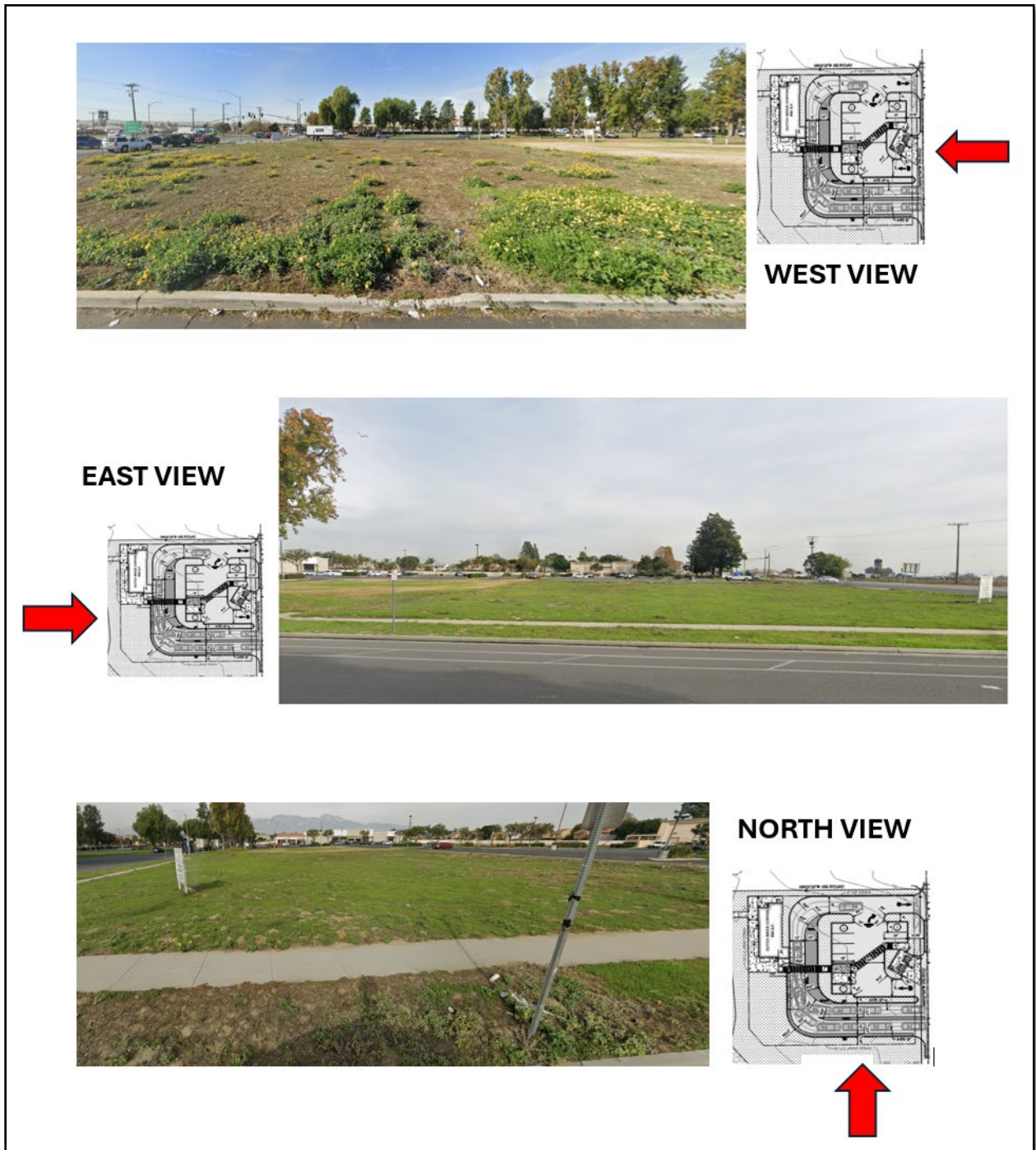


Exhibit J: ON-SITE IMPROVEMENT PLAN

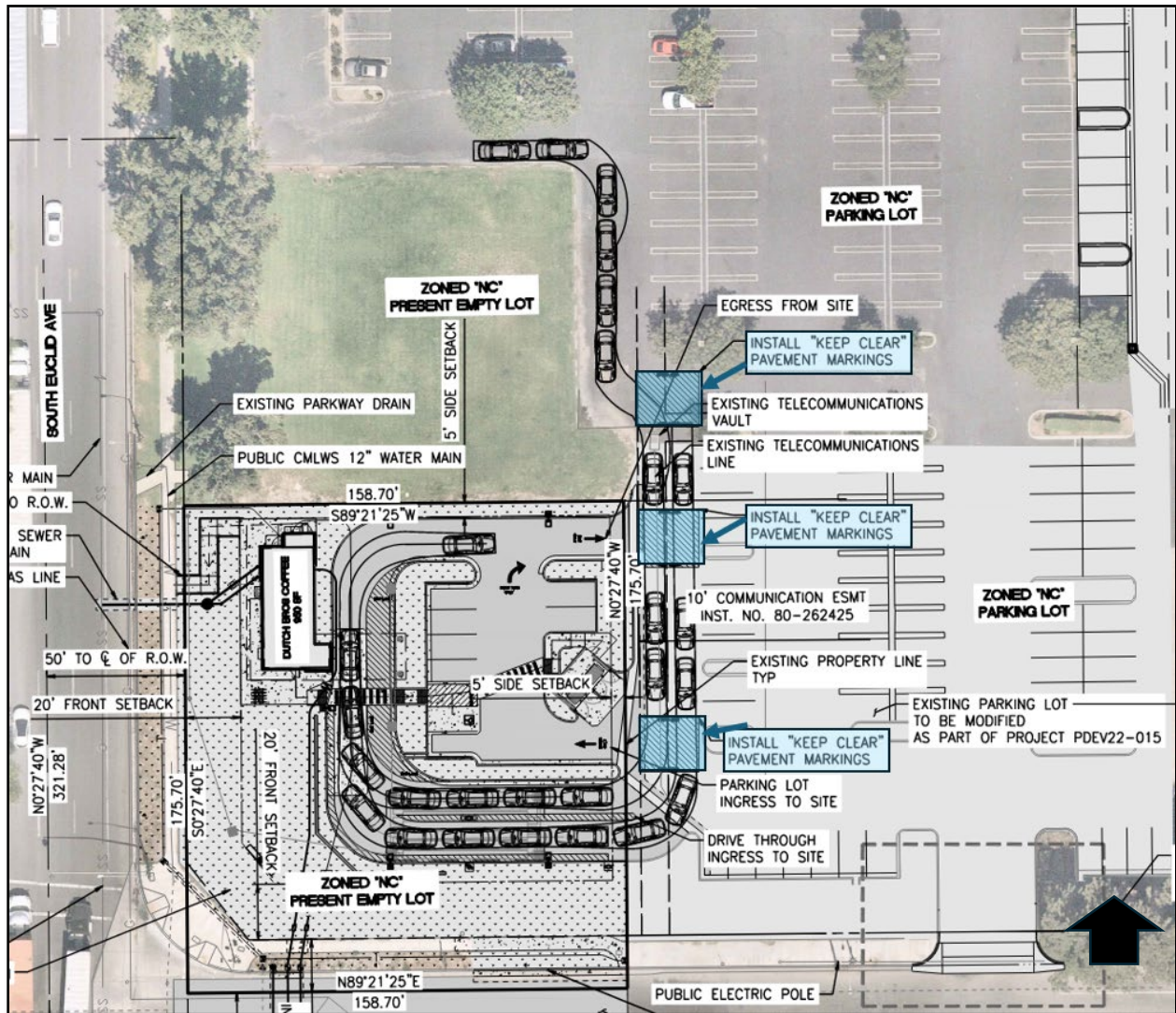
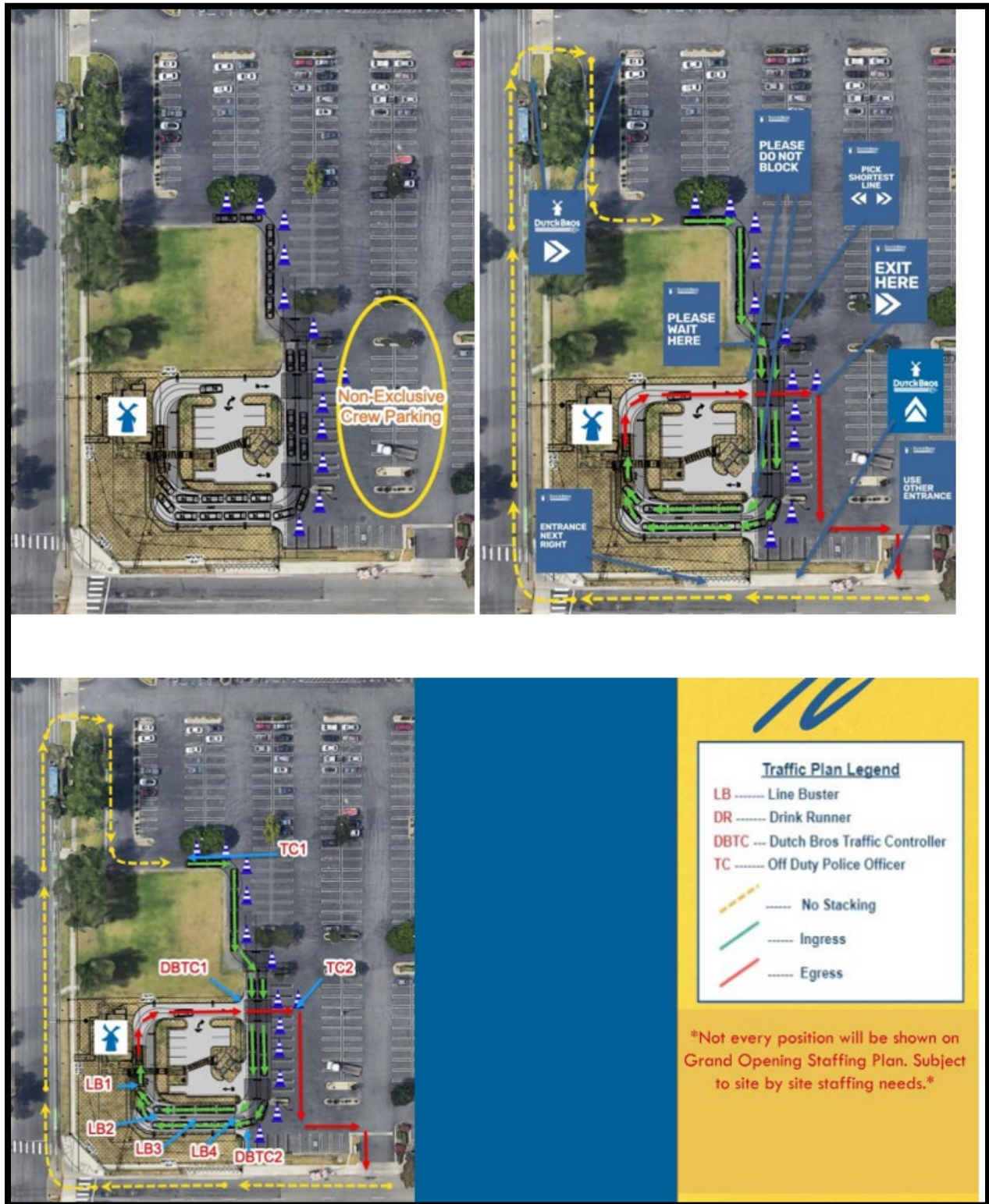


Exhibit K: TRAFFIC MANAGEMENT PLAN



DECISION NO.: [insert #]

FILE NO.: PCUP24-005

DAB Hearing Date: December 16, 2024

SUBJECT: A public hearing to consider a Conditional Use Permit (File No. PCUP24-005), to establish a 950 square-foot drive-through coffee shop (Dutch Bros. Coffee) on 0.64 acres of land at 2951 South Euclid Avenue within the CN (Neighborhood Commercial) zoning district (APN: 1051-614-01); **submitted by Dutch Bros Coffee. Planning Commission action is required.**

PART 1: RECITALS

WHEREAS, Dutch Bros Coffee (hereinafter referred to "Applicant") has filed an application requesting approval of a Conditional Use Permit (File No. PCUP24-005), as described in the Subject of this Decision (herein after referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 0.64 acres of undeveloped land located at the northeast corner of Euclid Avenue and Riverside Drive, at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district. The Project site is part of a large commercial shopping center; and

WHEREAS, the property to the north of the Project site is within the CN (Neighborhood Commercial) zoning district and is undeveloped. The property to the east is within the CN (Neighborhood Commercial) zoning district and is partially improved with parking and the rest is undeveloped. The property to the west of the Project site, across Euclid Avenue, is within the Commercial Service land use district of the Borba Village Specific Plan and is developed with a Home Depot store. The property to the south, across Riverside Drive, is within the SP (AG) – Specific Plan (Agricultural Overlay) zoning district and is presently vacant and used for agricultural purposes; and

WHEREAS, on March 19, 2024, the Applicant submitted a Conditional Use Permit (File No. PCUP24-005) application to establish a 950 square-foot drive through coffee shop (Dutch Bros. Coffee), in conjunction with a Development Plan (File No. PDEV24-007) application to construct a 950 square-foot commercial building on the Project site; and

WHEREAS, the proposed building is situated toward the northwest corner of the Project site, with the building oriented in a north to south configuration, with the drive-through pick-up window facing east. The building entrance will be located along the south elevation facing Riverside Drive. A walk-up window is located on the west side of the building facing towards Euclid Avenue, opposite of the drive-through window. Customers will be able to place orders at the walk-up window. There is no proposed indoor or outdoor seating for the Project; and

WHEREAS, Ontario Development Code subsection 5.03.150 (Drive-Thru Facilities) prescribes a building incorporating a drive-through that may have a GFA of less than 2,000 square feet subject to the approval of a Conditional Use Permit provided that the building is proposed to be located within an existing retail shopping center. The Project is proposed at 950 square feet and is located within an existing commercial shopping center located at the northeast corner of Euclid Avenue and Riverside Drive; and

WHEREAS, a Conditional Use Permit review is required to ensure that the proposed use will operate in a manner consistent with all local regulations and to ensure that the use will not be detrimental to the health, safety, or general welfare of the public, or improvements in the surrounding vicinity. The Project site is located within an established commercial shopping center that includes retail, restaurants, and service-related uses, and surrounded by a commercial development (Home Depot) to the west of the Project site; and

WHEREAS, the site plan has been designed to incorporate the overall circulation of the drive-through coffee shop to sufficiently mitigate any potential negative impacts to traffic and access associated with the proposed use. Additionally, the nearby businesses within and surrounding the area will not be exposed to any impacts beyond those that would normally be associated with any other drive-through facility or those of the existing commercial shopping center; and

WHEREAS, staff does not anticipate any land use compatibility issues with the drive-through coffee shop use based on the Project's proposed on-site and off-site improvements, traffic management plan, and the available on-site parking. Ultimately, the proposed drive-through coffee shop will provide convenience for the surrounding community; and

WHEREAS, in conjunction with the Conditional Use Permit, the Applicant is also requesting approval of a Development Plan (File No. PDEV24-007) to construct a 950 square-foot commercial building on the Project site; and

WHEREAS, approval of the Conditional Use Permit (File No. PCUP24-005) is contingent upon approval of the requested Development Plan (File No. PDEV24-007) by the Planning Commission; and

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make a recommendation to the Planning Commission; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan 2050, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ONT ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on December 16, 2024, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

PART 2: THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED AND DECIDED by the Development Advisory Board of the City of Ontario as follows:

SECTION 1: *Environmental Determination and Findings.* As the recommending body for the Project, the DAB has reviewed and considered the information contained

in the administrative record for the Project, including all written and oral evidence provided during the comment period. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The administrative record has been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from the requirements of the California Environmental Quality Act ("CEQA") pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines and meets each of the following conditions:

- (a) **The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations.** The proposed Project is located within the Neighborhood Commercial (NC) land use district of the Policy Plan Land Use Map, and the Neighborhood Commercial (CN) zoning district. The proposed Project is consistent with all applicable general plan policies, as well as with the Neighborhood Commercial (CN) zoning designation and applicable Development Code regulations.
- (b) **The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses.** The Project is proposed within the established boundaries of the City of Ontario, on a site totaling 0.64 acres of land, which is surrounded by commercial land uses to the north, east, and west, and a vacant agricultural field to the south.
- (c) **The Project site has no value as habitat for endangered, rare, or threatened species.** The subject site is located within an existing commercial shopping center surrounded by commercial buildings to the north, east, and west, and as such is not a suitable habitat for any endangered, rare, or threatened species.
- (d) **Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.** The proposed coffee shop building is similar to, and of no greater impact than other allowed uses and development projects within the Neighborhood Commercial (CN) zoning district. The Project would not result in any significant impacts through implementation of a required state, regional, and local development and performance standards.
- (e) **The Project site can be adequately served by all required utilities and public services.** All necessary wet and dry utilities are available for the Project site; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Development Advisory Board.

SECTION 2: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan 2050, as the Project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

SECTION 3: Airport Land Use Compatibility Plan (ALUCP) Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

(1) On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

SECTION 4: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific finding set forth in the Sections above, the DAB hereby concludes as follows:

(1) **The scale and intensity of the proposed land use would be consistent with the scale and intensity of land uses intended for the particular zoning or land use district.** The proposed location of the Conditional Use Permit is in accord with the objectives and purposes of the City of Ontario Development Code and the CN (Neighborhood Commercial) zoning district, and the scale and intensity of land uses intended for the

zoning district in which the use is proposed to be located. Furthermore, the proposed drive-through coffee shop land use will be established and operated consistent with the objectives and purposes, and development standards and guidelines, of the Development Code.

(2) ***The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the goals policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan 2050.*** The proposed drive-through coffee shop land use will be located within the NC (Neighborhood Commercial) land use district of the Policy Plan Land Use Map, and the CN (Neighborhood Commercial) zoning district. The development standards, and the conditions of approval under which the proposed land use will be established, operated, and maintained, are consistent with the goals, policies, plans, and exhibits of the Vision, City Council Priorities, and Policy Plan (General Plan) components of The Ontario Plan 2050.

(3) ***The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the objectives and requirements of the Development Code and any applicable specific plan or planned unit development.*** The proposed drive-through coffee shop land use is located within the NC (Neighborhood Commercial) land use district of the Policy Plan Land Use Map, and the CN (Neighborhood Commercial) zoning district, and has been reviewed and conditioned to ensure the establishment, operation and maintenance of the proposed land use consistent with all applicable objectives, purposes, standards, and guidelines of the Development Code.

(4) ***The establishment, maintenance, and operation of the proposed use at the proposed location would not be detrimental or injurious to property and improvements within the vicinity, nor would it be detrimental to the health, safety, or general welfare of persons residing or working in the surrounding neighborhood.*** The Development Advisory Board has required certain safeguards, and imposed certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; and [iv] the Project will be in harmony with the surrounding area in which it is proposed to be located.

SECTION 5: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attached hereto as "Attachment A," and incorporated herein by this reference.

SECTION 6: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to

attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: **Custodian of Records.** The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

SECTION 8: **Certification to Adoption.** The DAB Chairman shall certify to the adoption of the Decision.

APPROVED AND ADOPTED this 16th day of December 2024.

Development Advisory Board Chairman

ATTACHMENT A:

**File No. PCUP24-005
Departmental Conditions of Approval**

(Departmental conditions of approval to follow this page)

Date Prepared: 12/16/2024

File Nos: PDEV24-007 and PCUP24-005

Project Description: A public hearing to consider a Development Plan (File No. PDEV24-007) to construct a 950 square-foot commercial building on 0.64 acres of land, in conjunction with a Conditional Use Permit (File No. PCUP24-005), to establish a 950 square-foot drive-through coffee shop (Dutch Bros. Coffee) at 2951 South Euclid Avenue within the CN (Neighborhood Commercial) zoning district (APN: 1051-614-01); **submitted by Dutch Bros Coffee.**

Prepared By: Rafael Torres, Assistant Planner
Phone: 909.395.2979 (direct)
Email: rtorres@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

(b) Conditional Use Permit approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Conditional Use Permit approved in conjunction with a Development Plan shall have the same time limits as the Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for the project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department, Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(d) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(e) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11). The final design and placement of bicycle parking facilities shall be subject to Planning Department review and approval.

2.6 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lit from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

(c) Applicant shall work with staff during the plan check process to incorporate up and down lighting at key architectural and landscape areas to enhance the project in the evenings.

2.7 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened using landscaping and/or decorative low garden walls.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.10 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noise levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.11 Covenant, Conditions, and Restrictions (CC&Rs)/Mutual Access and Management Agreements.

(a) An Amendment to the existing CC&Rs shall be prepared for the Project and recorded prior to the issuance of occupancy/final.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owner's association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure that reciprocal parking and access between parcels and common maintenance of:

- (i)** Landscaping and irrigation systems within the common areas;
- (ii)** Landscaping and irrigation systems within the parkways adjacent to the Project site, including the portions of any public street right-of-way between the property line and the curb line and also the areas enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;
- (iii)** Shared parking facilities and access drives; and
- (iv)** Utility and drainage easements.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) CC&Rs shall grant the City of Ontario the right for enforcement of the CC&Rs provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.12 Environmental Requirements.

(a) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(b) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other

authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of a NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Final Occupancy. The Project Architect of record will certify that construction of each building site and the exterior elevations of each structure shall be completed in compliance with the approved plans. Any deviation to approved plans shall require a resubmittal to the Planning Department for review and approval prior to construction. The Occupancy Release Request Form/Architect Certificate of Compliance shall be provided prior to final occupancy. After the receipt of this Certification, the Planning Department will conduct a final site and exterior elevations inspection. The Owner's Representative and Contractor shall be present.

2.16 Additional Requirements.

(a) The proposed low profile decorative screen wall shall extend further along the drive-through lane to ensure all vehicles are screened from public view. The Applicant shall work with staff during the plan check process to finalize the final location and appearance of the wall.

(b) Applicant/staff shall adhere to the filed Traffic Management Plan during high drive-through demand to avoid any potential impacts at the Project site.

(c) During the plan check process color cut-sheets of all proposed exterior lighting fixtures shall be submitted for review and approval.

(d) The design of all new parking lot light standards shall be decorative, and the style shall complement the buildings design.

(e) Trash enclosure gates shall remain closed at all time.

(f) Any roof equipment on the building shall not be visible from public views. They shall be located below parapet walls or inside the architectural tower to be screened from public views.

(g) All proposed safety bollards shall be decorative bollards, and the design and colors shall blend well with the architecture style of the building. The Applicant shall work with

staff during the plan check process to finalize their appearance. Color cut-sheets shall be submitted for review and final approval.

(h) Prior to project occupancy an 11" x 17" size set of Final approved plans shall be submitted to the Project Planner. In addition, a digital copy on a USB of the approved Final set of plans (complete set), shall be submitted to the Project Planner.

(i) The Applicant shall work with staff during the plan check process to finalize the location(s) of the monument sign(s) for the project. All approved signage shall be installed prior to occupancy.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Land Development Division, Environmental Section, Traffic & Transportation Division, Ontario Municipal Utilities Company, Broadband Department, and Financial Services Agency Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV24-007</u> RELATED FILE NO(S). <u>PCUP24-005</u>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> / / </u>	

CITY PROJECT ENGINEER & PHONE NO: Yesenia Lopez *YL* (909)395-2103

CITY PROJECT PLANNER & PHONE NO: Rafael Torres (909)395-2979

DEVELOPMENT ADVISORY BOARD (DAB) MEETING DATE: December 2, 2024

PROJECT NAME / DESCRIPTION: PDEV24-007, a Development Plan to construct one commercial building totaling 950 square feet on 0.564 acres of land, within the CN (Neighborhood Commercial) zoning district. Related File(s): PCUP24-005.

LOCATION: 2951 South Euclid Avenue

APPLICANT: Dutch Bros. Coffee

REVIEWED BY: *JEFFREY TAN, P.E.*
PRINCIPAL ENGINEER
 FOR *Raymond Lee, P.E.* 11/8/24
 Assistant City Engineer Date

APPROVED BY: *Khoi Do*
 Khoi Do, P.E. 11-6-24
 City Engineer Date



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s):
 A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
(Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 **Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.**
- 2.05 **Apply for a:**
 - Certificate of Compliance with a Record of Survey;**
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
 - Private reciprocal access and drainage easement from adjacent properties.**
- 2.06 **Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.**



- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 **Submit a soils/geology report.**
- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: _____
- 2.10 Dedicate to the City of Ontario the right-of-way described below:

_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____ and _____.
- 2.11 Dedicate to the City of Ontario the following easement(s): _____
- 2.12 **Vacate the following street(s) and/or easement(s):**
 - a) **All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**
- 2.13 Ontario Ranch Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.14 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**



- 2.15** The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.

- 2.16** Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$9,665, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.

- 2.17** Other conditions:
 - a) Submit a copy of a recorded private reciprocal access and drainage easement from adjacent properties. The easement shall ensure, at a minimum, common ingress and egress, drainage and joint maintenance of all common access areas and drive aisles.
 - b) Submit a precise grading plan, including a Final Utilities Systems Map (FUSM) that shows all existing and proposed utilities (Domestic Water, Recycled Water, Sewer, Storm Drain and other utilities), including each of the City's public utilities points of connection to the existing systems.



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Riverside Drive	Euclid Avenue	---
Curb and Gutter	<input checked="" type="checkbox"/> New, where existing drive approach is to be removed; 40' from CL <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove ¹	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New, where existing drive approach is to be removed <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral



Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service²	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____
Other Improvements	_____	_____	_____

Specific notes for improvements listed in Item No. 2.18 above:

1. Drive approach to be removed along Riverside Drive shall be replaced with full height curb and gutter, sidewalk and landscaped parkway to join existing adjacent improvements.
2. Install purple ready, interim water service until future recycled water main is installed within Riverside Drive per the attached OMUC Utilities Engineering Conditions of Approval.

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on Riverside Drive from the centerline to gutter along the project frontage and re-stripe to match existing.
- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.



- 2.21 Depending on site conditions and number of utility service cuts at time of construction, additional pavement restoration may be required.
- 2.22 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.23 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately _____, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.24 Other conditions: _____

C. SEWER

- 2.25 A 10-inch sewer main is available for connection by this project in Riverside Drive and Euclid Avenue. (Ref: Sewer Drawing Number: S11232)
- 2.26 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.27 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.28 Other conditions:
 - a) See Exhibit 'B' for additional Sewer Conditions of Approval from OMUC Utilities Engineering Division.

D. WATER

- 2.29 A 12-inch water main is available for connection by this project in Riverside Drive and Euclid Avenue. (Ref: Water Drawing Number: W11598-W11599)
- 2.30 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.31 Other conditions:
 - a) See Exhibit 'B' for additional Water Conditions of Approval from OMUC Utilities Engineering Division.

E. RECYCLED WATER

- 2.32 A _____ inch recycled water main is available for connection by this project in _____. (Ref: Recycled Water Drawing Number: _____)
- 2.33 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.34 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.35 Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.

Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678 or email



OMUCWQPlanCheck@ontarioca.gov regarding this requirement. *Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.*

- 2.36 Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.
- 2.37 Other conditions:
 - a) See Exhibit 'B' for additional Recycled Water Conditions of Approval from OMUC Utilities Engineering Division.

F. TRAFFIC / TRANSPORTATION

- 2.38 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.39 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.40 Other conditions:
 - a) If at the time of development of PDEV24-007, PDEV22-015 (Self Storage Project) has not constructed improvements along Riverside Drive, the applicant/developer shall be responsible to design and construct a new driveway, approximately 370 feet from Euclid Avenue, onto Riverside Drive, in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveways.
 - b) Where a driveway closure is being proposed, the applicant/developer shall backfill the existing driveway curb-cuts with full height curb and gutter, sidewalk, and landscaped parkway in accordance with all City standards and to the satisfaction of the City Engineer.
 - c) Existing parkway restrictions on Euclid Avenue and Riverside Drive shall remain in place. Install additional signage as necessary.
 - d) All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.

G. DRAINAGE / HYDROLOGY

- 2.41 A _____ inch storm drain main is available to accept flows from this project in _____.
(Ref: Storm Drain Drawing Number: _____)
- 2.42 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.43 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.44 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.45 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.



2.46 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

2.47 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.

2.48 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**

2.49 **Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.**

2.50 **Other conditions:**
a) **Trash enclosures are required to have solid roofs.**

J. SPECIAL DISTRICTS

2.51 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.

2.52 Other conditions: _____

K. FIBER OPTIC

2.53 A _____ fiber optic line is available for connection by this project in _____.
(Ref: Fiber Optic Drawing Number: _____)

2.54 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.**

2.55 **Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000 regarding this requirement.**

2.56 **Other conditions:**
a) **See Exhibit 'C' for additional Fiber Optic Conditions of Approval from Broadband Operations Section.**



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



EXHIBIT 'A'

ENGINEERING DEPARTMENT First Plan Check Submittal Checklist

Project Number: PDEV24-007/PCUP24-005

All plan check submittals are to be done digitally through the City of Ontario Citizen Portal Access. The following items are to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **Engineering Cost Estimate (on City form) with engineer's wet signature and stamp**
4. **Project Conditions of Approval**
5. Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
6. Public Street improvement plan with street cross-sections
7. Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
8. Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
9. Public Sewer improvement plan
10. Public Storm Drain improvement plan
11. Public Street Light improvement plan
12. Signing and Striping improvement plan
13. **Fiber Optic plan (include Auto CAD electronic submittal)**
14. HOA Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
15. CFD Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
16. Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
17. Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
18. **Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
19. **Hydrology/Drainage study**
20. **Soils/Geology report**
21. Payment for Final Map/Parcel Map processing fee



- 22. Final Map/Parcel Map
- 23. Approved Tentative Map
- 24. **Preliminary Title Report (current within 30 days)**
- 25. Traverse Closure Calculations
- 26. **Set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 27. **Supplemental Engineering Report, in electronic format (PDF format), for recycled water use only must be reviewed and submitted to the Division of Drinking Water by OMUC Water Quality Programs before clearing plan check workflows (including grading and landscape plan reviews). Approval letter issued by the Division of Drinking Water must be obtained before meter installation and, if applicable, occupancy release.**
- 28. **Other: Precise Grading Plan with proposed off-site improvements and Final Utilities Systems Map (FUSM).**



CITY OF ONTARIO MEMORANDUM



DATE: October 23, 2024

TO: Rafael Torres, Planning Department
Jeff Tang, Engineering Department

FROM: Peter Tran, Utilities Engineering

SUBJECT: DPR #3 – Conditions of Approval (COA) - Utilities Comments(#10581 and #10598)

PROJECT NO.: PDEV24-007 and PCUP24-005

BRIEF DESCRIPTION

A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. **Standard Conditions of Approval:** Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as the project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. **Final Utilities Systems Map (USM):** Submit a Final Utilities Systems Map (FUSM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.
 - a. The proposed utilities, utility alignments, and Public Rights-of-Way/Public Utility Easements shown on the Conceptual Utilities Systems Map (CUSM) and other Entitlement documents

are not considered final and shall be revised during Final Design to meet all City Design Guidelines, Standards, City Requirements, and all of the Conditions of Approval contained in this document.

3. Design Utilities to comply Department of Drinking Water (DDW) Separation Requirements and California Code of Regulations (CCR) § 64572 Compliance: All DDW Separation Requirements under CCR § 64572 must be met. In order to assure compliance with CCR § 64572, on all design documents and plans: label the separation dimensions, measure from outside wall of the conveyances, between public potable water to any other public or private non-potable conveyance (sewer, storm drain, storm water, storm water infiltration, recycled water, recycled water irrigation, high pressure gas/petroleum, etc) whether publicly or privately maintained; provide one label per sheet per conveyance and additional labels where separation dimensions and alignments change; and, for any facilities not currently meeting the separation requirements, revise plans/documents so that the facilities meet the separations requirements.
4. Public Utilities and Public Right-of-Way including Public Utility Easements (PUE): All City of Ontario Public Utilities shall be installed within a Public Right-of-Way. In this case, Public Right-of-Way (PRoW) means the improved or unimproved surface of and the space above and below any of the following that are controlled, used or dedicated to the City or that are for use by the public and located within the City's jurisdictional limits: streets, roadways, highways, avenues, lanes, alleys, sidewalks, public utility easements, rights-of-way and similar public property, or any combination of these.
5. Unused Service Abandonment: All adjacent water services (along with connected appurtenances) and sewer laterals and main stubs along the frontages of the project site not used to provide service to this Development Project shall be abandoned back to the main in accordance with City Standards and Practices.
6. Note the following:
The Occupant/Applicant shall apply for a Wastewater Discharge Permit for their establishment and shall comply with all the requirements of the Wastewater Discharge Permit. The application can be downloaded from the City's Utilities website in the drop-down of the "Pretreatment" section (www.ontarioca.gov/OMUC/Utilities). Please select the appropriate application that applies to your type of business. Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors or clarifiers. For wastewater permit application questions, please contact:

Michael Birmelin, Environmental Programs Manager
omucenvironmental@ontarioca.gov
Phone: (909) 395-2661

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

7. Sanitary Sewer Mains Improvements:
 - a. N/A.
8. Sanitary Sewer Service:
 - a. The building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Laterals for the building shall be limited to the minimum necessary to meet all of the conditions of approval and as limited by the City.
 - b. For each Public Sewer Lateral Service to an existing sewer main: the existing sewer main being connected to shall be CCTV Inspected between the upstream and downstream manholes of the connection once before and once after the Sewer Lateral connection is made and any damage to the sewer main resulting from the installation of the Sewer Lateral shall be repaired to meet City Standards and Requirements prior to placing the Sewer Lateral in service.

- c. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Public Sewer Lateral.
9. Private Onsite Sewer System and Plumbing: The Onsite Sewer System shall be privately maintained by the property owner and shall meet the following requirements:
- a. For wastewater flows for non-residential uses:
 - i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. The building and its connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.
 - b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Private Onsite Sewer pipes.
10. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

11. Potable Water Main Improvements:
- a. N/A.
 - b. Fire Hydrants: Fire Hydrants along Potable Water Mains shall be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - i. New Fire Hydrant: Construct a new fire hydrant at the northeast corner of Riverside Drive and Euclid Avenue, at least 5' minimum east of the BCR.
12. Potable Water Service:
- a. Backflow Prevention:
 - i. A Backflow Prevention Device is required for each Meter connected to the Public Potable Water System that: serves any residential use that is more than one (1) single family residential unit; or, any non-residential use; or, only irrigation use.
 - ii. Backflow Prevention Device Location: A Backflow Prevention Device location shall comply with the following requirements:
 - A. In order to reduce the risk of backflow contamination to the Public Potable Water System, the length of pipe between the Public Potable Water Main and the Backflow Device shall be as minimally short as possible.
 - 1) Along Public Streets within Publicly Dedicated Right-of Way: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the property line or back of sidewalk, whichever is closer.
 - 2) Along Private Streets: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow

concrete pad to the meter box or back of sidewalk (or back of curb where there is no sidewalk), whichever is closer.

- 3) Only one single bend of up to 90 degrees maximum is allowed along the pipe to the Backflow and the single bend must be located at one of the following places: either the along the 90-degree riser connecting at the backflow assembly; or, at the end of the 12-inch stub at the back of the meter box.
 - 4) All the minimum DDW Separations also apply to the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) and any Backflow Device (or DCDA). This also includes storm water quality improvements (infiltration, detention, retention, bioswale, etc). Also, no public or private non-potable water conveyances (private utilities, plumbing lines, sewer, private fire system, storm drain) shall cross the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) or under any Backflow Device (or DCDA).
- b. Domestic Service: For domestic water uses:
- i. The Building shall have a its own domestic water service and meter connected to the Public Potable Water System.
- c. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water currently, the landscape irrigation uses shall have a separate irrigation water service and meter with a backflow prevention device connected to the Public Potable Water System separate from the domestic water uses. The onsite plumbing systems and irrigation systems shall be also separate from each other.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

13. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
14. Recycled Water Service: To comply with City Ordinance 2689:
 - a. Purple Ready:
 - i. A recycled water main is Master Planned to be installed in the future within Riverside Drive.
 - ii. Design and construct all Project irrigation areas that are permissible of using recycled water to the standards and requirements to use recycled water (such as using purple pipe, preparation and approval of an Engineer's Report for Recycled Water Use, etc).
 - iii. Install irrigation services with meters for future recycled water use along Riverside Drive connecting to the public potable water system temporarily until recycle water becomes available to the Project.
 - iv. When recycled water becomes available to the Project, the Project shall connect to recycled water and convert to recycled water use and all costs and fees shall be borne solely by the Project/Applicant.

Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owner's association require irrigation services and meters separate from those that are maintained by the property owner or owner's association



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
Henry Noh, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
James Caro, Building Department
Raymond Lee, Engineering Department
Jamie Richardson, Landscape Planning Division
Dennis Mejia, Municipal Utility Company
Heather Lugo, Police Department
Paul Erhman, Deputy Fire Chief/Fire Marshal
Jay Bautista, Traffic/Transportation Manager - *Diego Tapia*
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: September 23, 2024 *3rd Submittal*

SUBJECT: FILE #: PDEV24-007 & PCUP24-005 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

ENG/TRAFFIC
Department

[Signature]
Signature

ENG ASST
Title

10/21/2024
Date
Item C - 58 of 177



CITY OF ONTARIO

MEMORANDUM

Development Plan Review

Project: PDEV24-007/PCUP24-005
(Dutch Bros Coffee)

Date: October 21, 2024

Location: 2951 South Euclid Avenue

By: Diego Tapia 

The Transportation Division recommends the following to be incorporated into the Project's Conditions-of-Approval:

Conditions:

1. If at the time of development of PDEV24-007, PDEV22-015 (Self Storage Project) has not constructed improvements along Riverside Drive, the Applicant/Developer shall be responsible to design and reconstruct the westernmost driveway onto Riverside Drive in accordance with City of Ontario Standard Drawing No.1204 for Commercial Driveways.
2. Where a driveway closure is being proposed, the Applicant/Developer shall backfill the existing driveway curb-cuts with full-height curb and gutter, sidewalk, and landscaped parkway in accordance with all City standards and to the satisfaction of the City Engineer.
3. Existing parking restrictions on Euclid Avenue and Riverside Drive shall remain in place. Install additional signage as necessary.
4. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.

dt;



CITY OF ONTARIO MEMORANDUM

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL Broadband Operations Section

DATE:10/01/2024

PROJECT: PDEV24-007

LOCATION: Euclid and Riverside

PROJECT ENGINEER:

BROADBAND PLAN CHECKER: Cameron Chadwick - CChadwick@ontarioca.gov

The following Conditions of Approval requirements must be incorporated prior to the Development Advisory Board and/or Zoning Administrator Hearing.

1. Project shall be designed and constructed to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole in the Right-of-Way (ROW) and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.
2. Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties within a reasonable distance. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
3. Where a joint telecom or street light street crossing is required, include (2) 2" HDPE SDR-11 conduits or (1) 4" schedule 80 conduit sleeve. Terminate the street crossing conduit(s) in a new HH-3/22 OntarioNet hand hole in the right of way
4. The City requires a public utility easement for fiber optics on all private aisles/alley ways.
5. Hand holes - Design and install OntarioNet fiber optic hand hole HH-FP (10x00x10), HH-1 (13x24x18), HH-2 (17x30x24), HH-2A (24x36x30), HH-3 (30x48x36) and/or HH-4 (36x60x36) as needed. Respectively, Newbasis Part # PLA100010T-00002, PCA132418-00006, PCA-173024-90116, PCA-243630-90064, PCA-304836-90244 and PCA-366036-90146 or equivalent as specified per City Standard 1316. Conduits sweeping into hand holes shall enter in flush with the cut-out mouse holes aligned parallel to the bottom of the box and come in perpendicular to the wall of the box. Conduits shall not enter at any angle other than parallel. Provide 5-foot minimum clearance from existing/proposed utilities. All hand holes will have ¼-inch galvanized wire between the hand holes and the gravel it is placed on.
6. ROW Conduit – Design and install fiber optic conduit at a minimum depth of 36-inch. Trenching shall be per City Standard 1306. Install (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct and (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange with Black Stripe) duct. Conduit(s) between ROW hand holes and hand holes on private property shall be 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct.
7. Building Entrance (Single Family) – Design and install 0.75-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct from hand holes on property or hand holes in the ROW. Consult City's Fiber Team for design assistance.
8. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install

locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct

9. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
10. A minimum 13/16 millimeter microduct joint use telecommunications conduit with pull-rope from the single-family, multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
11. Warning Tape - Contractor shall supply and install an approved non-detectable warning tape 18-inch above the uppermost conduit when backfilling trenches, pits or excavations greater than 10' in length. Warning Tape shall be non-detectable, Orange in color, 4-inch minimum width, 4 mil, 500% minimum elongation, with bold printed black letters "CAUTION - BURIED FIBER OPTIC CABLE BELOW" printed in bold black lettering no less than 2-inch high.
12. All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All hand holes, conduits and ducts shall be placed in the public right of way.
13. All unused conduits/ducts/microducts shall be protected with duct plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
14. Locate/Tracer Wire - Conduit bank requires (1) 12AWG high strength (minimum break load 452#) copper-clad steel with 30mil HDPE orange insulation for locate/tracer wire. Contact City's Fiber Team for tracer wire specifications and see note 8.
15. Multi-family dwellings are considered commercial property.
16. Refer to the In-tract Fiber Network Design guideline on the City's website for additional in-tract conduit guidelines.



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
Henry Noh, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
James Caro, Building Department
Raymond Lee, Engineering Department
Jamie Richardson, Landscape Planning Division
Dennis Mejia, Municipal Utility Company
Heather Lugo, Police Department
Paul Erhman, Deputy Fire Chief/Fire Marshal
Jay Bautista, Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: July 02, 2024 Revision #1

SUBJECT: FILE #: PDEV24-007 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - See previous report for Conditions
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply

- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
Henry Noh, Planning Director (Copy of memo only)
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Jay Bautista, Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: July 02, 2024 Revision #1

SUBJECT: FILE #: PCUP24-005 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Conditional Use Permit to establish a 950 square-foot drive-thru coffee shop on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PDEV24-007.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.



CITY OF ONTARIO

MEMORANDUM

TO: Brenda Fregoso, Engineering Department
FROM: Arij Baddour, Assistant Engineering
DATE: July 22, 2024
SUBJECT: File No. PDEV24-007 & PCUP24-005 Sub 2

The Site Plan for this project is approved for DAB based on the following conditions:

This project will be conditioned in the Engineering DAB Report to prepare a WQMP based on the approved PWQMP. The WQMP template is available at: <http://www.sbcounty.gov/dpw/land/npdes.asp> or on the City's website under Engineering/Environmental Services.

This project is located within the Priority Land Use (PLU) area, which is an area consisting of high-density residential (10 dwelling units per acre or higher), industrial, commercial, mixed urban, and public transportation station land uses and shall comply with the statewide Trash Provisions adopted by the State Water Resources Control Board (SWRCB) by installing State certified Full Trash Capture System devices. Full capture devices must be selected from the approved list on the State Water Board website. https://www.waterboards.ca.gov/water_issues/programs/stormwater/docs/trash_implementation/certified_fc_sdevicelist_16Feb2021.pdf



Engineering Department

Preliminary Water Quality Management Plan (PWQMP)

For compliance with Santa Ana Regional Water Quality Control Board
Order Number R8-2010-0036 (NPDES Permit No. CAS618036)

Project Name: Dutch Bros Coffee CA6302

Ontario Project #: PDEV24-007

Applicant Name: John Caglia, Dutch Bros Coffee

Applicant Address: 110 SW 4th St. Grants Pass OR 97526

Project Address: 2951 S. Euclid Ave.

Project Size (acres): 27,883 SF (0.64 ac) (0.593 ac disturbed)

Project Description: 950 SF coffee stand with trash enclosure and circulation



Submittal Date: July 1, 2024

Preliminary Water Quality Management Plan (PWQMP)

1. Introduction

The Preliminary Water Quality Management Plan (PWQMP) is a planning tool to improve integration of required water quality elements, stormwater management, water conservation, rainwater harvesting and re-use, and flood management in land use planning and the City’s development process. The Preliminary WQMP will assist project applicants and planners in properly designing and laying out project sites so that water quality may be incorporated in the most effective manner and at the lowest cost for the developer.

The San Bernardino County Municipal Separate Storm Sewer System Permit (MS4 Permit) requires project-specific Water Quality Management plans (WQMP) to be prepared for all priority new development and significant redevelopment projects listed in Section 2 of this document. The MS4 Permit stipulates that the City of Ontario require priority project applicants to submit a Preliminary project-specific WQMP, as early as possible, during the environmental review or planning phase of a development project and that the Preliminary WQMP be approved prior to the issuance of land use entitlement.

2. Priority Projects (requiring a Preliminary WQMP)

Land Use entitlement shall not be issued for any of the listed projects, below, until a Preliminary WQMP has been approved by the City’s Engineering Department. For construction projects not going through entitlement, a Preliminary and Final project specific WQMP shall be approved, prior to the issuance of construction permits:

Check the appropriate project category below, for this project:

Check below	Project Categories
	1. All significant re-development projects. Significant re-development is defined as the addition or replacement of 5,000 or more square feet of impervious surface on an already developed site subject to discretionary approval of the Permittee. Redevelopment does not include routine maintenance activities that are conducted to maintain original line and grade, hydraulic capacity, original purpose of the facility, or emergency redevelopment activity required to protect public health and safety. Where redevelopment results in an increase of less than fifty percent of the impervious surfaces of a previously existing developed site, and the existing development was not subject to WQMP requirements, the numeric sizing criteria discussed below applies only to the addition or replacement, and not to the entire developed site. Where redevelopment results in an increase of fifty percent or more of the impervious surfaces of a previously existing developed site, the numeric sizing criteria applies to the entire development (new and existing).
✓	2. New development projects that create 10,000 square feet or more of impervious surface (collectively over the entire project site) including commercial, industrial, residential housing subdivisions (i.e., detached single family home subdivisions, multi-family attached subdivisions or townhomes, condominiums, apartments, etc.), mixed-use, and public projects. This category includes development projects on public and private land, which fall under the planning and building authority of the permitting agency.

**Check
below**

Project Categories

	3. Automotive repair shops (with SIC codes 5013, 5014, 5541, 7532- 7534, 7536-7539).
✓	4. Restaurants and Food Service Establishments where the land area of development is 5,000 square feet or more.
	5. Developments of 2,500 square feet of impervious surface or more adjacent to (within 200 feet) or discharging directly into environmentally sensitive areas (ESA's) such as areas designated in the Ocean Plan as areas of special biological significance or waterbodies listed on the CWA Section 303(d) list of impaired waters.
	6. Parking lots of 5,000 square feet or more exposed to storm water. Parking lot is defined as land area or facility for the temporary storage of motor vehicles.
	7. Retail Gasoline Outlets (RGOs) that are either 5,000 sq ft or more or have a projected average daily traffic of 100 or more vehicles per day.
	8. *This project is not covered under any of the categories listed above.

* If the development is not covered under any of the project categories listed in Section 2, the project is not required to design and install Site Design/LID BMPs or Treatment Control BMPs to treat the design storm event (Design Capture Volume) described in Section 4.

3. Preliminary WQMP Objectives

Through a combination of Site Design/LID BMPs (where feasible), Source Control, and/or Treatment Control BMPs, project-specific WQMPs shall address all identified pollutants and hydrologic conditions of concern from new development and significant re-development projects for the categories of projects (priority projects) listed in Section 2. Under each type of BMP, listed below, please indicate which BMPs are planned to be implemented and included in the Final WQMP for the project:

A. Site Design/LID (Low Impact Design) for Reducing Stormwater Runoff:

The MS4 Permit requires each priority development project to infiltrate, harvest and use, evapotranspire, or bio-treat the runoff from a 2-yr, 24-hour storm event (Design Capture Volume). If site conditions do not permit infiltration, harvest and use, evapotranspiration, and/or bio-treatment of the entire Design Capture Volume, at the project site, Site Design/LID techniques are required to be implemented to the Maximum Extent Practicable, at the project site, and the remainder of the DCV shall be infiltrated, harvested, bio-treated or treated by alternative measures. Project applicants shall submit a Preliminary WQMP that documents the LID/Site Design BMPs, proposed for the project. Please indicate, in the table below, which Site Design/LID BMPs will be utilized on this project to accomplish this requirement:

Site Design/LID Practice	Planned	Not Planned
Provide at least the minimum effective area required for LID BMPs, to comply with the WQMP (see Table 3-1 below).	✓	
Grade parking lot areas/drive aisles/roof drains to sheet flow runoff into landscaped swales, via curb cuts or zero-face curbs or otherwise disconnect direct drainage from MS4.		✓
Design landscaped areas as swales and grade to accept runoff from building roofs, parking lots and project roadways.	✓	
Install surface retention basins or infiltration trenches to receive impervious area runoff.		✓
Install pervious pavement in parking stalls, alleys, driveways, gutters, walkways, trails or patios.		✓
Install underground stormwater retention chambers where downstream landscaped areas are limited.	✓	
Install approved Stormwater Drywells in detention areas.		✓
Construct streets, sidewalks, and parking lot stalls to the minimum widths necessary.	✓	
Install on-site Biotreatment basins/trenches with underdrains, where soil type is poorly draining.		✓
Install "Engineered Soil" to increase uptake/soil storage capacity and/or evapotranspiration.		✓
Install Rainwater Harvesting/Use Equipment.		✓
Regional LID BMP facilities are installed, off-site, with the capacity and conveyances to accept post-development storm water runoff from this project and reserved capacity allocation credits have been assigned to the project, in a Certificate or other legally binding document, attached herein		✓

Table 3-1 Minimum Effective Area¹ Required for LID BMPs (surface + subsurface facilities) for Project WQMP to Demonstrate Infeasibility² (% of site)

Project Type	New Development	Re-Development
SF/MF Residential < 7 du/ac	10%	5%
SF/MF Residential < 7 - 18 du/ac	7%	3.5%
SF/MF Residential > 18 du/ac	5%	2.5%
Mixed Use, Commercial/Industrial w/FAR< 1.0	10%	5%
Mixed Use, Commercial/Industrial w/FAR 1.0-2.0	7%	3.5%
Mixed Use, Commercial/Industrial w/FAR> 2.0	5%	2.5%
Podium (parking under > 75% of project)	3%	1.5%
Zoning allowing development to property lines	2%	1%
Transit Oriented Development ³	5%	2.5%
Parking	5%	2.5%

¹ “Effective area” is defined as land area which 1) is suitable for a retention/infiltration BMP (based on infeasibility criteria) and 2) is located down-gradient from building roof or paved areas, so that it may receive gravity flow runoff.

² Criteria only required if the project WQMP seeks to demonstrate that the full DCV cannot be feasibly managed on-site.

³ Transit oriented development is defined as a project with development center within one half mile of a mass transit center.

Key: du/ac = dwelling units/acre, FAR = Floor Area Ratio = ratio of gross floor area of building to gross lot area, MF = Multi Family, SF = Single Family

B. Source Control BMPs – The following BMPs are designed to control stormwater pollutants and runoff water at the location where it is generated. Please indicate which of the listed BMPs are planned to be implemented for the project:

Source Control BMPs	Planned	Not Planned
Minimize non-stormwater site runoff through efficient irrigation system design and controllers.	✓	
Minimize trash and debris in storm runoff through a regular parking lot, storage yard and roadway sweeping program.	✓	
Provide proper covers/roofs and secondary containment for outside material storage & work areas.		✓
Provide solid roofs over all trash enclosures.	✓	
Site Owner(s)/Property Manager/HOA or POA will be familiar with the project WQMP and stormwater BMPs.	✓	
Owner or HOA or POA to provide Education/Training of site occupants and employees on stormwater BMPs.	✓	
Install stormwater placards/stenciled messages with a “No Dumping” message on all on-site/off-site storm drain inlets.	✓	
Provide contained equipment/vehicle wash rack areas that discharge to sanitary sewer.		✓

C. Treatment Control BMPs – The following BMPs are designed to control stormwater pollutants where it is not feasible to install on-site or off-site Site Design/LID BMPs, with the requisite capacity to treat the Design Capture Volume for identified Pollutants of Concern or where pretreatment of stormwater runoff is required, ahead of infiltration BMPs. Please indicate which of the listed BMPs are planned to be implemented for the project:

Treatment Control BMP	Planned	Not Planned
Gravity Separator devices for pretreatment of sediment, trash/litter or Oil & Grease	✓	
Proprietary Biofiltration vaults/devices		✓
Media Cartridge Filtration Vaults		✓
Proprietary Filter Inserts for on-site storm drain inlets or retention basin/trench overflow drains		✓

4. Volume-based calculation (approximate) for sizing on-site or off-site Stormwater Retention/Infiltration, Harvest & Re-Use or Biotreatment facilities

- 1) After calculating the “Watershed Imperviousness Ratio”, i , which is equal to the percent of impervious area in each Drainage Management Area, divided by 100, calculate the composite runoff coefficient C_{BMP} for the Drainage Area above using the following equation:

$$C_{BMP} = 0.858i^3 - 0.78i^2 + 0.774i + 0.04$$

where: C_{BMP} = composite runoff coefficient; and,
 i = watershed imperviousness ratio.

- 3) Determine the area-averaged “6-hour Mean Storm Rainfall”, P_6 , for the Drainage Area. This is calculated by multiplying the area averaged 2-year 1-hour value (0.5”-0.6”) by the appropriate regression coefficient (1.4807). The 2-yr, 1-hr value for southern Ontario is approximately to 0.5” ($P_6 = 0.5 \cdot 1.4807 = 0.74$ and northern Ontario is approximately 0.6” in/hr ($P_6 = 0.6 \cdot 1.4807 = 0.89$).
- 4) Determine the appropriate drawdown time. Use the regression constant $a = 1.582$ for 24 hours and $a = 1.963$ for 48 hours. *Note: Regression constants are provided for both 24 hour and 48-hour drawdown times; however, 48-hour drawdown times should be used in most areas of California. Drawdown times in excess of 48 hours should be used with caution as vector breeding can be a problem after water has stood in excess of 72 hours. (Use of the 24-hour drawdown time should be limited to drainage areas with coarse soils (Class ‘A’ soils that readily drain.)*
- 5) Calculate the “Maximized Detention Volume”, P_0 , using the following equation:

$$P_0 = a \cdot C_{BMP} \cdot P_6$$

where: P_0 = Maximized Detention Volume, in inches
 $a = 1.582$ for 24 hour and $a = 1.963$ for 48-hour drawdown,
 C_{BMP} = composite runoff coefficient; and,
 P_6 = 6-hour Mean Storm Rainfall, in inches

- 6) Calculate the “Target Capture Volume”, V_0 , using the following equation:

$$V_0 = (P_0 \cdot A) / 12$$

where: V_0 = Target Capture Volume, in acre-feet
 P_0 = Maximized Detention Volume, in inches; and,
 A = BMP Drainage Area, in acres

Project Volume-based calculation (approximate) for planned on-site or off-site Stormwater Retention/Infiltration, Harvest & Re-Use or Biotreatment facilities:

Variable	Factor/Formula	DA1, DMA A	DA1 DMA B	DA2 DMA A	DA2 DMA B
Impervious surface/total surface, ratio	(i)	0.556			
C _{BMP} = runoff coefficient	$0.858i^3 - 0.78i^2 + 0.774i + 0.04$	0.377			
P ₆	**P ₆ = 2-yr, 1-hr depth*1.4807 =	0.594			
Detention Volume (acre inches)	P ₀ = a * C _{BMP} * P ₆ =	0.652			
Drawdown rate of basin/trench (a)	1.963 for 48-hr drawdown =	1.963			
Project Total Area (acre)	(A)	0.593			
Design Capture Volume in cu. ft.	V ₀ = [(P ₀ * A)/12] *43560 =	1,405			
Retention Volume provided in cubic feet.	Retention capacity of basins, trenches, underground storage or biotreatment basin	3,464			

**For P₆ value, use site coordinates and NOAA website to determine project's average 2-yr, 1-hr rainfall depth, at: http://hdsc.nws.noaa.gov/hdsc/pfds/sa/sca_pfds.html .

5. Flow-Based calculation (approximate) for sizing on-site or off-site Biotreatment facilities and proprietary treatment technology BMPs:

- 1) After calculating the "Watershed Imperviousness Ratio", i, which is equal to the percent of impervious area in each Drainage Management Area divided by 100, calculate the composite runoff coefficient C_{BMP} for the Drainage Area above using the following equation:

$$C_{BMP} = 0.858i^3 - 0.78i^2 + 0.774i + 0.04$$

where: C_{BMP} = composite runoff coefficient; and,
i = watershed imperviousness ratio.

- 2) Determine BMP design rainfall intensity, **I_{BMP}**, using the project site geo-coordinates and the NOAA website to determine project's average 2-yr, 1-hr rainfall intensity, at: http://hdsc.nws.noaa.gov/hdsc/pfds/sa/sca_pfds.html .Multiply this value by 0.2787 (regression coefficient for Ontario) and a minimum safety factor of 2.
- 4) Calculate the target BMP flowrate, Q, using the following formula (for each DMA <50 acres*):

$$Q = C_{BMP} \cdot I_{BMP} \cdot A$$

Where: **Q** = flow in cfs (Cubic feet per second)
I_{BMP} = BMP design rainfall intensity, in/hr
A = Drainage Area in acres

*For DMAs >50 acres, with C_{BMP} <0.5, the project applicant shall use the unit hydrograph method specified in the San Bernardino County Hydrology Manual, using the design storm pattern with rainfall return frequency such that the peak 1-hr rainfall intensity equals the 85th percentile 1-hr rainfall, multiplied by 2.

Project Flow-based calculation (approximate) for planned on-site or off-site flow-based Biotreatment facilities or Stormwater Treatment BMPs:

Variable	Factor/Formula	DA1 DMA A	DA1 DMA B	DA2 DMA A	DA2 DMA B
Impervious surface/ total surface, ratio	(i)				
C _{BMP} = composite runoff coefficient	$0.858i^3 + 0.78i^2 + 0.774i + 0.04$				
I _{BMP}	I _{BMP} = 2-yr, 1-hr storm intensity*0.2787*safety factor				
Drainage area (ac)	A = DMA sq ft/43,560				
Target BMP flowrate	Q = C _{BMP} * I _{BMP} * A				

6. Hydrologic Conditions of Concern (HCOC) and use of the on-line San Bernardino County HCOC Map for determining necessary mitigation steps necessary if there are HCOCs downstream of a project:

Project applicants may access the on-line HCOC Map at: <http://permitrack.sbcounty.gov/WAP/>. The map will indicate any hydrology concerns with downstream waterways that are hydraulically connected to the project and will indicate if there are any approved regional projects downstream that could be utilized for off-site mitigation of HCOCs. Please indicate here if the project will or will not be able to retain/infiltrate, harvest and use or biotreat and detain the DCV, on-site, as calculated in Section 4 and if there are HCOCs identified downstream of the project:

Retain or Harvest/Use the DCV on site?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Biotreat the DCV but not infiltrate the runoff?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
HCOCs identified downstream of site?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>

If the entire DCV will not be retained on site, the DCV is biotreated but not infiltrated or additional detention capacity is needed to address identified HCOCs, downstream of the site, please list here, what additional mitigation measures will be utilized (on-site or off-site) to address HCOCs (see Section 4.2.1-4.2.3 of the SB County WQMP Technical Guidance):

7. Site Plan and Conceptual Grading/Drainage Plan requirements for submission with the Preliminary WQMP:

Provide a Site Plan and Conceptual Grading/Drainage Plan along with this Preliminary WQMP, which conceptually shows the proposed locations of buildings, homes, parking lots, parks, new paved roadways, landscaped areas, drainage patterns and drainage sub-areas, methods of conveyance, proposed retention/infiltration, harvest & use or biotreatment facilities that are planned for installation. Where it is determined to be infeasible to capture and detain design storm runoff volumes, on-site, please include other design features, as described in Section 3, above. Include numbered or lettered notes on the Site Plan with a legend detailing other BMPs, as described in Section 3.

8. BMP Maintenance and Funding Mechanism & Description:

BMP Maintenance and Funding will be provided by the tenant.

9. Acknowledgment:

As the property owner or developer, I understand that this project is required to install and implement permanent LID Storm Water Best Management Practices pursuant to the requirements of the San Bernardino County MS4 Permit and to document those BMPs in the submittal of a Water Quality Management Plan, which is binding on any current or successive owners of this property.

Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
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10. Exemption Signature:

As the property owner or developer, I understand that this project is not required by the San Bernardino County MS4 Permit to install and implement permanent LID Storm Water Best Management Practices and will not be required to submit a Water Quality Management Plan.

Signature of Owner or Developer

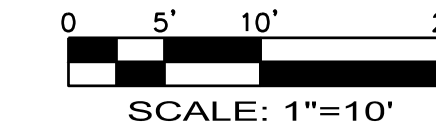
Date

DUTCH BROS. COFFEE - CA6302, ONTARIO, CA

2951 SOUTH EUCLID AVENUE

PRELIMINARY SITE PLAN

SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENTS

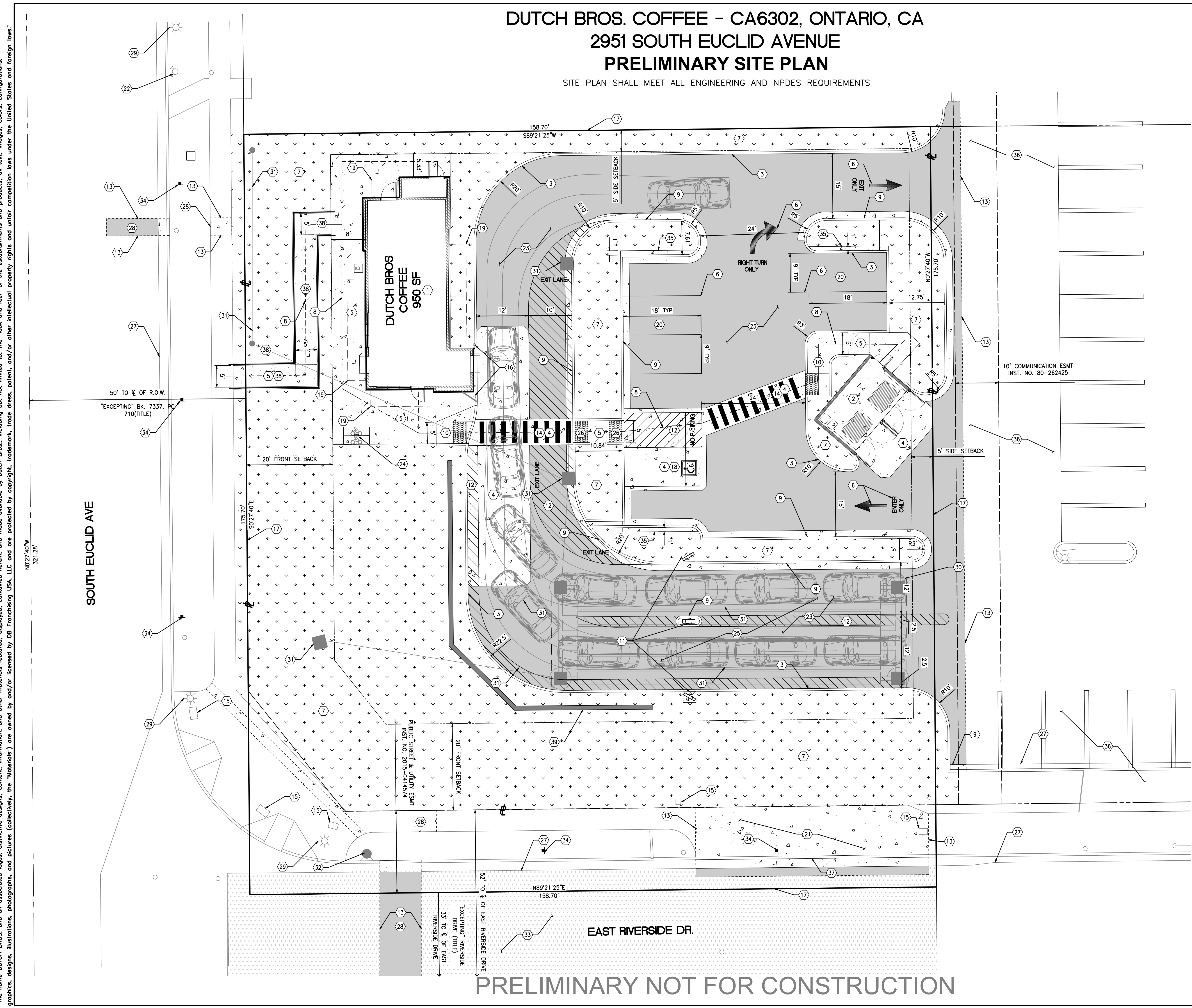


CONSTRUCTION NOTES:

1. PROPOSED DUTCH BROS COFFEE, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
2. PROPOSED TRASH ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
3. PROPOSED CONCRETE BARRIER CURB, TYPICAL.
4. PROPOSED CONCRETE PAVEMENT. THICKNESS AND SUBGRADE DETAILS PER GEOTECHNICAL DRAWINGS.
5. PROPOSED ON-SITE CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
6. PROPOSED PAVEMENT MARKING, TYPICAL.
7. PROPOSED LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION, TYPICAL.
8. ACCESSIBLE PATH, TYPICAL.
9. PROPOSED ON-SITE CURB AND GUTTER
10. PROPOSED ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP.
11. PROPOSED SIGN. SEE SIGN DRAWINGS FOR ADDITIONAL DETAILS.
12. PROPOSED NO PARKING STRIPES. STRIPES 4" WIDE, 45 DEGREES, 24" O.C. SAFETY WHITE, TYPICAL.
13. PROPOSED EXTENT OF SAWCUT, TYPICAL.
14. PROPOSED CONTINENTAL TYPE PEDESTRIAN CROSSWALK STRIPING 1 FOOT WIDE STRIPES SPACED 2 1/2 FEET ON CENTER. EXISTING
15. UTILITY APPURTENANCES TO BE PROTECTED DURING CONSTRUCTION.
16. PROPOSED BOLLARD, TYP.
17. PROPERTY LINE, TYPICAL.
18. PROPOSED ADA PARKING SPOT TO CALTRANS AND CITY STANDARDS.
19. PROPOSED AWNING/CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
20. PROPOSED TYPICAL PARKING SPACE, TYP.
21. PROPOSED REMOVAL OF EXISTING DRIVEWAY TO NEAREST SIDEWALK PANEL AND REPLACEMENT WITH SIDEWALK TO CITY OF ONTARIO STANDARDS AND SATISFACTION OF CITY ENGINEER
22. EXISTING FIRE HYDRANT TO BE PROTECTED DURING CONSTRUCTION.
23. PROPOSED ASPHALT PAVEMENT, TYP.
24. (2) SHORT TERM BICYCLE PARKING SPACES WITH "U" STYLE RACK.
25. PROPOSED UNDERGROUND INFILTRATION BASIN. SEE C2.0 AND PWQMP FOR ADDITIONAL DETAILS.
26. PROPOSED DETECTABLE WARNING STRIP.
27. EXISTING CURB AND GUTTER TO BE PROTECTED.
28. CONSTRUCT TRENCH TO CITY OF ONTARIO STANDARDS FOR UTILITY CONNECTION TO EXISTING MAIN. SEE C3.0 FOR ADDITIONAL UTILITY DETAILS. REPLACE PAVEMENT/SIDEWALK/CURB AND GUTTER IN KIND.
29. EXISTING STREET LIGHT/TRAFFIC SIGNAL TP BE PROTECTED DURING CONSTRUCTION.
30. DESIGN VEHICLE, TYP. SEE 1/C1.2 FOR DETAILS.
31. STORM DRAIN APPURTENANCES. SEE C2.0 AND C2.1 FOR DETAILS, TYPICAL.
32. EXISTING FIRE HOSE CONNECTOR TO BE REMOVED AND CONNECTION TO MAIN ABANDONED. INSTALL NEW FIRE HYDRANT. SEE C3.0.
33. CONSTRUCT A 2" ASPHALT CONCRETE (AC) GRIND AND OVERLAY ON E RIVERSIDE DRIVE FROM THE CENTERLINE TO GUTTER ALONG THE PROJECT FRONTAGE AND RE-STRIPE AS NECESSARY.
34. EUCLID AVENUE AND RIVERSIDE DRIVE SHALL BE SIGNED "NO PARKING ANYTIME" OR "NO STOPPING ANYTIME" ALONG PROPERTY FRONTAGE
35. PROPOSED STEP-OUTS AT PARKING SPACES ADJACENT TO PLANTERS. 12" WIDE MONOLITHIC CONCRETE CURB, DG PAVING OR PAVERS WITH EDGING
36. EXISTING PARKING AND PLANTERS TO REMAIN. SEE C1.2 FOR CONTINUATION
37. PROPOSED FULL HEIGHT CURB AND GUTTER TO CITY OF ONTARIO STANDARDS
38. PROPOSED PEDESTRIAN RAMP WITH HANDRAILS
39. PROPOSED 3-FT HEIGHT CMU SCREENING WALL

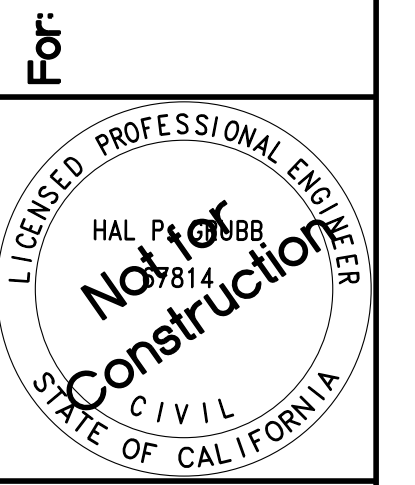
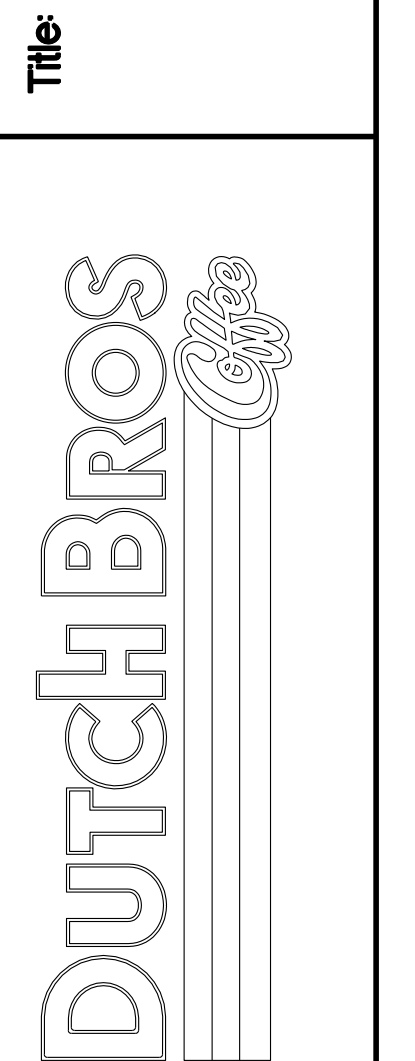
LEGEND	
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
PROPOSED GRIND AND OVERLAY	

PRELIMINARY NOT FOR CONSTRUCTION



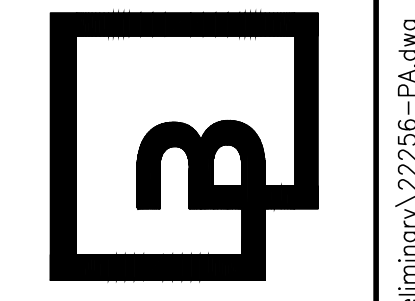
The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed to DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

PRELIMINARY SITE PLAN
2951 S EUCLID AVE
ONTARIO, CA



Scale:	Horizontal	1" = 10'	Vertical	N/A
Designed:	BB			
Drawn:	BB			
Checked:	MTL			
Approved:	HFS			
Date:	7/1/24			

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
22256

Sheet
C1.0

2019 DB
Franchising USA, LLC

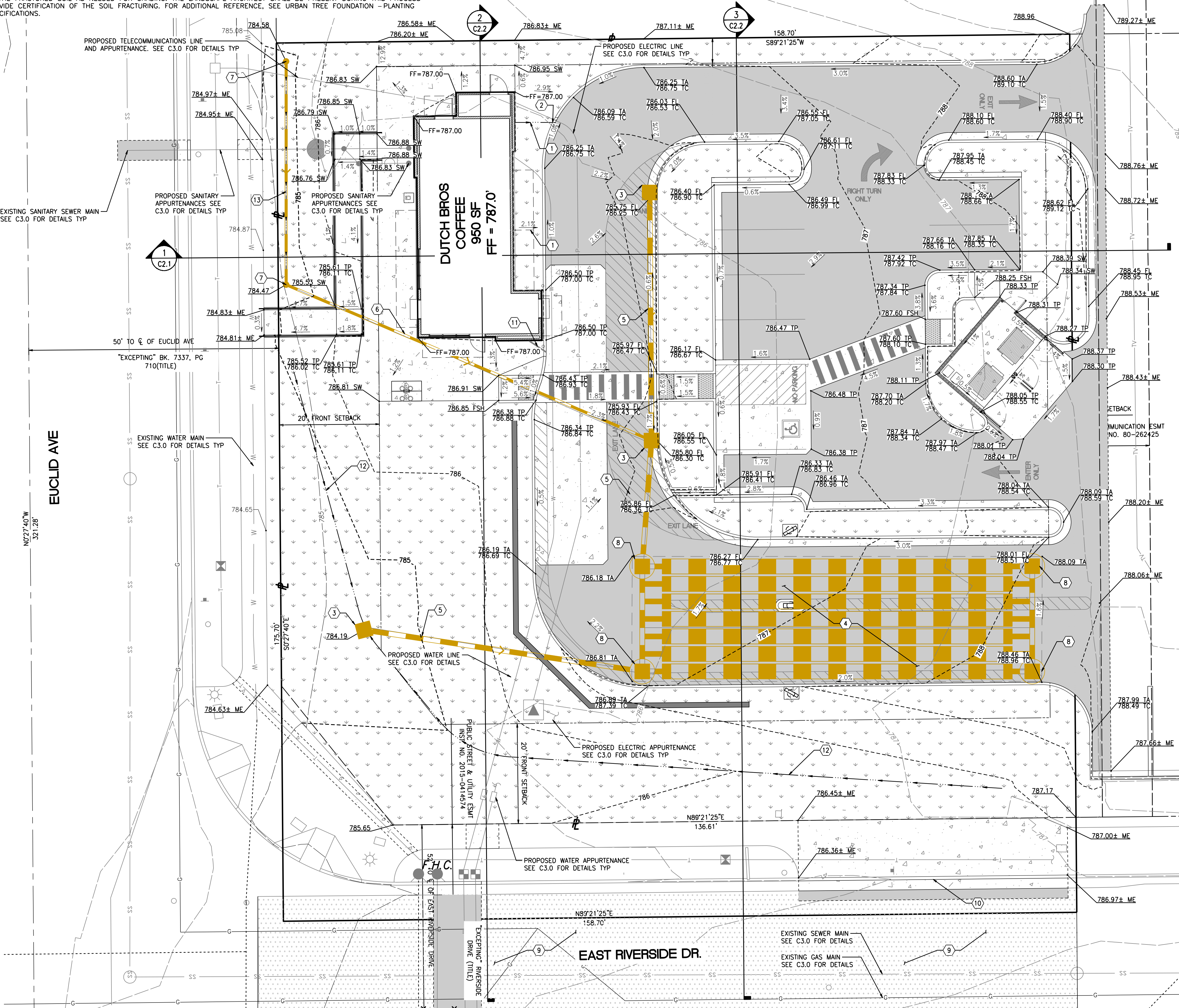
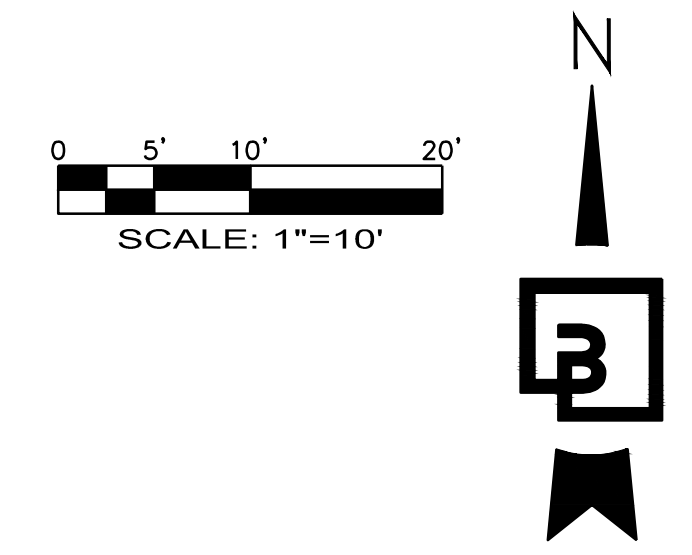
SOIL PREPARATION PRIOR TO PLANTING

LANDSCAPE AREAS WHERE COMPACTION HAS OCCURRED DUE TO GRADING ACTIVITIES AND WHERE TREES OR STORMWATER INFILTRATION AREAS ARE LOCATED SHALL BE LOOSENEED BY SOIL FRACTURING. FOR TREES, A 12X12X18" DEEP AREA; FOR STORMWATER INFILTRATION, THE ENTIRE AREA SHALL BE LOOSENEED.

THE BACKHOE METHOD OF SOIL FRACTURING SHALL BE USED TO BREAK UP COMPACTION. A 4" LAYER OF COMPOST IS SPREAD OVER THE SOIL SURFACE BEFORE FRACTURING IS BEGUN. THE BACKHOE SHALL DIG INTO THE SOIL LIFTING AND THEN DROP THE SOIL IMMEDIATELY BACK INTO THE HOLE. THE BUCKET THEN MOVES TO THE ADJACENT SOIL AND REPEATS. THE COMPOST FALLS INTO THE SPACES BETWEEN THE SOIL CHUNKS CREATED. FRACTURING SHALL LEAVE THE SOIL SURFACE QUITE ROUGH WITH LARGE SOIL CLOUDS. THESE MUST BE BROKEN BY ADDITIONAL TILLING. TILLING IN MORE COMPOST TO THE SURFACE AFTER FRACTURING PER THE SOIL REPORT WILL HELP CREATE AN A HORIZON SOIL. IMPORTED OR REUSED TOPSOIL CAN BE ADDED ON TOP OF THE FRACTURED SOIL AS NEEDED FOR GRADING. THE LANDSCAPE ARCHITECT SHALL BE PRESENT DURING THIS PROCESS AND PROVIDE CERTIFICATION OF THE SOIL FRACTURING. FOR ADDITIONAL REFERENCE, SEE URBAN TREE FOUNDATION - PLANTING SOIL SPECIFICATIONS.

**DUTCH BROS. COFFEE - CA6302, ONTARIO, CA
2951 SOUTH EUCLID AVENUE
CONCEPTUAL GRADING AND DRAINAGE PLAN**

NOTE:
CONTRACTOR TO CONFIRM/VERIFY INFILTRATION RATES WITH SOILS ENGINEER AFTER THE GRADING OPERATION AND PRIOR TO INSTALLATION OF THE UNDERGROUND CHAMBERS. THE CITY SHALL BE NOTIFIED IF THE INFILTRATION RATES DEVIATE FROM THE ORIGINAL INFILTRATION REPORT



GRADING GENERAL NOTES:

1. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
2. ALL PUBLIC SIDEWALKS BEING CONSTRUCTED WHERE THE EXISTING CURBING IS TO REMAIN SHALL BE CONSTRUCTED AT A CROSS SLOPE OF ±1.5% FROM THE EXISTING BACK OF CURB ELEVATION (CROSS SLOPE MAY REQUIRE TO BE VARIED: 1.25% TO 1.75%). CONTRACTOR SHALL VERIFY CONSTRUCTION FORMS COMPLY WITH ADA STANDARDS PRIOR TO POURING CONCRETE.
3. ALL TRENCHING IN THE RIGHT-OF-WAY SHALL BE REPLACED AND GRADED TO MATCH EXISTING CONDITIONS. CROSS SLOPES SHALL BE MAINTAINED.
4. ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS, AND BE FREE OF ANY ABRUPT VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
5. ALL PAVEMENT SAWCUTS ARE DESIGNED TO BE REPLACED TO MATCH EXISTING PAVEMENTS AND SHALL BE FLUSH AND FREE OF ANY VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
6. REFER TO LANDSCAPE PLANS FOR LANDSCAPE PLANTER SOIL GRADING AND SOIL HOLD-DOWN (2" MINIMUM).
7. ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO REMOVE AND CLEAN-UP ANY SPILLED DEBRIS WITHIN THE PUBLIC ROW THROUGHOUT THE GRADING OPERATIONS OF THE PROJECT.
9. ALL GRADING CONSTRUCTION DEBRIS MATERIALS SHALL BE REMOVED AND DISPOSED INTO AN APPROVED DUMP SITE PRIOR TO ANY EXCAVATION OF FILL OPERATIONS AND/OR AS SPECIFIED BY THE SOLID WASTE MANAGEMENT PLAN AND/OR DIRECTED BY PUBLIC WORKS. ALL GRADING ACTIVITIES MUST COMPLY WITH ALL STORMWATER REGULATIONS INCLUDING STABILIZATION OF ANY SOIL DISTURBED AREA. ALL EXCESS DIRT SHALL BE LEVELED AND/OR DISPOSED OF CORRECTLY AND MAY NOT BE TAKEN TO A FACILITY THAT IS NOT LISTED IN THE SWPPP OF SOLID WASTE MANAGEMENT PLAN AND/OR APPROVED BY THE CITY.
10. ALL CONSTRUCTION ACTIVITIES AND CONSTRUCTION MATERIAL MUST BE STORED ON-SITE AND NOT SPILL OUTSIDE ONTO THE PUBLIC RIGHT-OF-WAY.
11. COMPACTION TO BE NO GREATER THAN 85% IN LANDSCAPE AREAS.
12. ALL FINISHED GRADES AT 1/2" BELOW FINISHED SURFACES.
13. SLOPES TO BE A MAXIMUM OF 3H:1V.

STORM DRAIN GENERAL NOTES:

1. ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
2. ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
3. ALL STORM DRAIN PIPING DENOTED AS "PVC" SHALL CONFORM TO ASTM D3034, SDR 35.
5. ALL STORM PIPING INSTALLED WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY) PER CITY OF LIVINGSTON DETAIL T-18/C5.3
6. ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
7. PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
8. ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR OR AGENCY SPECIFICATIONS.
9. PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
10. CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
11. CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED UTILITY STRUCTURES LIDS/GRATES TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.
12. PROVIDE SLURRY BACKFILL OVER ANY UTILITY WHERE PROVIDED COVER IS LESS THAN 2' IN DEPTH.

GRADING AND DRAINAGE CONSTRUCTION NOTES:

1. PROPOSED DOWNSPOUT OUTLET DRAINING TO DRIVE-THRU LANE
2. INSTALL CURB CUT TO FACILITATE DOWNSPOUT DRAINAGE.
3. PROPOSED 24x24 CATCH BASIN TO CITY OF ONTARIO STANDARDS. PROVIDE STENCILED MESSAGES AND CATCH BASIN FILTER INSERT TO STATE WATER BOARD STANDARDS.
4. PROPOSED UNDERGROUND INFILTRATION CHAMBER SYSTEM. SEE C2.1 FOR DETAILS.
5. PROPOSED 12" PVC STORM DRAIN.
6. PROPOSED 8" PVC STORM DRAIN
7. PROPOSED 8" CLEANOUT
8. PROPOSED 36" NYLOPLAST DRAIN BASIN WITH SOLID LOCKING LID.
9. PROPOSED 2" ASPHALT CONCRETE GRIND AND OVERLAY TO C/E OF EAST RIVERSIDE DRIVE
10. PROPOSED CURB AND GUTTER AT EXTENTS OF REMOVED DRIVEWAY TO CITY OF ONTARIO STANDARDS
11. PROPOSED DOWNSPOUT DRAINING TO 3" SIDEWALK UNDERDRAIN TO LANDSCAPING/DRIVE AISLE
12. PROPOSED LANDSCAPED SWALE
13. PROPOSED FRENCH DRAIN: 8" PERFORATED PIPE BELOW GRADED SWALE

LEGEND	
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

ABBREVIATIONS

- FL - FLOWLINE
- FSH - FLUSH
- GP - CURB GUTTER PLATE
- ME - MATCH EXISTING ELEVATION
- SW - TOP OF SIDEWALK
- TC - TOP OF CURB/SIDEWALK
- TP - TOP OF PAVEMENT
- BOW - BOTTOM FACE OF WALL AT FINISHED GRADE
- TOW - TOP FACE OF WALL AT FINISHED GRADE

PRELIMINARY NOT FOR CONSTRUCTION

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Job Number: **22256**

Sheet: **C2.0**

Job Title: **CONCEPTUAL GRADING AND DRAINAGE PLAN**

Address: **2951 S EUCLID AVE, ONTARIO, CA**

For: **HAL P. BOBB**

Not for Construction

STATE OF CALIFORNIA

LICENSED PROFESSIONAL ENGINEER

Designed: **BB**

Drawn: **BB**

Checked: **MTL**

Approved: **HFS**

Date: **7/1/24**

Scale:

Horizontal	1" = 10'
Vertical	N/A

Barghausen Consulting Engineers, Inc.

18215 72nd Avenue South

Kent, WA 98032

425.251.6222

barghausen.com

Job Number: **22256**

Sheet: **C2.0**

Job Title: **CONCEPTUAL GRADING AND DRAINAGE PLAN**

Address: **2951 S EUCLID AVE, ONTARIO, CA**

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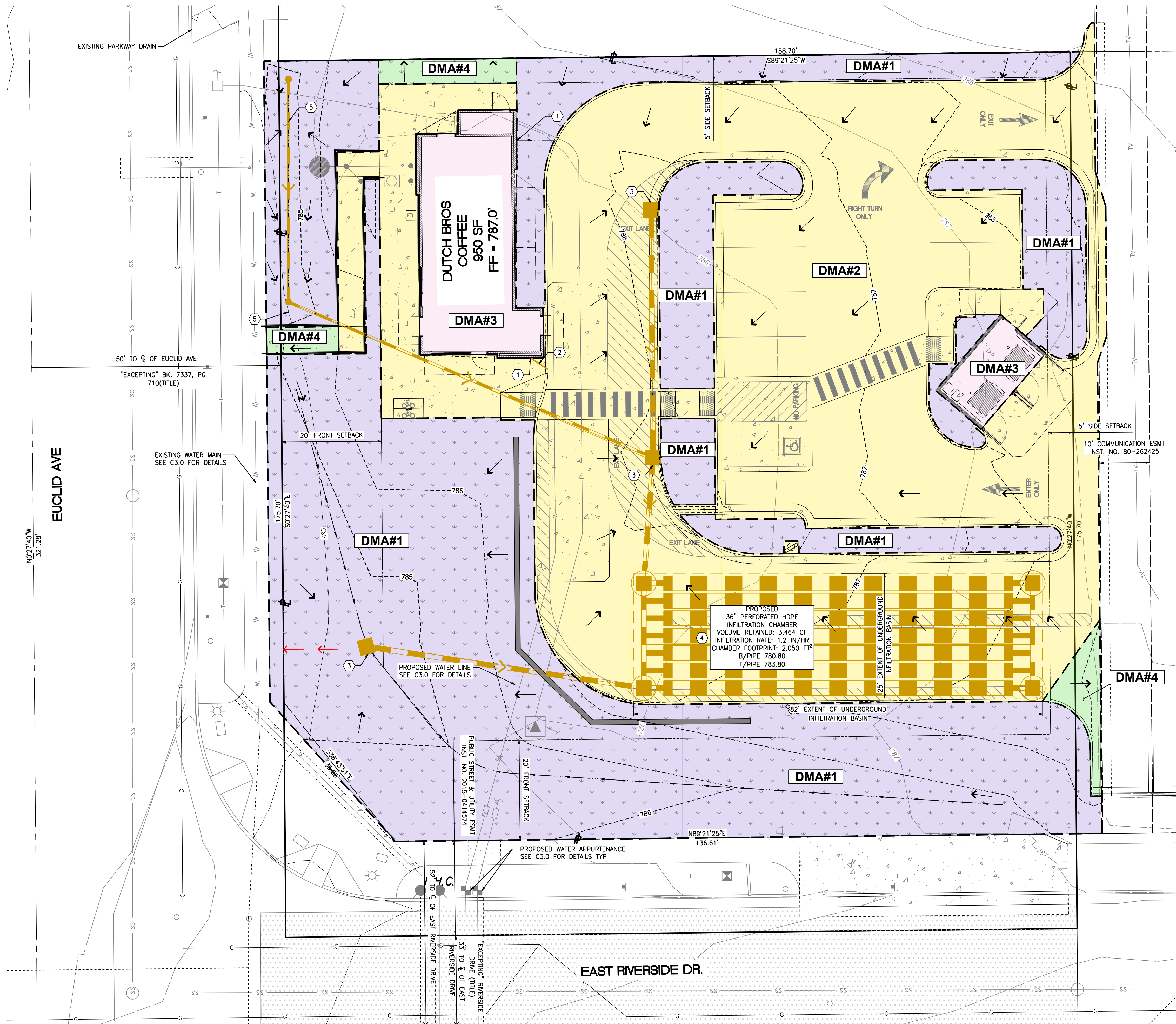
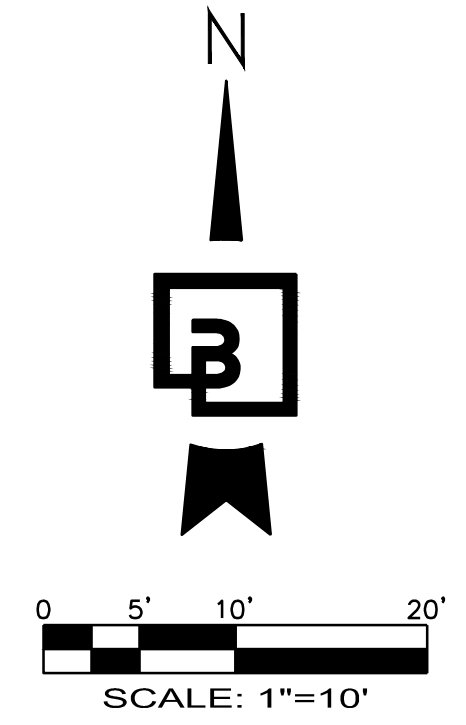
Address: **2951 S EUCLID AVE, ONTARIO, CA**

Item C - 76 of 177

DUTCH BROS. COFFEE - CA6302, ONTARIO, CA
2951 SOUTH EUCLID AVENUE
SD PWQMP BMP EXHIBIT

NOTE:

CONTRACTOR TO CONFIRM/VERIFY INFILTRATION RATES WITH SOILS ENGINEER AFTER THE GRADING OPERATION AND PRIOR TO INSTALLATION OF THE UNDERGROUND CHAMBERS. THE CITY SHALL BE NOTIFIED IF THE INFILTRATION RATES DEVIATE FROM THE ORIGINAL INFILTRATION REPORT



BMP NOTES:

1. PROPOSED DOWNSPOUT OUTLET DRAINING TO DRIVE-THRU LANE
2. PROPOSED SIDEWALK UNDERDRAIN
3. PROPOSED 24x24 CATCH BASIN TO CITY OF ONTARIO STANDARDS. PROVIDE STENCILED MESSAGES. PROVIDE PRE-TREATMENT VIA CALIFORNIA STATE WATER BOARD APPROVED FULL CAPTURE FILTER/SCREEN AT CATCH BASIN.
4. PROPOSED UNDERGROUND INFILTRATION CHAMBER SYSTEM RETAINING 1,414 CF.
5. PROPOSED 12" NYLOPLAST YARD DRAIN BASIN WITH BEEHIVE GRATE

DA1 - DMA Breakdown					
Color	DMA#	Description	Area (ac)	i	DCV (ft ³)
Light Blue	1	Landscaping - Retained On-Site	0.260		
Yellow	2	Impervious - Pavement and Sidewalks - Retained On-Site	0.297	0.556	0.377
Light Green	3	Impervious - Building Roofs - Retained on Site	0.028		
Dark Green	4	De Minimis - Flows off-site	0.009	0.630	0.433

Design Capture Volume Calculation and Infiltration Facility Design & Drawdown		
Proposed Land Cover		
PerVIOUS	11438	ft ²
Impervious	14412	ft ²
Total	25850	ft ²
Total Acres (A)	0.593	ac

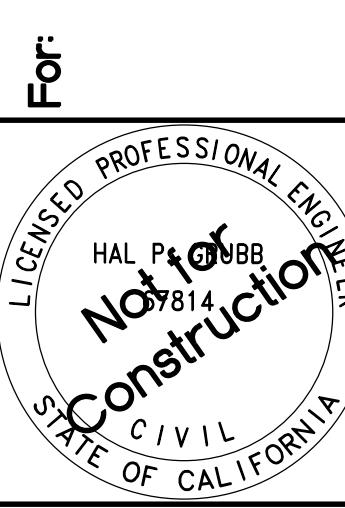
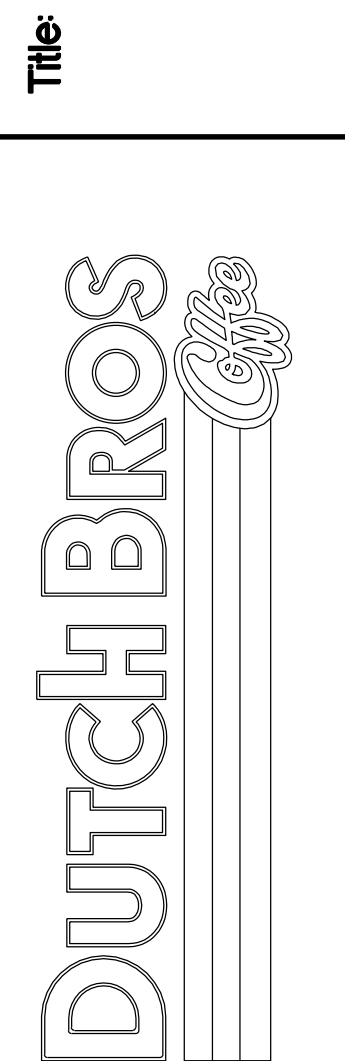
Calculate Design Capture Volume, V ₀			
Attribute	Value	Units	Notes
i	0.558		Imperviousness Ratio
C _{IMP}	0.378		$0.858i^3 - 0.78i^2 + 0.774i + 0.04$
P ₂	0.594	in	Per NOAA
P ₀	0.880	in	1.487 x P ₂
a	1.963		a = 1.963 for 48 hour drawdown
P ₀	0.652	ac-in	a x C _{IMP} x P ₀
V₀ (ft³)	1405	ft³	$\left[\frac{P_0 \times A}{12}\right] \times 43,560$
Infiltration Calculations			
Attribute	Value	Units	Notes
Infiltration Rate (IR)	1.2	in/hr	Per Geotechnical Report
Infiltration Chamber Surface Area (A)	2050	ft ²	Dimensions per Plan
Volume to Infiltrate (V _i)	1405	ft ³	
Total Drawdown Time (t)	6.9	hours	$t = \frac{V_i}{IR \times A}$

Infiltration Facility Design		
36" Pipe Area	7.1	SF
Total Length of Pipe Required to Retain DCV	482	LF
Length of Pipes	70	LF
R _{ows} Required at Proposed Length	6.88	rows
R _{ows} Provided	7	rows
36" Pipe Diameter	3	ft
Volume Retained by Proposed Facility	3464	CF
Width of Aggregate Bed	25	ft
Length of Aggregate Bed	82	ft
Footprint of Infiltration Facility	2050	SF

LEGEND	
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
PROPOSED ON-SITE FLOW DIRECTION	
PROPOSED OVERLAND FLOW DIRECTION (IN EVENT OF SYSTEM FAILURE)	

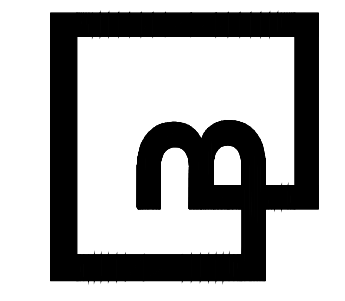
PRELIMINARY NOT FOR CONSTRUCTION

SD PWQMP BMP EXHIBIT
2951 S EUCLID AVE
ONTARIO, CA



Scale: Horizontal 1" = 10', Vertical N/A
 Designed: BB, Draw: BB, Checked: MTL, Approved: HPS, Date: 7/1/24

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222 barghausen.com



Job Number: **22256**
 Sheet: **C2.1**
 2019 DCA
 Financing USA, LLC

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NOAA Atlas 14, Volume 6, Version 2
Location name: Ontario, California, USA*
Latitude: 34.0197°, Longitude: -117.6505°
Elevation: 785 ft**



* source: ESRI Maps
 ** source: USGS

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerals](#)

PF tabular

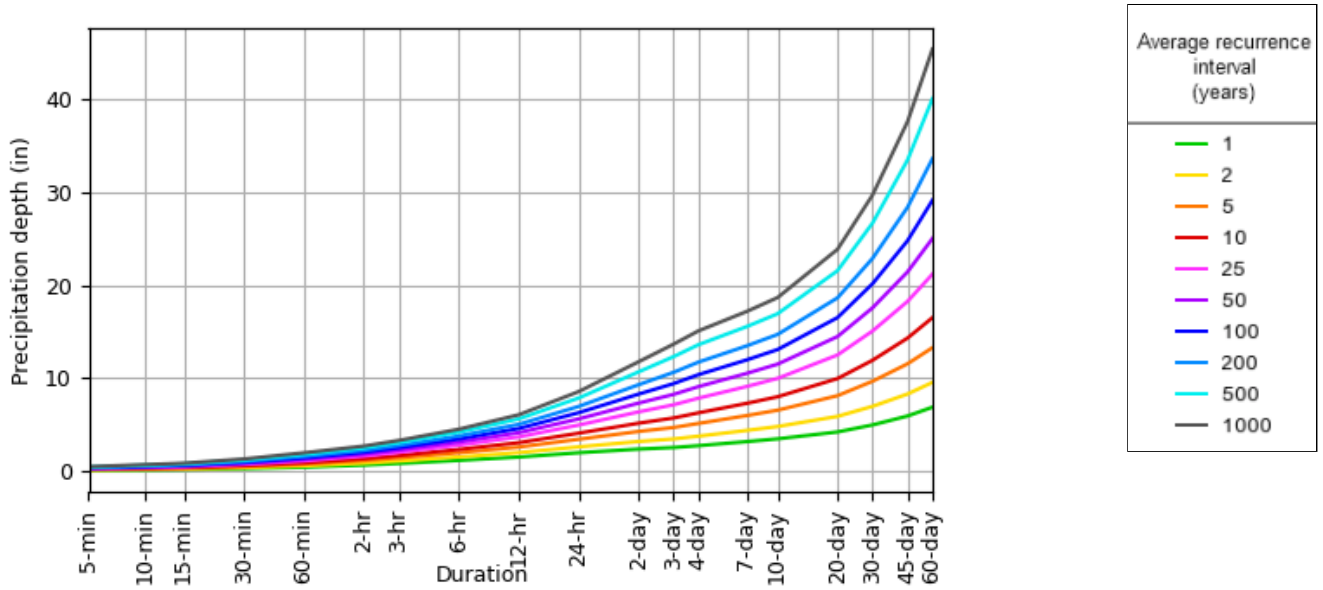
PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.116 (0.097-0.140)	0.152 (0.127-0.184)	0.199 (0.165-0.242)	0.237 (0.195-0.290)	0.289 (0.230-0.366)	0.328 (0.256-0.426)	0.369 (0.280-0.491)	0.410 (0.303-0.562)	0.467 (0.330-0.669)	0.511 (0.348-0.759)
10-min	0.166 (0.139-0.201)	0.218 (0.182-0.264)	0.285 (0.237-0.346)	0.340 (0.280-0.416)	0.414 (0.329-0.525)	0.471 (0.367-0.611)	0.529 (0.401-0.703)	0.588 (0.434-0.806)	0.670 (0.473-0.958)	0.733 (0.499-1.09)
15-min	0.201 (0.168-0.243)	0.263 (0.220-0.319)	0.345 (0.287-0.419)	0.411 (0.339-0.503)	0.500 (0.398-0.635)	0.569 (0.443-0.738)	0.639 (0.485-0.851)	0.712 (0.525-0.975)	0.810 (0.572-1.16)	0.886 (0.604-1.32)
30-min	0.304 (0.254-0.367)	0.398 (0.332-0.482)	0.521 (0.433-0.633)	0.621 (0.512-0.761)	0.756 (0.602-0.959)	0.860 (0.670-1.12)	0.966 (0.733-1.28)	1.08 (0.792-1.47)	1.22 (0.864-1.75)	1.34 (0.912-1.99)
60-min	0.453 (0.379-0.548)	0.594 (0.495-0.720)	0.777 (0.646-0.944)	0.926 (0.764-1.14)	1.13 (0.898-1.43)	1.28 (1.00-1.66)	1.44 (1.09-1.92)	1.60 (1.18-2.20)	1.83 (1.29-2.61)	2.00 (1.36-2.96)
2-hr	0.678 (0.566-0.821)	0.889 (0.742-1.08)	1.16 (0.961-1.40)	1.37 (1.13-1.68)	1.64 (1.31-2.08)	1.85 (1.44-2.40)	2.05 (1.56-2.73)	2.26 (1.66-3.09)	2.52 (1.78-3.61)	2.72 (1.85-4.04)
3-hr	0.854 (0.713-1.03)	1.12 (0.932-1.35)	1.45 (1.20-1.76)	1.81 (1.41-2.31)	2.15 (1.63-2.83)	2.50 (1.93-3.38)	2.85 (2.05-3.81)	3.20 (2.18-4.43)	3.55 (2.18-4.43)	3.90 (2.27-4.94)
6-hr	1.19 (0.990-1.43)	1.55 (1.29-1.88)	2.01 (1.67-2.44)	2.41 (1.95-2.97)	2.85 (2.25-3.65)	3.30 (2.53-4.09)	3.75 (2.64-4.63)	4.20 (2.80-5.21)	4.65 (2.98-6.04)	5.10 (3.09-6.72)
12-hr	1.54 (1.29-1.87)	2.02 (1.68-2.44)	2.62 (2.18-3.18)	3.09 (2.55-3.78)	3.70 (2.95-4.70)	4.16 (3.24-5.40)	4.61 (3.50-6.13)	5.06 (3.73-6.93)	5.64 (3.98-8.08)	6.08 (4.14-9.02)
24-hr	2.01 (1.78-2.31)	2.64 (2.33-3.05)	3.45 (3.04-4.00)	4.11 (3.59-4.79)	4.98 (4.22-6.00)	5.64 (4.68-6.94)	6.31 (5.11-7.95)	6.98 (5.50-9.04)	7.88 (5.96-10.6)	8.57 (6.27-12.0)
2-day	2.40 (2.12-2.77)	3.22 (2.84-3.71)	4.29 (3.78-4.97)	5.18 (4.53-6.04)	6.39 (5.41-7.71)	7.34 (6.08-9.03)	8.30 (6.72-10.5)	9.31 (7.34-12.1)	10.7 (8.09-14.4)	11.8 (8.61-16.4)
3-day	2.57 (2.27-2.96)	3.49 (3.08-4.03)	4.72 (4.16-5.46)	5.74 (5.02-6.70)	7.16 (6.06-8.63)	8.28 (6.86-10.2)	9.43 (7.64-11.9)	10.6 (8.39-13.8)	12.3 (9.33-16.6)	13.7 (10.0-19.1)
4-day	2.77 (2.45-3.19)	3.79 (3.35-4.37)	5.16 (4.55-5.97)	6.29 (5.50-7.34)	7.87 (6.66-9.49)	9.11 (7.56-11.2)	10.4 (8.42-13.1)	11.7 (9.25-15.2)	13.6 (10.3-18.4)	15.1 (11.0-21.1)
7-day	3.20 (2.84-3.69)	4.40 (3.89-5.08)	6.00 (5.29-6.94)	7.32 (6.40-8.54)	9.13 (7.73-11.0)	10.5 (8.74-13.0)	12.0 (9.70-15.1)	13.5 (10.6-17.5)	15.6 (11.8-21.0)	17.2 (12.6-24.0)
10-day	3.50 (3.10-4.04)	4.83 (4.27-5.57)	6.58 (5.80-7.62)	8.02 (7.01-9.36)	10.0 (8.46-12.0)	11.5 (9.56-14.2)	13.1 (10.6-16.5)	14.7 (11.6-19.1)	16.9 (12.8-22.8)	18.7 (13.7-26.1)
20-day	4.24 (3.75-4.89)	5.91 (5.23-6.83)	8.14 (7.17-9.42)	9.98 (8.72-11.6)	12.5 (10.6-15.1)	14.5 (12.0-17.8)	16.5 (13.4-20.8)	18.6 (14.7-24.2)	21.6 (16.3-29.1)	23.9 (17.5-33.3)
30-day	5.00 (4.42-5.76)	6.99 (6.18-8.07)	9.69 (8.54-11.2)	11.9 (10.4-13.9)	15.1 (12.8-18.2)	17.6 (14.6-21.6)	20.2 (16.3-25.4)	22.9 (18.0-29.6)	26.7 (20.2-36.0)	29.7 (21.7-41.4)
45-day	5.96 (5.27-6.87)	8.32 (7.35-9.60)	11.6 (10.2-13.4)	14.3 (12.5-16.7)	18.3 (15.5-22.0)	21.4 (17.8-26.4)	24.8 (20.1-31.2)	28.4 (22.4-36.8)	33.5 (25.3-45.1)	37.6 (27.5-52.5)
60-day	6.90 (6.11-7.96)	9.57 (8.46-11.0)	13.3 (11.7-15.4)	16.5 (14.4-19.3)	21.2 (17.9-25.5)	25.0 (20.8-30.8)	29.1 (23.6-36.7)	33.6 (26.5-43.5)	40.0 (30.3-54.0)	45.4 (33.2-63.3)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

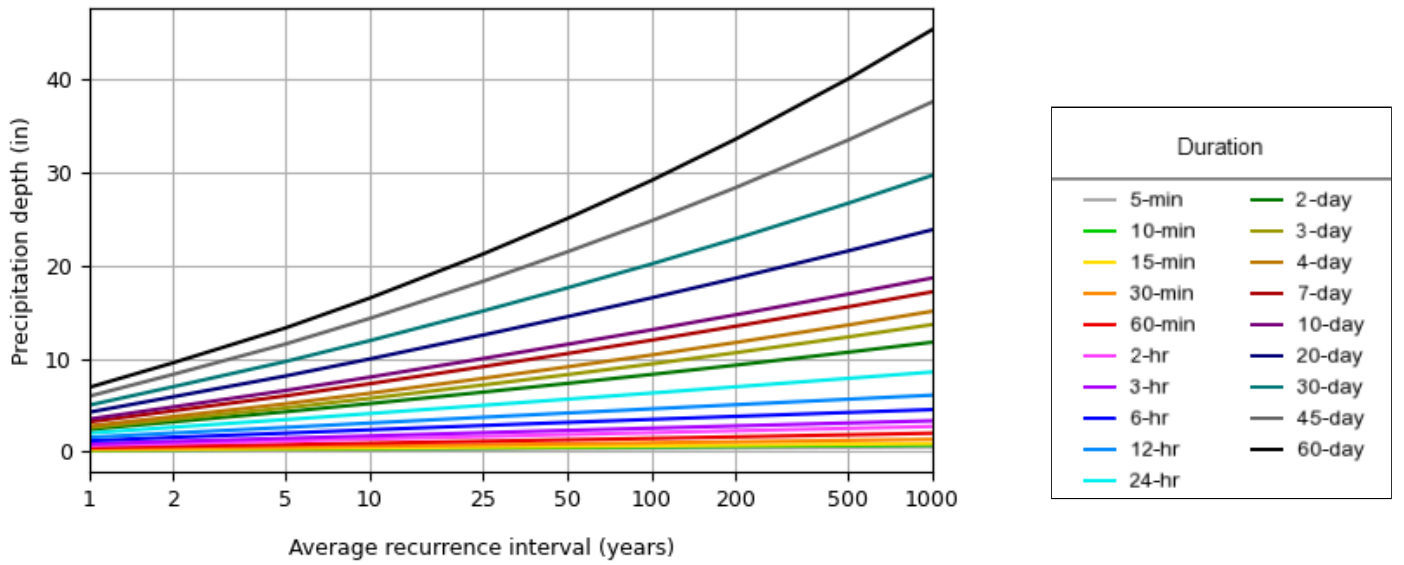
[Back to Top](#)

PF graphical

PDS-based depth-duration-frequency (DDF) curves
 Latitude: 34.0197°, Longitude: -117.6505°



Average recurrence interval (years)
1
2
5
10
25
50
100
200
500
1000



Duration
5-min
10-min
15-min
30-min
60-min
2-hr
3-hr
6-hr
12-hr
24-hr
2-day
3-day
4-day
7-day
10-day
20-day
30-day
45-day
60-day

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Maps & aerials

Small scale terrain



Large scale terrain



Large scale map



Large scale aerial



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[National Weather Service](#)
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1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

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CITY OF ONTARIO MEMORANDUM



DATE: October 23, 2024

TO: Rafael Torres, Planning Department
Jeff Tang, Engineering Department

FROM: Peter Tran, Utilities Engineering

SUBJECT: DPR #3 – Conditions of Approval (COA) - Utilities Comments(#10581 and #10598)

PROJECT NO.: PDEV24-007 and PCUP24-005

BRIEF DESCRIPTION

A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. Standard Conditions of Approval: Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as the project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. Final Utilities Systems Map (USM): Submit a Final Utilities Systems Map (FUSM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.
 - a. The proposed utilities, utility alignments, and Public Rights-of-Way/Public Utility Easements shown on the Conceptual Utilities Systems Map (CUSM) and other Entitlement documents are not considered final and shall be revised during Final Design to meet all City Design Guidelines, Standards, City Requirements, and all of the Conditions of Approval contained in this document.
3. Design Utilities to comply Department of Drinking Water (DDW) Separation Requirements and California Code of Regulations (CCR) § 64572 Compliance: All DDW Separation Requirements under CCR § 64572 must be met. In order to

assure compliance with CCR § 64572, on all design documents and plans: label the separation dimensions, measure from outside wall of the conveyances, between public potable water to any other public or private non-potable conveyance (sewer, storm drain, storm water, storm water infiltration, recycled water, recycled water irrigation, high pressure gas/petroleum, etc) whether publicly or privately maintained; provide one label per sheet per conveyance and additional labels where separation dimensions and alignments change; and, for any facilities not currently meeting the separation requirements, revise plans/documents so that the facilities meet the separations requirements.

4. Public Utilities and Public Right-of-Way including Public Utility Easements (PUE): All City of Ontario Public Utilities shall be installed within a Public Right-of-Way. In this case, Public Right-of-Way (PRoW) means the improved or unimproved surface of and the space above and below any of the following that are controlled, used or dedicated to the City or that are for use by the public and located within the City's jurisdictional limits: streets, roadways, highways, avenues, lanes, alleys, sidewalks, public utility easements, rights-of-way and similar public property, or any combination of these.
5. Unused Service Abandonment: All adjacent water services (along with connected appurtenances) and sewer laterals and main stubs along the frontages of the project site not used to provide service to this Development Project shall be abandoned back to the main in accordance with City Standards and Practices.
6. Note the following:
The Occupant/Applicant shall apply for a Wastewater Discharge Permit for their establishment and shall comply will all the requirements of the Wastewater Discharge Permit. The application can be downloaded from the City's Utilities website in the drop-down of the "Pretreatment" section (www.ontarioca.gov/OMUC/Utilities). Please select the appropriate application that applies to your type of business. Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors or clarifiers. For wastewater permit application questions, please contact:

Michael Birmelin, Environmental Programs Manager

omucenvironmental@ontarioca.gov

Phone: (909) 395-2661

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

7. Sanitary Sewer Mains Improvements:
 - a. N/A.
8. Sanitary Sewer Service:
 - a. The building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Laterals for the building shall be limited to the minimum necessary to meet all of the conditions of approval and as limited by the City.
 - b. For each Public Sewer Lateral Service to an existing sewer main: the existing sewer main being connected to shall be CCTV Inspected between the upstream and downstream manholes of the connection once before and once after the Sewer Lateral connection is made and any damage to the sewer main resulting from the installation of the Sewer Lateral shall be repaired to meet City Standards and Requirements prior to placing the Sewer Lateral in service.
 - c. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Public Sewer Lateral.
9. Private Onsite Sewer System and Plumbing: The Onsite Sewer System shall be privately maintained by the property owner and shall meet the following requirements:
 - a. For wastewater flows for non-residential uses:

- i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. The building and its connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.
- b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Private Onsite Sewer pipes.
10. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

11. Potable Water Main Improvements:

- a. N/A.
- b. Fire Hydrants: Fire Hydrants along Potable Water Mains shall be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - i. New Fire Hydrant: Construct a new fire hydrant at the northeast corner of Riverside Drive and Euclid Avenue, at least 5' minimum east of the BCR.

12. Potable Water Service:

- a. Backflow Prevention:
 - i. A Backflow Prevention Device is required for each Meter connected to the Public Potable Water System that: serves any residential use that is more than one (1) single family residential unit; or, any non-residential use; or, only irrigation use.
 - ii. Backflow Prevention Device Location: A Backflow Prevention Device location shall comply with the following requirements:
 - A. In order to reduce the risk of backflow contamination to the Public Potable Water System, the length of pipe between the Public Potable Water Main and the Backflow Device shall be as minimally short as possible.
 - 1) Along Public Streets within Publicly Dedicated Right-of Way: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the property line or back of sidewalk, whichever is closer.
 - 2) Along Private Streets: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the meter box or back of sidewalk (or back of curb where there is no sidewalk), whichever is closer.
 - 3) Only one single bend of up to 90 degrees maximum is allowed along the pipe to the Backflow and the single bend must be located at one of the following places: either the along the 90-degree riser connecting at the backflow assembly; or, at the end of the 12-inch stub at the back of the meter box.
 - 4) All the minimum DDW Separations also apply to the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) and any Backflow Device (or DCDA). This also includes storm water quality improvements (infiltration, detention, retention, bioswale, etc). Also, no public or private non-potable water conveyances (private utilities, plumbing lines, sewer, private fire system, storm drain) shall cross the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) or under any Backflow Device (or DCDA).

- b. Domestic Service: For domestic water uses:
 - i. The Building shall have a its own domestic water service and meter connected to the Public Potable Water System.
- c. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water currently, the landscape irrigation uses shall have a separate irrigation water service and meter with a backflow prevention device connected to the Public Potable Water System separate from the domestic water uses. The onsite plumbing systems and irrigation systems shall be also separate from each other.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

- 13. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
- 14. Recycled Water Service: To comply with City Ordinance 2689:
 - a. Purple Ready:
 - i. A recycled water main is Master Planned to be installed in the future within Riverside Drive.
 - ii. Design and construct all Project irrigation areas that are permissible of using recycled water to the standards and requirements to use recycled water (such as using purple pipe, preparation and approval of an Engineer's Report for Recycled Water Use, etc).
 - iii. Install irrigation services with meters for future recycled water use along Riverside Drive connecting to the public potable water system temporarily until recycle water becomes available to the Project.
 - iv. When recycled water becomes available to the Project, the Project shall connect to recycled water and convert to recycled water use and all costs and fees shall be borne solely by the Project/Applicant.

Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
Henry Noh, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
James Caro, Building Department
Raymond Lee, Engineering Department
Jamie Richardson, Landscape Planning Division
Dennis Mejia, Municipal Utility Company
Heather Lugo, Police Department
Paul Erhman, Deputy Fire Chief/Fire Marshal
Jay Bautista, Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: September 23, 2024 [3rd Submittal](#)

SUBJECT: FILE #: PDEV24-007 & PCUP24-005 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Division *Jamie Richardson* Sr. Landscape Architect 10/11/2024

Department

Signature

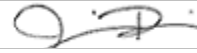
Title

Date

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off



10/11/2024

Jamie Richardson, Sr. Landscape Architect

Date

Reviewer's Name:
Jamie Richardson, Sr. Landscape Architect

Phone:
(909) 395-2615

D.A.B. File No.:
 PDEV24-007 & PCUP24-005

Case Planner:
 Rafael Torres

Project Name and Location:

Dutch Bros Coffee
 2951 South Euclid Ave

Applicant/Representative:

Barghausen Consulting Engineers seldridge@barghausen.com
 18215 72nd Avenue South
 Kent, WA 98032



Preliminary Plans (dated 09/23/2024) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.



Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.

DIGITAL SUBMITTALS MUST BE 10MB OR LESS.

Civil/ Site Plans

1. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway and landscape areas shall not displace street trees.
2. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
3. Show backflow devices set back 4' from paving on all sides. Locate on level grade.
4. Locate utilities including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.
5. Note for compaction to be no greater than 85% in landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12'x12'x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.

Landscape Plans

7. Landscape areas shall be designed to fill into 100% at the establishment, with no bare soil, mulch, or gravel.
8. Hardscape materials (DG, Gravel, etc.) may be used as *accent* areas and limited to 5% of the landscape area (approximately 705 square feet). Landscape areas shall be installed with a minimum of 3" of organic shredded bark mulch in shrub areas and 1" in groundcover areas.
9. Show backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Do not encircle utility; *show as masses and duplicate masses* in other locations at regular intervals.
10. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans. Trees are required in parkways.
11. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
12. Show landscaping in the perimeter planters and trees spaced 30' apart.
13. Street trees for this project are *Grevillea robusta* along Euclid Ave. and *Platanus wrightii* along Riverside Dr. Use evergreen background trees to contrast with deciduous street trees (and vice versa) and triangularly space between them.
14. Additional trees required. Locate trees for shade on buildings, parking lots, seating areas, and paving, screen blank walls and adjacent properties where missing, accent trees to entries and driveways, and provide visibility to signs, windows, and doors. Locate trees 50% of canopy width from walls, buildings, and existing trees. Provide additional trees within landscape setbacks.
15. Limit use of ornamental grasses to accent areas (difficult and costly to maintain in masses).
16. Omit Root Watering System from plans, notes, and details. Call out Stream Spray Nozzles on Pop Ups..
17. Overhead spray systems shall be designed for plant material less than the height of the spray head.
18. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans.
19. Show minimum on-site tree sizes per the Landscape Development standards; see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
20. Show 25% of trees as California native (*Platanus racemosa*, *Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
21. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
22. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.

PROJECT REVIEW BOARD COMMENTS
***** BUILDING DEPARTMENT *****

Planning Case File No(s): PCUP24-005 & PDEV24-007

Case Planner: Rafael Torres/ Arij Baddour

Applicant:

Location: 2951 South Euclid Avenue

Project: A Conditional Use Permit and Development Plan to establish a 950 square-foot drive-thru coffee shop on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district

APN(s): 1051-614-01

Reviewed By: Jesse Sanchez

Date: 7/31/24

Following Standard Building Department Conditions of Approval
Are Applicable to This Project:

See checked boxes below

Specific Conditions:

A)

Specific Comments (NOTE: THESE COMMENTS ARE NOT CONDITIONS!):

A) Relocate restroom door to the exterior wall so that restroom facilities are accessible to both customers and employees CPC 422.4.

(NOTE: Standard Conditions of Approval are attached.)

BUILDING DEPARTMENT**GENERAL CONDITIONS**

- 1. Shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Existing Building Code
 - D. California Electrical Code
 - E. California Mechanical Code
 - F. California Plumbing Code
 - G. California Energy Code.
 - H. California Fire Code
 - I. California Green Building Standards Code.
- 2. The property owner/business operator shall comply with all applicable City of Ontario Municipal Codes and Ordinances.
- 3. The requirements of the Department of Environmental Health Services and the Air Quality Management District shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
- 4. Pursuant to the California Business and Professions Code Section 6737, most projects are required to be designed by a California Licensed Architect or Engineer. The project owner or developer should review the section of the California Codes and comply with the regulation
- 5. All perimeter / boundary walls shall be designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
- 6. All lot lines, easement lines, etc. shall be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Building Code, or any other applicable law, ordinance, or code.
- 7. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall obtain clearances from each department and division prior to requesting a final building inspection from the Building Department. Each department shall sign the Building Department Job Card
- 8. All signs shall be Underwriters Laboratories, or equal, approved.

9. Permits are required prior to the removal and/or demolition of structures.
10. In addition to approval from Building Department, approval is required from the County of San Bernardino, Department of Public Health and the California Regional Water Quality Control Board, Santa Ana Region for the Private Sewage Disposal System.
11. The existing private sewage system will have to be modified as required to accommodate the new use. Plans and/or supporting data will have to be submitted to, and approved by, the Building Department regarding the new use and necessary modifications. Additionally, approval from the Regional Water Quality Control Board, Santa Ana Region, is required for the new use.
12. The coach shall bear a State of California, Department of Housing and Community Development (HCD) insignia indicating the occupancy group and design loads that the coach conforms to, and other relevant information regarding exiting, fire safety, electrical, plumbing and mechanical. The foundation system, porch and awning shall comply with plans that bear the HCD "Standard Plan Approval" stamp. The coach, foundation system, porch and awning shall comply with the City of Ontario's design loads and site-specific conditions.
13. The conversion of the existing single-family dwelling(s) into a commercial use changes the occupancy group classification, and therefore the existing buildings must be made to comply with the requirements of all applicable codes for the new occupancy classification. Complete plans, calculations and other specifications shall be submitted to the Building Department for review, approval and subsequent permit issuance. The plans, calculations and other specifications shall be prepared by an Architect or Registered Civil/Structural Engineer licensed by the State of California who is qualified to perform said work.
14. The site, or a portion of the site, is in a flood hazard area. Justification that the proposed development does not adversely affect the location or carrying capacity of the floodway, nor does it adversely affect upstream or downstream sites shall be provided to Building Department. Additionally, all provisions must be taken to protect the site from flood damage.
15. All exterior lighting shall be orientated, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.
16. Site facilities such as parking open or covered, recreation facilities, and trash dumpster areas, and common use areas shall be accessible per the CBC, Chapter 11.
17. Trash Enclosure shall be covered, and the interior clearances shall be designed to accommodate the following:
- 4' min. side access entrance

- 3' min. wide clear pathway along rear of enclosure between trash bins and back wall.
- Trash bins must be oriented sideways to allow access from the narrow dimension.
- Use of curbs or wheel stops shall be provided within the enclosure to maintain access clearances and bin orientations.

18. The applicant/developer shall include the conditions of approval of this resolution on the construction plans.
19. Site development and grading shall be designed to provide access to all entrances and exterior ground floors exits and access to normal paths of travel, and where necessary to provide access. Paths of travel shall incorporate (but not limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable warning, signage, gates, lifts and walking surface materials. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site, California Building Code, (CBC) Chapter 11, Sec, 11A and 11B.
20. Commercial/Industrial gated site must have at least one pedestrian emergency gate, 3'-0' x 6'-8" min. gate size, equipped with panel hardware on the inside, and gate must swing out. Pedestrian emergency gates can be installed integrated with vehicular gates.
21. New residential single-family dwelling (SFD's):
- The side yard gate must swing out toward the street.
 - The gas meter shall not obstruct side yard access gates.
 - Air Conditioning unit located at side yard shall maintain 3' min. clearance from property line wall to AC unit.
 - Provide a continuous concrete walk between garage side door to driveway or sidewalk.
22. New development projects located in the Ontario Ranch specific plan are required to submit a **methane assessment report**. This report shall be submitted to the Building Department for review and approval at grading plan submittal.
23. If hazardous substances are used and/or stored, a technical opinion and report, identifying and developing methods of protection from the hazards presented by the hazardous materials may be required. This report shall be prepared by a qualified person, firm, or corporation and submitted to Building Department. This report shall also explain the proposed facility's intended methods of operation and list all of the proposed materials, their quantities, classifications, and the effects of any chemical (material) intermixing in the event of an accident or spill.
24. The property owner/business operator shall provide a grease interceptor at a location where it shall be easily accessible for inspection, cleaning, and removal of accumulated grease. The sizing and installation shall conform to the current California Plumbing Code. The grease interceptor shall be constructed in accordance with plans approved by the Director of Public

Works and the Building Official. The property owner/business operator shall contract with a maintenance company for maintenance and cleaning of the grease interceptor.

SITE CONSTRUCTION REQUIREMENTS

- 25. All construction sites must be protected by a security fence and screening. The fencing and screening shall always maintained to protect pedestrians
- 26. Temporary toilet facilities shall be provided for construction workers. The toilet facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3
- 27. Construction projects which require temporary electrical power shall obtain an Electrical Permit from Building Department. No temporary electrical power will be granted to a project unless one of the following items is in place and approved by Building Department and the Planning Department.
 - (A) Installation of a construction trailer, or
 - (B) Security fenced area where the electrical power will be located
- 28. Installation of construction/sales trailers must be located on private property. No trailers can be in the public street right of way
- 29. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.
- 30. Prior to issuance of a Building Permit all of the following must be in place: portable toilet with hand wash station, all BMP's, fencing and signage on each adjacent street saying "If there is any dust or debris coming from this site please contact (superintendent number here) or the AQMD if the problem is not being resolved" or something similar to this.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 31. The following grading items shall be completed and/or submitted – as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification completed
 - D. Pad elevation certification completed
 - E. Rough grade inspection signed off by a City's Building Inspector
- 32. Prior to the issuance of a Building Permit, the applicant shall pay all Development

Improvement Fees to the City. Copies of receipts shall be provided to the Building Department prior to permit issuance.

- 33. The Tract or Parcel map shall record prior to the issuance of any permits.
- 34. The existing parcels shall be combined into a single parcel, or a lot line adjustment shall be done so that the proposed structure(s) does not cross any lot line and complies with all requirements of the California Building Code, prior to any building permits being issued.
- 35. Fire sprinklers, fire alarm systems and fire hydrant plans shall be submitted for plan review concurrently with building plans and shall be approved prior to permit issuance
- 36. Prior to issuance of Building Permits, school fees need to be paid to school district where project is located



CITY OF ONTARIO

MEMORANDUM

TO: Rafael Torres, Assistant Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: April 22, 2024

SUBJECT: PCUP24-005 - A Conditional Use Permit to establish a 950 square-foot drive-thru coffee shop on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PDEV24-007.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Report attached, see PDEV24-007.
-



CITY OF ONTARIO

MEMORANDUM

TO: Rafael Torres, Assistant Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: April 23, 2024

SUBJECT: PDEV24-007 - A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: V-B
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 950 Sq. Ft.
- D. Number of Stories: 1
- E. Total Square Footage: 950 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): B

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within one hundred and fifty feet (150’) of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty-five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four feet (24’) wide circulating all weather access roads shall be provided to within one hundred and fifty feet (150’) of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a maximum spacing of three hundred feet (300') apart, on alternating sides of the street. Streets with a center median shall require public hydrants spaced five hundred feet (500') apart, on the same side of the street.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finaled) before the building is enclosed.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.
- ☒ 4.8 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association (NFPA) Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.

- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.



CITY OF ONTARIO

MEMORANDUM

TO: Rafael Torres, Associate Planner

FROM: Heather Lugo, MA, Police Department

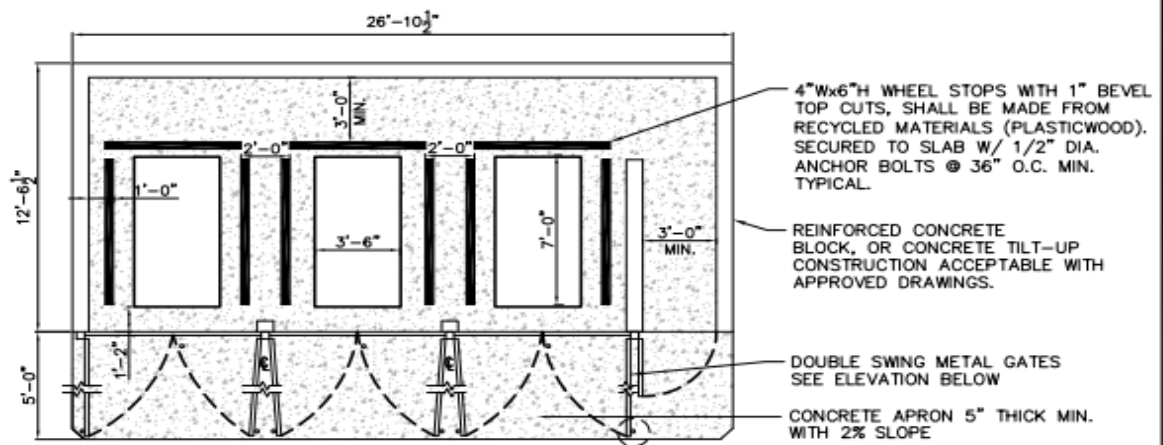
DATE: April 4, 2024

SUBJECT: PDEV24-007 - A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

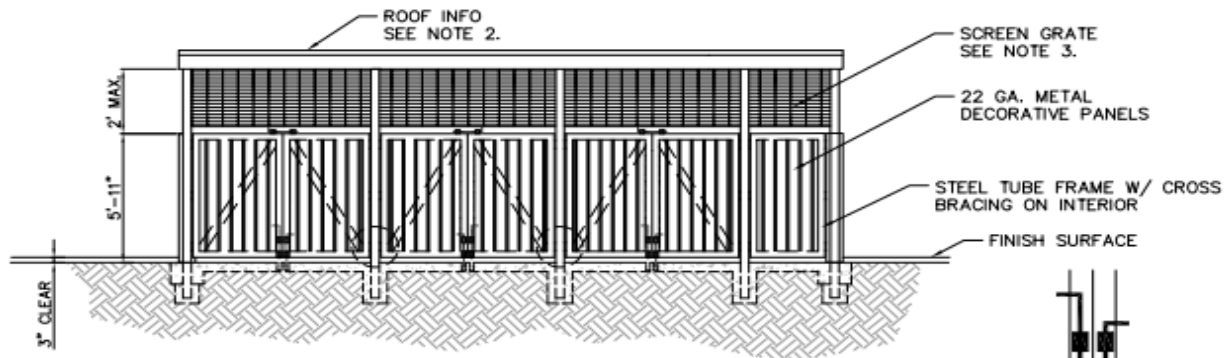
The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 6 feet tall and 2 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The Applicant shall install a video surveillance system on the site. Cameras shall cover at a minimum all entry doors, all cash registers, and at least one camera shall capture any vehicle utilizing the drive-thru. Cameras shall be positioned to maximize the coverage of patrons and vehicles in these areas. Cameras shall record at least 15 frames per second and at a minimum of 640x480 lines of resolution. Recordings shall be stored for a minimum of 30 days and made available upon request to any member of the Ontario Police Department.
- All exterior electrical outlets shall be secured and locked.
- All exterior water spigots / water supply sources shall be secured and locked.
- Trash enclosure shall be fully secured/enclosed by locks, mesh, and screen grate to reduce crime and encampment opportunities for homeless persons.

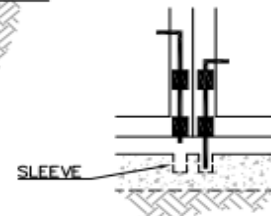
The Applicant is invited to contact Heather Lugo at (909) 408-1074 with any questions or concerns regarding these conditions.



PLAN VIEW



ELEVATION



SLEEVE DETAIL

NOTES:

- ① THIS DRAWING SERVES AS A GUIDELINE TO THE TRASH ENCLOSURE BIN LAYOUT. PLANS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL TO MEET CURRENT BUILDING CODES.
- ② SOLID ROOF TO MEET ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.
- ③ TRASH ENCLOSURE SHALL BE FULLY SECURED/ENCLOSED BY LOCKS, MESH, AND SCREEN GRATE.

CITY OF ONTARIO - INTEGRATED WASTE DEPARTMENT

EXAMPLE 1

COMMERCIAL/INDUSTRIAL REFUSE, RECYCLING AND ORGANICS ENCLOSURE (THREE 4-6 CU. YD. BINS)

DECISION NO.: [insert #]

FILE NO.: PDEV24-007

DAB Hearing Date: December 16, 2024

SUBJECT: A public hearing to consider a Development Plan (File No. PDEV24-007) to construct a 950 square-foot commercial building on 0.64 acres of land at 2951 South Euclid Avenue within the CN (Neighborhood Commercial) zoning district (APN: 1051-614-01); **submitted by Dutch Bros Coffee. Planning Commission action is required.**

PART 1: RECITALS

WHEREAS, Dutch Bros Coffee (hereinafter referred to "Applicant") has filed an application requesting approval of a Development Plan (File No. PDEV24-007), as described in the Subject of this Decision (herein after referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 0.64 acres of undeveloped land located at the northeast corner of Euclid Avenue and Riverside Drive, at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district. The Project site is part of a large commercial shopping center; and

WHEREAS, the property to the north of the Project site is within the CN (Neighborhood Commercial) zoning district and is undeveloped. The property to the east is within the CN (Neighborhood Commercial) zone and is partially improved with parking and the rest is undeveloped. The property to the west of the Project site, across Euclid Avenue, is within the Commercial Service land use district of the Borba Village Specific Plan and is developed with a Home Depot store. The property to the south, across Riverside Drive, is within the SP (AG) – Specific Plan (Agricultural Overlay) zoning district and is presently vacant and used for agricultural purposes; and

WHEREAS, on March 19, 2024, the Applicant submitted a Development Plan (File No. PDEV24-007) application to construct a 950 square-foot commercial building on the Project site, in conjunction with a Conditional Use Permit (File No. PCUP24-005) to establish a 950 square-foot drive through coffee shop (Dutch Bros. Coffee); and

WHEREAS, the proposed building is situated toward the northwest corner of the Project site, with the building oriented in a north to south configuration, with the drive-through pick-up window facing east. The building entrance will be located along the south elevation facing Riverside Drive. A walk-up window is located on the west side of the building facing towards Euclid Avenue, opposite of the drive-through window. Customers will be able to place orders at the walk-up window. There is no proposed indoor or outdoor seating for the Project; and

WHEREAS, in conjunction with the Development Plan, the Applicant is also requesting approval of a Conditional Use Permit (File No. PCUP24-005) to establish a 950 square-foot drive-through coffee shop on the Project site; and

WHEREAS, the Project is designed to feature a double lane drive-through with a stacking length of 150 feet, which will accommodate up to 12 vehicles before reaching the drive-through window; and

WHEREAS, to mitigate any potential vehicle spillover from the Project's drive-through and onto the shopping center's parking lot, the Applicant proposes to apply the necessary improvements at the drive-aisle located immediately to the east and continuing to the north of the Project site. Which include, but are not limited to, pavement markings, directional signage, and cone placement; and

WHEREAS, the Project has provided off-street parking pursuant to the "Fast-Food Restaurant" parking standards specified in the Development code. The number of off-street parking spaces provided exceeds the minimum parking requirement for the Project; and

WHEREAS, approval of the Development Plan (File No. PDEV24-007) is contingent upon approval of the requested Conditional Use Permit (File No. PCUP24-005) by the Planning Commission; and

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make a recommendation to the Planning Commission; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan 2050, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ONT ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on December 16, 2024, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

PART 2: THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED AND DECIDED by the Development Advisory Board of the City of Ontario as follows:

SECTION 1: **Environmental Determination and Findings.** As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project, including all written and oral evidence provided during the comment period. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The administrative record has been completed in compliance with CEQA, the State CEQA Guidelines, and the City of Ontario Local CEQA Guidelines; and

(2) The Project is categorically exempt from the requirements of the California Environmental Quality Act ("CEQA") pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines and meets each of the following conditions:

- (a) **The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations.** The proposed Project is located within the Neighborhood Commercial (NC) land use district of the Policy Plan Land Use Map, and the Neighborhood Commercial (CN) zoning district. The proposed Project is consistent with all applicable general plan policies, as well as with the Neighborhood Commercial (CN) zoning designation and applicable Development Code regulations.
- (b) **The proposed development occurs within city limits, on a project site of no more than five acres and is substantially surrounded by urban uses.** The Project is proposed within the established boundaries of the City of Ontario, on a site totaling 0.64 acres of land, which is surrounded by commercial land uses to the north, east, and west, and a vacant agricultural field to the south.
- (c) **The Project site has no value as habitat for endangered, rare, or threatened species.** The subject site is located within an existing commercial shopping center surrounded by commercial buildings to the north, east, and west, and as such is not a suitable habitat for any endangered, rare, or threatened species.
- (d) **Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.** The proposed coffee shop building is similar to, and of no greater impact than other allowed uses and development projects within the Neighborhood Commercial (CN) zoning district. The Project would not result in any significant impacts through implementation of a required state, regional, and local development and performance standards.
- (e) **The Project site can be adequately served by all required utilities and public services.** All necessary wet and dry utilities are available for the Project site; and

(3) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(4) The determination of CEQA exemption reflects the independent judgment of the Development Advisory Board.

SECTION 2: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan 2050, as the Project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

SECTION 3: Airport Land Use Compatibility Plan (ALUCP) Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

(1) On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

SECTION 4: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the specific finding set forth in the Sections above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan 2050.** The proposed Project is located within the Neighborhood Commercial (NC) land use district of the Policy Plan Land Use Map, and the Neighborhood Commercial (CN) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan 2050, as the Project will contribute to the establishment of a dynamic, progressive city containing distinct districts that foster a positive sense of identity and belonging among residents, visitors, and businesses (Goal CD1). Furthermore, the Project will promote the City's policy to take actions that are consistent with the City being a leading urban center in Southern California, while recognizing the diverse character of our existing viable neighborhoods (Policy CD1-1).

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the Neighborhood Commercial (CN) zoning district,

including standards relative to the particular land use proposed (drive-through coffee shop), as well as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions.

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan 2050.

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as well as those development standards and guidelines specifically related to the particular land use being proposed (drive-through coffee shop). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

SECTION 5: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the herein described Application, subject to each and every condition set forth in the Department reports attachment hereto as "Attachment A," and incorporated herein by this reference.

SECTION 6: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for

these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

SECTION 8: **Certification to Adoption.** The DAB Chairman shall certify to the adoption of the Decision.

APPROVED AND ADOPTED this 16th day of December 2024.

Development Advisory Board Chairman

ATTACHMENT A:

**File No. PDEV24-007
Departmental Conditions of Approval**

(Department conditions of approval to follow this page)

Date Prepared: 12/16/2024

File Nos: PDEV24-007 and PCUP24-005

Project Description: A public hearing to consider a Development Plan (File No. PDEV24-007) to construct a 950 square-foot commercial building on 0.64 acres of land, in conjunction with a Conditional Use Permit (File No. PCUP24-005), to establish a 950 square-foot drive-through coffee shop (Dutch Bros. Coffee) at 2951 South Euclid Avenue within the CN (Neighborhood Commercial) zoning district (APN: 1051-614-01); **submitted by Dutch Bros Coffee.**

Prepared By: Rafael Torres, Assistant Planner
Phone: 909.395.2979 (direct)
Email: rtorres@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

(b) Conditional Use Permit approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Conditional Use Permit approved in conjunction with a Development Plan shall have the same time limits as the Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for the project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department, Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(d) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(e) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11). The final design and placement of bicycle parking facilities shall be subject to Planning Department review and approval.

2.6 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lit from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

(c) Applicant shall work with staff during the plan check process to incorporate up and down lighting at key architectural and landscape areas to enhance the project in the evenings.

2.7 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened using landscaping and/or decorative low garden walls.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.10 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noise levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.11 Covenant, Conditions, and Restrictions (CC&Rs)/Mutual Access and Management Agreements.

(a) An Amendment to the existing CC&Rs shall be prepared for the Project and recorded prior to the issuance of occupancy/final.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owner's association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure that reciprocal parking and access between parcels and common maintenance of:

- (i)** Landscaping and irrigation systems within the common areas;
- (ii)** Landscaping and irrigation systems within the parkways adjacent to the Project site, including the portions of any public street right-of-way between the property line and the curb line and also the areas enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;
- (iii)** Shared parking facilities and access drives; and
- (iv)** Utility and drainage easements.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) CC&Rs shall grant the City of Ontario the right for enforcement of the CC&Rs provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.12 Environmental Requirements.

(a) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(b) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other

authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of a NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Final Occupancy. The Project Architect of record will certify that construction of each building site and the exterior elevations of each structure shall be completed in compliance with the approved plans. Any deviation to approved plans shall require a resubmittal to the Planning Department for review and approval prior to construction. The Occupancy Release Request Form/Architect Certificate of Compliance shall be provided prior to final occupancy. After the receipt of this Certification, the Planning Department will conduct a final site and exterior elevations inspection. The Owner's Representative and Contractor shall be present.

2.16 Additional Requirements.

(a) The proposed low profile decorative screen wall shall extend further along the drive-through lane to ensure all vehicles are screened from public view. The Applicant shall work with staff during the plan check process to finalize the final location and appearance of the wall.

(b) Applicant/staff shall adhere to the filed Traffic Management Plan during high drive-through demand to avoid any potential impacts at the Project site.

(c) During the plan check process color cut-sheets of all proposed exterior lighting fixtures shall be submitted for review and approval.

(d) The design of all new parking lot light standards shall be decorative, and the style shall complement the buildings design.

(e) Trash enclosure gates shall remain closed at all time.

(f) Any roof equipment on the building shall not be visible from public views. They shall be located below parapet walls or inside the architectural tower to be screened from public views.

(g) All proposed safety bollards shall be decorative bollards, and the design and colors shall blend well with the architecture style of the building. The Applicant shall work with

staff during the plan check process to finalize their appearance. Color cut-sheets shall be submitted for review and final approval.

(h) Prior to project occupancy an 11" x 17" size set of Final approved plans shall be submitted to the Project Planner. In addition, a digital copy on a USB of the approved Final set of plans (complete set), shall be submitted to the Project Planner.

(i) The Applicant shall work with staff during the plan check process to finalize the location(s) of the monument sign(s) for the project. All approved signage shall be installed prior to occupancy.



ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL

(Land Development Division, Environmental Section, Traffic & Transportation Division, Ontario Municipal Utilities Company, Broadband Department, and Financial Services Agency Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV24-007</u> RELATED FILE NO(S). <u>PCUP24-005</u>	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> / / </u>	

CITY PROJECT ENGINEER & PHONE NO: Yesenia Lopez *YL* (909)395-2103

CITY PROJECT PLANNER & PHONE NO: Rafael Torres (909)395-2979

DEVELOPMENT ADVISORY BOARD (DAB) MEETING DATE: December 2, 2024

PROJECT NAME / DESCRIPTION: PDEV24-007, a Development Plan to construct one commercial building totaling 950 square feet on 0.564 acres of land, within the CN (Neighborhood Commercial) zoning district. Related File(s): PCUP24-005.

LOCATION: 2951 South Euclid Avenue

APPLICANT: Dutch Bros. Coffee

REVIEWED BY: *JEFFREY TAN, P.E.*
PRINCIPAL ENGINEER
 FOR *Raymond Lee, P.E.* 11/8/24
 Assistant City Engineer Date

APPROVED BY: *[Signature]* 11-6-24
 Khoi Do, P.E. Date
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____ and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s):
 - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
 - (1) _____
 - (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
(Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 **Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.**
- 2.05 **Apply for a:**
 - Certificate of Compliance with a Record of Survey;**
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
 - Private reciprocal access and drainage easement from adjacent properties.**
- 2.06 **Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.**



- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 **Submit a soils/geology report.**
- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: _____
- 2.10 Dedicate to the City of Ontario the right-of-way described below:

_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____
and _____.
- 2.11 Dedicate to the City of Ontario the following easement(s): _____

- 2.12 **Vacate the following street(s) and/or easement(s):**
 - a) **All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**
- 2.13 Ontario Ranch Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.14 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**



- 2.15** The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.

- 2.16** Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$9,665, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.

- 2.17** Other conditions:
 - a) Submit a copy of a recorded private reciprocal access and drainage easement from adjacent properties. The easement shall ensure, at a minimum, common ingress and egress, drainage and joint maintenance of all common access areas and drive aisles.
 - b) Submit a precise grading plan, including a Final Utilities Systems Map (FUSM) that shows all existing and proposed utilities (Domestic Water, Recycled Water, Sewer, Storm Drain and other utilities), including each of the City's public utilities points of connection to the existing systems.



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Riverside Drive	Euclid Avenue	---
Curb and Gutter	<input checked="" type="checkbox"/> New, where existing drive approach is to be removed; 40' from CL <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove ¹	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New, where existing drive approach is to be removed <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input checked="" type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral



Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service²	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____
Other Improvements	_____	_____	_____

Specific notes for improvements listed in Item No. 2.18 above:

1. Drive approach to be removed along Riverside Drive shall be replaced with full height curb and gutter, sidewalk and landscaped parkway to join existing adjacent improvements.
2. Install purple ready, interim water service until future recycled water main is installed within Riverside Drive per the attached OMUC Utilities Engineering Conditions of Approval.

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on Riverside Drive from the centerline to gutter along the project frontage and re-stripe to match existing.**
- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.**



- 2.21 Depending on site conditions and number of utility service cuts at time of construction, additional pavement restoration may be required.
- 2.22 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.23 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately _____, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.24 Other conditions: _____

C. SEWER

- 2.25 A 10-inch sewer main is available for connection by this project in Riverside Drive and Euclid Avenue. (Ref: Sewer Drawing Number: S11232)
- 2.26 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.27 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.28 Other conditions:
 - a) See Exhibit 'B' for additional Sewer Conditions of Approval from OMUC Utilities Engineering Division.

D. WATER

- 2.29 A 12-inch water main is available for connection by this project in Riverside Drive and Euclid Avenue. (Ref: Water Drawing Number: W11598-W11599)
- 2.30 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.31 Other conditions:
 - a) See Exhibit 'B' for additional Water Conditions of Approval from OMUC Utilities Engineering Division.

E. RECYCLED WATER

- 2.32 A _____ inch recycled water main is available for connection by this project in _____. (Ref: Recycled Water Drawing Number: _____)
- 2.33 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.34 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.35 Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.

Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678 or email



OMUCWQPlanCheck@ontarioca.gov regarding this requirement. Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.

- 2.36 Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.
- 2.37 Other conditions:
 - a) See Exhibit 'B' for additional Recycled Water Conditions of Approval from OMUC Utilities Engineering Division.

F. TRAFFIC / TRANSPORTATION

- 2.38 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.39 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.40 Other conditions:
 - a) If at the time of development of PDEV24-007, PDEV22-015 (Self Storage Project) has not constructed improvements along Riverside Drive, the applicant/developer shall be responsible to design and construct a new driveway, approximately 370 feet from Euclid Avenue, onto Riverside Drive, in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveways.
 - b) Where a driveway closure is being proposed, the applicant/developer shall backfill the existing driveway curb-cuts with full height curb and gutter, sidewalk, and landscaped parkway in accordance with all City standards and to the satisfaction of the City Engineer.
 - c) Existing parkway restrictions on Euclid Avenue and Riverside Drive shall remain in place. Install additional signage as necessary.
 - d) All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.

G. DRAINAGE / HYDROLOGY

- 2.41 A _____ inch storm drain main is available to accept flows from this project in _____.
(Ref: Storm Drain Drawing Number: _____)
- 2.42 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.43 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.44 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.45 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.



2.46 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

2.47 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.

2.48 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**

2.49 **Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.**

2.50 **Other conditions:**
a) **Trash enclosures are required to have solid roofs.**

J. SPECIAL DISTRICTS

2.51 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.

2.52 Other conditions: _____

K. FIBER OPTIC

2.53 A _____ fiber optic line is available for connection by this project in _____.
(Ref: Fiber Optic Drawing Number: _____)

2.54 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.**

2.55 **Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000 regarding this requirement.**

2.56 **Other conditions:**
a) **See Exhibit 'C' for additional Fiber Optic Conditions of Approval from Broadband Operations Section.**



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 Complete all requirements for recycled water usage.**
 - 1) Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.**
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.**
 - 3) Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.**
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.**
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.**



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV24-007/PCUP24-005

All plan check submittals are to be done digitally through the City of Ontario Citizen Portal Access. The following items are to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **Engineering Cost Estimate (on City form) with engineer's wet signature and stamp**
4. **Project Conditions of Approval**
5. Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
6. Public Street improvement plan with street cross-sections
7. Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
8. Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
9. Public Sewer improvement plan
10. Public Storm Drain improvement plan
11. Public Street Light improvement plan
12. Signing and Striping improvement plan
13. **Fiber Optic plan (include Auto CAD electronic submittal)**
14. HOA Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
15. CFD Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
16. Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
17. Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
18. **Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
19. **Hydrology/Drainage study**
20. **Soils/Geology report**
21. Payment for Final Map/Parcel Map processing fee



- 22. Final Map/Parcel Map
- 23. Approved Tentative Map
- 24. **Preliminary Title Report (current within 30 days)**
- 25. Traverse Closure Calculations
- 26. **Set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 27. **Supplemental Engineering Report, in electronic format (PDF format), for recycled water use only must be reviewed and submitted to the Division of Drinking Water by OMUC Water Quality Programs before clearing plan check workflows (including grading and landscape plan reviews). *Approval letter issued by the Division of Drinking Water must be obtained before meter installation and, if applicable, occupancy release.***
- 28. **Other: Precise Grading Plan with proposed off-site improvements and Final Utilities Systems Map (FUSM).**



CITY OF ONTARIO MEMORANDUM



DATE: October 23, 2024

TO: Rafael Torres, Planning Department
Jeff Tang, Engineering Department

FROM: Peter Tran, Utilities Engineering

SUBJECT: DPR #3 – Conditions of Approval (COA) - Utilities Comments(#10581 and #10598)

PROJECT NO.: PDEV24-007 and PCUP24-005

BRIEF DESCRIPTION

A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. **Standard Conditions of Approval:** Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as the project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. **Final Utilities Systems Map (USM):** Submit a Final Utilities Systems Map (FUSM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.
 - a. The proposed utilities, utility alignments, and Public Rights-of-Way/Public Utility Easements shown on the Conceptual Utilities Systems Map (CUSM) and other Entitlement documents

are not considered final and shall be revised during Final Design to meet all City Design Guidelines, Standards, City Requirements, and all of the Conditions of Approval contained in this document.

3. Design Utilities to comply Department of Drinking Water (DDW) Separation Requirements and California Code of Regulations (CCR) § 64572 Compliance: All DDW Separation Requirements under CCR § 64572 must be met. In order to assure compliance with CCR § 64572, on all design documents and plans: label the separation dimensions, measure from outside wall of the conveyances, between public potable water to any other public or private non-potable conveyance (sewer, storm drain, storm water, storm water infiltration, recycled water, recycled water irrigation, high pressure gas/petroleum, etc) whether publicly or privately maintained; provide one label per sheet per conveyance and additional labels where separation dimensions and alignments change; and, for any facilities not currently meeting the separation requirements, revise plans/documents so that the facilities meet the separations requirements.
4. Public Utilities and Public Right-of-Way including Public Utility Easements (PUE): All City of Ontario Public Utilities shall be installed within a Public Right-of-Way. In this case, Public Right-of-Way (PRoW) means the improved or unimproved surface of and the space above and below any of the following that are controlled, used or dedicated to the City or that are for use by the public and located within the City's jurisdictional limits: streets, roadways, highways, avenues, lanes, alleys, sidewalks, public utility easements, rights-of-way and similar public property, or any combination of these.
5. Unused Service Abandonment: All adjacent water services (along with connected appurtenances) and sewer laterals and main stubs along the frontages of the project site not used to provide service to this Development Project shall be abandoned back to the main in accordance with City Standards and Practices.
6. Note the following:
The Occupant/Applicant shall apply for a Wastewater Discharge Permit for their establishment and shall comply with all the requirements of the Wastewater Discharge Permit. The application can be downloaded from the City's Utilities website in the drop-down of the "Pretreatment" section (www.ontarioca.gov/OMUC/Utilities). Please select the appropriate application that applies to your type of business. Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors or clarifiers. For wastewater permit application questions, please contact:

Michael Birmelin, Environmental Programs Manager
omucenvironmental@ontarioca.gov
Phone: (909) 395-2661

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

7. Sanitary Sewer Mains Improvements:
 - a. N/A.
8. Sanitary Sewer Service:
 - a. The building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Laterals for the building shall be limited to the minimum necessary to meet all of the conditions of approval and as limited by the City.
 - b. For each Public Sewer Lateral Service to an existing sewer main: the existing sewer main being connected to shall be CCTV Inspected between the upstream and downstream manholes of the connection once before and once after the Sewer Lateral connection is made and any damage to the sewer main resulting from the installation of the Sewer Lateral shall be repaired to meet City Standards and Requirements prior to placing the Sewer Lateral in service.

- c. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Public Sewer Lateral.
9. Private Onsite Sewer System and Plumbing: The Onsite Sewer System shall be privately maintained by the property owner and shall meet the following requirements:
- a. For wastewater flows for non-residential uses:
 - i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. The building and its connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.
 - b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Private Onsite Sewer pipes.
10. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

11. Potable Water Main Improvements:
- a. N/A.
 - b. Fire Hydrants: Fire Hydrants along Potable Water Mains shall be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - i. New Fire Hydrant: Construct a new fire hydrant at the northeast corner of Riverside Drive and Euclid Avenue, at least 5' minimum east of the BCR.
12. Potable Water Service:
- a. Backflow Prevention:
 - i. A Backflow Prevention Device is required for each Meter connected to the Public Potable Water System that: serves any residential use that is more than one (1) single family residential unit; or, any non-residential use; or, only irrigation use.
 - ii. Backflow Prevention Device Location: A Backflow Prevention Device location shall comply with the following requirements:
 - A. In order to reduce the risk of backflow contamination to the Public Potable Water System, the length of pipe between the Public Potable Water Main and the Backflow Device shall be as minimally short as possible.
 - 1) Along Public Streets within Publicly Dedicated Right-of Way: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the property line or back of sidewalk, whichever is closer.
 - 2) Along Private Streets: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow

concrete pad to the meter box or back of sidewalk (or back of curb where there is no sidewalk), whichever is closer.

- 3) Only one single bend of up to 90 degrees maximum is allowed along the pipe to the Backflow and the single bend must be located at one of the following places: either the along the 90-degree riser connecting at the backflow assembly; or, at the end of the 12-inch stub at the back of the meter box.
 - 4) All the minimum DDW Separations also apply to the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) and any Backflow Device (or DCDA). This also includes storm water quality improvements (infiltration, detention, retention, bioswale, etc). Also, no public or private non-potable water conveyances (private utilities, plumbing lines, sewer, private fire system, storm drain) shall cross the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) or under any Backflow Device (or DCDA).
- b. Domestic Service: For domestic water uses:
- i. The Building shall have a its own domestic water service and meter connected to the Public Potable Water System.
- c. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water currently, the landscape irrigation uses shall have a separate irrigation water service and meter with a backflow prevention device connected to the Public Potable Water System separate from the domestic water uses. The onsite plumbing systems and irrigation systems shall be also separate from each other.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

13. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
14. Recycled Water Service: To comply with City Ordinance 2689:
 - a. Purple Ready:
 - i. A recycled water main is Master Planned to be installed in the future within Riverside Drive.
 - ii. Design and construct all Project irrigation areas that are permissible of using recycled water to the standards and requirements to use recycled water (such as using purple pipe, preparation and approval of an Engineer's Report for Recycled Water Use, etc).
 - iii. Install irrigation services with meters for future recycled water use along Riverside Drive connecting to the public potable water system temporarily until recycle water becomes available to the Project.
 - iv. When recycled water becomes available to the Project, the Project shall connect to recycled water and convert to recycled water use and all costs and fees shall be borne solely by the Project/Applicant.

Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owner's association require irrigation services and meters separate from those that are maintained by the property owner or owner's association



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
Henry Noh, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
James Caro, Building Department
Raymond Lee, Engineering Department
Jamie Richardson, Landscape Planning Division
Dennis Mejia, Municipal Utility Company
Heather Lugo, Police Department
Paul Erhman, Deputy Fire Chief/Fire Marshal
Jay Bautista, Traffic/Transportation Manager - *Diego Tapia*
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: September 23, 2024 *3rd Submittal*

SUBJECT: FILE #: PDEV24-007 & PCUP24-005 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

ENG/TRAFFIC
Department

[Signature]
Signature

ENG ASST
Title

10/21/2024
Date
Item C - 133 of 177



CITY OF ONTARIO

MEMORANDUM

Development Plan Review

Project: PDEV24-007/PCUP24-005
(Dutch Bros Coffee)

Date: October 21, 2024

Location: 2951 South Euclid Avenue

By: Diego Tapia 

The Transportation Division recommends the following to be incorporated into the Project's Conditions-of-Approval:

Conditions:

1. If at the time of development of PDEV24-007, PDEV22-015 (Self Storage Project) has not constructed improvements along Riverside Drive, the Applicant/Developer shall be responsible to design and reconstruct the westernmost driveway onto Riverside Drive in accordance with City of Ontario Standard Drawing No.1204 for Commercial Driveways.
2. Where a driveway closure is being proposed, the Applicant/Developer shall backfill the existing driveway curb-cuts with full-height curb and gutter, sidewalk, and landscaped parkway in accordance with all City standards and to the satisfaction of the City Engineer.
3. Existing parking restrictions on Euclid Avenue and Riverside Drive shall remain in place. Install additional signage as necessary.
4. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.

dt;



CITY OF ONTARIO MEMORANDUM

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL Broadband Operations Section

DATE:10/01/2024

PROJECT: PDEV24-007

LOCATION: Euclid and Riverside

PROJECT ENGINEER:

BROADBAND PLAN CHECKER: Cameron Chadwick - CChadwick@ontarioca.gov

The following Conditions of Approval requirements must be incorporated prior to the Development Advisory Board and/or Zoning Administrator Hearing.

1. Project shall be designed and constructed to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole in the Right-of-Way (ROW) and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.
2. Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties within a reasonable distance. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
3. Where a joint telecom or street light street crossing is required, include (2) 2" HDPE SDR-11 conduits or (1) 4" schedule 80 conduit sleeve. Terminate the street crossing conduit(s) in a new HH-3/22 OntarioNet hand hole in the right of way
4. The City requires a public utility easement for fiber optics on all private aisles/alley ways.
5. Hand holes - Design and install OntarioNet fiber optic hand hole HH-FP (10x00x10), HH-1 (13x24x18), HH-2 (17x30x24), HH-2A (24x36x30), HH-3 (30x48x36) and/or HH-4 (36x60x36) as needed. Respectively, Newbasis Part # PLA100010T-00002, PCA132418-00006, PCA-173024-90116, PCA-243630-90064, PCA-304836-90244 and PCA-366036-90146 or equivalent as specified per City Standard 1316. Conduits sweeping into hand holes shall enter in flush with the cut-out mouse holes aligned parallel to the bottom of the box and come in perpendicular to the wall of the box. Conduits shall not enter at any angle other than parallel. Provide 5-foot minimum clearance from existing/proposed utilities. All hand holes will have ¼-inch galvanized wire between the hand holes and the gravel it is placed on.
6. ROW Conduit – Design and install fiber optic conduit at a minimum depth of 36-inch. Trenching shall be per City Standard 1306. Install (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct and (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange with Black Stripe) duct. Conduit(s) between ROW hand holes and hand holes on private property shall be 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct.
7. Building Entrance (Single Family) – Design and install 0.75-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct from hand holes on property or hand holes in the ROW. Consult City's Fiber Team for design assistance.
8. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install

locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct

9. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
10. A minimum 13/16 millimeter microduct joint use telecommunications conduit with pull-rope from the single-family, multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
11. Warning Tape - Contractor shall supply and install an approved non-detectable warning tape 18-inch above the uppermost conduit when backfilling trenches, pits or excavations greater than 10' in length. Warning Tape shall be non-detectable, Orange in color, 4-inch minimum width, 4 mil, 500% minimum elongation, with bold printed black letters "CAUTION - BURIED FIBER OPTIC CABLE BELOW" printed in bold black lettering no less than 2-inch high.
12. All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All hand holes, conduits and ducts shall be placed in the public right of way.
13. All unused conduits/ducts/microducts shall be protected with duct plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
14. Locate/Tracer Wire - Conduit bank requires (1) 12AWG high strength (minimum break load 452#) copper-clad steel with 30mil HDPE orange insulation for locate/tracer wire. Contact City's Fiber Team for tracer wire specifications and see note 8.
15. Multi-family dwellings are considered commercial property.
16. Refer to the In-tract Fiber Network Design guideline on the City's website for additional in-tract conduit guidelines.



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
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Jay Bautista, Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: July 02, 2024 Revision #1

SUBJECT: FILE #: PDEV24-007 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - See previous report for Conditions
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply

- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
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Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: July 02, 2024 Revision #1

SUBJECT: FILE #: PCUP24-005 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Conditional Use Permit to establish a 950 square-foot drive-thru coffee shop on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PDEV24-007.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.



CITY OF ONTARIO

MEMORANDUM

TO: Brenda Fregoso, Engineering Department
FROM: Arij Baddour, Assistant Engineering
DATE: July 22, 2024
SUBJECT: File No. PDEV24-007 & PCUP24-005 Sub 2

The Site Plan for this project is approved for DAB based on the following conditions:

This project will be conditioned in the Engineering DAB Report to prepare a WQMP based on the approved PWQMP. The WQMP template is available at: <http://www.sbcounty.gov/dpw/land/npdes.asp> or on the City's website under Engineering/Environmental Services.

This project is located within the Priority Land Use (PLU) area, which is an area consisting of high-density residential (10 dwelling units per acre or higher), industrial, commercial, mixed urban, and public transportation station land uses and shall comply with the statewide Trash Provisions adopted by the State Water Resources Control Board (SWRCB) by installing State certified Full Trash Capture System devices. Full capture devices must be selected from the approved list on the State Water Board website. https://www.waterboards.ca.gov/water_issues/programs/stormwater/docs/trash_implementation/certified_fc_sdevicelist_16Feb2021.pdf



Preliminary Water Quality Management Plan (PWQMP)

For compliance with Santa Ana Regional Water Quality Control Board
Order Number R8-2010-0036 (NPDES Permit No. CAS618036)

Project Name: Dutch Bros Coffee CA6302

Ontario Project #: PDEV24-007

Applicant Name: John Caglia, Dutch Bros Coffee

Applicant Address: 110 SW 4th St. Grants Pass OR 97526

Project Address: 2951 S. Euclid Ave.

Project Size (acres): 27,883 SF (0.64 ac) (0.593 ac disturbed)

Project Description: 950 SF coffee stand with trash enclosure and circulation



Submittal Date: July 1, 2024

Preliminary Water Quality Management Plan (PWQMP)

1. Introduction

The Preliminary Water Quality Management Plan (PWQMP) is a planning tool to improve integration of required water quality elements, stormwater management, water conservation, rainwater harvesting and re-use, and flood management in land use planning and the City’s development process. The Preliminary WQMP will assist project applicants and planners in properly designing and laying out project sites so that water quality may be incorporated in the most effective manner and at the lowest cost for the developer.

The San Bernardino County Municipal Separate Storm Sewer System Permit (MS4 Permit) requires project-specific Water Quality Management plans (WQMP) to be prepared for all priority new development and significant redevelopment projects listed in Section 2 of this document. The MS4 Permit stipulates that the City of Ontario require priority project applicants to submit a Preliminary project-specific WQMP, as early as possible, during the environmental review or planning phase of a development project and that the Preliminary WQMP be approved prior to the issuance of land use entitlement.

2. Priority Projects (requiring a Preliminary WQMP)

Land Use entitlement shall not be issued for any of the listed projects, below, until a Preliminary WQMP has been approved by the City’s Engineering Department. For construction projects not going through entitlement, a Preliminary and Final project specific WQMP shall be approved, prior to the issuance of construction permits:

Check the appropriate project category below, for this project:

Check below	Project Categories
	1. All significant re-development projects. Significant re-development is defined as the addition or replacement of 5,000 or more square feet of impervious surface on an already developed site subject to discretionary approval of the Permittee. Redevelopment does not include routine maintenance activities that are conducted to maintain original line and grade, hydraulic capacity, original purpose of the facility, or emergency redevelopment activity required to protect public health and safety. Where redevelopment results in an increase of less than fifty percent of the impervious surfaces of a previously existing developed site, and the existing development was not subject to WQMP requirements, the numeric sizing criteria discussed below applies only to the addition or replacement, and not to the entire developed site. Where redevelopment results in an increase of fifty percent or more of the impervious surfaces of a previously existing developed site, the numeric sizing criteria applies to the entire development (new and existing).
✓	2. New development projects that create 10,000 square feet or more of impervious surface (collectively over the entire project site) including commercial, industrial, residential housing subdivisions (i.e., detached single family home subdivisions, multi-family attached subdivisions or townhomes, condominiums, apartments, etc.), mixed-use, and public projects. This category includes development projects on public and private land, which fall under the planning and building authority of the permitting agency.

**Check
below**

Project Categories

	3. Automotive repair shops (with SIC codes 5013, 5014, 5541, 7532- 7534, 7536-7539).
✓	4. Restaurants and Food Service Establishments where the land area of development is 5,000 square feet or more.
	5. Developments of 2,500 square feet of impervious surface or more adjacent to (within 200 feet) or discharging directly into environmentally sensitive areas (ESA's) such as areas designated in the Ocean Plan as areas of special biological significance or waterbodies listed on the CWA Section 303(d) list of impaired waters.
	6. Parking lots of 5,000 square feet or more exposed to storm water. Parking lot is defined as land area or facility for the temporary storage of motor vehicles.
	7. Retail Gasoline Outlets (RGOs) that are either 5,000 sq ft or more or have a projected average daily traffic of 100 or more vehicles per day.
	8. *This project is not covered under any of the categories listed above.

* If the development is not covered under any of the project categories listed in Section 2, the project is not required to design and install Site Design/LID BMPs or Treatment Control BMPs to treat the design storm event (Design Capture Volume) described in Section 4.

3. Preliminary WQMP Objectives

Through a combination of Site Design/LID BMPs (where feasible), Source Control, and/or Treatment Control BMPs, project-specific WQMPs shall address all identified pollutants and hydrologic conditions of concern from new development and significant re-development projects for the categories of projects (priority projects) listed in Section 2. Under each type of BMP, listed below, please indicate which BMPs are planned to be implemented and included in the Final WQMP for the project:

A. Site Design/LID (Low Impact Design) for Reducing Stormwater Runoff:

The MS4 Permit requires each priority development project to infiltrate, harvest and use, evapotranspire, or bio-treat the runoff from a 2-yr, 24-hour storm event (Design Capture Volume). If site conditions do not permit infiltration, harvest and use, evapotranspiration, and/or bio-treatment of the entire Design Capture Volume, at the project site, Site Design/LID techniques are required to be implemented to the Maximum Extent Practicable, at the project site, and the remainder of the DCV shall be infiltrated, harvested, bio-treated or treated by alternative measures. Project applicants shall submit a Preliminary WQMP that documents the LID/Site Design BMPs, proposed for the project. Please indicate, in the table below, which Site Design/LID BMPs will be utilized on this project to accomplish this requirement:

Site Design/LID Practice	Planned	Not Planned
Provide at least the minimum effective area required for LID BMPs, to comply with the WQMP (see Table 3-1 below).	✓	
Grade parking lot areas/drive aisles/roof drains to sheet flow runoff into landscaped swales, via curb cuts or zero-face curbs or otherwise disconnect direct drainage from MS4.		✓
Design landscaped areas as swales and grade to accept runoff from building roofs, parking lots and project roadways.	✓	
Install surface retention basins or infiltration trenches to receive impervious area runoff.		✓
Install pervious pavement in parking stalls, alleys, driveways, gutters, walkways, trails or patios.		✓
Install underground stormwater retention chambers where downstream landscaped areas are limited.	✓	
Install approved Stormwater Drywells in detention areas.		✓
Construct streets, sidewalks, and parking lot stalls to the minimum widths necessary.	✓	
Install on-site Biotreatment basins/trenches with underdrains, where soil type is poorly draining.		✓
Install "Engineered Soil" to increase uptake/soil storage capacity and/or evapotranspiration.		✓
Install Rainwater Harvesting/Use Equipment.		✓
Regional LID BMP facilities are installed, off-site, with the capacity and conveyances to accept post-development storm water runoff from this project and reserved capacity allocation credits have been assigned to the project, in a Certificate or other legally binding document, attached herein		✓

Table 3-1 Minimum Effective Area¹ Required for LID BMPs (surface + subsurface facilities) for Project WQMP to Demonstrate Infeasibility² (% of site)

Project Type	New Development	Re-Development
SF/MF Residential < 7 du/ac	10%	5%
SF/MF Residential < 7 - 18 du/ac	7%	3.5%
SF/MF Residential > 18 du/ac	5%	2.5%
Mixed Use, Commercial/Industrial w/FAR< 1.0	10%	5%
Mixed Use, Commercial/Industrial w/FAR 1.0-2.0	7%	3.5%
Mixed Use, Commercial/Industrial w/FAR> 2.0	5%	2.5%
Podium (parking under > 75% of project)	3%	1.5%
Zoning allowing development to property lines	2%	1%
Transit Oriented Development ³	5%	2.5%
Parking	5%	2.5%

¹ “Effective area” is defined as land area which 1) is suitable for a retention/infiltration BMP (based on infeasibility criteria) and 2) is located down-gradient from building roof or paved areas, so that it may receive gravity flow runoff.

² Criteria only required if the project WQMP seeks to demonstrate that the full DCV cannot be feasibly managed on-site.

³ Transit oriented development is defined as a project with development center within one half mile of a mass transit center.

Key: du/ac = dwelling units/acre, FAR = Floor Area Ratio = ratio of gross floor area of building to gross lot area, MF = Multi Family, SF = Single Family

B. Source Control BMPs – The following BMPs are designed to control stormwater pollutants and runoff water at the location where it is generated. Please indicate which of the listed BMPs are planned to be implemented for the project:

Source Control BMPs	Planned	Not Planned
Minimize non-stormwater site runoff through efficient irrigation system design and controllers.	✓	
Minimize trash and debris in storm runoff through a regular parking lot, storage yard and roadway sweeping program.	✓	
Provide proper covers/roofs and secondary containment for outside material storage & work areas.		✓
Provide solid roofs over all trash enclosures.	✓	
Site Owner(s)/Property Manager/HOA or POA will be familiar with the project WQMP and stormwater BMPs.	✓	
Owner or HOA or POA to provide Education/Training of site occupants and employees on stormwater BMPs.	✓	
Install stormwater placards/stenciled messages with a “No Dumping” message on all on-site/off-site storm drain inlets.	✓	
Provide contained equipment/vehicle wash rack areas that discharge to sanitary sewer.		✓

C. Treatment Control BMPs – The following BMPs are designed to control stormwater pollutants where it is not feasible to install on-site or off-site Site Design/LID BMPs, with the requisite capacity to treat the Design Capture Volume for identified Pollutants of Concern or where pretreatment of stormwater runoff is required, ahead of infiltration BMPs. Please indicate which of the listed BMPs are planned to be implemented for the project:

Treatment Control BMP	Planned	Not Planned
Gravity Separator devices for pretreatment of sediment, trash/litter or Oil & Grease	✓	
Proprietary Biofiltration vaults/devices		✓
Media Cartridge Filtration Vaults		✓
Proprietary Filter Inserts for on-site storm drain inlets or retention basin/trench overflow drains		✓

4. Volume-based calculation (approximate) for sizing on-site or off-site Stormwater Retention/Infiltration, Harvest & Re-Use or Biotreatment facilities

- 1) After calculating the “Watershed Imperviousness Ratio”, i , which is equal to the percent of impervious area in each Drainage Management Area, divided by 100, calculate the composite runoff coefficient C_{BMP} for the Drainage Area above using the following equation:

$$C_{BMP} = 0.858i^3 - 0.78i^2 + 0.774i + 0.04$$

where: C_{BMP} = composite runoff coefficient; and,
 i = watershed imperviousness ratio.

- 3) Determine the area-averaged “6-hour Mean Storm Rainfall”, P_6 , for the Drainage Area. This is calculated by multiplying the area averaged 2-year 1-hour value (0.5”-0.6”) by the appropriate regression coefficient (1.4807). The 2-yr, 1-hr value for southern Ontario is approximately to 0.5” ($P_6 = 0.5 \cdot 1.4807 = 0.74$ and northern Ontario is approximately 0.6” in/hr ($P_6 = 0.6 \cdot 1.4807 = 0.89$).
- 4) Determine the appropriate drawdown time. Use the regression constant $a = 1.582$ for 24 hours and $a = 1.963$ for 48 hours. *Note: Regression constants are provided for both 24 hour and 48-hour drawdown times; however, 48-hour drawdown times should be used in most areas of California. Drawdown times in excess of 48 hours should be used with caution as vector breeding can be a problem after water has stood in excess of 72 hours. (Use of the 24-hour drawdown time should be limited to drainage areas with coarse soils (Class ‘A’ soils that readily drain.)*
- 5) Calculate the “Maximized Detention Volume”, P_0 , using the following equation:

$$P_0 = a \cdot C_{BMP} \cdot P_6$$

where: P_0 = Maximized Detention Volume, in inches
 $a = 1.582$ for 24 hour and $a = 1.963$ for 48-hour drawdown,
 C_{BMP} = composite runoff coefficient; and,
 P_6 = 6-hour Mean Storm Rainfall, in inches

- 6) Calculate the “Target Capture Volume”, V_0 , using the following equation:

$$V_0 = (P_0 \cdot A) / 12$$

where: V_0 = Target Capture Volume, in acre-feet
 P_0 = Maximized Detention Volume, in inches; and,
 A = BMP Drainage Area, in acres

Project Volume-based calculation (approximate) for planned on-site or off-site Stormwater Retention/Infiltration, Harvest & Re-Use or Biotreatment facilities:

Variable	Factor/Formula	DA1, DMA A	DA1 DMA B	DA2 DMA A	DA2 DMA B
Impervious surface/total surface, ratio	(i)	0.556			
C _{BMP} = runoff coefficient	$0.858i^3 - 0.78i^2 + 0.774i + 0.04$	0.377			
P ₆	**P ₆ = 2-yr, 1-hr depth*1.4807 =	0.594			
Detention Volume (acre inches)	P ₀ = a * C _{BMP} * P ₆ =	0.652			
Drawdown rate of basin/trench (a)	1.963 for 48-hr drawdown =	1.963			
Project Total Area (acre)	(A)	0.593			
Design Capture Volume in cu. ft.	V ₀ = [(P ₀ * A)/12] *43560 =	1,405			
Retention Volume provided in cubic feet.	Retention capacity of basins, trenches, underground storage or biotreatment basin	3,464			

**For P₆ value, use site coordinates and NOAA website to determine project's average 2-yr, 1-hr rainfall depth, at: http://hdsc.nws.noaa.gov/hdsc/pfds/sa/sca_pfds.html .

5. Flow-Based calculation (approximate) for sizing on-site or off-site Biotreatment facilities and proprietary treatment technology BMPs:

- 1) After calculating the "Watershed Imperviousness Ratio", i, which is equal to the percent of impervious area in each Drainage Management Area divided by 100, calculate the composite runoff coefficient C_{BMP} for the Drainage Area above using the following equation:

$$C_{BMP} = 0.858i^3 - 0.78i^2 + 0.774i + 0.04$$

where: C_{BMP} = composite runoff coefficient; and,
i = watershed imperviousness ratio.

- 2) Determine BMP design rainfall intensity, **I_{BMP}**, using the project site geo-coordinates and the NOAA website to determine project's average 2-yr, 1-hr rainfall intensity, at: http://hdsc.nws.noaa.gov/hdsc/pfds/sa/sca_pfds.html .Multiply this value by 0.2787 (regression coefficient for Ontario) and a minimum safety factor of 2.
- 4) Calculate the target BMP flowrate, Q, using the following formula (for each DMA <50 acres*):

$$Q = C_{BMP} \cdot I_{BMP} \cdot A$$

Where: **Q** = flow in cfs (Cubic feet per second)
I_{BMP} = BMP design rainfall intensity, in/hr
A = Drainage Area in acres

*For DMAs >50 acres, with C_{BMP} <0.5, the project applicant shall use the unit hydrograph method specified in the San Bernardino County Hydrology Manual, using the design storm pattern with rainfall return frequency such that the peak 1-hr rainfall intensity equals the 85th percentile 1-hr rainfall, multiplied by 2.

Project Flow-based calculation (approximate) for planned on-site or off-site flow-based Biotreatment facilities or Stormwater Treatment BMPs:

Variable	Factor/Formula	DA1 DMA A	DA1 DMA B	DA2 DMA A	DA2 DMA B
Impervious surface/ total surface, ratio	(i)				
C _{BMP} = composite runoff coefficient	$0.858i^3 + 0.78i^2 + 0.774i + 0.04$				
I _{BMP}	I _{BMP} = 2-yr, 1-hr storm intensity*0.2787*safety factor				
Drainage area (ac)	A = DMA sq ft/43,560				
Target BMP flowrate	Q = C _{BMP} * I _{BMP} * A				

6. Hydrologic Conditions of Concern (HCOC) and use of the on-line San Bernardino County HCOC Map for determining necessary mitigation steps necessary if there are HCOCs downstream of a project:

Project applicants may access the on-line HCOC Map at: <http://permitrack.sbcounty.gov/WAP/>. The map will indicate any hydrology concerns with downstream waterways that are hydraulically connected to the project and will indicate if there are any approved regional projects downstream that could be utilized for off-site mitigation of HCOCs. Please indicate here if the project will or will not be able to retain/infiltrate, harvest and use or biotreat and detain the DCV, on-site, as calculated in Section 4 and if there are HCOCs identified downstream of the project:

Retain or Harvest/Use the DCV on site?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
Biotreat the DCV but not infiltrate the runoff?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
HCOCs identified downstream of site?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>

If the entire DCV will not be retained on site, the DCV is biotreated but not infiltrated or additional detention capacity is needed to address identified HCOCs, downstream of the site, please list here, what additional mitigation measures will be utilized (on-site or off-site) to address HCOCs (see Section 4.2.1-4.2.3 of the SB County WQMP Technical Guidance):

7. Site Plan and Conceptual Grading/Drainage Plan requirements for submission with the Preliminary WQMP:

Provide a Site Plan and Conceptual Grading/Drainage Plan along with this Preliminary WQMP, which conceptually shows the proposed locations of buildings, homes, parking lots, parks, new paved roadways, landscaped areas, drainage patterns and drainage sub-areas, methods of conveyance, proposed retention/infiltration, harvest & use or biotreatment facilities that are planned for installation. Where it is determined to be infeasible to capture and detain design storm runoff volumes, on-site, please include other design features, as described in Section 3, above. Include numbered or lettered notes on the Site Plan with a legend detailing other BMPs, as described in Section 3.

8. BMP Maintenance and Funding Mechanism & Description:

BMP Maintenance and Funding will be provided by the tenant.

9. Acknowledgment:

As the property owner or developer, I understand that this project is required to install and implement permanent LID Storm Water Best Management Practices pursuant to the requirements of the San Bernardino County MS4 Permit and to document those BMPs in the submittal of a Water Quality Management Plan, which is binding on any current or successive owners of this property.

Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
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10. Exemption Signature:

As the property owner or developer, I understand that this project is not required by the San Bernardino County MS4 Permit to install and implement permanent LID Storm Water Best Management Practices and will not be required to submit a Water Quality Management Plan.

Signature of Owner or Developer

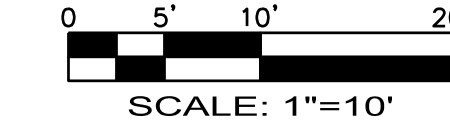
Date

DUTCH BROS. COFFEE - CA6302, ONTARIO, CA

2951 SOUTH EUCLID AVENUE

PRELIMINARY SITE PLAN

SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENTS



CONSTRUCTION NOTES:

1. PROPOSED DUTCH BROS COFFEE, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
2. PROPOSED TRASH ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
3. PROPOSED CONCRETE BARRIER CURB, TYPICAL.
4. PROPOSED CONCRETE PAVEMENT. THICKNESS AND SUBGRADE DETAILS PER GEOTECHNICAL DRAWINGS.
5. PROPOSED ON-SITE CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
6. PROPOSED PAVEMENT MARKING, TYPICAL.
7. PROPOSED LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION, TYPICAL.
8. ACCESSIBLE PATH, TYPICAL.
9. PROPOSED ON-SITE CURB AND GUTTER
10. PROPOSED ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP.
11. PROPOSED SIGN. SEE SIGN DRAWINGS FOR ADDITIONAL DETAILS.
12. PROPOSED NO PARKING STRIPES. STRIPES 4" WIDE, 45 DEGREES, 24" O.C. SAFETY WHITE, TYPICAL.
13. PROPOSED EXTENT OF SAWCUT, TYPICAL.
14. PROPOSED CONTINENTAL TYPE PEDESTRIAN CROSSWALK STRIPING 1 FOOT WIDE STRIPES SPACED 2 1/2 FEET ON CENTER. EXISTING
15. UTILITY APPURTENANCES TO BE PROTECTED DURING CONSTRUCTION.
16. PROPOSED BOLLARD, TYP.
17. PROPERTY LINE, TYPICAL.
18. PROPOSED ADA PARKING SPOT TO CALTRANS AND CITY STANDARDS.
19. PROPOSED AWNING/CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
20. PROPOSED TYPICAL PARKING SPACE, TYP.
21. PROPOSED REMOVAL OF EXISTING DRIVEWAY TO NEAREST SIDEWALK PANEL AND REPLACEMENT WITH SIDEWALK TO CITY OF ONTARIO STANDARDS AND SATISFACTION OF CITY ENGINEER
22. EXISTING FIRE HYDRANT TO BE PROTECTED DURING CONSTRUCTION.
23. PROPOSED ASPHALT PAVEMENT, TYP.
24. (2) SHORT TERM BICYCLE PARKING SPACES WITH "U" STYLE RACK.
25. PROPOSED UNDERGROUND INFILTRATION BASIN. SEE C2.0 AND PWQMP FOR ADDITIONAL DETAILS.
26. PROPOSED DETECTABLE WARNING STRIP.
27. EXISTING CURB AND GUTTER TO BE PROTECTED.
28. CONSTRUCT TRENCH TO CITY OF ONTARIO STANDARDS FOR UTILITY CONNECTION TO EXISTING MAIN. SEE C3.0 FOR ADDITIONAL UTILITY DETAILS. REPLACE PAVEMENT/SIDEWALK/CURB AND GUTTER IN KIND.
29. EXISTING STREET LIGHT/TRAFFIC SIGNAL TP BE PROTECTED DURING CONSTRUCTION.
30. DESIGN VEHICLE, TYP. SEE 1/C1.2 FOR DETAILS.
31. STORM DRAIN APPURTENANCES. SEE C2.0 AND C2.1 FOR DETAILS, TYPICAL.
32. EXISTING FIRE HOSE CONNECTOR TO BE REMOVED AND CONNECTION TO MAIN ABANDONED. INSTALL NEW FIRE HYDRANT. SEE C3.0.
33. CONSTRUCT A 2" ASPHALT CONCRETE (AC) GRIND AND OVERLAY ON E RIVERSIDE DRIVE FROM THE CENTERLINE TO GUTTER ALONG THE PROJECT FRONTAGE AND RE-STRIPE AS NECESSARY.
34. EUCLID AVENUE AND RIVERSIDE DRIVE SHALL BE SIGNED "NO PARKING ANYTIME" OR "NO STOPPING ANYTIME" ALONG PROPERTY FRONTAGE
35. PROPOSED STEP-OUTS AT PARKING SPACES ADJACENT TO PLANTERS. 12" WIDE MONOLITHIC CONCRETE CURB, DG PAVING OR PAVERS WITH EDGING
36. EXISTING PARKING AND PLANTERS TO REMAIN. SEE C1.2 FOR CONTINUATION
37. PROPOSED FULL HEIGHT CURB AND GUTTER TO CITY OF ONTARIO STANDARDS
38. PROPOSED PEDESTRIAN RAMP WITH HANDRAILS
39. PROPOSED 3-FT HEIGHT CMU SCREENING WALL

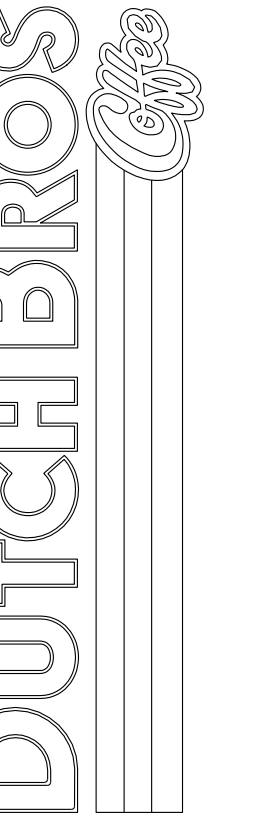
LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
PROPOSED GRIND AND OVERLAY	

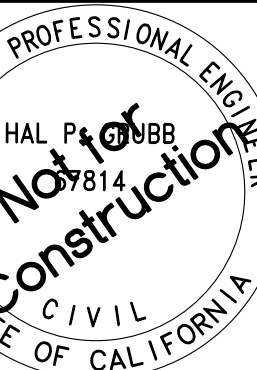
PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY SITE PLAN
2951 S EUCLID AVE
ONTARIO, CA

Title:



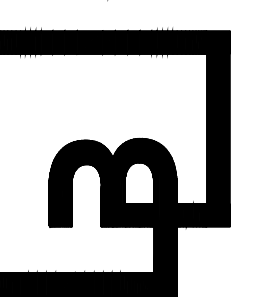
For:



Scale:
Horizontal 1" = 10'
Vertical N/A

Designed: BB
Drawn: BB
Checked: MTL
Approved: HFS
Date: 7/1/24

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
22256
Sheet
C1.0
2019 DB
Financing USA, LLC

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "hook and leaf" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

SOIL PREPARATION PRIOR TO PLANTING

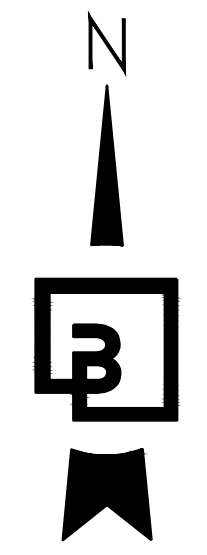
LANDSCAPE AREAS WHERE COMPACTION HAS OCCURRED DUE TO GRADING ACTIVITIES AND WHERE TREES OR STORMWATER INFILTRATION AREAS ARE LOCATED SHALL BE LOOSENEED BY SOIL FRACTURING. FOR TREES, A 12X12X18" DEEP AREA; FOR STORMWATER INFILTRATION, THE ENTIRE AREA SHALL BE LOOSENEED.

THE BACKHOE METHOD OF SOIL FRACTURING SHALL BE USED TO BREAK UP COMPACTION. A 4" LAYER OF COMPOST IS SPREAD OVER THE SOIL SURFACE BEFORE FRACTURING IS BEGUN. THE BACKHOE SHALL DIG INTO THE SOIL LIFTING AND THEN DROP THE SOIL IMMEDIATELY BACK INTO THE HOLE. THE BUCKET THEN MOVES TO THE ADJACENT SOIL AND REPEATS. THE COMPOST FALLS INTO THE SPACES BETWEEN THE SOIL CHUNKS CREATED. FRACTURING SHALL LEAVE THE SOIL SURFACE QUITE ROUGH WITH LARGE SOIL CLOUDS. THESE MUST BE BROKEN BY ADDITIONAL TILLING. TILLING IN MORE COMPOST TO THE SURFACE AFTER FRACTURING PER THE SOIL REPORT WILL HELP CREATE AN A HORIZON SOIL. IMPORTED OR REUSED TOPSOIL CAN BE ADDED ON TOP OF THE FRACTURED SOIL AS NEEDED FOR GRADING. THE LANDSCAPE ARCHITECT SHALL BE PRESENT DURING THIS PROCESS AND PROVIDE CERTIFICATION OF THE SOIL FRACTURING. FOR ADDITIONAL REFERENCE, SEE URBAN TREE FOUNDATION - PLANTING SOIL SPECIFICATIONS.

**DUTCH BROS. COFFEE - CA6302, ONTARIO, CA
2951 SOUTH EUCLID AVENUE
CONCEPTUAL GRADING AND DRAINAGE PLAN**

NOTE:

CONTRACTOR TO CONFIRM/VERIFY INFILTRATION RATES WITH SOILS ENGINEER AFTER THE GRADING OPERATION AND PRIOR TO INSTALLATION OF THE UNDERGROUND CHAMBERS. THE CITY SHALL BE NOTIFIED IF THE INFILTRATION RATES DEVIATE FROM THE ORIGINAL INFILTRATION REPORT



GRADING GENERAL NOTES:

1. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
2. ALL PUBLIC SIDEWALKS BEING CONSTRUCTED WHERE THE EXISTING CURBING IS TO REMAIN SHALL BE CONSTRUCTED AT A CROSS SLOPE OF ±1.5% FROM THE EXISTING BACK OF CURB ELEVATION (CROSS SLOPE MAY REQUIRE TO BE VARIED; 1.25% TO 1.75%). CONTRACTOR SHALL VERIFY CONSTRUCTION FORMS COMPLY WITH ADA STANDARDS PRIOR TO POURING CONCRETE.
3. ALL TRENCHING IN THE RIGHT-OF-WAY SHALL BE REPLACED AND GRADED TO MATCH EXISTING CONDITIONS. CROSS SLOPES SHALL BE MAINTAINED.
4. ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS, AND BE FREE OF ANY ABRUPT VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
5. ALL PAVEMENT SAWCUTS ARE DESIGNED TO BE REPLACED TO MATCH EXISTING PAVEMENTS AND SHALL BE FLUSH AND FREE OF ANY VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
6. REFER TO LANDSCAPE PLANS FOR LANDSCAPE PLANTER SOIL GRADING AND SOIL HOLD-DOWN (2" MINIMUM).
7. ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO REMOVE AND CLEAN-UP ANY SPILLED DEBRIS WITHIN THE PUBLIC ROW THROUGHOUT THE GRADING OPERATIONS OF THE PROJECT.
9. ALL GRADING CONSTRUCTION DEBRIS MATERIALS SHALL BE REMOVED AND DISPOSED INTO AN APPROVED DUMP SITE PRIOR TO ANY EXCAVATION OF FILL OPERATIONS AND/OR AS SPECIFIED BY THE SOLID WASTE MANAGEMENT PLAN AND/OR DIRECTED BY PUBLIC WORKS. ALL GRADING ACTIVITIES MUST COMPLY WITH ALL STORMWATER REGULATIONS INCLUDING STABILIZATION OF ANY SOIL DISTURBED AREA. ALL EXCESS DIRT SHALL BE LEVELED AND/OR DISPOSED OF CORRECTLY AND MAY NOT BE TAKEN TO A FACILITY THAT IS NOT LISTED IN THE SWPPP OF SOLID WASTE MANAGEMENT PLAN AND/OR APPROVED BY THE CITY.
10. ALL CONSTRUCTION ACTIVITIES AND CONSTRUCTION MATERIAL MUST BE STORED ON-SITE AND NOT SPILL OUTSIDE ONTO THE PUBLIC RIGHT-OF-WAY.
11. COMPACTION TO BE NO GREATER THAN 85% IN LANDSCAPE AREAS.
12. ALL FINISHED GRADES AT 1/2" BELOW FINISHED SURFACES.
13. SLOPES TO BE A MAXIMUM OF 3H:1V.

STORM DRAIN GENERAL NOTES:

1. ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
2. ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
3. ALL STORM DRAIN PIPING DENOTED AS "PVC" SHALL CONFORM TO ASTM D3034, SDR 35.
5. ALL STORM PIPING INSTALLED WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY) PER CITY OF LIVINGSTON DETAIL T-18/C5.3
6. ALL STORM DRAINAGE STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE HEEL PROOF AND SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
7. PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
8. ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR OR AGENCY SPECIFICATIONS.
9. PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
10. CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
11. CONTRACTOR TO RAISE AND ADJUST ALL EXISTING AND PROPOSED UTILITY STRUCTURES LIDS/GRATES TO FINAL GRADE AS NECESSARY. CATCH BASINS WITHIN ADA ACCESSIBLE PATHS SHALL BE ADJUSTED TO FINAL ELEVATIONS IN COMPLIANCE WITH CURRENT ADA REQUIREMENTS.
12. PROVIDE SLURRY BACKFILL OVER ANY UTILITY WHERE PROVIDED COVER IS LESS THAN 2' IN DEPTH.

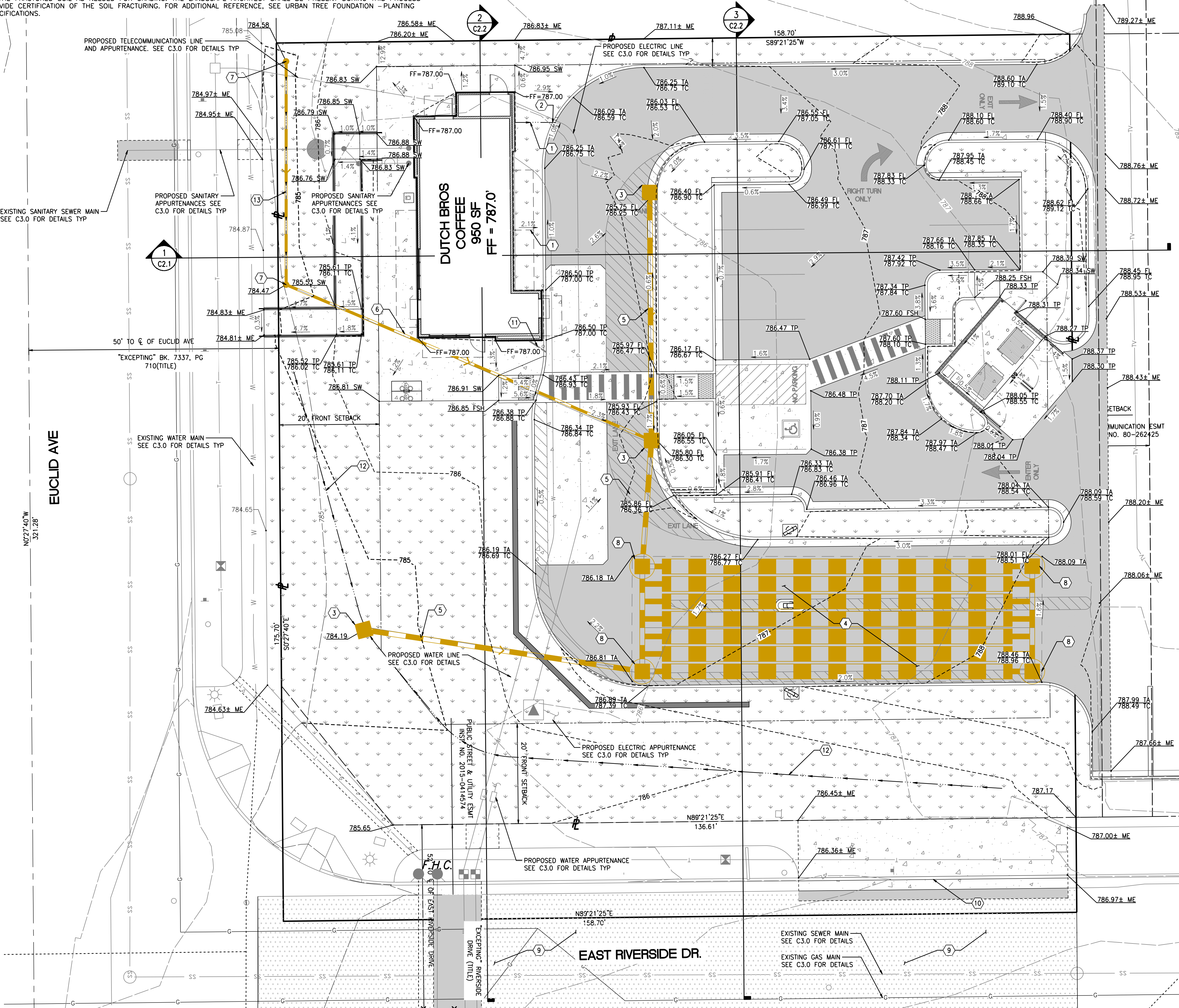
GRADING AND DRAINAGE CONSTRUCTION NOTES:

1. PROPOSED DOWNSPOUT OUTLET DRAINING TO DRIVE-THRU LANE
2. INSTALL CURB CUT TO FACILITATE DOWNSPOUT DRAINAGE.
3. PROPOSED 24x24 CATCH BASIN TO CITY OF ONTARIO STANDARDS. PROVIDE STENCILED MESSAGES AND CATCH BASIN FILTER INSERT TO STATE WATER BOARD STANDARDS.
4. PROPOSED UNDERGROUND INFILTRATION CHAMBER SYSTEM. SEE C2.1 FOR DETAILS.
5. PROPOSED 12" PVC STORM DRAIN.
6. PROPOSED 8" PVC STORM DRAIN
7. PROPOSED 8" CLEANOUT
8. PROPOSED 36" NYLOPLAST DRAIN BASIN WITH SOLID LOCKING LID.
9. PROPOSED 2" ASPHALT CONCRETE GRIND AND OVERLAY TO C/E OF EAST RIVERSIDE DRIVE
10. PROPOSED CURB AND GUTTER AT EXTENTS OF REMOVED DRIVEWAY TO CITY OF ONTARIO STANDARDS
11. PROPOSED DOWNSPOUT DRAINING TO 3" SIDEWALK UNDERDRAIN TO LANDSCAPING/DRIVE AISLE
12. PROPOSED LANDSCAPED SWALE
13. PROPOSED FRENCH DRAIN: 8" PERFORATED PIPE BELOW GRADED SWALE

LEGEND	
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

ABBREVIATIONS

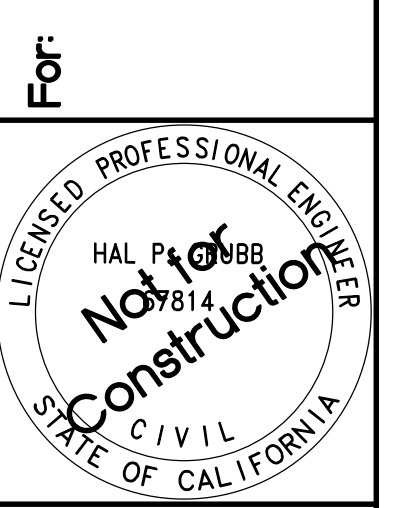
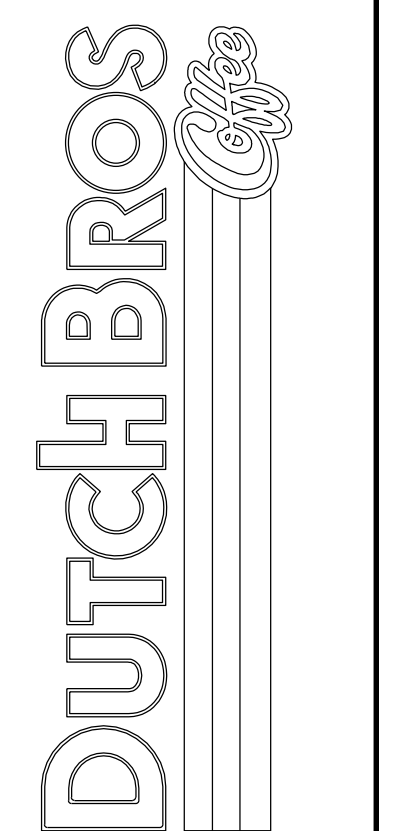
- FL - FLOWLINE
- FSH - FLUSH
- GP - CURB GUTTER PLATE
- ME - MATCH EXISTING ELEVATION
- SW - TOP OF SIDEWALK
- TC - TOP OF CURB/SIDEWALK
- TP - TOP OF PAVEMENT
- BOW - BOTTOM FACE OF WALL AT FINISHED GRADE
- TOW - TOP FACE OF WALL AT FINISHED GRADE



PRELIMINARY NOT FOR CONSTRUCTION

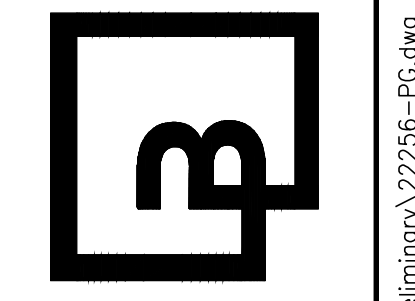
The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

Title: **CONCEPTUAL GRADING AND DRAINAGE PLAN**
2951 S EUCLID AVE
ONTARIO, CA



Scale:	Horizontal	Vertical
	1" = 10'	N/A
Designed:	BB	
Drawn:	BB	
Checked:	MTL	
Approved:	HPS	
Date:	7/1/24	

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com

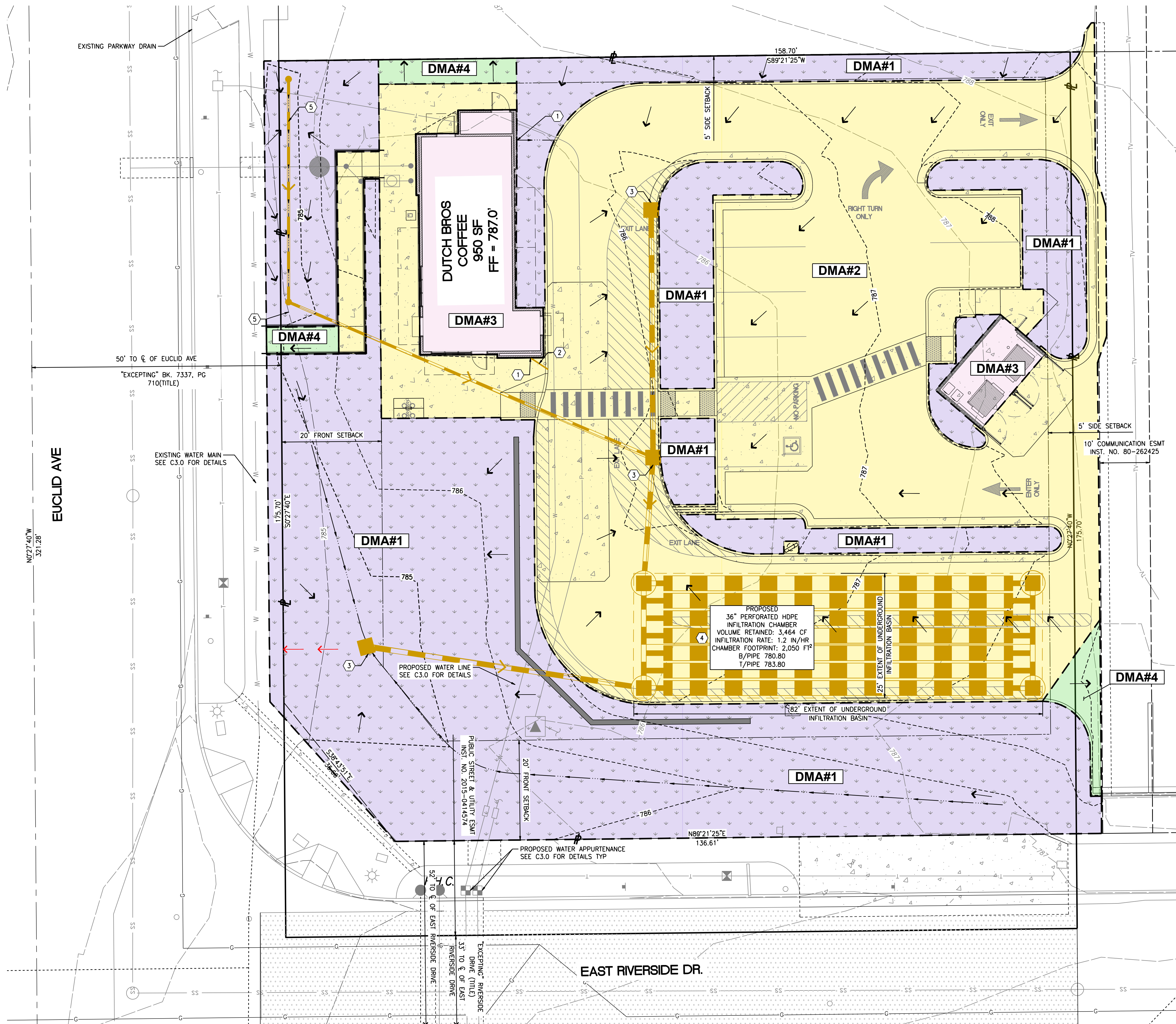
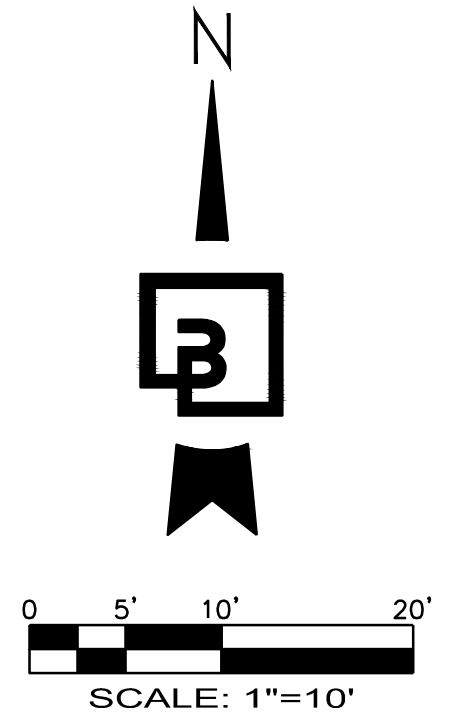


Job Number: **22256**
Sheet: **C2.0**
2019 DBA
Franchising USA, LLC

DUTCH BROS. COFFEE - CA6302, ONTARIO, CA
2951 SOUTH EUCLID AVENUE
SD PWQMP BMP EXHIBIT

NOTE:

CONTRACTOR TO CONFIRM/VERIFY INFILTRATION RATES WITH SOILS ENGINEER AFTER THE GRADING OPERATION AND PRIOR TO INSTALLATION OF THE UNDERGROUND CHAMBERS. THE CITY SHALL BE NOTIFIED IF THE INFILTRATION RATES DEVIATE FROM THE ORIGINAL INFILTRATION REPORT



BMP NOTES:

1. PROPOSED DOWNSPOUT OUTLET DRAINING TO DRIVE-THRU LANE
2. PROPOSED SIDEWALK UNDERDRAIN
3. PROPOSED 24x24 CATCH BASIN TO CITY OF ONTARIO STANDARDS. PROVIDE STENCILED MESSAGES. PROVIDE PRE-TREATMENT VIA CALIFORNIA STATE WATER BOARD APPROVED FULL CAPTURE FILTER/SCREEN AT CATCH BASIN.
4. PROPOSED UNDERGROUND INFILTRATION CHAMBER SYSTEM RETAINING 1,414 CF.
5. PROPOSED 12" NYLOPLAST YARD DRAIN BASIN WITH BEEHIVE GRATE

DA1 - DMA Breakdown						
Color	DMA#	Description	Area (ac)	i	C _{BMP}	DCV (ft ³)
Light Blue	1	Landscaping - Retained On-Site	0.260			
Yellow	2	Impervious - Pavement and Sidewalks - Retained On-Site	0.297	0.556	0.377	1381
Light Green	3	Impervious - Building Roofs - Retained on Site	0.028			
Dark Green	4	De Minimis - Flows off-site	0.009	0.630	0.433	23

Design Capture Volume Calculation and Infiltration Facility Design & Drawdown		
Proposed Land Cover		
Pervious	11438	ft ²
Impervious	14412	ft ²
Total	25850	ft ²
Total Acres (A)	0.593	ac

Calculate Design Capture Volume, V ₀			
Attribute	Value	Units	Notes
i	0.558		Imperviousness Ratio
C _{BMP}	0.378		$0.858i^3 - 0.78i^2 + 0.774i + 0.04$
P ₂	0.594	in	Per NOAA
P ₀	0.880	in	1.487 x P ₂
a	1.963		a = 1.963 for 48 hour drawdown
P ₀	0.652	ac-in	a x C _{BMP} x P ₀
V ₀ (ft ³)	1405	ft ³	$\left[\frac{P_0 \times A}{12}\right] \times 43,560$

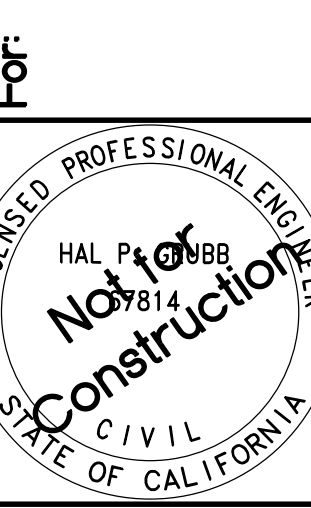
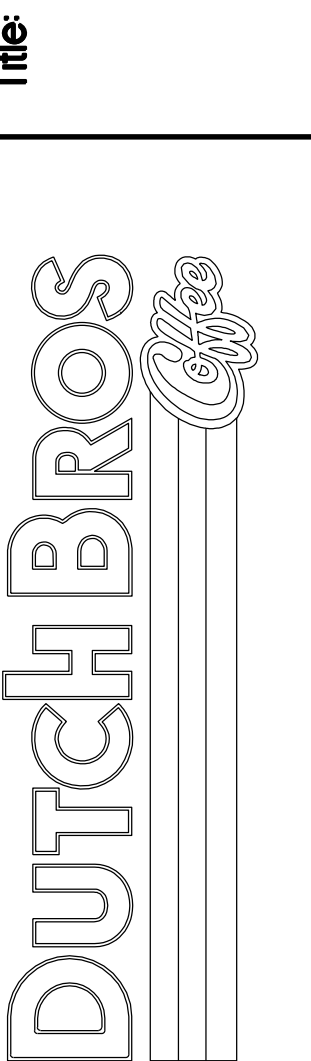
Infiltration Calculations			
Attribute	Value	Units	Notes
Infiltration Rate (IR)	1.2	in/hr	Per Geotechnical Report
Infiltration Chamber Surface Area (A)	2050	ft ²	Dimensions per Plan
Volume to Infiltrate (V _i)	1405	ft ³	
Total Drawdown Time (t)	6.9	hours	$t = \frac{V_i}{(IR \times A)}$

Infiltration Facility Design		
36" Pipe Area	7.1	SF
Total Length of Pipe Required to Retain DCV	482	LF
Length of Pipes	70	LF
R _{rows} Required at Proposed Length	6.88	rows
R _{rows} Provided	7	rows
36" Pipe Diameter	3	ft
Volume Retained by Proposed Facility	3464	CF
Width of Aggregate Bed	25	ft
Length of Aggregate Bed	82	ft
Footprint of Infiltration Facility	2050	SF

LEGEND	
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
PROPOSED ON-SITE FLOW DIRECTION	
PROPOSED OVERLAND FLOW DIRECTION (IN EVENT OF SYSTEM FAILURE)	

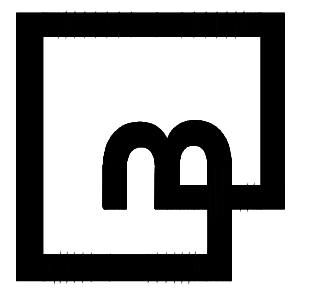
PRELIMINARY NOT FOR CONSTRUCTION

SD PWQMP BMP EXHIBIT
2951 S EUCLID AVE
ONTARIO, CA



Scale: Horizontal 1" = 10', Vertical N/A
 Designed: BB, Draw: BB, Checked: MTL, Approved: HPS, Date: 7/1/24

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222 barghausen.com



Job Number: **22256**
 Sheet: **C2.1**
 2019 DBA: Barghausen USA, LLC

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NOAA Atlas 14, Volume 6, Version 2
Location name: Ontario, California, USA*
Latitude: 34.0197°, Longitude: -117.6505°
Elevation: 785 ft**



* source: ESRI Maps
 ** source: USGS

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerals](#)

PF tabular

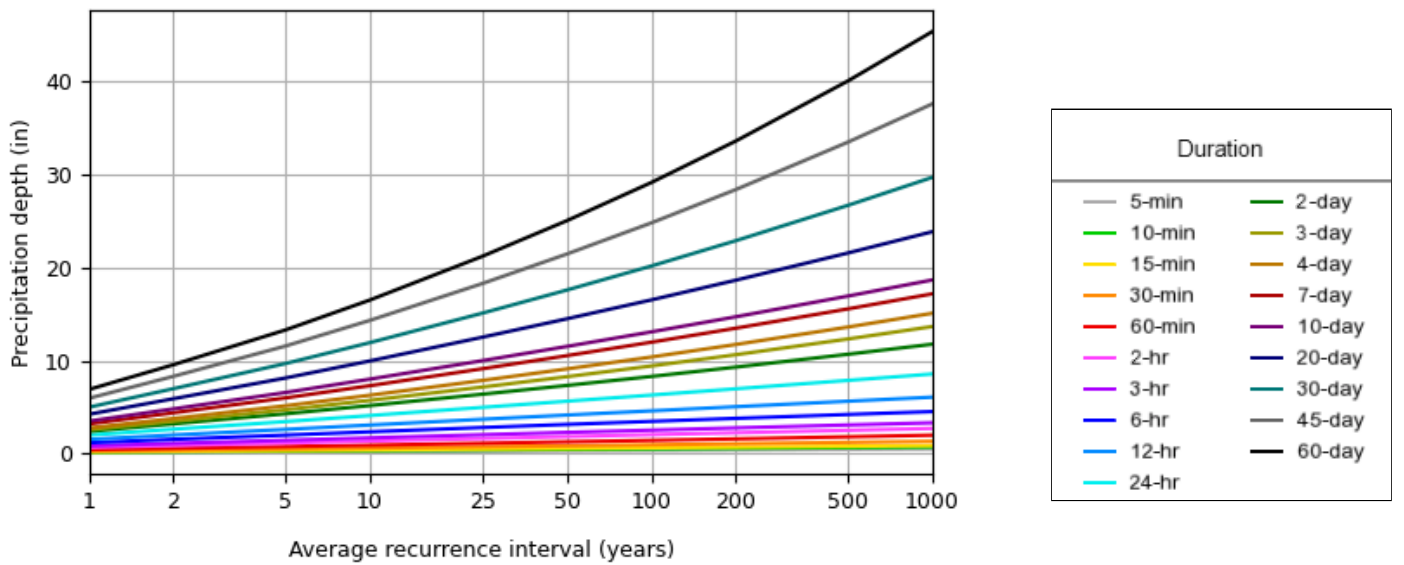
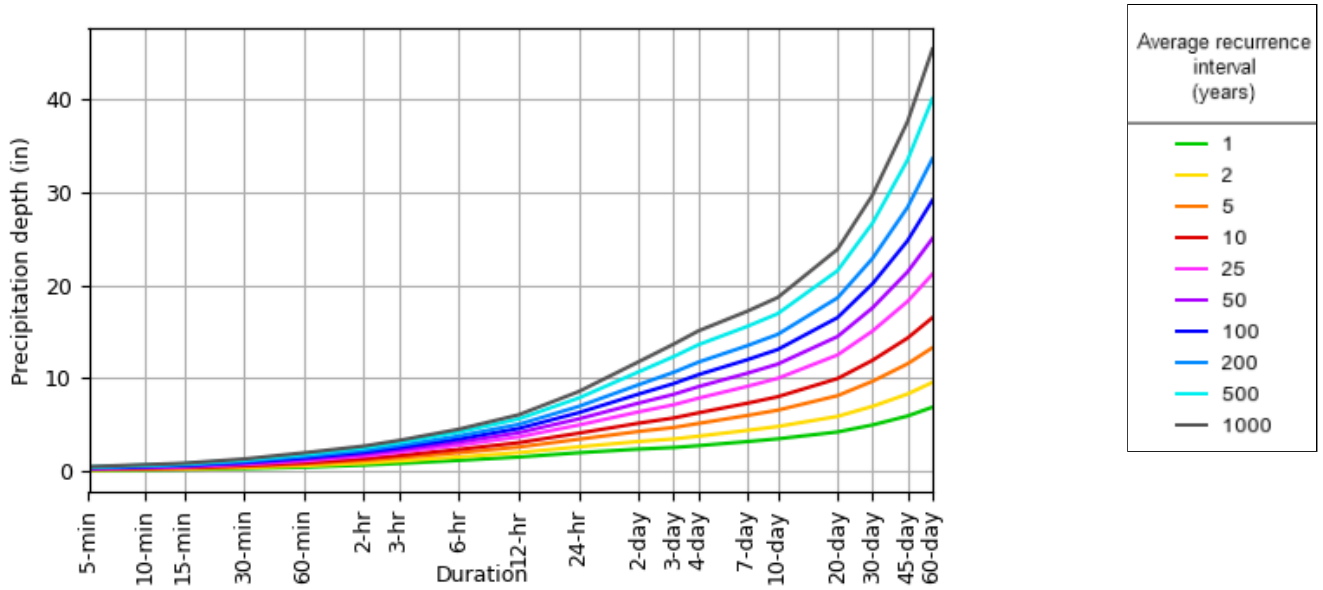
PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.116 (0.097-0.140)	0.152 (0.127-0.184)	0.199 (0.165-0.242)	0.237 (0.195-0.290)	0.289 (0.230-0.366)	0.328 (0.256-0.426)	0.369 (0.280-0.491)	0.410 (0.303-0.562)	0.467 (0.330-0.669)	0.511 (0.348-0.759)
10-min	0.166 (0.139-0.201)	0.218 (0.182-0.264)	0.285 (0.237-0.346)	0.340 (0.280-0.416)	0.414 (0.329-0.525)	0.471 (0.367-0.611)	0.529 (0.401-0.703)	0.588 (0.434-0.806)	0.670 (0.473-0.958)	0.733 (0.499-1.09)
15-min	0.201 (0.168-0.243)	0.263 (0.220-0.319)	0.345 (0.287-0.419)	0.411 (0.339-0.503)	0.500 (0.398-0.635)	0.569 (0.443-0.738)	0.639 (0.485-0.851)	0.712 (0.525-0.975)	0.810 (0.572-1.16)	0.886 (0.604-1.32)
30-min	0.304 (0.254-0.367)	0.398 (0.332-0.482)	0.521 (0.433-0.633)	0.621 (0.512-0.761)	0.756 (0.602-0.959)	0.860 (0.670-1.12)	0.966 (0.733-1.28)	1.08 (0.792-1.47)	1.22 (0.864-1.75)	1.34 (0.912-1.99)
60-min	0.453 (0.379-0.548)	0.594 (0.495-0.720)	0.777 (0.646-0.944)	0.926 (0.764-1.14)	1.13 (0.898-1.43)	1.28 (1.00-1.66)	1.44 (1.09-1.92)	1.60 (1.18-2.20)	1.83 (1.29-2.61)	2.00 (1.36-2.96)
2-hr	0.678 (0.566-0.821)	0.889 (0.742-1.08)	1.16 (0.961-1.40)	1.37 (1.13-1.68)	1.64 (1.31-2.08)	1.85 (1.44-2.40)	2.05 (1.56-2.73)	2.26 (1.66-3.09)	2.52 (1.78-3.61)	2.72 (1.85-4.04)
3-hr	0.854 (0.713-1.03)	1.12 (0.932-1.35)	1.45 (1.20-1.76)	1.81 (1.41-2.31)	2.15 (1.63-2.83)	2.50 (1.85-3.40)	2.85 (2.05-3.95)	3.20 (2.25-4.50)	3.60 (2.55-5.10)	4.00 (2.75-5.75)
6-hr	1.19 (0.990-1.43)	1.55 (1.29-1.88)	2.01 (1.67-2.44)	2.41 (1.95-3.07)	2.85 (2.25-3.65)	3.30 (2.55-4.30)	3.75 (2.85-5.00)	4.20 (3.15-5.60)	4.70 (3.45-6.40)	5.20 (3.85-7.20)
12-hr	1.54 (1.29-1.87)	2.02 (1.68-2.44)	2.62 (2.18-3.18)	3.09 (2.55-3.78)	3.70 (2.95-4.70)	4.16 (3.24-5.40)	4.61 (3.50-6.13)	5.06 (3.73-6.93)	5.64 (3.98-8.08)	6.08 (4.14-9.02)
24-hr	2.01 (1.78-2.31)	2.64 (2.33-3.05)	3.45 (3.04-4.00)	4.11 (3.59-4.79)	4.98 (4.22-6.00)	5.64 (4.68-6.94)	6.31 (5.11-7.95)	6.98 (5.50-9.04)	7.88 (5.96-10.6)	8.57 (6.27-12.0)
2-day	2.40 (2.12-2.77)	3.22 (2.84-3.71)	4.29 (3.78-4.97)	5.18 (4.53-6.04)	6.39 (5.41-7.71)	7.34 (6.08-9.03)	8.30 (6.72-10.5)	9.31 (7.34-12.1)	10.7 (8.09-14.4)	11.8 (8.61-16.4)
3-day	2.57 (2.27-2.96)	3.49 (3.08-4.03)	4.72 (4.16-5.46)	5.74 (5.02-6.70)	7.16 (6.06-8.63)	8.28 (6.86-10.2)	9.43 (7.64-11.9)	10.6 (8.39-13.8)	12.3 (9.33-16.6)	13.7 (10.0-19.1)
4-day	2.77 (2.45-3.19)	3.79 (3.35-4.37)	5.16 (4.55-5.97)	6.29 (5.50-7.34)	7.87 (6.66-9.49)	9.11 (7.56-11.2)	10.4 (8.42-13.1)	11.7 (9.25-15.2)	13.6 (10.3-18.4)	15.1 (11.0-21.1)
7-day	3.20 (2.84-3.69)	4.40 (3.89-5.08)	6.00 (5.29-6.94)	7.32 (6.40-8.54)	9.13 (7.73-11.0)	10.5 (8.74-13.0)	12.0 (9.70-15.1)	13.5 (10.6-17.5)	15.6 (11.8-21.0)	17.2 (12.6-24.0)
10-day	3.50 (3.10-4.04)	4.83 (4.27-5.57)	6.58 (5.80-7.62)	8.02 (7.01-9.36)	10.0 (8.46-12.0)	11.5 (9.56-14.2)	13.1 (10.6-16.5)	14.7 (11.6-19.1)	16.9 (12.8-22.8)	18.7 (13.7-26.1)
20-day	4.24 (3.75-4.89)	5.91 (5.23-6.83)	8.14 (7.17-9.42)	9.98 (8.72-11.6)	12.5 (10.6-15.1)	14.5 (12.0-17.8)	16.5 (13.4-20.8)	18.6 (14.7-24.2)	21.6 (16.3-29.1)	23.9 (17.5-33.3)
30-day	5.00 (4.42-5.76)	6.99 (6.18-8.07)	9.69 (8.54-11.2)	11.9 (10.4-13.9)	15.1 (12.8-18.2)	17.6 (14.6-21.6)	20.2 (16.3-25.4)	22.9 (18.0-29.6)	26.7 (20.2-36.0)	29.7 (21.7-41.4)
45-day	5.96 (5.27-6.87)	8.32 (7.35-9.60)	11.6 (10.2-13.4)	14.3 (12.5-16.7)	18.3 (15.5-22.0)	21.4 (17.8-26.4)	24.8 (20.1-31.2)	28.4 (22.4-36.8)	33.5 (25.3-45.1)	37.6 (27.5-52.5)
60-day	6.90 (6.11-7.96)	9.57 (8.46-11.0)	13.3 (11.7-15.4)	16.5 (14.4-19.3)	21.2 (17.9-25.5)	25.0 (20.8-30.8)	29.1 (23.6-36.7)	33.6 (26.5-43.5)	40.0 (30.3-54.0)	45.4 (33.2-63.3)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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PF graphical

PDS-based depth-duration-frequency (DDF) curves
 Latitude: 34.0197°, Longitude: -117.6505°



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Maps & aerials

Small scale terrain



Large scale terrain



Large scale map



Large scale aerial



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[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)



CITY OF ONTARIO MEMORANDUM



DATE: October 23, 2024

TO: Rafael Torres, Planning Department
Jeff Tang, Engineering Department

FROM: Peter Tran, Utilities Engineering

SUBJECT: DPR #3 – Conditions of Approval (COA) - Utilities Comments(#10581 and #10598)

PROJECT NO.: PDEV24-007 and PCUP24-005

BRIEF DESCRIPTION

A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. Standard Conditions of Approval: Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as the project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. Final Utilities Systems Map (USM): Submit a Final Utilities Systems Map (FUSM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.
 - a. The proposed utilities, utility alignments, and Public Rights-of-Way/Public Utility Easements shown on the Conceptual Utilities Systems Map (CUSM) and other Entitlement documents are not considered final and shall be revised during Final Design to meet all City Design Guidelines, Standards, City Requirements, and all of the Conditions of Approval contained in this document.
3. Design Utilities to comply Department of Drinking Water (DDW) Separation Requirements and California Code of Regulations (CCR) § 64572 Compliance: All DDW Separation Requirements under CCR § 64572 must be met. In order to

assure compliance with CCR § 64572, on all design documents and plans: label the separation dimensions, measure from outside wall of the conveyances, between public potable water to any other public or private non-potable conveyance (sewer, storm drain, storm water, storm water infiltration, recycled water, recycled water irrigation, high pressure gas/petroleum, etc) whether publicly or privately maintained; provide one label per sheet per conveyance and additional labels where separation dimensions and alignments change; and, for any facilities not currently meeting the separation requirements, revise plans/documents so that the facilities meet the separations requirements.

4. Public Utilities and Public Right-of-Way including Public Utility Easements (PUE): All City of Ontario Public Utilities shall be installed within a Public Right-of-Way. In this case, Public Right-of-Way (PRoW) means the improved or unimproved surface of and the space above and below any of the following that are controlled, used or dedicated to the City or that are for use by the public and located within the City's jurisdictional limits: streets, roadways, highways, avenues, lanes, alleys, sidewalks, public utility easements, rights-of-way and similar public property, or any combination of these.
5. Unused Service Abandonment: All adjacent water services (along with connected appurtenances) and sewer laterals and main stubs along the frontages of the project site not used to provide service to this Development Project shall be abandoned back to the main in accordance with City Standards and Practices.
6. Note the following:
The Occupant/Applicant shall apply for a Wastewater Discharge Permit for their establishment and shall comply will all the requirements of the Wastewater Discharge Permit. The application can be downloaded from the City's Utilities website in the drop-down of the "Pretreatment" section (www.ontarioca.gov/OMUC/Utilities). Please select the appropriate application that applies to your type of business. Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors or clarifiers. For wastewater permit application questions, please contact:

Michael Birmelin, Environmental Programs Manager

omucenvironmental@ontarioca.gov

Phone: (909) 395-2661

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

7. Sanitary Sewer Mains Improvements:
 - a. N/A.
8. Sanitary Sewer Service:
 - a. The building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Laterals for the building shall be limited to the minimum necessary to meet all of the conditions of approval and as limited by the City.
 - b. For each Public Sewer Lateral Service to an existing sewer main: the existing sewer main being connected to shall be CCTV Inspected between the upstream and downstream manholes of the connection once before and once after the Sewer Lateral connection is made and any damage to the sewer main resulting from the installation of the Sewer Lateral shall be repaired to meet City Standards and Requirements prior to placing the Sewer Lateral in service.
 - c. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Public Sewer Lateral.
9. Private Onsite Sewer System and Plumbing: The Onsite Sewer System shall be privately maintained by the property owner and shall meet the following requirements:
 - a. For wastewater flows for non-residential uses:

- i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. The building and its connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.
- b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Private Onsite Sewer pipes.
10. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

11. Potable Water Main Improvements:

- a. N/A.
- b. Fire Hydrants: Fire Hydrants along Potable Water Mains shall be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - i. New Fire Hydrant: Construct a new fire hydrant at the northeast corner of Riverside Drive and Euclid Avenue, at least 5' minimum east of the BCR.

12. Potable Water Service:

- a. Backflow Prevention:
 - i. A Backflow Prevention Device is required for each Meter connected to the Public Potable Water System that: serves any residential use that is more than one (1) single family residential unit; or, any non-residential use; or, only irrigation use.
 - ii. Backflow Prevention Device Location: A Backflow Prevention Device location shall comply with the following requirements:
 - A. In order to reduce the risk of backflow contamination to the Public Potable Water System, the length of pipe between the Public Potable Water Main and the Backflow Device shall be as minimally short as possible.
 - 1) Along Public Streets within Publicly Dedicated Right-of Way: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the property line or back of sidewalk, whichever is closer.
 - 2) Along Private Streets: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the meter box or back of sidewalk (or back of curb where there is no sidewalk), whichever is closer.
 - 3) Only one single bend of up to 90 degrees maximum is allowed along the pipe to the Backflow and the single bend must be located at one of the following places: either the along the 90-degree riser connecting at the backflow assembly; or, at the end of the 12-inch stub at the back of the meter box.
 - 4) All the minimum DDW Separations also apply to the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) and any Backflow Device (or DCDA). This also includes storm water quality improvements (infiltration, detention, retention, bioswale, etc). Also, no public or private non-potable water conveyances (private utilities, plumbing lines, sewer, private fire system, storm drain) shall cross the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) or under any Backflow Device (or DCDA).

- b. Domestic Service: For domestic water uses:
 - i. The Building shall have a its own domestic water service and meter connected to the Public Potable Water System.
- c. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water currently, the landscape irrigation uses shall have a separate irrigation water service and meter with a backflow prevention device connected to the Public Potable Water System separate from the domestic water uses. The onsite plumbing systems and irrigation systems shall be also separate from each other.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

- 13. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
- 14. Recycled Water Service: To comply with City Ordinance 2689:
 - a. Purple Ready:
 - i. A recycled water main is Master Planned to be installed in the future within Riverside Drive.
 - ii. Design and construct all Project irrigation areas that are permissible of using recycled water to the standards and requirements to use recycled water (such as using purple pipe, preparation and approval of an Engineer's Report for Recycled Water Use, etc).
 - iii. Install irrigation services with meters for future recycled water use along Riverside Drive connecting to the public potable water system temporarily until recycle water becomes available to the Project.
 - iv. When recycled water becomes available to the Project, the Project shall connect to recycled water and convert to recycled water use and all costs and fees shall be borne solely by the Project/Applicant.

Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
Henry Noh, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
James Caro, Building Department
Raymond Lee, Engineering Department
Jamie Richardson, Landscape Planning Division
Dennis Mejia, Municipal Utility Company
Heather Lugo, Police Department
Paul Erhman, Deputy Fire Chief/Fire Marshal
Jay Bautista, Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Rafael Torres, Assistant Planner

DATE: September 23, 2024 [3rd Submittal](#)

SUBJECT: FILE #: PDEV24-007 & PCUP24-005 Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Landscape Planning Division *Jamie Richardson* Sr. Landscape Architect 10/11/2024

Department

Signature

Title

Date
Item C - 161 of 177

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off



10/11/2024

Jamie Richardson, Sr. Landscape Architect

Date

Reviewer's Name:

Jamie Richardson, Sr. Landscape Architect

Phone:

(909) 395-2615

D.A.B. File No.:

PDEV24-007 & PCUP24-005

Case Planner:

Rafael Torres

Project Name and Location:

Dutch Bros Coffee
 2951 South Euclid Ave

Applicant/Representative:

Barghausen Consulting Engineers seldridge@barghausen.com
 18215 72nd Avenue South
 Kent, WA 98032



Preliminary Plans (dated 09/23/2024) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.



Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.

DIGITAL SUBMITTALS MUST BE 10MB OR LESS.

Civil/ Site Plans

1. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway and landscape areas shall not displace street trees.
2. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
3. Show backflow devices set back 4' from paving on all sides. Locate on level grade.
4. Locate utilities including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.
5. Note for compaction to be no greater than 85% in landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12'x12'x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.

Landscape Plans

7. Landscape areas shall be designed to fill into 100% at the establishment, with no bare soil, mulch, or gravel.
8. Hardscape materials (DG, Gravel, etc.) may be used as *accent* areas and limited to 5% of the landscape area (approximately 705 square feet). Landscape areas shall be installed with a minimum of 3" of organic shredded bark mulch in shrub areas and 1" in groundcover areas.
9. Show backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Do not encircle utility; *show as masses and duplicate masses* in other locations at regular intervals.
10. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans. Trees are required in parkways.
11. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
12. Show landscaping in the perimeter planters and trees spaced 30' apart.
13. Street trees for this project are *Grevillea robusta* along Euclid Ave. and *Platanus wrightii* along Riverside Dr. Use evergreen background trees to contrast with deciduous street trees (and vice versa) and triangularly space between them.
14. Additional trees required. Locate trees for shade on buildings, parking lots, seating areas, and paving, screen blank walls and adjacent properties where missing, accent trees to entries and driveways, and provide visibility to signs, windows, and doors. Locate trees 50% of canopy width from walls, buildings, and existing trees. Provide additional trees within landscape setbacks.
15. Limit use of ornamental grasses to accent areas (difficult and costly to maintain in masses).
16. Omit Root Watering System from plans, notes, and details. Call out Stream Spray Nozzles on Pop Ups..
17. Overhead spray systems shall be designed for plant material less than the height of the spray head.
18. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans.
19. Show minimum on-site tree sizes per the Landscape Development standards; see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
20. Show 25% of trees as California native (*Platanus racemosa*, *Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
21. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
22. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.

PROJECT REVIEW BOARD COMMENTS
***** BUILDING DEPARTMENT *****

Planning Case File No(s): PCUP24-005 & PDEV24-007

Case Planner: Rafael Torres/ Arij Baddour

Applicant:

Location: 2951 South Euclid Avenue

Project: A Conditional Use Permit and Development Plan to establish a 950 square-foot drive-thru coffee shop on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district

APN(s): 1051-614-01

Reviewed By: Jesse Sanchez

Date: 7/31/24

Following Standard Building Department Conditions of Approval
Are Applicable to This Project:

See checked boxes below

Specific Conditions:

A)

Specific Comments (NOTE: THESE COMMENTS ARE NOT CONDITIONS!):

A) Relocate restroom door to the exterior wall so that restroom facilities are accessible to both customers and employees CPC 422.4.

(NOTE: Standard Conditions of Approval are attached.)

BUILDING DEPARTMENT**GENERAL CONDITIONS**

- 1. Shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Existing Building Code
 - D. California Electrical Code
 - E. California Mechanical Code
 - F. California Plumbing Code
 - G. California Energy Code.
 - H. California Fire Code
 - I. California Green Building Standards Code.
- 2. The property owner/business operator shall comply with all applicable City of Ontario Municipal Codes and Ordinances.
- 3. The requirements of the Department of Environmental Health Services and the Air Quality Management District shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
- 4. Pursuant to the California Business and Professions Code Section 6737, most projects are required to be designed by a California Licensed Architect or Engineer. The project owner or developer should review the section of the California Codes and comply with the regulation
- 5. All perimeter / boundary walls shall be designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
- 6. All lot lines, easement lines, etc. shall be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Building Code, or any other applicable law, ordinance, or code.
- 7. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall obtain clearances from each department and division prior to requesting a final building inspection from the Building Department. Each department shall sign the Building Department Job Card
- 8. All signs shall be Underwriters Laboratories, or equal, approved.

9. Permits are required prior to the removal and/or demolition of structures.
10. In addition to approval from Building Department, approval is required from the County of San Bernardino, Department of Public Health and the California Regional Water Quality Control Board, Santa Ana Region for the Private Sewage Disposal System.
11. The existing private sewage system will have to be modified as required to accommodate the new use. Plans and/or supporting data will have to be submitted to, and approved by, the Building Department regarding the new use and necessary modifications. Additionally, approval from the Regional Water Quality Control Board, Santa Ana Region, is required for the new use.
12. The coach shall bear a State of California, Department of Housing and Community Development (HCD) insignia indicating the occupancy group and design loads that the coach conforms to, and other relevant information regarding exiting, fire safety, electrical, plumbing and mechanical. The foundation system, porch and awning shall comply with plans that bear the HCD "Standard Plan Approval" stamp. The coach, foundation system, porch and awning shall comply with the City of Ontario's design loads and site-specific conditions.
13. The conversion of the existing single-family dwelling(s) into a commercial use changes the occupancy group classification, and therefore the existing buildings must be made to comply with the requirements of all applicable codes for the new occupancy classification. Complete plans, calculations and other specifications shall be submitted to the Building Department for review, approval and subsequent permit issuance. The plans, calculations and other specifications shall be prepared by an Architect or Registered Civil/Structural Engineer licensed by the State of California who is qualified to perform said work.
14. The site, or a portion of the site, is in a flood hazard area. Justification that the proposed development does not adversely affect the location or carrying capacity of the floodway, nor does it adversely affect upstream or downstream sites shall be provided to Building Department. Additionally, all provisions must be taken to protect the site from flood damage.
15. All exterior lighting shall be orientated, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.
16. Site facilities such as parking open or covered, recreation facilities, and trash dumpster areas, and common use areas shall be accessible per the CBC, Chapter 11.
17. Trash Enclosure shall be covered, and the interior clearances shall be designed to accommodate the following:
- 4' min. side access entrance

- 3' min. wide clear pathway along rear of enclosure between trash bins and back wall.
 - Trash bins must be oriented sideways to allow access from the narrow dimension.
 - Use of curbs or wheel stops shall be provided within the enclosure to maintain access clearances and bin orientations.
18. The applicant/developer shall include the conditions of approval of this resolution on the construction plans.
19. Site development and grading shall be designed to provide access to all entrances and exterior ground floors exits and access to normal paths of travel, and where necessary to provide access. Paths of travel shall incorporate (but not limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable warning, signage, gates, lifts and walking surface materials. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site, California Building Code, (CBC) Chapter 11, Sec, 11A and 11B.
20. Commercial/Industrial gated site must have at least one pedestrian emergency gate, 3'-0' x 6'-8" min. gate size, equipped with panel hardware on the inside, and gate must swing out. Pedestrian emergency gates can be installed integrated with vehicular gates.
21. New residential single-family dwelling (SFD's):
- The side yard gate must swing out toward the street.
 - The gas meter shall not obstruct side yard access gates.
 - Air Conditioning unit located at side yard shall maintain 3' min. clearance from property line wall to AC unit.
 - Provide a continuous concrete walk between garage side door to driveway or sidewalk.
22. New development projects located in the Ontario Ranch specific plan are required to submit a **methane assessment report**. This report shall be submitted to the Building Department for review and approval at grading plan submittal.
23. If hazardous substances are used and/or stored, a technical opinion and report, identifying and developing methods of protection from the hazards presented by the hazardous materials may be required. This report shall be prepared by a qualified person, firm, or corporation and submitted to Building Department. This report shall also explain the proposed facility's intended methods of operation and list all of the proposed materials, their quantities, classifications, and the effects of any chemical (material) intermixing in the event of an accident or spill.
24. The property owner/business operator shall provide a grease interceptor at a location where it shall be easily accessible for inspection, cleaning, and removal of accumulated grease. The sizing and installation shall conform to the current California Plumbing Code. The grease interceptor shall be constructed in accordance with plans approved by the Director of Public

Works and the Building Official. The property owner/business operator shall contract with a maintenance company for maintenance and cleaning of the grease interceptor.

SITE CONSTRUCTION REQUIREMENTS

- 25. All construction sites must be protected by a security fence and screening. The fencing and screening shall always maintained to protect pedestrians
- 26. Temporary toilet facilities shall be provided for construction workers. The toilet facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3
- 27. Construction projects which require temporary electrical power shall obtain an Electrical Permit from Building Department. No temporary electrical power will be granted to a project unless one of the following items is in place and approved by Building Department and the Planning Department.
 - (A) Installation of a construction trailer, or
 - (B) Security fenced area where the electrical power will be located
- 28. Installation of construction/sales trailers must be located on private property. No trailers can be in the public street right of way
- 29. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.
- 30. Prior to issuance of a Building Permit all of the following must be in place: portable toilet with hand wash station, all BMP's, fencing and signage on each adjacent street saying "If there is any dust or debris coming from this site please contact (superintendent number here) or the AQMD if the problem is not being resolved" or something similar to this.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 31. The following grading items shall be completed and/or submitted – as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification completed
 - D. Pad elevation certification completed
 - E. Rough grade inspection signed off by a City's Building Inspector
- 32. Prior to the issuance of a Building Permit, the applicant shall pay all Development

Improvement Fees to the City. Copies of receipts shall be provided to the Building Department prior to permit issuance.

- 33. The Tract or Parcel map shall record prior to the issuance of any permits.
- 34. The existing parcels shall be combined into a single parcel, or a lot line adjustment shall be done so that the proposed structure(s) does not cross any lot line and complies with all requirements of the California Building Code, prior to any building permits being issued.
- 35. Fire sprinklers, fire alarm systems and fire hydrant plans shall be submitted for plan review concurrently with building plans and shall be approved prior to permit issuance
- 36. Prior to issuance of Building Permits, school fees need to be paid to school district where project is located



CITY OF ONTARIO

MEMORANDUM

TO: Rafael Torres, Assistant Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: April 22, 2024

SUBJECT: PCUP24-005 - A Conditional Use Permit to establish a 950 square-foot drive-thru coffee shop on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PDEV24-007.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Report attached, see PDEV24-007.
-



CITY OF ONTARIO

MEMORANDUM

TO: Rafael Torres, Assistant Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: April 23, 2024

SUBJECT: PDEV24-007 - A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: V-B
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 950 Sq. Ft.
- D. Number of Stories: 1
- E. Total Square Footage: 950 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): B

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within one hundred and fifty feet (150’) of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty-five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four feet (24’) wide circulating all weather access roads shall be provided to within one hundred and fifty feet (150’) of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a maximum spacing of three hundred feet (300') apart, on alternating sides of the street. Streets with a center median shall require public hydrants spaced five hundred feet (500') apart, on the same side of the street.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.
- ☒ 4.8 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association (NFPA) Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.

- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.



CITY OF ONTARIO

MEMORANDUM

TO: Rafael Torres, Associate Planner

FROM: Heather Lugo, MA, Police Department

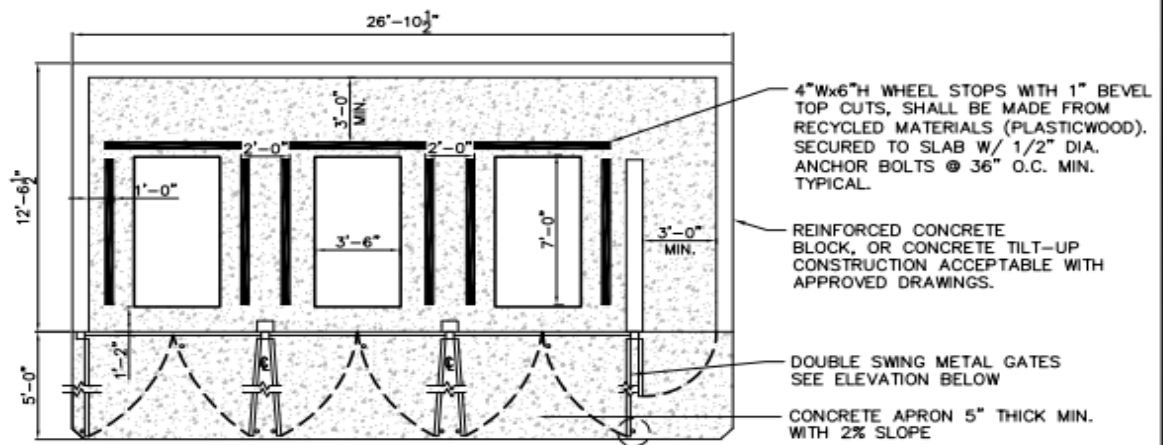
DATE: April 4, 2024

SUBJECT: PDEV24-007 - A Development Plan to construct 1 commercial building totaling 950 square feet on 0.564 acres of land located at 2951 South Euclid Avenue, within the CN (Neighborhood Commercial) zoning district (APN(s): 1051-614-01). Related File(s): PCUP24-005.

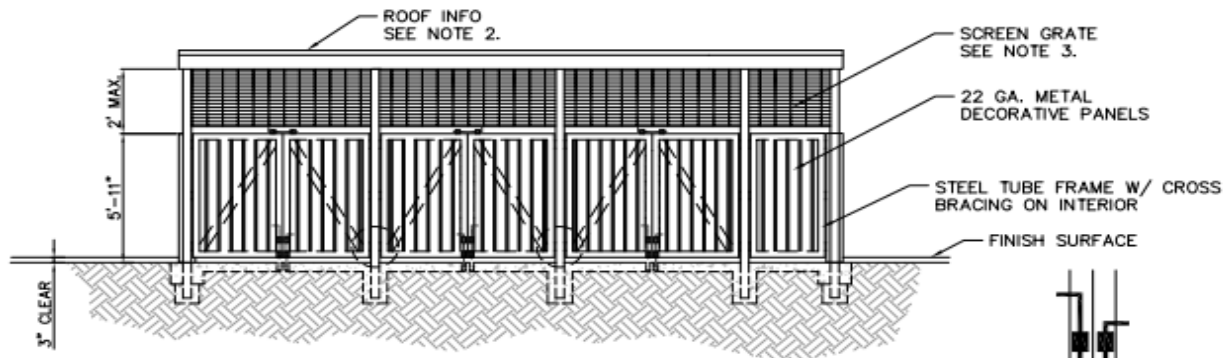
The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 6 feet tall and 2 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The Applicant shall install a video surveillance system on the site. Cameras shall cover at a minimum all entry doors, all cash registers, and at least one camera shall capture any vehicle utilizing the drive-thru. Cameras shall be positioned to maximize the coverage of patrons and vehicles in these areas. Cameras shall record at least 15 frames per second and at a minimum of 640x480 lines of resolution. Recordings shall be stored for a minimum of 30 days and made available upon request to any member of the Ontario Police Department.
- All exterior electrical outlets shall be secured and locked.
- All exterior water spigots / water supply sources shall be secured and locked.
- Trash enclosure shall be fully secured/enclosed by locks, mesh, and screen grate to reduce crime and encampment opportunities for homeless persons.

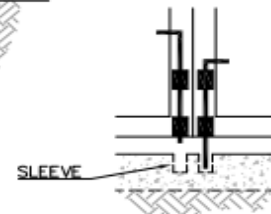
The Applicant is invited to contact Heather Lugo at (909) 408-1074 with any questions or concerns regarding these conditions.



PLAN VIEW



ELEVATION



SLEEVE DETAIL

NOTES:

- ① THIS DRAWING SERVES AS A GUIDELINE TO THE TRASH ENCLOSURE BIN LAYOUT. PLANS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL TO MEET CURRENT BUILDING CODES.
- ② SOLID ROOF TO MEET ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.
- ③ TRASH ENCLOSURE SHALL BE FULLY SECURED/ENCLOSED BY LOCKS, MESH, AND SCREEN GRATE.

CITY OF ONTARIO - INTEGRATED WASTE DEPARTMENT

EXAMPLE 1

COMMERCIAL/INDUSTRIAL REFUSE, RECYCLING AND ORGANICS ENCLOSURE (THREE 4-6 CU. YD. BINS)

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV24-007 and PCUP24-005

Address: 2951 South Euclid Avenue

APN: 1051-614-01

Existing Land Use: Vacant

Proposed Land Use: A Development Plan to construct a 950 square-foot drive-thru restaurant commercial building

Site Acreage: 0.64 Proposed Structure Height: 24 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Rafael Torres

Date: 12/11/2024

CD No.: 2024-008

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: <u>200 FT +</u>	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: 