



CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD

AGENDA

July 1, 2024

- ▶ **All documents for public review are on file in the Planning Department located in City Hall at 303 East “B” St., Ontario, CA 91764 and on the city’s website at ontarioca.gov/Agendas/DAB**

**MEETING WILL BE HELD AT 1:30 PM IN ONTARIO CITY COUNCIL CHAMBERS
LOCATED AT 303 East “B” St.**

Scott Ochoa, City Manager
Scott Murphy, Executive Director, Community Development Agency
Jennifer McLain Hiramoto, Executive Director, Economic Development
James Caro, Building Official
Henry Noh, Planning Director
Khoi Do, City Engineer
Chief Michael Lorenz, Police Department
Fire Marshal Paul Ehrman, Fire Department
Scott Burton, Utilities General Manager
Angela Magana, Community Improvement Manager

PUBLIC COMMENTS

Citizens wishing to address the Development Advisory Board on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to three minutes.

Please note that while the Development Advisory Board values your comments, the members cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.

AGENDA ITEMS

For each of the items listed below the public will be provided an opportunity to speak. The chairperson will open the public hearing. At that time the applicant will be allowed three (3) minutes to make a presentation on the case. Members of the public will then be allowed three (3) minutes each to speak. The Development Advisory Board may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.

CONSENT CALENDAR ITEMS

A. MINUTES APPROVAL

Development Advisory Board Minutes of June 17, 2024, approved as written.

PUBLIC HEARING ITEMS

B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR

FILE NO. PDEV23-032: A hearing to consider a Development Plan to construct a 2,274 square foot commercial building on 0.4-acre of land located at the northwest corner of Vine Avenue and Brooks Street, within the LUA-3 (Holt Boulevard) land use district of the MU-1 (Downtown Mixed Use) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan.; (APN: 1049-021-19) **City initiated.**

1. CEQA Determination

No action necessary – Exempt: CEQA Guidelines Section § 15332

2. File No. PDEV23-032 (Development Plan)

Motion to Approve / Deny

C. ENVIRONMENTAL ASSESSMENT AND TENTATIVE PARCEL MAP AND DEVELOPMENT REVIEW FOR FILE NO. PMTT23-005 AND PDEV23-011:

A public hearing to consider tentative Parcel Map 20714 to subdivide approximately 60 acres of land into 13 numbered lots and 2 lettered lots and a Development Plan to construct 12 business park industrial buildings totaling 882,538 square feet on approximately 43 acres of land generally located east of Euclid Avenue, south of Schaefer Avenue, west of Sultana Avenue and north of Edison Avenue within a proposed Euclid Mixed Use Specific Plan (File No. PSP22-001). The environmental impacts of this project were reviewed in conjunction with the Euclid Mixed Use Specific Plan (File No. PSP22-001), for which an Environmental Impact Report (State Clearinghouse No. 2023020281) was prepared. The Environmental Impact Report determined that the proposed project, with mitigations, will not result in any significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan. The project site is also located within the Airport Influence area of Chino Airport and was evaluated and found to be consistent with the policies and criteria of the Chino Airport Land Use Compatibility Plan; (APNs: 1053-071-01; 1053-071-02;

1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04) submitted by **Euclid Land Investment LLC**. **Planning Commission action is required.**

1. **CEQA Determination**

Motion to Approve/Deny the use of an EIR

2. **File Nos. PMTT23-005 (TPM 20714) and PDEV23-011** (Tentative Parcel Map and Development Plan)

Motion to recommend Approval/Denial

If you wish to appeal a decision of the **Development Advisory Board**, you must do so within ten (10) days of the **Development Advisory Board** action. Please contact the **Planning Department** for information regarding the appeal process.

If you challenge any action of the **Development Advisory Board** in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the **Development Advisory Board** at, or prior to, the public hearing.

The next **Development Advisory Board** meets on **July 15, 2024**.

I, Gwen Berendsen, Administrative Assistant of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **June 27, 2024**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.


Administrative Assistant

CITY OF ONTARIO

Development Advisory Board

Minutes

June 17, 2024

BOARD MEMBERS PRESENT

Henry Noh, Chairman, Planning Department
James Caro, Building Department
Miguel Jimenez, Community Improvement
Charity Hernandez, Economic Development Agency
Khoi Do, Engineering Department
Paul Ehrman, Fire Department
Christy Stevens, Municipal Utilities Company
Heather Lugo, Police Department

BOARD MEMBERS ABSENT

None

STAFF MEMBERS PRESENT

Angie Alvarez, Planning Department	Jeffrey Tang, Engineering Department
David Eoff IV, Planning Department	Angela Truong, Engineering Department
Lorena Mejia, Planning Department	Fred Addison, Engineering Department
Edmelyne Hutter, Planning Department	Karen Khukoyan, Economic Development

PUBLIC COMMENTS

No person from the public wished to speak.

CONSENT CALENDAR ITEMS

- A. **APPROVAL OF MINUTES:** Motion to approve the minutes of the June 3, 2024, meeting of the Development Advisory Board was made by Mr. Caro; seconded by Ms. Stevens; and approved unanimously by those present (8-0).

PUBLIC HEARING ITEMS

- B. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV23-033:** A public hearing to consider a Development Plan to construct one industrial building totaling 221,658 square feet on 11.31 acres of land located on the southwest corner of Campus Avenue and Phillips Street, within the IL (Light Industrial) zoning district. Staff is recommending the adoption of an Addendum to The Ontario Plan 2050 Supplemental Environmental Impact Report (State Clearinghouse No. 2021070364), certified by the City Council on August 16, 2022, in conjunction with File No. PGPA20-002. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence

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Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 1049-482-01, 1049-482-02, 1049-482-03 and 1049-482-04) **submitted by California Acquisition, LLC.**

Mr. Noh opened the public hearing.

Heather Crossner with California Acquisition, Inc. was present.

Mr. Noh asked if Ms. Crossner had reviewed and agreed with the Conditions of Approval.

Ms. Crossner stated she reviewed and agrees with the Conditions of Approval.

As there was no one else wishing to speak on this item, Mr. Noh closed the public hearing.

Motion to approve **File No. PDEV23-033**, subject to conditions, was made by Ms. Stevens; seconded by Mr. Jimenez; and approved unanimously by those present (8-0).

- C. **ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV23-035**: A hearing to consider a Development Plan (File No. PDEV23-035) to construct 265 dwellings consisting of 83 detached cluster dwellings, 126 row-town multifamily dwellings, and 56 single family detached dwellings on approximately 23.2 acres of land located south of Riverside Drive, north of Chino Avenue and west of Archibald Avenue, within Neighborhoods 2A, 2B and 2C of the Countryside Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with an Amendment to the Countryside Specific Plan (File No. PSPA22-002), for which an Addendum to the Countryside Specific Plan Environmental Impact Report (State Clearinghouse No. 2004071001) was adopted by the City Council on June 20, 2023. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; (APNs: 0218-111-60 and 0218-111-61) **submitted by Lennar Homes. Planning Commission action is required.**

Mr. Noh opened the public hearing.

Applicant was not present.

Mr. Noh asked Senior Planner Hutter if the applicant had received and agreed with the Conditions of Approval.

Ms. Hutter responded that the applicant has received the Conditions of Approval and Staff Report, and no comments have been received from the applicant.

Mr. Ehrman asked if a motion was being made without knowing if the applicant is in agreement with the conditions.

Ms. Hutter stated that the applicant has not expressed any concerns about the conditions of approval and that she will coordinate with the applicant prior to Planning Commission.

Mr. Noh stated that if the Development Advisory Board was comfortable with recommending the item to Planning Commission and if any items need to be corrected, it can be done in Planning Commission.

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As there was no one else wishing to speak on this item, Mr. Noh closed the public hearing.

Motion to recommend approval of **File No. PDEV23-035**, subject to conditions, was made by Mr. Do; seconded by Ms. Lugo; and approved unanimously by those present (8-0).

There being no further business, the meeting was adjourned to the next meeting on July 1, 2024.

Respectfully submitted,



Angie Alvarez Cruz
Recording Secretary



DEVELOPMENT ADVISORY BOARD DECISION

July 1, 2024

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

DECISION NO.: [insert #]

FILE NO.: PDEV23-032

DESCRIPTION: A Development Plan to construct a 2,274 square foot commercial building on 0.4-acre of land located at 122 South Vine Avenue, within the Holt Boulevard (LUA-3) land use district of the Downtown Mixed Use (MU-1) zoning district. APN: 1049-021-19; **City initiated.**

PART 1: BACKGROUND & ANALYSIS

CITY OF ONTARIO, (herein after referred to as "Applicant") has filed an application requesting approval of a Development Plan, File No. PDEV23-032, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

PROJECT SETTING: The Project site is comprised of 0.4 acres of land located at 122 South Vine Avenue, which is depicted in Exhibit A: Project Location Map, attached. The site is located at the northwest corner of Vine Avenue and Brooks Street, one block south of Holt Boulevard, a future Bus Rapid Transit (BRT) route. The site is surrounded by a mix of residential, commercial and light industrial uses. To the east of the project site is Emporia Place, a 75-unit, three-story apartment complex. Further east on Transit Street, construction is currently underway for a 50-unit, three-story apartment complex known as Ontario Emporia Family Housing Project - Phase 2. Existing land uses, Policy Plan (general plan) and zoning designations, on and surrounding the Project site are as follows:

	Existing Land Use	Policy Plan Land Use Designation	Zoning Designation
Site:	Vacant	Mixed Use Downtown	LUA-3 (Holt Boulevard District)/ MU-1 (Downtown Mixed Use)
North:	Single-family residential	Mixed Use Downtown	LUA-3 (Holt Boulevard District)/ MU-1 (Downtown Mixed Use)
South:	Single-family residential	Industrial	IL (Light Industrial)
East:	Multiple-family residential	Mixed Use Downtown	LUA-3 (Holt Boulevard District)/ MU-1 (Downtown Mixed Use)
West:	Parking Lot/ Automotive Repair	Mixed Use Downtown	LUA-3 (Holt Boulevard District)/ MU-1 (Downtown Mixed Use)

(1) Background — The Project site was previously developed with a two-story building known as the William Barton Fallis House, or more commonly known as the Fallis House, depicted in Exhibit B: The Fallis House. Built in 1892, the Fallis House was a one-story, single-family home built for the Fallis family, early town settlers and well-known business owners of the Fallis Department store. As the family grew and needed more space, a second story was added in 1914, changing the roofline to a Mansard which is representative of the French Second Empire architectural style. The house also had a variation of Queen Anne ornamentation and detailing, such as spool and spindle and brackets at the front porch, a five-sided window bay with cut away corners, pendants, and roof fish scale shingling design. The house remained in the Fallis family until about the 1940s when it was sold to a new owner. In 1988, the City purchased the property. On May 18, 1993, the Ontario City Council designated the William B. Fallis House Ontario's first local historic landmark. The building was modified in the late 1990s to accommodate an office use and housed Code Enforcement operations from 2006 until 2008, at which time they moved to their current location on Emporia Street. The property has remained vacant since.

In 2018, the City was awarded a \$33.25 million dollar grant by the California Strategic Growth Council. The Transformative Climate Communities (TCC) grant supports the City's plans to improve the health and well-being of residents. The TCC grant is comprised of several projects that include affordable housing, multi-modal transportation, an urban greening program, an expansive rollout of solar energy, a small business incubator, and workforce and career training. The TCC project includes the area in and around the historic downtown core. Among the projects included in the TCC downtown area is a network of bicycle and pedestrian facilities throughout and the extension of the SBCTA Bus Rapid Transit line along Holt Boulevard. On May 26, 2020, the Historic Preservation Commission approved a Certificate of Appropriateness for the adaptive reuse of the Fallis House to a multi-modal mobility hub as part of the TCC project. The plan included interior and exterior alterations to the house and property.

On November 11, 2021, a fire severely damaged the Fallis House and after extensive investigative efforts determined the damage was beyond repair, the building was fully demolished. Three large tree specimens (Pinus Halenpensis, Jacaranda and Strawberry), shrubs, stone walls, fences and river rock salvaged from the Fallis House remain on the property. A decorative portion of the front porch was also salvaged and is currently stored off-site. In September 2023, a Development Plan application was submitted to construct a new commercial building on the now vacant site to house the mobility hub and City staff.

(2) Site Design/Building Use and Layout — The City of Ontario proposes to construct a single-story, 2,274 square foot commercial building with the same general footprint, site location, massing and orientation as the historic Fallis House as depicted in Exhibit C: Site Plan. The building will be used as a multi-modal mobility hub as part of the TCC project. The hub is intended to provide a transit access point for pedestrians, bicyclists, and Omnitrans riders. The hub will include space for bike rental, maintenance/repair, bike lockers and racks, and real time messaging boards for upcoming bus routes. The building

will also be used by the Ontario Promise Corps (OPC), a partnership program between the City of Ontario's Library and Recreation Departments, AmeriCorps, California Volunteers, and non-profit partners, the Ontario-Montclair Schools Foundation and the Hope Through Housing Foundation. The OPC operates three distinct programs including an Early Family Literacy Program, Youth Mentoring Program, and College Access and Information Program. OPC staff will utilize the building for daily office operations from 7:00 am to 6:00 pm Monday through Friday and some Saturdays for special events. There will be at least 5 full-time staff members on-site and up to 9 other staff members fluctuating throughout the day. OPC will host training and workshops for up to 50 participants including parents and caregivers of children zero to 5 years of age and their children. Workshops and trainings will occur 2 to 4 times a week, typically between the hours of 10:00 am to 12:00 pm or 2:00 am to 4:00 pm.

The single-story building is square in plan, sits on a raised foundation, is approximately 24 feet in height, and has an 830 square foot covered porch wrapping around the east and south elevations, as depicted in Exhibit D: Floor Plan. The building will have 906 square feet of dedicated office space, and approximately 455 square feet of flex space to be used for trainings and workshops. The remaining area is devoted to restrooms, storage and mechanical rooms. The building orientation fronts onto Vine Avenue and is setback 29 feet 8 inches from the east (Vine Avenue) property line, 27 feet 8 inches from the south (Brooks Street) property line, 51 feet 2 inches from the north (interior) property line and 45 feet 8 inches from the west (Alley) property line. The grounds at the southwest corner of the site will be covered with pervious pavers to accommodate the bike rental display area, bike lockers, and offer an open space for any programmed class, training, or event. The northwest corner of the site will be developed with a new trash enclosure and a parking lot containing 6 parking spaces, including one electric vehicle charging station.

(3) Site Access/Circulation — Vehicular access onto the site and parking lot is from the alley to the west via a 24-foot-wide driveway that runs west-east. Pedestrian access to the site is through 2 gated entries located on Vine Avenue and Brooks Street. An ADA accessible ramp will be constructed along the south end of the building and accessed from the parking lot and pedestrian entries via concrete walkways throughout the site. The site will be secured during off-hours with a combination of 6-foot-tall decorative block walls, tubular steel fences and gates.

(4) Parking — The proposed use of the site requires a minimum of 19 off-street parking spaces pursuant to the Office and Public Assembly Facilities parking standards specified in the Development Code. The off-street parking calculations for the Project are summarized in the table below:

Parking Summary			
Type of Use	Building Area (in SF)	Parking Ratio	Spaces Required
<i>Office (including hallways, restrooms, storage and mechanical rooms)</i>	1,819 SF	4 sp/1,000 SF (0.004/SF) of GFA	7.3

Parking Summary			
Type of Use	Building Area (in SF)	Parking Ratio	Spaces Required
Public Assembly Facilities	455 SF	25 sp/1,000 SF (.025/SF) of GFA	11.4
TOTAL	2,274 SF		19

The programs offered at the site are anticipated to create a lower than typical parking demand than what is required in the Development Code. The target population for OPC participants will be within walking distance of the site and includes residents of the apartments to the east of the project site. Additionally, participants that do choose to drive to the site will typically be parents or caregivers and young children and will have multiple people per vehicle. Furthermore, the site is located along a future bike and BRT route providing alternative modes of transportation.

Consistent with surrounding developments in the MU-1 (Downtown Mixed Use) zoning district, the Project utilizes a combination of both off-street and on-street parking to meet the parking requirement. A total of 6 parking spaces are provided off-street and 21 shared on-street parking spaces are available on Brooks Street and Vine Avenue, for a total of 27 parking spaces within 200 feet of the Project site, exceeding the 19 spaces required pursuant to the Development Code. Additional street parking is available in the surrounding blocks and a 60-space temporary parking lot is currently under construction three blocks east of the project site which will be available for staff parking. Sufficient parking on and surrounding the project site to accommodate the proposed use would be available.

(5) Architecture — The proposed commercial building is square in plan and sits on a raised foundation and is depicted in Exhibit E: Elevations. The architectural style is inspired by the historic Fallis House and incorporates similar exterior features and materials such as horizontal plank siding, a river rock veneer foundation, wide window and door trim, decorative pediments and grid pattern windows. The one-story building is approximately 24 feet tall, conveying a two-story massing similar to the historic Fallis House through the use of a pyramidal standing seam metal roof over a substantial wraparound shed roof porch that gives the illusion of a first-floor plate. Clerestory windows separate the pyramidal roof and shed roof, further creating the illusion of a second story. The primary façade features a centrally located entrance under a front facing gable roof supported by posts with decorative capital and base. A similar entrance is located at the south elevation. The decorative portion of the front porch that was salvaged from the historic Fallis House will be incorporated into the interior of the building.

(6) Landscaping — The landscape design will integrate the existing Pinus Halenpensis and Jacaranda trees and consists of California friendly drought-tolerant plantings including trees, shrubs, and groundcovers. The southeast corner of the site will consist of a rubberized play surface area. The existing stone and tubular steel fence on the south property line will be removed and replaced with a new 6-foot-high decorative tubular

steel wall. The existing block wall on the west property line will be removed and replaced with a new 6-foot-high decorative block wall. A new tubular steel sliding gate will be installed along the alley and will provide access to the parking lot.

(7) Signage — The Project proposes one monument sign at the eastern portion of the site, facing Vine Avenue. All project signage is required to comply with sign regulations provided in Ontario Development Code Division 8.1.

(8) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the Project. Furthermore, a Preliminary Water Quality Management Plan ("PWQMP"), which establishes the Project's compliance with storm water discharge/water quality requirements, has been reviewed. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development ("LID") best management practices ("BMPs"), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of catch basins with a filter for the pretreatment of runoff. Any overflow drainage will be conveyed to the public street by way of parkway drains and culverts.

PUBLIC NOTIFICATION: The subject application was advertised as a hearing in at least one newspaper of general circulation in the City of Ontario (the Inland Valley Daily Bulletin newspaper).

CORRESPONDENCE: As of the preparation of this Decision, Planning Department staff has not received any written or verbal communications from the owners of properties surrounding the project site or from the public in general, regarding the subject application.

AGENCY/DEPARTMENT REVIEWS: Each City agency/department has been provided the opportunity to review and comment on the subject application and recommend conditions of approval to be imposed upon the application. At the time of the Decision preparation, recommended conditions of approval were provided and are included with this Decision.

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision-making body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the

Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

COMPLIANCE WITH THE ONTARIO PLAN: The Project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (general plan), and City Council Priorities components of The Ontario Plan ("TOP"). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

(1) City Council Goals.

- Invest in the Growth and Evolution of the City's Economy
- Focus Resources in Ontario's Commercial and Residential Neighborhoods
- Encourage, Provide or Support Enhanced Recreational, Educational, Cultural and Healthy City Programs, Policies and Activities

(2) Vision.

Distinctive Development:

- Commercial and Residential Development
 - Development quality that is broadly recognized as distinctive and not exclusively tied to the general suburban character typical of much of Southern California.

(3) Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G 1-2. Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision.

(4) Policy Plan (General Plan)

Community Design Element:

- Goal CD-1 Image & Identity: A dynamic, progressive city containing distinct and complete places that foster a positive sense of identity and belonging among residents, visitors, and businesses.

- Goal CD-2 Design Quality: A high level of design quality resulting in neighborhoods, public spaces, parks, and streetscapes that are attractive, safe, functional, human-scale, and distinct.

- CD-2.1 Quality Building Design and Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide context-appropriate scale and proportion;
- A true architectural style which is carried out in plan, section, and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are articulated, high quality, durable, and appropriate for the architectural style.

- CD-2.9 Landscape Design. We encourage durable, sustainable, and drought-tolerant landscaping materials and designs that enhance the aesthetics of structures, create and define public and private spaces, and provide shade and environmental benefits.

- Goal CD-3 Urban, Mixed Use, and Transit-Oriented Place Types: Vibrant urban environments that are organized around intense buildings, pedestrian and transit areas, public plazas, and linkages between and within developments that are conveniently located, visually appealing and safe during all hours.

- CD-3.3 Complete and Connected Network. We require that pedestrian, vehicular, and bicycle circulation on both public and private property be coordinated to provide connections internally and externally to adjacent neighborhoods and properties (existing and planned) through a system of local roads and trails that promote walking and biking to nearby destinations (including existing and planned parks, commercial areas, and transit stops) and are designed to maximize safety, comfort, and aesthetics.

- CD-3.4 Context-Aware and Appropriate Design. We require appropriate building and site design that complements existing development, respects the intent and identity of the Place Type, and provides appropriate transitions and connections between adjacent uses to ensure compatibility of scale, maintain an appropriate level of privacy for each use, and minimize potential conflicts.

HOUSING ELEMENT COMPLIANCE: The Project is consistent with the Housing Element of the Policy Plan (general plan) component of The Ontario Plan, as the Project site is not one

of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

PART 2: RECITALS

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and act on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ONT ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on July 1, 2024, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

PART 3: THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED AND DECIDED by the Development Advisory Board of the City of Ontario as follows:

SECTION 1: Environmental Determination and Findings. As the decision-making body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project, including all written and oral evidence provided during the comment period. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-fill Exemption) of the CEQA Guidelines, and meets all the following conditions:

(a) *The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.* The proposed Project is located within the MU (Mixed use) land use district of the Policy Plan (general plan) Land Use Map, and the LUA-3 (Holt Boulevard District) land use area of the MU-1 (Downtown Mixed Use) zoning district. The proposed Project is consistent with all applicable policies of the Policy Plan and meets or exceeds the minimum requirements of the LUA-3 (Holt Boulevard District) land use area of the MU-1 (Downtown Mixed Use) zoning designation and all other applicable Development Code regulations.

(b) *The proposed development occurs within city limits on a Project site of no more than five acres and is substantially surrounded by urban uses.* The Project is proposed within the established boundaries of the City of Ontario, on approximately 0.4 acre of land, which is surrounded by residential land uses to the north, east, and south and light industrial uses to the west.

(c) *The Project site has no value as habitat for endangered, rare, or threatened species.* The subject site was previously developed with a 2-story building and swimming pool, both of which have been removed. The site is currently vacant, except for some landscaping including trees and shrubs, and as such is not a suitable habitat for any endangered, rare, or threatened species.

(d) *Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality.* The proposed commercial building is similar to, and of no greater impact than other allowed uses and development projects within the MU-1 (Downtown Mixed Use) zoning district. The Project would not result in any significant

impacts through implementation of required state, regional, and local development and performance standards.

(e) *The site can be adequately served by all required utilities and public services. All necessary wet and dry utilities are available to the Project site; and*

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

SECTION 2: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision-making body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

SECTION 3: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 and 2, above, the DAB hereby concludes as follows:

(1) *The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan. The proposed Project is located within the Mixed Use land use district of the Policy Plan Land Use Map, and the MU-1 (Downtown Mixed Use) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and*

(2) *The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located. The Project has been designed consistent with the requirements of the City of Ontario Development Code and the MU-1 (Downtown Mixed Use) zoning district, including standards relative to the particular land use proposed (commercial), as-well-as building intensity, building and parking setbacks, building height, number of parking on-site and off-site landscaping, and fences, walls and obstructions; and*

(3) *The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.* The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan; and

(4) *The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.* The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of parking spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (commercial). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

SECTION 4: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 3, above, the DAB hereby APPROVES the Application subject to each and every condition set forth in the Conditions of Approval included as Attachment A of this Decision and incorporated herein by this reference.

SECTION 5: Indemnification. The Applicant shall agree to defend, indemnify, and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 6: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 1st day of July 2024.

Development Advisory Board Chairman

Exhibit A: PROJECT LOCATION MAP



Exhibit B: THE FALLIS HOUSE

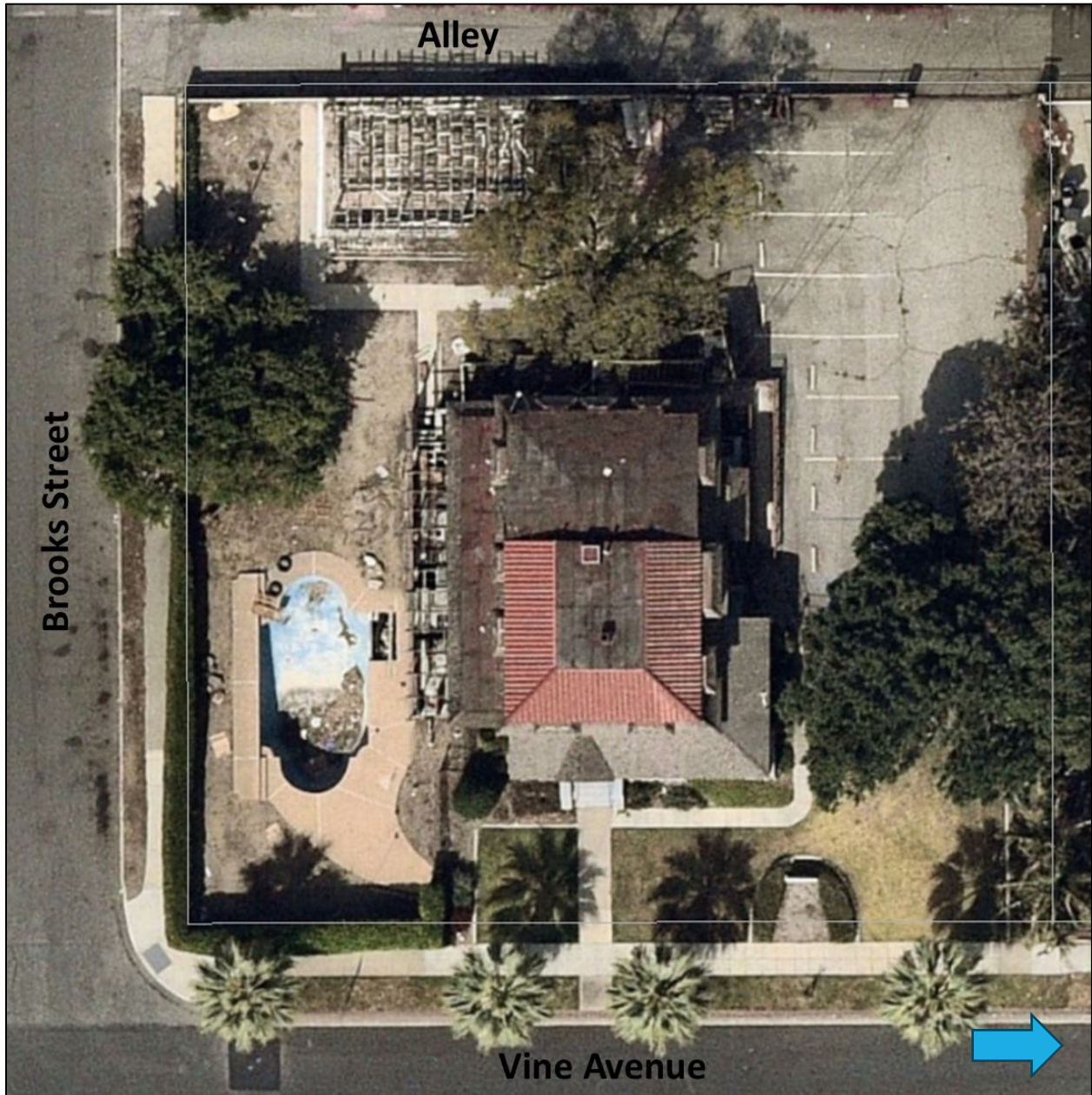


The Fallis House and family, Circa 1910s



The Fallis House, 2015

Exhibit B: THE FALLIS HOUSE CONT'D



Project Site – 2021, prior to fire

Exhibit C: SITE PLAN

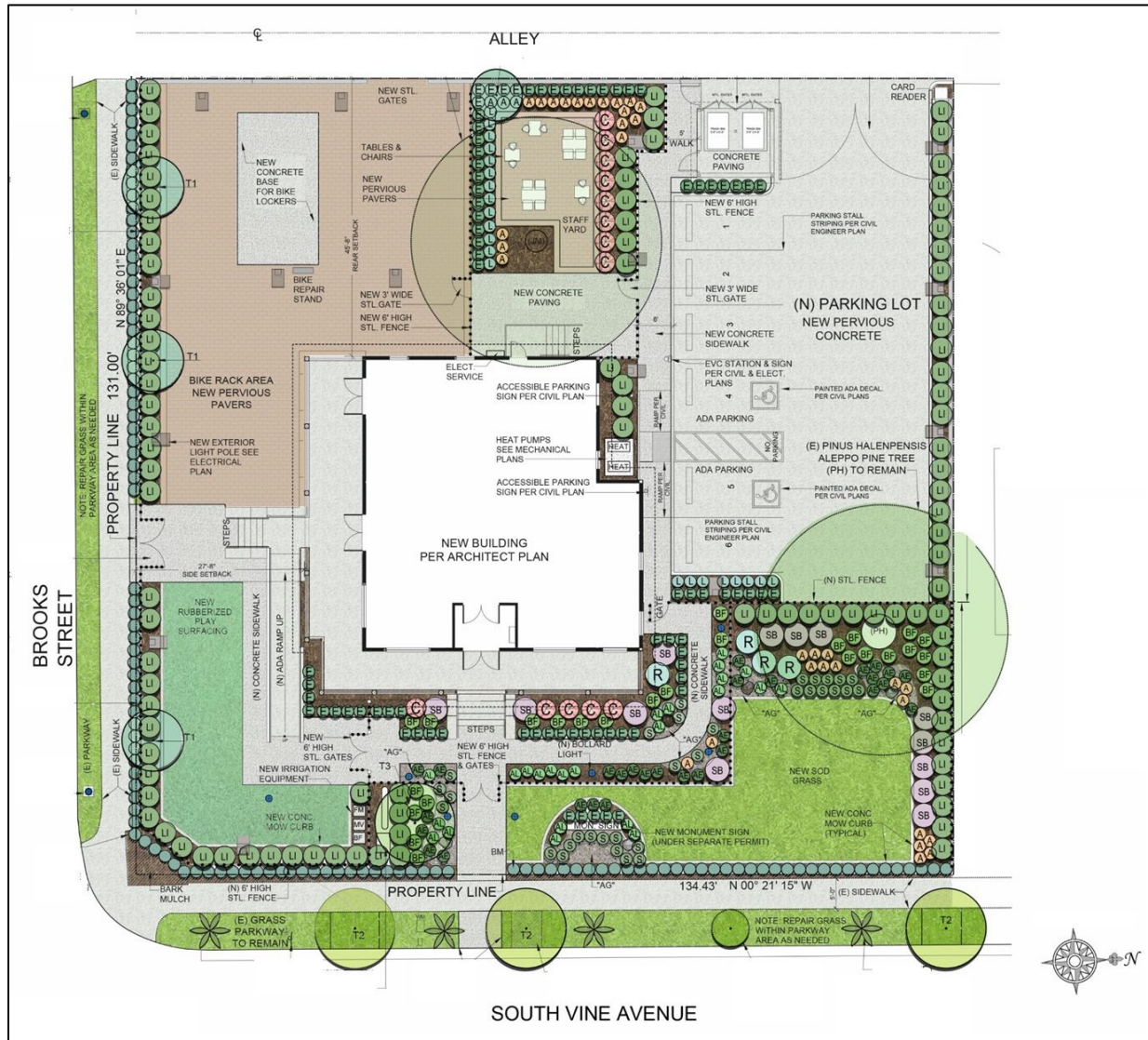


Exhibit D: FLOOR PLAN

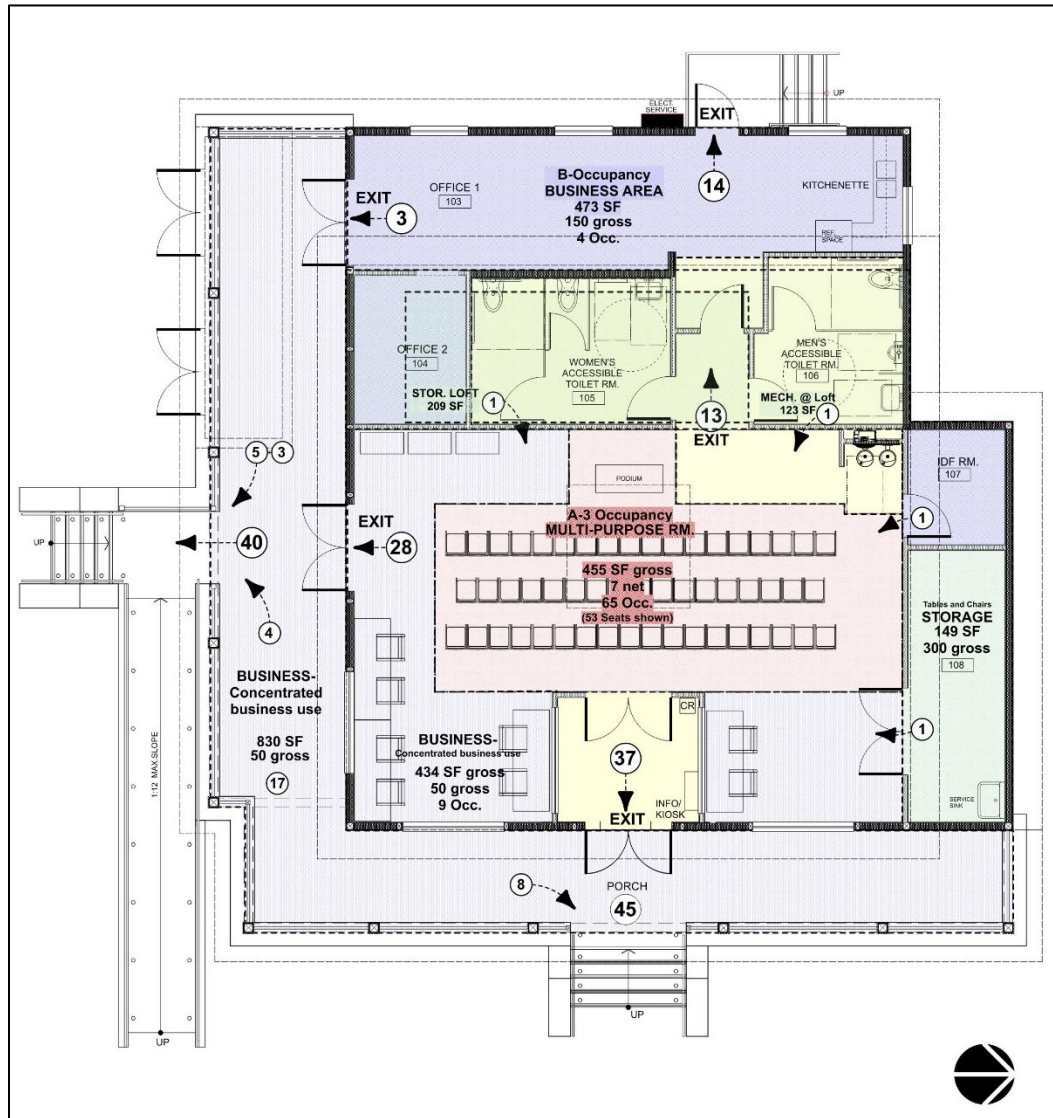


Exhibit E: ELEVATIONS

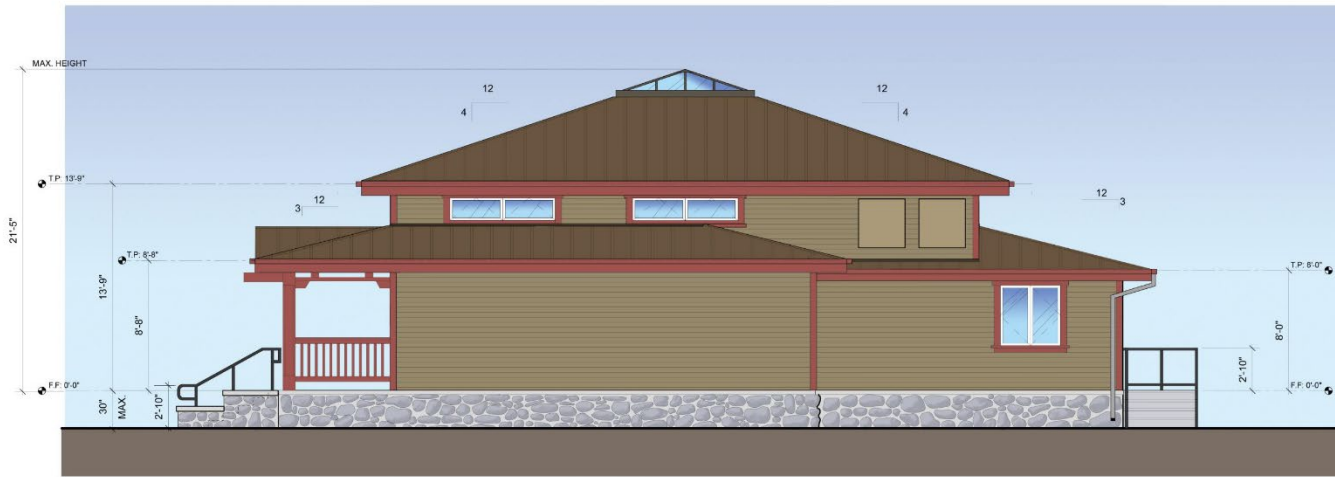


SOUTH ELEVATION



EAST ELEVATION (FACING STREET)

Exhibit E: ELEVATIONS



NORTH ELEVATION (FACING PARKING AREA)



WEST ELEVATION (FACING ALLEY)

Exhibit F: SITE PHOTOS



Site – View looking west



Site – View looking northwest

Attachment A: Conditions of Approval

(Conditions of Approval follow this page)

Date Prepared: 7/1/2024

File No: PDEV23-032

Project Description: A Development Plan to construct a 2,274 square foot commercial building on 0.4-acre of land located at the northwest corner of Vine Avenue and Brooks Street at 122 South Vine Avenue, within the Holt Boulevard (LUA-3) land use district of the Downtown Mixed Use (MU-1) zoning district; (APN: 1049-021-19); **City initiated.**

Prepared By: Elly Antuna, Associate Planner
Phone: 909.395.2414 (direct)
Email: ellantuna@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(c) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(d) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(e) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current

regulations contained in CALGreen (CAC Title 24, Part 11). Final design and placement of bicycle parking facilities shall be subject to Planning Department review and approval.

2.6 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.7 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Signs.

(a) All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.10 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noise levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.11 Environmental Requirements.

(a) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(b) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.12 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of a NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

2.13 Public Art. The Project is subject to the requirements of the City's Public Art Ordinance (Ontario Municipal Code Section 5-33.05. Private Art for Public Enjoyment in Commercial and Industrial Development Projects).

2.14 Final Occupancy. The Project Architect of record will certify that construction of each building site and the exterior elevations of each structure shall be completed in compliance with the approved plans. Any deviation to approved plans shall require a resubmittal to the Planning Department for review and approval prior to construction. The Occupancy Release Request Form/Architect Certificate of Compliance shall be provided prior to final occupancy. After the receipt of this Certification, the Planning Department will conduct a final site and exterior elevations inspection. The Owner's Representative and Contractor shall be present.

2.15 Additional Requirements.

(a) Salvaged front porch from historic Fallis House shall be reused at the interior of the new commercial building. An interpretive plaque shall be installed adjacent to the new location providing a brief history on the Fallis House. Location and application to be reviewed and approved during the Building plan check process prior to issuance of building permit.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Land Development Division, Environmental Section, Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. <u>PDEV23-032</u> RELATED FILE NO(S). _____	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> </u> / <u> </u> / <u> </u>	

CITY PROJECT ENGINEER & PHONE NO: Brenda Fregoso (909) 395-2140 *BF*

CITY PROJECT PLANNER & PHONE NO: Elly Antuna (909) 395-2414

DAB MEETING DATE: July 1, 2024

PROJECT NAME / DESCRIPTION: A Development Plan to construct one commercial building totaling 2,274 square feet for use as a mobility bike hub on 0.4 acre of land located at 122 South Vine Avenue, within the Holt Boulevard (LUA-3) land use district of the Downtown Mixed Use (MU-1) zoning district (APN: 1049-021-19).
LOCATION: 122 South Vine Avenue

APPLICANT: City of Ontario

REVIEWED BY: *Raymond Lee* 6/6/24
 Raymond Lee, P.E. Date
 Assistant City Engineer

APPROVED BY: *Khoi Do* 6-6-24
 Khoi Do, P.E. Date
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s):
 A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.**
- 2.05 Apply for a:
 - Certificate of Compliance with a Record of Survey;
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
 - Make a Dedication of Easement.



- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 Submit a soils/geology report.**
- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: _____
- 2.10 Dedicate to the City of Ontario the right-of-way described below:**

Property line corner 'cut-back' required at the intersection of Brooks Street and South Vine Ave, North-West corner.
- 2.11 Dedicate to the City of Ontario the following easement(s): _____

- 2.12 Vacate the following street(s) and/or easement(s):**

A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 2.13 Ontario Ranch Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a



- maximum 3-foot high retaining wall.
- 2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
 - 2.15 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
 - 2.16 Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately _____, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.
 - 2.17 Other conditions: _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	S Vine Street	Brooks Street	Easterly Alley	
Curb and Gutter	<input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input checked="" type="checkbox"/> Remove and replace, see 2.18A.	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replace damaged	<input type="checkbox"/> New <input checked="" type="checkbox"/> Replace damaged	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Fire Hydrant	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation



Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2G)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	Parkway Drain	_____	_____	_____

Specific notes for improvements listed in item no. 2.18, above:

A. Remove and replace drive approach at both South and North entries of the Easterly Alley per City of Ontario Standard Drawing No. 1204.



2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):
 A. Easterly Alley, full width of alley along project frontage.





- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately _____, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.23 **Other conditions:**
 - A. Before the start of construction, the Applicant shall submit documentation of coordination via email with the city CIP team (Yesenia Lopez: 909-395-2103, YLopez@ontarioca.gov) regarding the property line corner 'cut-back' and frontage improvements identified in the ATP Cycle 5 Vine Ave & B Street Bike Blvd Project Plans. In addition, any utility work/ street work within Vine Ave shall be completed ideally before the construction of ATP Cycle 5 Vine Ave & B Street Bike Blvd improvements (currently plans are at 95% Design stage). The ATP Cycle 5 Vine Ave & B Street Bike Blvd improvements include, but are not limited to:**
 - i. **Slurry seal on Vine Avenue**
 - ii. **Curb extension, directional curb ramp, Portland Cement Concrete (PCC) cross gutter, street lights and landscaping at Northwest corner of Vine Avenue & Brooks Street**
 - iii. **Full depth asphalt on Brooks Street up to curb extension limits at Vine Avenue intersection**
 - iv. **Shared roadway bicycle lane striping (right Southbound lane) on Vine Avenue bike route along project frontage**
 - v. **Continental crosswalk and signage across Vine Avenue at Brooks Street intersection**
 - vi. **Brooks Street stop signage relocation and re-striping at Vine Avenue intersection**

C. SEWER

- 2.24 **A 8 inch sewer main is available for connection by this project in Easterly Alley. (Ref: Sewer Drawing Number: S10403)**
- 2.25 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 **Other conditions:**
 - A. See attached OMUC Utilities Engineering Division Conditions of Approval for additional conditions.**

D. WATER

- 2.28 **A 8 inch water main is available for connection by this project in Vine Avenue. (Ref: Water Drawing Number: W16490)**



- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.30 **Other conditions:**
 - A. See attached OMUC Utilities Engineering Division Conditions of Approval for additional conditions.**

E. RECYCLED WATER

- 2.31 A _____ inch recycled water main is available for connection by this project in _____.
(Ref: Recycled Water Drawing Number:_____)
- 2.32 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.34 Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.

Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678 or email OMUCWQPlanCheck@ontarioca.gov regarding this requirement. *Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.*

- 2.35 Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.
- 2.36 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.37 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.38 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.39 **Other conditions:**
 - A. The Applicant/Developer shall be responsible to design and construct street improvements along property frontages in accordance with conditions issued by City's Land Development Division. These, and all other street improvements required herein, shall include, but not be limited to, concrete curb and gutter, sidewalk, signing and striping, and parkway landscaping.**
 - B. Design and construct proposed alley driveway onto Brooks Street, in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveways.**
 - C. Existing parking restrictions along project frontage shall remain in place on Vine Avenue.**
 - D. All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.**
 - E. If at the time of the development of PDEV23-032, The City's ATP Cycle 5 project has not**



constructed the following improvements, the Applicant/Developer shall be responsible to design and construct the following:

- i. The Applicant/Developer shall be responsible to reconstruct the northwest corner of Brook Street at Vine Avenue to include ADA ramp and chocker to current City standards, in accordance with Standard Drawings No. 1213 and 1110.
- ii. The Applicant/Developer shall be responsible to design and construct in-fill public street lights and a potential new service along its project frontage on Brooks Street. Street lighting shall be LED-type and in accordance with City's Approved Material List LED Luminaires. The Applicant/Developer shall also install smart nodes on all new street light fixtures along project frontage.

G. DRAINAGE / HYDROLOGY

- 2.40 A 78" inch storm drain main is available to accept flows from this project in Vine Avenue. (Ref: Storm Drain Drawing Number: D11180, SBCFCD owned line)
- 2.41 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.42 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.43 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.44 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.45 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.46 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.47 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.



- 2.48 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.49 **Other conditions:**
 - A. All Priority Land Use (PLU): Land use consisting of high-density residential, defined as a land use with at least ten (10) dwelling units per acre, industrial, commercial, mixed urban, and public transportation station land uses shall comply with the statewide Trash Provisions adopted by the State Water Resources Control Board (SWRCB).**

J. SPECIAL DISTRICTS

- 2.50 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.51 Other conditions: _____

K. FIBER OPTIC

- 2.52 A _____ fiber optic line is available for connection by this project in _____. (Ref: Fiber Optic Drawing Number: _____)
- 2.53 **Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole. See attached Broadband Operations Section Conditions of Approval for additional conditions and Fiber Optic Exhibit herein.**
- 2.54 **Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.**

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.



- 3.03** The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06** Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01** Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03** The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04** Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV23-032

All plan check submittals are to be done digitally through the City Of Ontario Citizen Portal Access. The following items are to be included with the first plan check submittal:

1. **A copy of this check list**
2. Payment of fee for Plan Checking
3. Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.
4. **Project Conditions of Approval**
5. Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Public Street improvement plan with street cross-sections
7. Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
8. Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
9. Public Sewer improvement plan
10. Public Storm Drain improvement plan
11. **Public Street Light improvement plan**
12. Signing and Striping improvement plan
13. **Fiber Optic plan (include Auto CAD electronic submittal)**
14. HOA Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
15. CFD Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
16. **Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
17. Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
18. **Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
19. **Hydrology/Drainage study**
20. **Soils/Geology report**



- 21. Payment for Final Map/Parcel Map processing fee
- 22. Final Map/Parcel Map
- 23. Approved Tentative Map
- 24. **Preliminary Title Report (current within 30 days)**
- 25. Traverse Closure Calculations
- 26. **Set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 27. Supplemental Engineering Report, in electronic format (PDF format), for recycled water use only. Must be reviewed and submitted to the Division of Drinking Water by OMUC Water Quality Programs before clearing plan check workflows (includes grading and landscape plan reviews). *Approval letter issued by the Division of Drinking Water must be obtained before meter installation and if applicable, occupancy release.*
- 28. **Other: Precise Grading Plan including Utility Plan**



CITY OF ONTARIO MEMORANDUM



DATE: May 21, 2024

TO: Elly Antuna, Planning Department
Brenda Fregoso, Engineering Department

FROM: Peter Tran, Utilities Engineering

SUBJECT: DPR #2 – Conditions of Approval (COA) - Utilities Comments(#10211)

PROJECT NO.: PDEV23-032

BRIEF DESCRIPTION

A Development Plan to construct one commercial building totaling 2,274 square feet for use as a mobility bike hub on 0.4 acre of land located at 122 South Vine Avenue, within the Holt Boulevard (LUA-3) land use district of the Downtown Mixed Use (MU-1) zoning district (APN: 1049-021-19).

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

1. Standard Conditions of Approval: Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as the project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. Final Utilities Systems Map (USM): Submit a Final Utilities Systems Map (FUSM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.
 - a. The proposed utilities, utility alignments, and Public Rights-of-Way/Public Utility Easements shown on the Conceptual Utilities Systems Map (CUSM) and other Entitlement documents are not considered final and shall be revised during Final Design to meet all City Design Guidelines, Standards, City Requirements, and all of the Conditions of Approval contained in this document.
3. Design Utilities to comply Department of Drinking Water (DDW) Separation Requirements and California Code of Regulations (CCR) § 64572 Compliance: All DDW Separation Requirements under CCR § 64572 must be met. In order to

assure compliance with CCR § 64572, on all design documents and plans: label the separation dimensions, measure from outside wall of the conveyances, between public potable water to any other public or private non-potable conveyance (sewer, storm drain, storm water, storm water infiltration, recycled water, recycled water irrigation, high pressure gas/petroleum, etc) whether publicly or privately maintained; provide one label per sheet per conveyance and additional labels where separation dimensions and alignments change; and, for any facilities not currently meeting the separation requirements, revise plans/documents so that the facilities meet the separations requirements.

4. Public Utilities and Public Right-of-Way including Public Utility Easements (PUE): All City of Ontario Public Utilities shall be installed within a Public Right-of-Way. In this case, Public Right-of-Way (PRoW) means the improved or unimproved surface of and the space above and below any of the following that are controlled, used or dedicated to the City or that are for use by the public and located within the City's jurisdictional limits: streets, roadways, highways, avenues, lanes, alleys, sidewalks, public utility easements, rights-of-way and similar public property, or any combination of these.
5. Unused Service Abandonment: All adjacent water services (along with connected appurtenances) and sewer laterals and main stubs along the frontages of the project site not used to provide service to this Development Project shall be abandoned back to the main in accordance with City Standards and Practices.

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

6. Sanitary Sewer Mains Improvements:
 - a. N/A.
7. Sanitary Sewer Service:
 - a. The proposed building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Lateral for the proposed building shall be limited to the minimum necessary to meet all of the conditions of approval and as limited by the City.
 - b. For each Public Sewer Lateral Service to an existing sewer main: the existing sewer main being connected to shall be CCTV Inspected between the upstream and downstream manholes of the connection once before and once after the Sewer Lateral connection is made and any damage to the sewer main resulting from the installation of the Sewer Lateral shall be repaired to meet City Standards and Requirements prior to placing the Sewer Lateral in service.
 - c. Based on the past sewer video log there is an existing sewer lateral already in this alley - Use and install a cleanout if there isn't one already. However, to confirm the current conditions of the existing sewer lateral, the sewer lateral shall be CCTV inspected and submitted to the City for review and approval. If the City does not determine that the existing sewer lateral meets city standards, the Contractor shall remove and reconstruct the sewer lateral back to the sewer main.
 - d. Public Sewer Laterals and Storm Water Quality Improvements: No stormwater quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Public Sewer Lateral.
8. Private Onsite Sewer System and Plumbing: The Onsite Sewer System shall be privately maintained by the property owner and shall meet the following requirements:
 - a. For wastewater flows for non-residential uses:
 - i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. The proposed building and its connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.

- b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or with 5 feet of any Private Onsite Sewer pipes.
9. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

10. Potable Water Main Improvements:

- a. N/A.
- b. Fire Hydrants: Fire Hydrants along Potable Water Mains shall be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.

11. Potable Water Service:

a. Backflow Prevention:

- i. A Backflow Prevention Device is required for each Meter connected to the Public Potable Water System that: serves any residential use that is more than one (1) single family residential unit; or, any non-residential use; or, only irrigation use.
- ii. Backflow Prevention Device Location: A Backflow Prevention Device location shall comply with the following requirements:
 - A. In order to reduce the risk of backflow contamination to the Public Potable Water System, the length of pipe between the Public Potable Water Main and the Backflow Device shall be as minimally short as possible.

- 1) Along Public Streets within Publicly Dedicated Right-of Way: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the property line or back of sidewalk, whichever is closer.
- 2) Along Private Streets: as measured along the pipe connecting to the Backflow Prevention Device, the Backflow shall be located a minimum of 3 feet and a maximum of 5 feet from the backflow concrete pad to the meter box or back of sidewalk (or back of curb where there is no sidewalk), whichever is closer.
- 3) Only one single bend of up to 90 degrees maximum is allowed along the pipe to the Backflow and the single bend must be located at one of the following places: either the along the 90-degree riser connecting at the backflow assembly; or, at the end of the 12-inch stub at the back of the meter box.
- 4) All the minimum DDW Separations also apply to the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) and any Backflow Device (or DCDA). This also includes storm water quality improvements (infiltration, detention, retention, bioswale, etc). Also, no public or private non-potable water conveyances (private utilities, plumbing lines, sewer, private fire system, storm drain) shall cross the pipeline connecting between the Main/Meter-Box to a Backflow Device (or DCDA) or under any Backflow Device (or DCDA).

b. Domestic Service: For domestic water uses:

- i. The proposed building shall have its own domestic water service and meter connected to the Public Potable Water System.

c. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water, the landscape irrigation uses shall have a separate irrigation water service and meter with a backflow prevention device connected to the Public Potable Water System separate from the domestic water uses. The onsite plumbing systems and irrigation systems shall be also separate from each other.

d. Fire Water Service: For onsite private Fire System uses:

- i. Where the domestic water service and meters connected to the Public Potable Water System that serves any use that is more than one (1) single family detached residential unit or any non-residential use: if an onsite private fire system is required, then a separate Fire Service with Double Check Detector Assembly (DCDA) per City Standard #4208 connected to the Public Potable Water System is required to serve the onsite private fire system; and, the onsite fire system and onsite domestic water plumbing system shall be separate. DCDAs are a type of Backflow prevention device.
- e. Relocated Services: For any existing service with appurtenances to be relocated, the service shall be abandoned back to the main connection and the service and appurtenances shall be installed new per related City Standards.
- f. Protection of above ground public water appurtenances: For any above ground public water appurtenances (fire hydrants, blowoffs, airvacs, etc) that are behind non-raised curbs (no curb, 0" curb, roll curb, v-curb, or non-raised curb) or not far enough back from curb or in a curve return, install bollard protect posts per Standard #4303 as required by Ontario Municipal Utilities Company field staff.



CITY OF ONTARIO

MEMORANDUM

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL Broadband Operations Section

DATE: 10/02/23

PROJECT: PDEV23-032

LOCATION: 122 South Vine Ave

PROJECT ENGINEER: Brenda Fregoso

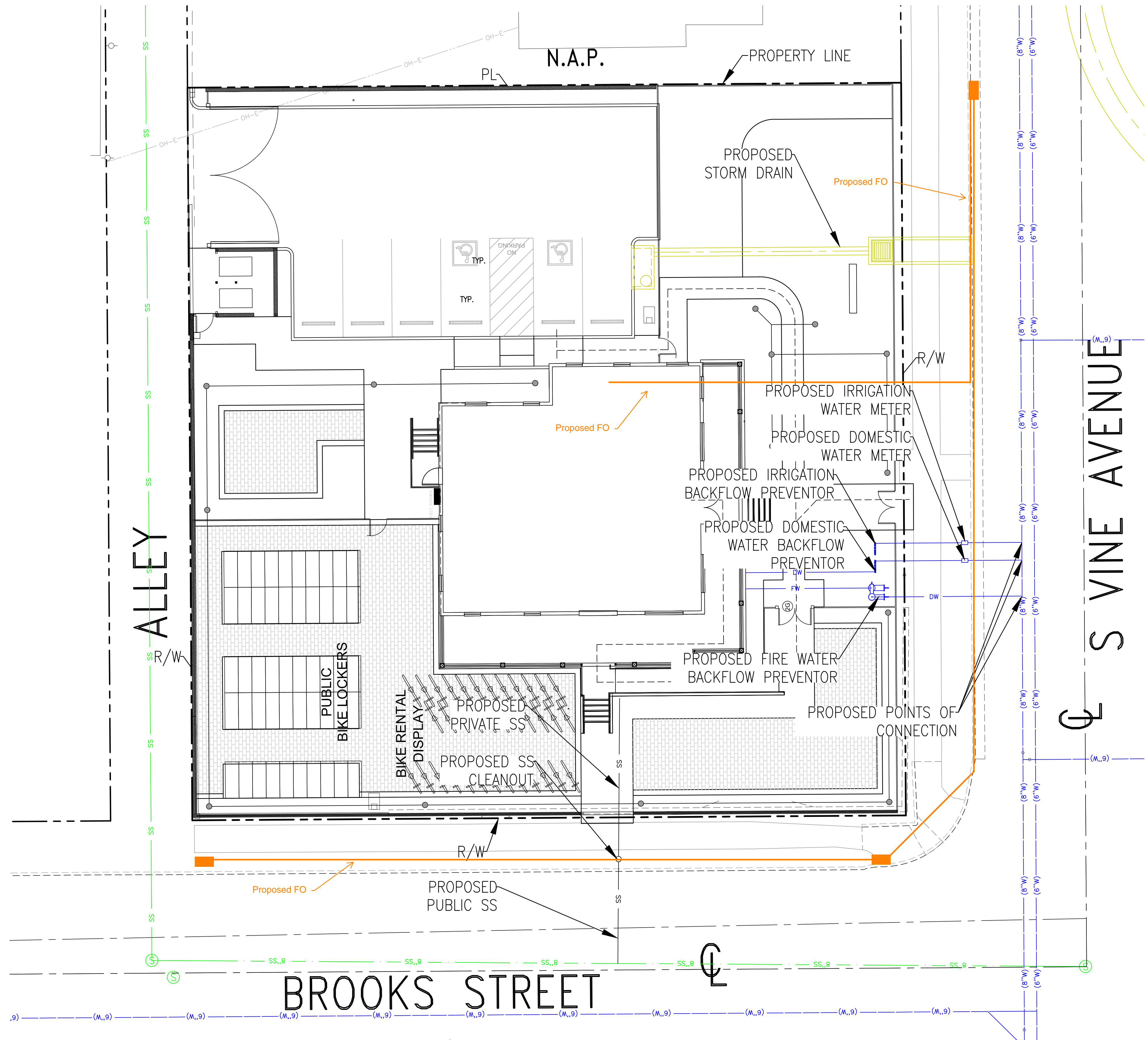
BROADBAND PLAN CHECKER: Cameron Chadwick - cchadwick@ontarioca.gov

The following Conditions of Approval requirements must be incorporated prior to the Development Advisory Board and/or Zoning Administrator Hearing.

1. The applicant/developer shall address all additional redlined comments on the plans attached.
2. Project shall be designed and constructed to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole in the Right-of-Way (ROW) and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.
3. Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties within a reasonable distance. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
4. Where a joint telecom or street light street crossing is required, include (2) 2" HDPE SDR-11 conduits or (1) 4" schedule 80 conduit sleeve. Terminate the street crossing conduit(s) in a new HH-3/22 OntarioNet hand hole in the right of way
5. The City requires a public utility easement for fiber optics on all private aisles/alley ways.
6. Hand holes - Design and install OntarioNet fiber optic hand hole HH-FP (10x00x10), HH-1 (13x24x18), HH-2 (17x30x24), HH-2A (24x36x30), HH-3 (30x48x36) and/or HH-4 (36x60x36) as needed. Respectively, Newbasis Part # PLA100010T-00002, PCA132418-00006, PCA-173024-90116, PCA-243630-90064, PCA-304836-90244 and PCA-366036-90146 or equivalent as specified per City Standard 1316. Conduits sweeping into hand holes shall enter in flush with the cut-out mouse holes aligned parallel to the bottom of the box and come in perpendicular to the wall of the box. Conduits shall not enter at any angle other than parallel. Provide 5-foot minimum clearance from existing/proposed utilities. All hand holes will have ¼-inch galvanized wire between the hand holes and the gravel it is placed on.
7. ROW Conduit – Design and install fiber optic conduit at a minimum depth of 36-inch. Trenching shall be per City Standard 1306. Install (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct and (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange with Black Stripe) duct. Conduit(s) between ROW hand holes and hand holes on private property shall be 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct.
8. Building Entrance (Single Family) – Design and install 0.75-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct from hand holes on property or hand holes in the ROW. Consult City's Fiber Team for design assistance.
9. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct

10. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
11. A minimum 1.5-inch joint use telecommunications conduit with pull-rope from the single-family, multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
12. Warning Tape - Contractor shall supply and install an approved non-detectable warning tape 18-inch above the uppermost conduit when backfilling trenches, pits or excavations greater than 10' in length. Warning Tape shall be non-detectable, Orange in color, 4-inch minimum width, 4 mil, 500% minimum elongation, with bold printed black letters "CAUTION - BURIED FIBER OPTIC CABLE BELOW" printed in bold black lettering no less than 2-inch high.
13. All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All hand holes, conduits and ducts shall be placed in the public right of way.
14. All unused conduits/ducts/microducts shall be protected with duct plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
15. Locate/Tracer Wire - Conduit bank requires (1) 12AWG high strength (minimum break load 452#) copper-clad steel with 30mil HDPE orange insulation for locate/tracer wire. Contact City's Fiber Team for tracer wire specifications and see note 8.
16. Multi-family dwellings are considered commercial property.
17. Refer to the In-tract Fiber Network Design guideline on the City's website for additional in-tract conduit guidelines.

LEGEND:
 POTABLE WATER (Blue line)
 SANITARY SEWER (Green line)
 STORM DRAIN (Yellow line)



DIGALERT
 DIAL TOLL FREE
 8-1-1
 TWO WORKING DAYS
 BEFORE YOU DIG

SCALE: 1" = 10'
 0 5 10 20

REVISIONS			
MARK	DATE	BY	APPROVED/RCE NO.

DESIGNED BY: _____
 DATE: _____
 DRAWN BY: _____
 DATE: _____
 CHECKED BY: _____
 DATE: _____

CITY OF ONTARIO

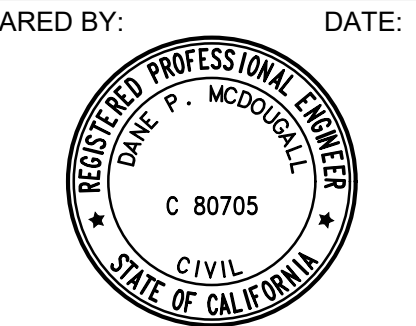
RECOMMENDED BY: _____
 ASSISTANT CITY ENGINEER DATE _____

APPROVED BY: _____
 CITY ENGINEER DATE _____

BENCH MARK: _____

PREPARED BY: _____
 DATE: _____

C&V CONSULTING, INC.
 9830 IRVINE CENTER DRIVE
 IRVINE, CALIFORNIA 92618
 (949) 916-3800
 INFO@CVC-INC.NET
 WWW.CVC-INC.NET



DOWNTOWN MOBILITY HUB
 FALLIS HISTORIC HOUSE
 122 S. VINE AVE., ONTARIO, CA 91762

SHEET NAME: **UTILITY SYSTEMS MAP**

Project Reference Number	SHEET <u>1</u> OF <u>1</u>
SHEET NO:	CONTRACT _____
1	ACCOUNT _____
	DWG. NO. _____

PROJECT REVIEW BOARD COMMENTS
***** BUILDING DEPARTMENT *****

Planning Case File No(s): PDEV23-032

Case Planner: Elly Antuna

Applicant: City of Ontario

Location: 122 South Vine Avenue

Project: A Development Plan to construct one commercial building totaling 2,274 square feet for use as a mobility bike hub on 0.4 acre of land located at 122 South Vine Avenue, within the Holt Boulevard (LUA-3) land use district of the Downtown Mixed Use (MU-1) zoning district Neighborhood 2 of the Countryside Specific Plan

APN(s): 1049-021-19

Reviewed By: Jesse Sanchez

Date: 5/21/24

Following Standard Building Department Conditions of Approval
Are Applicable to This Project:

See checked boxes below

Specific Conditions:

A)

Specific Comments (NOTE: THESE COMMENTS ARE NOT CONDITIONS!):

A)

(NOTE: Standard Conditions of Approval are attached.)

BUILDING DEPARTMENT**GENERAL CONDITIONS**

- 1. Shall comply with the latest adopted edition of the following codes as applicable:
 - A. California Building Code
 - B. California Residential Code
 - C. California Existing Building Code
 - D. California Electrical Code
 - E. California Mechanical Code
 - F. California Plumbing Code
 - G. California Energy Code.
 - H. California Fire Code
 - I. California Green Building Standards Code.
- 2. The property owner/business operator shall comply with all applicable City of Ontario Municipal Codes and Ordinances.
- 3. The requirements of the Department of Environmental Health Services and the Air Quality Management District shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
- 4. Pursuant to the California Business and Professions Code Section 6737, most projects are required to be designed by a California Licensed Architect or Engineer. The project owner or developer should review the section of the California Codes and comply with the regulation
- 5. All perimeter / boundary walls shall be designed and constructed so that the outer/exterior face of the wall is as close as possible to the lot line. In any case, the outer/exterior face of the wall shall be within two (2) inches of the lot line. Distances greater than two (2) inches may be approved prior to construction by the Building Official on a case-by-case basis for extenuating circumstances.
- 6. All lot lines, easement lines, etc. shall be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Building Code, or any other applicable law, ordinance, or code.
- 7. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall obtain clearances from each department and division prior to requesting a final building inspection from the Building Department. Each department shall sign the Building Department Job Card
- 8. All signs shall be Underwriters Laboratories, or equal, approved.

9. Permits are required prior to the removal and/or demolition of structures.
10. In addition to approval from Building Department, approval is required from the County of San Bernardino, Department of Public Health and the California Regional Water Quality Control Board, Santa Ana Region for the Private Sewage Disposal System.
11. The existing private sewage system will have to be modified as required to accommodate the new use. Plans and/or supporting data will have to be submitted to, and approved by, the Building Department regarding the new use and necessary modifications. Additionally, approval from the Regional Water Quality Control Board, Santa Ana Region, is required for the new use.
12. The coach shall bear a State of California, Department of Housing and Community Development (HCD) insignia indicating the occupancy group and design loads that the coach conforms to, and other relevant information regarding exiting, fire safety, electrical, plumbing and mechanical. The foundation system, porch and awning shall comply with plans that bear the HCD "Standard Plan Approval" stamp. The coach, foundation system, porch and awning shall comply with the City of Ontario's design loads and site-specific conditions.
13. The conversion of the existing single-family dwelling(s) into a commercial use changes the occupancy group classification, and therefore the existing buildings must be made to comply with the requirements of all applicable codes for the new occupancy classification. Complete plans, calculations and other specifications shall be submitted to the Building Department for review, approval and subsequent permit issuance. The plans, calculations and other specifications shall be prepared by an Architect or Registered Civil/Structural Engineer licensed by the State of California who is qualified to perform said work.
14. The site, or a portion of the site, is in a flood hazard area. Justification that the proposed development does not adversely affect the location or carrying capacity of the floodway, nor does it adversely affect upstream or downstream sites shall be provided to Building Department. Additionally, all provisions must be taken to protect the site from flood damage.
15. All exterior lighting shall be orientated, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.
16. Site facilities such as parking open or covered, recreation facilities, and trash dumpster areas, and common use areas shall be accessible per the CBC, Chapter 11.
17. Trash Enclosure shall be covered, and the interior clearances shall be designed to accommodate the following:
- 4' min. side access entrance

- 3' min. wide clear pathway along rear of enclosure between trash bins and back wall.
 - Trash bins must be oriented sideways to allow access from the narrow dimension.
 - Use of curbs or wheel stops shall be provided within the enclosure to maintain access clearances and bin orientations.
18. The applicant/developer shall include the conditions of approval of this resolution on the construction plans.
19. Site development and grading shall be designed to provide access to all entrances and exterior ground floors exits and access to normal paths of travel, and where necessary to provide access. Paths of travel shall incorporate (but not limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable warning, signage, gates, lifts and walking surface materials. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site, California Building Code, (CBC) Chapter 11, Sec, 11A and 11B.
20. Commercial/Industrial gated site must have at least one pedestrian emergency gate, 3'-0' x 6'-8" min. gate size, equipped with panel hardware on the inside, and gate must swing out. Pedestrian emergency gates can be installed integrated with vehicular gates.
21. New residential single-family dwelling (SFD's):
- The side yard gate must swing out toward the street.
 - The gas meter shall not obstruct side yard access gates.
 - Air Conditioning unit located at side yard shall maintain 3' min. clearance from property line wall to AC unit.
 - Provide a continuous concrete walk between garage side door to driveway or sidewalk.
22. New development projects located in the Ontario Ranch specific plan are required to submit a **methane assessment report**. This report shall be submitted to the Building Department for review and approval at grading plan submittal.
23. If hazardous substances are used and/or stored, a technical opinion and report, identifying and developing methods of protection from the hazards presented by the hazardous materials may be required. This report shall be prepared by a qualified person, firm, or corporation and submitted to Building Department. This report shall also explain the proposed facility's intended methods of operation and list all of the proposed materials, their quantities, classifications, and the effects of any chemical (material) intermixing in the event of an accident or spill.
24. The property owner/business operator shall provide a grease interceptor at a location where it shall be easily accessible for inspection, cleaning, and removal of accumulated grease. The sizing and installation shall conform to the current California Plumbing Code. The grease interceptor shall be constructed in accordance with plans approved by the Director of Public

Works and the Building Official. The property owner/business operator shall contract with a maintenance company for maintenance and cleaning of the grease interceptor.

SITE CONSTRUCTION REQUIREMENTS

- 25. All construction sites must be protected by a security fence and screening. The fencing and screening shall always maintained to protect pedestrians
- 26. Temporary toilet facilities shall be provided for construction workers. The toilet facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI ZA.3
- 27. Construction projects which require temporary electrical power shall obtain an Electrical Permit from Building Department. No temporary electrical power will be granted to a project unless one of the following items is in place and approved by Building Department and the Planning Department.
 - (A) Installation of a construction trailer, or
 - (B) Security fenced area where the electrical power will be located
- 28. Installation of construction/sales trailers must be located on private property. No trailers can be in the public street right of way
- 29. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.
- 30. Prior to issuance of a Building Permit all of the following must be in place: portable toilet with hand wash station, all BMP's, fencing and signage on each adjacent street saying "If there is any dust or debris coming from this site please contact (superintendent number here) or the AQMD if the problem is not being resolved" or something similar to this.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 31. The following grading items shall be completed and/or submitted – as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification completed
 - D. Pad elevation certification completed
 - E. Rough grade inspection signed off by a City's Building Inspector
- 32. Prior to the issuance of a Building Permit, the applicant shall pay all Development

Improvement Fees to the City. Copies of receipts shall be provided to the Building Department prior to permit issuance.

- 33. The Tract or Parcel map shall record prior to the issuance of any permits.
- 34. The existing parcels shall be combined into a single parcel, or a lot line adjustment shall be done so that the proposed structure(s) does not cross any lot line and complies with all requirements of the California Building Code, prior to any building permits being issued.
- 35. Fire sprinklers, fire alarm systems and fire hydrant plans shall be submitted for plan review concurrently with building plans and shall be approved prior to permit issuance
- 36. Prior to issuance of Building Permits, school fees need to be paid to school district where project is located



CITY OF ONTARIO

MEMORANDUM

TO: Elly Antuna, Associate Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: October 4, 2023

SUBJECT: PDEV23-032 - A Development Plan to construct one commercial building totaling 2,274 square feet for use as a mobility bike hub on 0.4 acre of land located at 122 South Vine Avenue, within the Holt Boulevard (LUA-3) land use district of the Downtown Mixed Use (MU-1) zoning district (APN: 1049-021-19).

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: Type V-B
- B. Type of Roof Materials: Ordinary
- C. Ground Floor Area(s): 2,274 Sq. Ft.
- D. Number of Stories: 1
- E. Total Square Footage: 2,274 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): B

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 1500 gallons per minute (g.p.m.) for 2 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.4 Wood frame buildings that are to be sprinkled shall have these systems in service (but not necessarily finalized) before the building is enclosed.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.3 Single station smoke alarms and carbon monoxide alarms are required to be installed per the California Building Code and the California Fire Code.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.

- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director (Copy of memo only)
Henry Noh, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
James Caro, Building Department
Raymond Lee, Engineering Department
Jamie Richardson, Landscape Planning Division
Dennis Mejia, Municipal Utility Company
Heather Lugo, Police Department
Paul Erhman, Deputy Fire Chief/Fire Marshal
Jay Bautista, Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Nathan Pino, Engineering
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department
Blaine Ishii, Integrated Waste

FROM: Elly Antuna, Associate Planner

DATE: April 11, 2024

SUBJECT: FILE #: PDEV23-032

Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

PROJECT DESCRIPTION: A Development Plan to construct one commercial building totaling 2,274 square feet for use as a mobility bike hub on 0.4 acre of land located at 122 South Vine Avenue, within the Holt Boulevard (LUA-3) land use district of the Downtown Mixed Use (MU-1) zoning district (APN: 1049-021-19).

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Police
Department

Heather Lugo
Signature

MA
Title

4/22/24

Date
Item B - 57 of 57

July 1, 2024

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Email: PlanningDirector@OntarioCA.gov

FILE NOS: PMTT23-005 (TPM No. 20714) & PDEV23-011

SUBJECT: A public hearing to consider a Parcel Map to subdivide approximately 60 acres of land into 13 numbered lots and 2 lettered lots and a Development Plan to construct 12 business park buildings totaling 882,538 square feet on approximately 43 acres of land generally located east of Euclid Avenue, south of Schaefer Avenue, west of Sultana Avenue and north of Edison Avenue within a proposed Euclid Mixed Use Specific Plan (File No. PSP22-001). **Submitted by Euclid Land Investment LLC.**

PROPERTY OWNER: Artevel Family Trust

RECOMMENDED ACTION: That the Development Advisory Board (DAB) consider and recommend the Planning Commission adopt Resolutions approving File Nos. PMTT23-005 and PDEV23-011, pursuant to the facts and reasons contained in the staff report and attached Decisions, and subject to the conditions of approval appended to the attached Decisions as "Attachment A."

BACKGROUND: The Project site is within the SP (Specific Plan) zoning district, the AG (Agricultural) Overlay, CNO (Chino Airport) Overlay and AH (Affordable Housing) Overlay zoning districts and is currently used for agriculture and dairy farm purposes. Development and improvements within such zoning districts require the establishment of a Specific Plan document with land uses and regulations that are consistent with The Ontario Plan 2050 ("TOP 2050").

On March 31, 2022, the Applicant submitted an application for a Specific Plan (File No. PSP22-001) to establish the Euclid Mixed Use Specific Plan (EMUSP), including land use designations, development standards, and design guidelines that will apply to 84 acres of land generally bounded by Schaefer, Sultana, Edison and Euclid Avenues. The proposed Specific Plan will rezone the 84 acres and allow for a total of 1,386,776 square feet of business park development, 290,100 square feet of office and commercial development, and 466 residential dwelling units. The Specific Plan application and the associated Environmental Impact Report (State Clearing House No. 2023020281) are tentatively scheduled on the July 23, 2024, Planning Commission agenda for consideration, and are not part of the request DAB action for the subject project.

On April 13, 2023, the Applicant submitted an application for a Tentative Parcel Map and Development Plan to subdivide and develop a portion of the 84 acres within the EMUSP boundary. The proposed Tentative Parcel Map will create 13 numbered lots and 2 lettered lots, while the proposed Development Plan will include the construction of 12 business park buildings and associated site improvements. The DAB action is requested

for the Tentative Parcel Map (PMTT23-005) application and the Development Plan (PDEV23-011) application as the Subject Project. Final approval of File Nos. PMTT23-005 and PDEV23-011 is contingent upon final approval and certification of the Environmental Impact Report and Euclid Mixed Use Specific Plan by the City Council.

PROJECT SETTING: The Project site consists of 60 acres of land located on the southeast corner of Schaefer Avenue and Euclid Avenue, within the proposed Euclid Mixed Use Specific Plan area, which is depicted in Exhibit A: Project Location Map. The site is currently used for agricultural and dairy farm purposes and is developed with residential buildings, milk barns and agricultural accessory structures.

The Project site is bound by Schaefer Avenue on the north, future Sultana Avenue on the east, Euclid Avenue on the west, and existing agriculture, dairy farm, recreational vehicle storage, residential, and vacant land uses to the south. Two existing Southern California Edison easements traverse east-west across the Project site and effectively create upper, middle, and lower areas for the Project site. The Project site has approximately 2,270 feet of west frontage along Euclid Avenue and about 1,450 feet north frontage along Schaefer Avenue. The east frontage along future Sultana Avenue will be about 1,250 feet long and the remaining Parcel Map boundaries abut existing private properties to the south.

The existing surrounding land uses, zoning, and Policy Plan (general plan) and proposed Specific Plan land use designations are summarized in Table 1: Surrounding Zoning & Land Uses (see Technical Appendix).

PROJECT ANALYSIS:

(1) Tentative Parcel Map (File No. PMTT23-005) – The proposed Tentative Parcel Map will subdivide the 60-acre Project site into 13 numbered lots and 2 lettered lots (see Exhibit B - Tentative Parcel Map No. 20714) to facilitate the construction of 12 business park buildings collectively totaling 882,538 square feet, and the associated landscape, common interest amenities, and facilities that are necessary for the project.

Parcels 1 through 13 range from 1.63 acres to 6.52 acres. The two proposed lettered lots, Lot A and Lot B, are 7.63 acres and 2.76 acres, respectively. These lettered lots encompass two existing Southern California Edison easements that contain high-voltage transmission lines and towers. The minimum lot width is 149.9 feet (Lot B), and minimum lot depth is 245.2 feet (Parcel 12). The proposed Tentative Parcel Map exceeds the minimum 10,000 square feet lot size and minimum 100 feet lot width and depth requirements stipulated in the proposed Euclid Mixed Use Specific Plan.

Parcels 1 through 12 will be developed with business park buildings, Parcel 13 is designated for mixed-use development under the proposed Euclid Mixed Use Specific Plan. Proposed Lots A and B are designated non-recreation open space and no development or use are proposed at this time. The development of Parcel 13, Lot A and Lot B will be processed under future entitlement applications. The proposed Tentative

Parcel Map will also facilitate the construction of infrastructure, utilities, neighborhood edges, sidewalks and trails.

(2) Development Plan (File No. PDEV23-011)

(a) Site Design/Building Layout — The Development Plan proposes to construct 882,558 square feet of Business Park floor area on about 43.2 acres of land. The proposed development will create an overall floor area ratio ("FAR") of 0.47, which is below the maximum 0.60 FAR allowed by The Ontario Plan 2050 ("TOP 2050") Policy Plan's Official Land Use Plan. The Project site is generally in a "P" shape, with the upper area of the site wider than the lower area (see Exhibit C: Site Plan).

The proposed 12 Business Park buildings range from 29,593 square feet to 160,949 square feet. All buildings are designed with front entries, office areas, and gated truck yards that are oriented towards the project interior.

Buildings 1, 2, 3, 11 and 12 have frontage along Euclid Avenue and are generally set back 35 feet from the right-of-way. These buildings are smaller, ranging from 26,726 square feet to 54,168 square feet, and will create a street view along Euclid Avenue that presents shorter expanses of building and screen walls. The main entrance for these buildings will be oriented to face vehicle parking spaces, some of which are visible along Euclid Avenue while others are oriented towards the Project interior.

Buildings 1, 4, 6 and 7 have frontage along Schaefer Avenue, which requires a 23-FT building setback. These buildings range from 46,581 to 155,949 square feet in floor area, with Building 6 being the largest in this upper portion of the Project.

Building 5 is an interior building with no direct street frontage. Building 5 contains a floor area of roughly 87,927 square feet and will be accessible from Euclid Avenue, Schaefer Avenue, and future Sultana Avenue.

Buildings 8, 9 and 10 are 96,818 SF, 108,969 SF and 80,086 SF, respectively. Building 8 will have frontage along future Sultana Avenue, but Buildings 9 and 10 are interior buildings with no direct street frontage.

(b) Site Access/Circulation — The Project site will be accessed from Euclid Avenue, Schaefer Avenue and future Sultana Avenue. Buildings 1 through 7 in the upper portion of the Project Site will have access from 1 driveway on Euclid Avenue, 3 driveways on Schaefer Avenue and 1 driveway on Sultana Avenue. These drives are a minimum 35 FT to 40 FT wide, which can accommodate trucks and passenger vehicles. Internal circulation is provided for these buildings via common drives aisles that allow access to each building's parking lot and truck yards.

In the middle portion of the Project site, Building 8's primary access will be from the future Sultana Avenue via two driveways near the northeast and southeast corners of the building. The northern driveway will be for trucks and passenger vehicles, while the

southern driveway is for passenger vehicles only. Buildings 9 through 12 are accessed from one 40 FT wide driveway on Euclid Avenue, about 1,170 feet south of Schaefer Avenue. This drive will serve trucks and passenger vehicles, and branches out to drive aisles and parking areas for each building. The drive aisle on the east side of Building 9 connects to Building 8 via a gated, 24 FT wide drive aisle, providing additional passenger vehicle circulation when needed.

(c) Parking — The Project has provided off-street parking pursuant to the warehouse and distribution parking standards specified in the Development Code. The Project requires 576 vehicle parking spaces and proposes 676 spaces within the various parking lot areas. This exceeds the minimum vehicle parking required for the Project by about 17 percent. The additional spaces will provide flexibility for future tenants to accommodate additional office area within the buildings.

In addition to vehicle parking, the project also requires a total of 31 truck trailer parking spaces and has provided 31 trailer spaces throughout the project site. The trailer spaces are generally located within the dock areas of the buildings they serve to ensure adequate capacity and distribution throughout the project site. The trailer parking reflected in Lot A and Lot B are not included in the overall parking summary, as development of these parcels are not part of the proposed project. Future development of Lot A and Lot B will require a separate review and approval process.

The off-street parking calculations for the Project are summarized in Table 3: Parking Summary. An additional 149 vehicle parking spaces may be accommodated within the screened truck yard area, based on tenant operational requirements.

(d) Architecture — The Project incorporates a Contemporary Architectural style. The proposed buildings will be of concrete tilt-up construction and incorporates color blocking, horizontal and vertical reveals, and score patterns (see Exhibit E: Elevations). The main colors proposed for these buildings are white and varying shades of gray. Earthtone accent colors, including soft brown and green colors, will be applied on select sections of the building next to glazing. Materials such as metal awnings and blue reflective glazing are applied to the building corners, typically at office areas.

The architectural design also incorporates wall offsets to create variations on the wall plane, visual depth, shadows, and dimensions. The proposed wall offsets for the building range from 2 to 4 feet. Additional architectural enhancements at building corners and street facing elevations will be required and, as conditioned, the Applicant will collaborate with the Planning Department to finalize these designs during the plan check process.

(e) Landscaping — The proposed Euclid Mixed Use Specific Plan required a minimum 10 percent landscape coverage for developments. As proposed, 14.13 percent overall landscape coverage is proposed in the Development Plan. Landscaping is provided around the Project perimeter, adjacent to the building, and throughout the parking lots and common drives to soften the appearance of these areas and provide

additional shade. The landscape plan includes 199 trees to be planted on-site and within the neighborhood edges. The proposed tree species include Deodar Cedar, Chinese Flame Tree, Mondell Pine, California Sycamore, Coast Live Oak, and Water Gum. Landscape Plans will also incorporate low-water usage and drought-tolerant shrubs and ground covers throughout the site.

The Project includes right-of-way improvements (street, curb, gutter, sidewalk, and parkway) along the surrounding streets. The proposed on-site and off-site landscaping improvements will assist in creating safe paths and areas for pedestrians to access the Project site. In compliance with the proposed Euclid Mixed Use Specific Plan, a neighborhood edge will be installed along Euclid and Schaefer Avenues.

(f) Signage — All future signage will be subject to review and approval of a comprehensive sign program for the Specific Plan area. A sign program will facilitate the integration of the signs within the overall site and building design to create a unified visual statement and provide for flexible application of sign regulations in the design and display of multiple signs. Key provisions will include entry monument, center and tenant identification signage, traffic and wayfinding signs, building signs, secondary monumentation, and visitor and directional signage. Prior to the issuance of a Building Permit for the installation of any new on-site signage, the Applicant is required to submit Sign Plans for Planning Department review and approval.

(g) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the Project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan ("PWQMP"), which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development ("LID") best management practices ("BMPs"), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of business park and industrial. Any overflow drainage will be conveyed to the public street by way of parkway drains and culverts.

PUBLIC NOTIFICATION: Public notification is not required, as the Development Advisory Board is acting in its capacity as an advisory body to the Planning Commission. Public notification is required prior to the Planning Commission hearing on the Project.

CORRESPONDENCE: As of the preparation of this Agenda Report, Planning Department staff has not received any written or verbal communications from the owners or occupants of properties surrounding the Project site or from the public in general, regarding the subject application.

AGENCY/DEPARTMENT REVIEWS: Each City agency/department has been provided the opportunity to review and comment on the subject application and recommend conditions of approval to be imposed upon the application. At the time of the Decision preparation, recommended conditions of approval were provided and are appended to the attached Decisions as "Attachment A".

AIRPORT LAND USE COMPATIBILITY PLAN (ALUCP) COMPLIANCE: The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

On August 2, 2022, the City Council of the City of Ontario approved and adopted a Development Code Amendment to establish the Chino Airport ("CNO") Overlay Zoning District ("OZD") and Reference I, Chino Airport Land Use Compatibility Plan ("CNO ALUCP"). The CNO OZD and CNO ALUCP established the Airport Influence Area for Chino Airport, solely within the City of Ontario, and limits future land uses and development within the Airport Influence Area, as they relate to safety, airspace protection, and overflight impacts of current and future airport activity. The CNO ALUCP is consistent with policies and criteria set forth within the Caltrans 2011 California Airport Land Use Planning Handbook. The proposed Project is located within the Airport Influence Area of Chino Airport and was evaluated and found to be consistent with the California Airport Land Use Planning Handbook and the CNO ALUCP. As the recommending body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the CNO ALUCP compatibility factors, including Safety, Airspace Protection, Overflight. As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the California Airport Land Use Planning Handbook and the Chino ALUCP.

COMPLIANCE WITH THE ONTARIO PLAN: The proposed project is consistent with the principles, goals and policies contained within the Vision, Governance, Policy Plan (general plan), and City Council Priorities components of The Ontario Plan ("TOP"). More specifically, the goals and policies of TOP that are furthered by the proposed project are as follows:

(1) City Council Goals.

- Invest in the Growth and Evolution of the City's Economy
- Invest in the City's Infrastructure (Water, Streets, Sewers, Parks, Storm Drains and Public Facilities)
 - Ensure the Development of a Well Planned, Balanced, and Self-Sustaining Community in Ontario Ranch

(2) Vision.

Prosperous Economy:

- Innovative and highly productive industrial areas that set the standards in the region for efficient land use, environmental management, and workforce employment opportunities.

(3) Governance.

Decision Making:

- Goal G1: Sustained decision-making that consistently moves Ontario towards its Vision by using The Ontario Plan as a framework for assessing choices.
 - G 1-2. Long-term Benefit. We require decisions to demonstrate and document how they add value to the community and support the Ontario Vision.

(4) Policy Plan (General Plan)

Land Use Element:

- LU-1.6 Complete Community. We incorporate a variety of land uses and building types in our land use planning efforts that result in a complete community where residents at all stages of life, employers, workers, and visitors have a wide spectrum of choices of where they can live, work, shop and recreate within Ontario.
- Goal LU-2 Compatibility: Compatibility between a wide range of uses and a resultant urban patterns and forms.

Community Economics Element:

- CE-2.1 Development Projects. We require new development and redevelopment to create unique, high-quality places that add value to the community.
- CE-2.2 Development Review. We require those proposing new development and redevelopment to demonstrate how their projects will create

appropriately unique, functional, and sustainable places that will compete well with their competition within the region.

➤ CE-2.4 Protection of Investment. We require that new development and redevelopment protect existing investment by providing architecture and urban design of equal or greater quality.

➤ CE-2.5 Private Maintenance. We require adequate maintenance, upkeep, and investment in private property because proper maintenance on private property protects property values.

Safety Element:

▪ Goal S-1 Seismic & Geologic Hazards: Minimized risk of injury, loss of life, property damage, and economic and social disruption caused by earthquake-induced and other geologic hazards.

➤ S-1.1 Implementation of Regulations and Standards. We require that all new habitable structures be designed in accordance with the most recent California Building Code adopted by the City, including provisions regarding lateral forces and grading.

Community Design Element:

▪ Goal CD-1 Image & Identity: A dynamic, progressive city containing distinct and complete places that foster a positive sense of identity and belonging among residents, visitors, and businesses.

➤ CD-2.1 Quality Building Design and Architecture. We encourage all development projects to convey visual interest and character through:

- Building volume, massing, and height to provide context-appropriate scale and proportion; and
- A true architectural style which is carried out in plan, section, and elevation through all aspects of the building and site design and appropriate for its setting; and
- Exterior building materials that are articulated, high quality, durable, and appropriate for the architectural style.

➤ CD-2.8 Safe Design. We incorporate defensible space design into new and existing developments to ensure the maximum safe travel and visibility on pathways, corridors, and open space and at building entrances and parking areas by avoiding physically and visually isolated spaces, maintaining visibility and accessibility, and using lighting.

➤ CD-2.9 Landscape Design. We encourage durable, sustainable, and drought-tolerant landscaping materials and designs that enhance the aesthetics of

structures, create and define public and private spaces, and provide shade and environmental benefits.

➤ CD-2.10 Parking Areas. We require all development, including single-family residential, to minimize the visual impact of surface, structured, and garage parking areas visible from the public realm in an aesthetically pleasing, safe and environmentally sensitive manner. Examples include:

- Surface parking: Shade trees, pervious surfaces, urban run-off capture and infiltration, and pedestrian paths to guide users through the parking field;

➤ CD-2.12 Site and Building Signage. We encourage the use of sign programs that utilize complementary materials, colors, and themes. Project signage should be designed to effectively communicate and direct users to various aspects of the development and complement the character of the structures.

➤ CD-2.13 Entitlement Process. We work collaboratively with all stakeholders to ensure a high degree of certainty in the efficient review and timely processing of all development plans and permits.

- Goal CD-5 Protection of Investment: A sustained level of maintenance and improvement of properties, buildings, and infrastructure that protects the property values and encourages additional public and private investments.

➤ CD-5.1 Maintenance of Buildings and Property. We require all public and privately-owned buildings and property (including trails and easements) to be properly and consistently maintained.

➤ CD-5.2 Maintenance of Infrastructure. We require the continual maintenance of infrastructure.

HOUSING ELEMENT COMPLIANCE: The project is consistent with the Housing Element of the Policy Plan (general plan) component of The Ontario Plan, as the Development Plan project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

TECHNICAL APPENDIX:

Table 1: Surrounding Zoning and Land Uses

	Existing Land Use	Policy Plan Designation	Zoning Designation	Specific Plan Land Use
Site	Agricultural, Dairy	Business Park (BP): 0.60 FAR; Mixed Use – Great Park (MU-Great Park): 14.0 to 65.0 du/ac; 1.5 FAR office; 1.0 FAR retail	SP (Specific Plan), AG (Agricultural Overlay); CNO (Chino Airport Overlay); Proposed EMUSP (Euclid Mixed Use Specific Plan)	Business Park, Mixed Use (Proposed)
North	Agricultural	Medium Density Residential (MDR): 11.1 to 25.0 du/ac	SP (Specific Plan), AG (Agricultural Overlay); CNO (Chino Airport Overlay; AH (Affordable Housing) Overlay;	N/A
South	Dairy, RV Storage, Vacant, Residential	Business Park (BP): 0.60 FAR; Mixed Use – Great Park (MU-Great Park): 14.0 to 65.0 du/ac; 1.5 FAR office; 1.0 FAR retail	SP (Specific Plan), AG (Agricultural Overlay); CNO (Chino Airport Overlay; AH (Affordable Housing) Overlay; Proposed EMUSP (Euclid Mixed Use Specific Plan)	Business Park, Mixed Use (Proposed)
East	Dairy, Vacant	General Commercial (GC): 0.40 FAR; Business Park (BP): 0.60 FAR; Mixed Use – Great Park (MU-Great Park): 14.0 to 65.0 du/ac; 1.5 FAR office; 1.0 FAR retail	SP (Specific Plan), AG (Agricultural Overlay); CNO (Chino Airport Overlay; AH (Affordable Housing) Overlay;	N/A
West	Commercial, Residential, Trailer Storage (City of Chino)	General Commercial, Residential (City of Chino)	East Chino Specific Plan (City of Chino)	Village Commercial, Residential, Office Commercial (City of Chino)

Table 2: General Site & Building Statistics (Proposed Euclid Mixed Use Specific Plan)

Item	Required Min./Max.	Provided (Ranges)	Meets Y/N
Project area (in acres):	N/A	60 AC	N/A
Minimum lot/parcel size (in SF):	10,000 SF	71,192 SF to 284,042 SF	Y
Minimum lot depth (in FT):	100 FT	245 FT to 803 FT	Y
Minimum lot width (in FT):	100 FT	249 FT to 472 FT	Y
Building Area (Max.):	175,000 SF	24,226 SF to 156,949 SF	Y
Floor Area Ratio:	0.60	0.36 to 0.57 (0.47 FAR Overall)	Y
Euclid Avenue setback (in FT):	35 FT	35 FT to 101 FT	Y

Item	Required Min./Max.	Provided (Ranges)	Meets Y/N
Schaefer Avenue setback (in FT):	23 FT	23 FT to 83 FT	Y
Sultana Avenue setback (in FT):	10 FT	21 FT	Y
Interior setback (in FT):	10 FT	10 FT to 154 FT	Y
Drive aisle setback (in FT):	20 FT	23 FT	Y
Parking setback (in FT):	20 FT	23 FT to 35 FT	Y
Maximum height (in FT):	45 FT	44 FT	Y

Table 3: Parking Summary

Type of Use	Building Area (in SF)	Parking Ratio	Spaces Required	Spaces Provided*
Warehouse	819,088	1 space / 1,000 SF (<20,000 SF) 0.5 space / 1,000 SF (≥20,000 SF)	559	676
Office (≤ 10% of building GFA)	59,168	1 space / 1,000 SF (<20,000 SF) 0.5 space / 1,000 SF (≥20,000 SF)		
Office (> 10% of building GFA)	4,332	4 spaces / 1,000 SF	17	
TOTAL			576	676

* Additional 149 vehicle parking spaces allowable within truck yard areas, based on tenant need.

Type of Use	No. of Doors	Parking Ratio	Spaces Required	Spaces Provided
Dock Doors	116	1 trailer parking space / 4 Dock-high Doors	31	31

Exhibit A: PROJECT LOCATION MAP

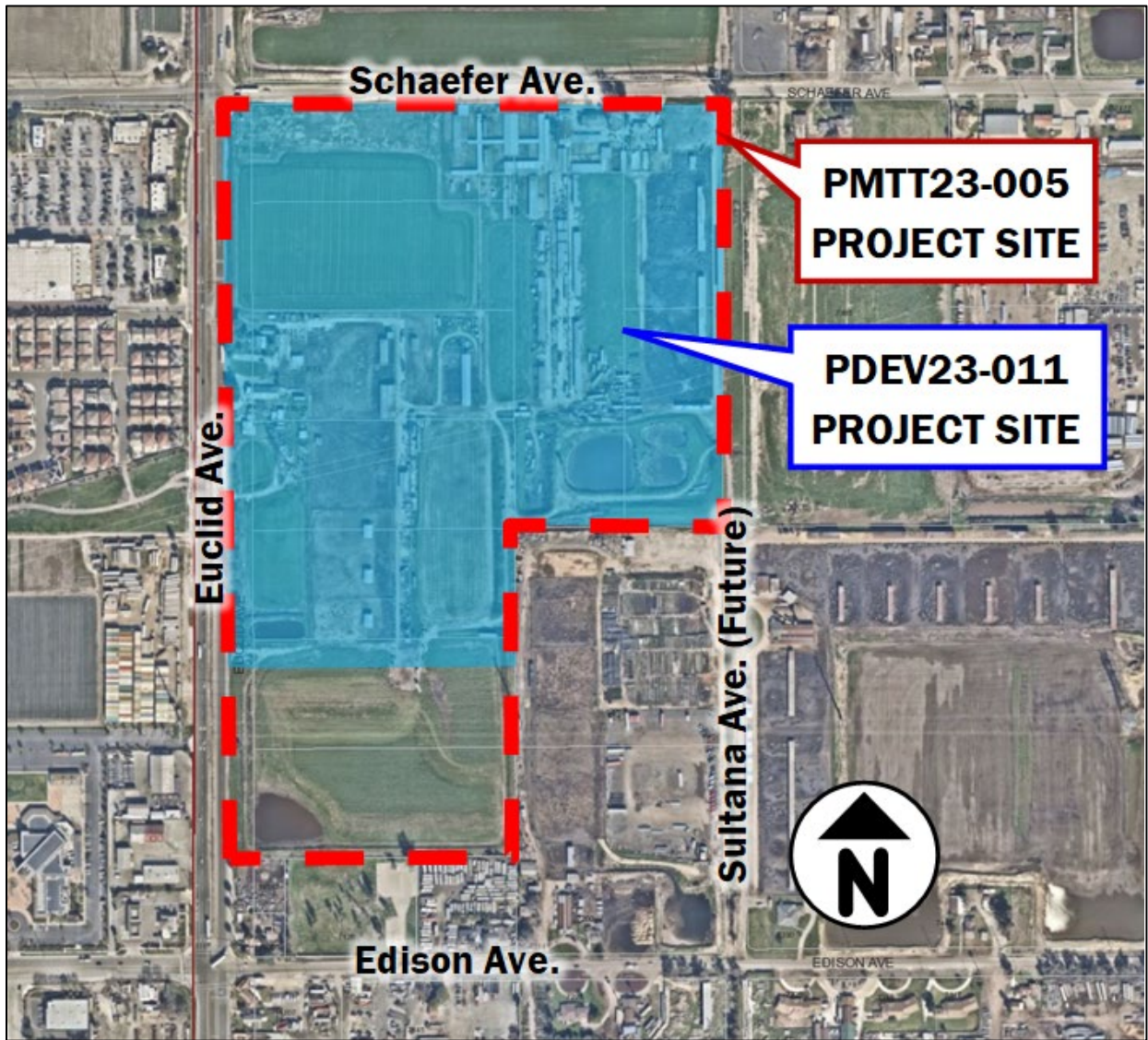
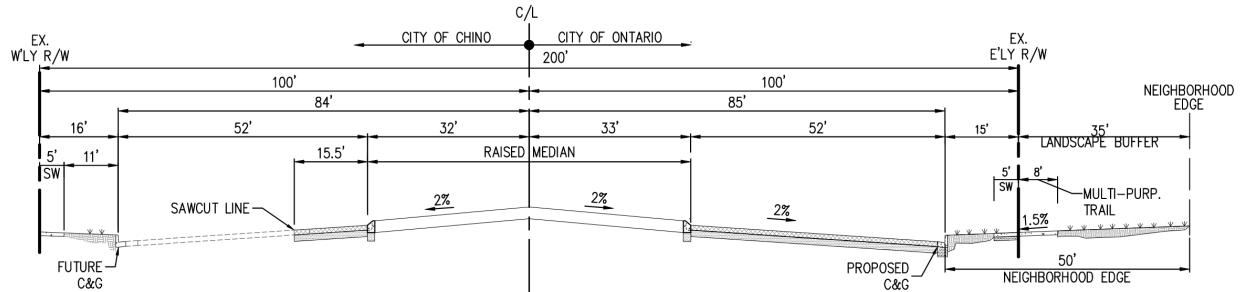
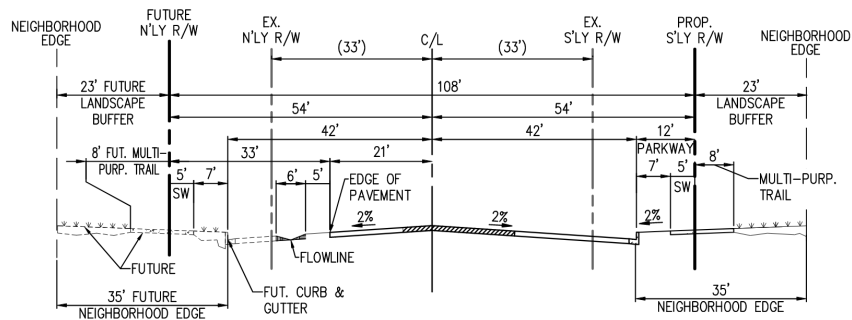


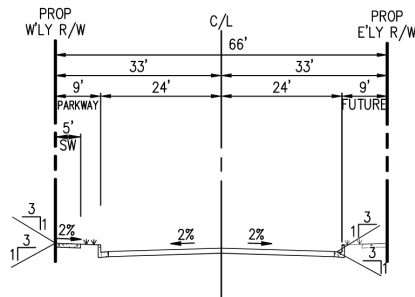
Exhibit C: PROPOSED STREET SECTIONS



EUCLID AVENUE



SCHAEFER AVENUE



SULTANA AVENUE

Exhibit D: SITE PLAN

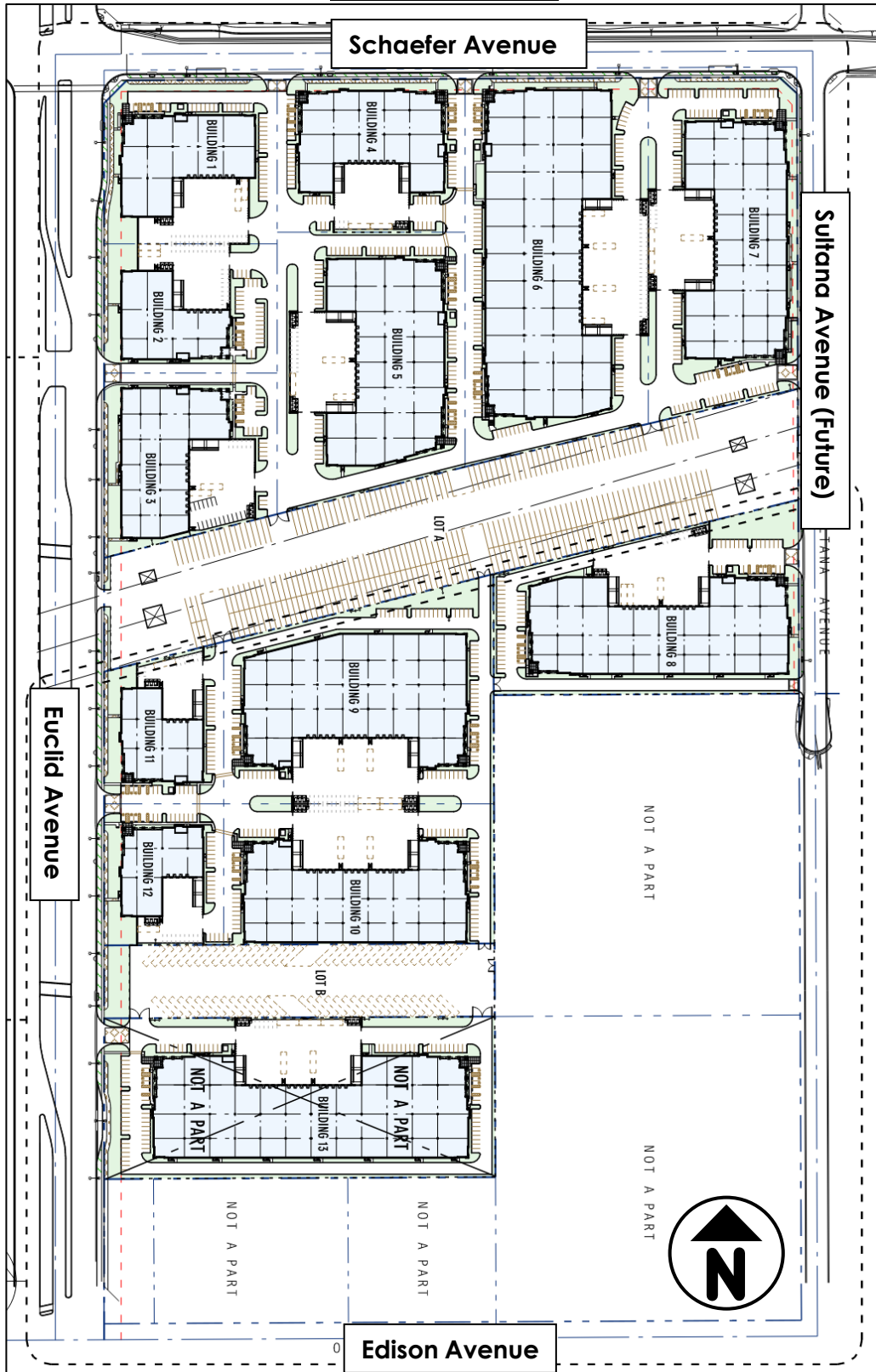
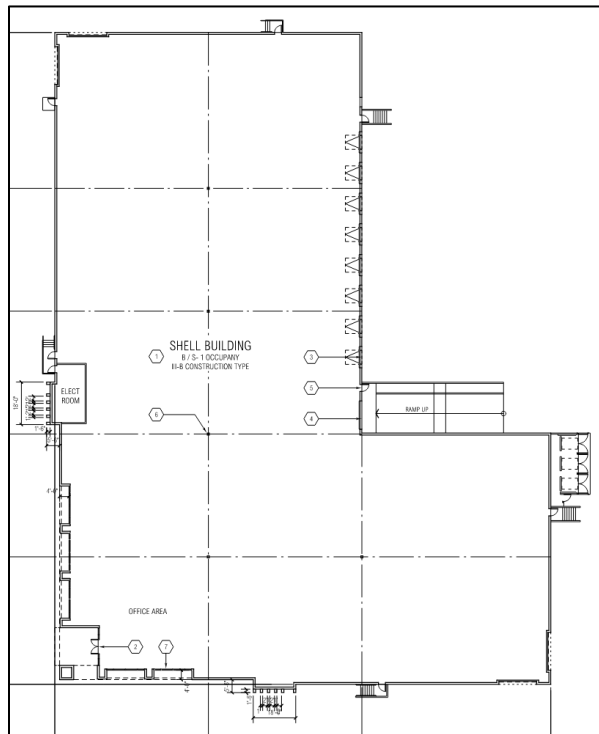
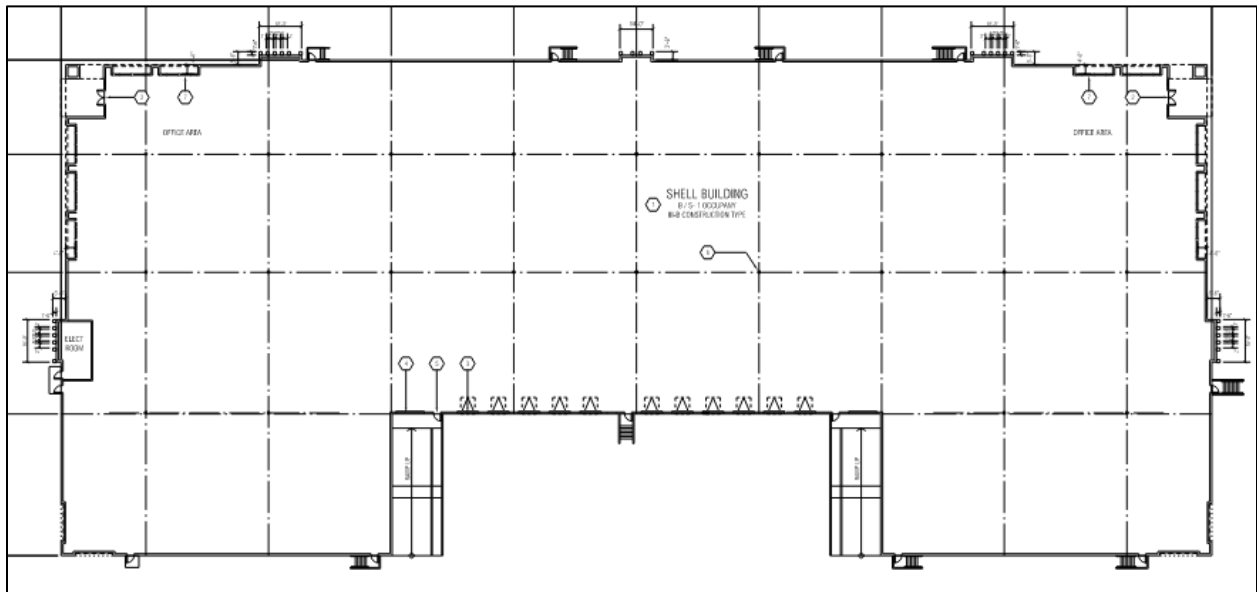


Exhibit E: TYPICAL FLOOR PLAN

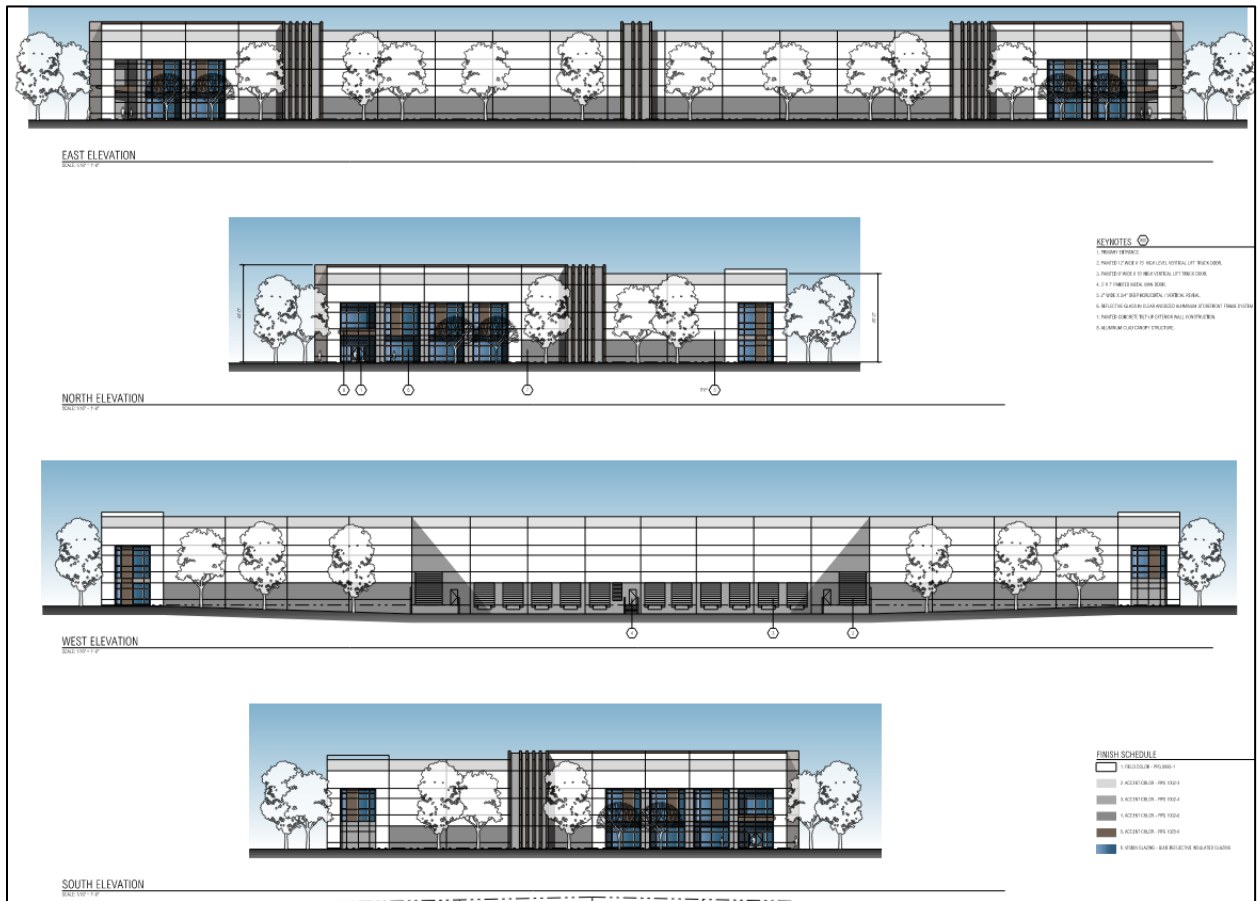


Typical Small Building (Building 1)



Typical Large Building (Building 7)

Exhibit F: TYPICAL ELEVATIONS



Typical Building Elevations



Enlarged Office/Building Corner

Exhibit G: LANDSCAPE PLAN



Exhibit H: SITE PHOTOS



View from Euclid & Schaefer Aves.



View from Schaefer & Sultana Aves.



View from Euclid Ave. & Red Bud Ln.



View from Euclid Ave. & SW Project Corner

DECISION NO.: [insert #]

FILE NO.: PMTT23-005 (TPM 20714)

DAB Hearing Date: July 1, 2024

SUBJECT: A Tentative Parcel Map to subdivide approximately 60 acres of land into 13 numbered lots and 2 lettered lots to facilitate the construction of 12 business park buildings totaling 882,538 square feet on approximately 43 acres of land generally located east of Euclid Avenue, south of Schaefer Avenue, west of Sultana Avenue and north of Edison Avenue within a proposed Euclid Mixed Use Specific Plan (File No. PSP22-001); (APNs: 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04)

PART 1: RECITALS

WHEREAS, Euclid Land Investment LLC (hereinafter referred to "Applicant") filed an Application requesting approval of Tentative Parcel Map No. 20714, File No. PMTT23-005, as described in the Subject of this Decision (herein after referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 60 acres of land generally located south of Schaefer Avenue, north of existing residential, vacant and agricultural properties, east of Euclid Avenue, and west of future Sultana Avenue and is presently occupied by agricultural and dairy uses; and

WHEREAS, the properties to the north of the Project site are within the SP (Specific Plan) zoning district and contain agricultural uses. The properties to the south are within the SP zoning district and include vacant land, a dairy farm, recreational vehicle storage and residential uses. The properties to the east are within the SP zoning district and are vacant. The properties to the west are located within the City of Chino and improved with commercial, residential and trailer storage uses; and

WHEREAS, the project site is located within the SP (Specific Plan), AG (Agricultural Overlay), and Chino Airport (CNO) Overlay and requires the establishment of a Specific Plan document with development standards and regulations prior to commencement of new construction projects on the Project site; and

WHEREAS, the Applicant filed the Euclid Mixed Use Specific Plan (EMUSP) (File No. PSP22-001) application to establish development standards and regulations for the 84-acre Specific Plan area, including the Project Site; and

WHEREAS, the proposed EMUSP is scheduled for consideration by the Planning Commission at its July 23, 2024, meeting; and

WHEREAS, the Project is contingent on approval of the proposed Euclid Mixed Use Specific Plan and certification of the associated Environmental Impact Report; and

WHEREAS, the Project site is located within Planning Areas 1, 2A and 3A of the proposed EMUSP, which among other things, would allow for business park and mixed-use development; and

WHEREAS, Tentative Parcel Map No. 20714 will subdivide the Project site into 15 parcels, including 13 numbered lots and 2 lettered lots to accommodate the development of 12 business park/industrial buildings; and

WHEREAS, the proposed lots are a minimum 71,192 SF (1.63 acres) in area, and comply with the minimum lot size of 10,000 SF, as proposed in the EMUSP; and

WHEREAS, the proposed lots contain a minimum 245 FT lot depth and lot width, and comply with the minimum 100 FT lot depth and lot width, as proposed in the EMUSP; and

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Euclid Mixed Use Specific Plan Environmental Impact Report (State Clearinghouse No. 2023020281) was prepared, in which development and use of the Project site was discussed, and is scheduled for consideration by the Planning Commission at its July 23, 2024 regular meeting; and

WHEREAS, the environmental impacts of this Project were thoroughly analyzed in the Euclid Mixed Use Specific Plan Environmental Impact Report, which concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ONT ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, the Project is located within the Chino Airport Overlay Zoning District (hereinafter referred to as "CNO OZD" and Reference I, Chino Airport Land Use Compatibility Plan (hereinafter referred to as CNO ALUCP) established in the City of Ontario Development Code. As the recommending body for the Subdivision, the DAB has considered and reviewed the facts and information contained in the Application and supporting documentation against the ONT ALUCP and CNO ALUCP compatibility factors, including safety, Airspace Protection, Overflight. As a result, the DAB therefore finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP and the CNO ALUCP.

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on July 1, 2024, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

PART 2: THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED AND DECIDED by the Development Advisory Board of the City of Ontario as follows:

SECTION 1: Environmental Determination and Findings. As the recommending body for the Project, the DAB has considered the background information related to the Euclid Mixed Use Specific Plan and supporting documentation, and finds as follows:

- (1) The environmental impacts of this Project were reviewed in conjunction with File Nos. PSP22-001, Euclid Mixed Use Specific Plan, for which the Euclid Mixed Use Specific Plan Environmental Impact Report (EMUSP EIR) (State Clearinghouse No. 2023020281) was prepared and will be considered by the Planning Commission on July 23, 2024; and
- (2) The EMUSP EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and
- (3) The EMUSP EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and
- (4) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the EMUSP EIR, and all mitigation measures proposed in the EMUSP EIR, are incorporated herein by this reference.

SECTION 2: Subsequent or Supplemental Environmental Review Not Required. Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental EMUSP EIR is not required for the Project, as the Project:

- (1) Does not constitute substantial changes to the EMUSP EIR that will require major revisions to the EMUSP EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
- (2) Does not constitute substantial changes with respect to the circumstances under which the EMUSP EIR was prepared, that will require major revisions to the EMUSP EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and
- (3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the EMUSP EIR was prepared, that shows any of the following:
 - (a) The Project will have one or more significant effects not discussed in the EMUSP EIR; or
 - (b) Significant effects previously examined will be substantially more severe than shown in the EMUSP EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to consider and adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the EMUSP EIR would substantially reduce one or more significant effects on the environment, but which the City declined to consider and adopt.

SECTION 3: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

SECTION 4: Airport Land Use Compatibility Plan (ALUCP) Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

(1) On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

(2) On August 22, 2022, the City Council of the City of Ontario approved and adopted a Development Code Amendment to establish the Chino Airport ("CNO") Overlaid Zoning ("OZD") and Reference I, Chino Airport Land Use Compatibility Plan ("CNO ALUCP"). The CNO OZD and CNO ALUCP established the Airport Influence Area for Chino Airport, solely within the City of Ontario, and limits future and uses and development within the Airport Influence Area, as they relate to safety, airspace

protection, and overflight impacts of current and future airport activity. The CNO ALUCP is consistent with policies and criteria set forth within the Caltrans 2011 California Airport Influence Area of Chino Airport and was evaluated and found to be consistent with the California Airport Land Use Planning Handbook and the CNO ALUCP. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the CNO ALUCP compatibility factors, including Safety, Airspace Protection, Overflight. As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the California Airport Land Use Planning Handbook and the Chino ALUCP.

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Business Park (BP): 0.60 FAR and Mixed Use – Great Park (MU-Great Park): 14.0 to 65.0 du/ac; 1.5 FAR office; and 1.0 FAR retail of the Policy Plan Land Use Map, and the proposed Euclid Mixed Use Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and Business Park and Mixed Use land use districts of the proposed Euclid Mixed Use Specific Plan, including standards minimum lot size, lot width, lot depth, and infrastructure and utility improvements; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.*** The Development Advisory Board has required certain safeguards, and imposed certain conditions of approval, which have been established to ensure that: [i] the purposes of the proposed Euclid Mixed Use Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be

in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the proposed Euclid Mixed Use Specific Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the proposed Euclid Mixed Use Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (industrial). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the proposed Euclid Mixed Use Specific Plan.

SECTION 6: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Conditions of Approval included as Attachment A of this Decision and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 1st day of July 2024.

Development Advisory Board Chairman

Attachment A: Conditions of Approval

(Conditions of Approval follow this page)

Date Prepared: 5/31/2024

File No: PMTT23-005

Related Files: PDEV23-011, PDA23-004

Project Description: Click or tap here to enter text; (APN(s): Click or tap here to enter APN);
submitted by Click or tap here to enter text.

Prepared By: Edmelynn V. Hutter, AICP, Senior Planner
Phone: 909.395.2429 (direct)
Email: ehutter@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Tentative Parcel/Tract Map approval shall become null and void 2 years following the effective date of application approval, unless the final parcel/tract map has been recorded, or a time extension has been approved by the Planning Commission pursuant to Development Code Section 2.02.025 (Time Limits and Extensions). This Permit does not supersede any individual time limits specified herein for performance of specific conditions or improvements.

2.2 Subdivision Map.

(a) The Final Parcel Map shall be in conformance with the approved Tentative Parcel Map on file with the City. Variations from the approved Tentative Parcel Map may be reviewed and approved by the Planning Department. A substantial variation from the approved Tentative Parcel Map may require review and approval by the Planning Commission, as determined by the Planning Director.

(b) Tentative Parcel Map approval shall be subject to all conditions, requirements and recommendations from all other departments/agencies provided on the attached reports/memorandums.

(c) Pursuant to California Government Section 66474.9, the subdivider agrees that it will defend, indemnify, and hold harmless the City of Ontario or its agents, officers and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer of this subdivision, which action is brought within the time period provided for in Government Code Section 66499.37. The City of Ontario shall promptly notify the subdivider of any such claim, action or proceeding and the City of Ontario shall cooperate fully in the defense.

2.3 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for the project, which shall be maintained on site during project construction.

2.4 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

(i) Landscaping and irrigation systems within common areas;
(ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

(iii) Shared parking facilities and access drives; and

(iv) Utility and drainage easements.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.5 Environmental Requirements.

(a) The environmental impacts of this project were reviewed in conjunction with the Euclid Mixed Use Specific Plan Environmental Impact Report (State Clearinghouse No. 2023020281). This application introduces no new significant environmental impacts. All adopted mitigation measures are a condition of approval and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.6 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.7 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(b) Within 5 days following final application approval, the Notice of Exemption ("NOE") filing fee shall be provided to the Planning Department. The fee shall be paid by check,

made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of a NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(c) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.8 Related Applications.

(a) Tentative Parcel Map approval shall not be final and complete until such time that related File No. PSP22-001 has been approved by the City Council.

(b) Tentative Parcel Map approval shall not be final and complete until such time that related File No. PDA23-004 has been approved by the City Council.

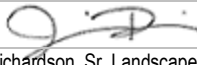
(c) Tentative Parcel Map approval shall not be final and complete until such time that related File No. PDEV23-011 has been approved by the Planning Commission.

2.9 Public Art. The Project is subject to the requirements of the City's Public Art Ordinance (Ontario Municipal Code Section 5-33.05. Private Art for Public Enjoyment in Commercial and Industrial Development Projects).

2.10 Additional Requirements.

(a) Future development of Parcel 13 shall require submittal and approval of a Development Plan application. Project approval shall not include parcel-specific improvements on Parcel 13. Improvements related to common facilities such as neighborhood edge, utilities, street improvements, etc. shall be allowed.

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

PRELIMINARY PLAN CORRECTIONS	
Sign Off	
	05/24/2024
Jamie Richardson, Sr. Landscape Architect	Date

Reviewer's Name: Jamie Richardson, Sr. Landscape Architect	Phone: (909) 395-2615
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D.A.B. File No.: PDEV23-011, PMTT23-005	Case Planner: Edmelynn Hutter
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Project Name and Location: 13 Industrial Buildings East of Euclid, South of Schaefer, West of Sultana and North of Edison

Applicant/Representative: RCCD Inc. – Jason Lee 8101 E Kaiser Blvd., Suite 140 Anaheim Hills, CA 92808

<input checked="" type="checkbox"/>	Preliminary Plans (dated 05/24/2024) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.
<input type="checkbox"/>	Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.

PREVIOUS COMMENTS/Second Request; additional clarification provided in red.
Civil/Site Plans

1. Replacement and mitigation for removed trees shall equal the trunk diameter of heritage trees removed per the Development Code Tree Preservation Policy and Protection Measures, section 6.05.020. A total of 656 inches of heritage tree trunk diameter is identified to be removed; see below for mitigation.
2. Show on demo plans and landscape construction plans trees to be preserved, removed or mitigation measures for trees removed, such as:
 - a. New 15-gallon trees min 1" diameter trunk, in addition to trees required. A total of 656 trees required
 - b. New 24" box trees min 1.5" diameter trunk, in addition to trees required. A total of 437 trees required.
 - c. Upsizing trees on the plan one size larger such as 15 gallon to 24" box, or 24" to 36" box size.
 - d. Monetary value of the trees removed, as identified in the "Guide for Plant Appraisal," approved certified arborist plant appraiser, may be equal to the value of the installation cost of planting, fertilizing, staking, and irrigating 15-gallon trees (100\$ each) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items. A total monetary value of \$65,600.
3. Show and note a 10' total space, 5' clearance on each side of the tree from any utility or hardscape, including water, sewer, drain lines, and driveways, and 10' clear from street lights. Relocate utilities to minimum clearances to allow parkway trees.
4. Corners; verify dimension and grade for any required monumentation. Adjacent walls shall not interfere with the required monumentation.
5. DG trails and parkways at corners shall have the trail curve into the sidewalk rather than out to the corner ramp; OK to end the parkway landscape before corner utilities.

6. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
7. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
8. Show backflow devices set back 4' from paving on all sides. Locate on level grade.
9. Locate utilities, including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.
10. Provide a utility clear space 8' wide in parkways and 30' apart for street trees.
11. Show corner ramp and sidewalk per city standard drawing 1213 with max 10' or 13' of ramp and sidewalk behind corners.
12. Show site plan landscape calculations to show the site with landscaping, not including the right of way or paving.
13. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.
14. Show an accessible access route from the public sidewalk, an accessible path to employee break area, and an accessible path to adjacent industrial buildings within the same development.

Landscape Plans

15. Provide an arborist report and tree inventory, as noted in #1.
16. CFD landscape improvement plans are to be submitted to the Engineering Department for the Euclid median, Euclid Ave, Schaeffer Avenue, and Ontario Ranch Road/Edison Avenue.
17. Cistus and Dodonaea have not been performing well in Ontario Ranch. Limit the use of Lantana (overgrows planter spaces, is sensitive to frost, and gets woody) to planter spaces 8' wide in all directions. Limit ornamental grasses (difficult to maintain in masses) such as Muhlenbergia c. 'Regal Mist,' Pennisetum, Sesleria, and Agaves (sensitive to frost) to accent areas.
18. Show minimum on-site tree sizes per the Landscape Development standards; see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
19. During the plan check, provide an overall exhibit showing water meter locations, including POC and controllers.
20. Show backflow devices with 36" high strappy leaf shrub screening, trash enclosures, transformers, and a 4'-5' high evergreen hedge screening. Do not encircle utility; show as masses and duplicate masses in other locations at regular intervals.
21. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
22. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
23. Show corner ramp and sidewalk per city standard drawing 1213.
24. Show landscaping in the perimeter planters and trees spaced 30' apart.
25. Locate trees for shade on buildings, parking lots, seating areas, and paving. Locate trees 50% of the canopy width from walls, buildings, and existing trees. Screen blank walls and adjacent properties where missing, accent trees to entries and driveways, and provide visibility to signs, windows, and doors.
26. Show an 8' diameter of mulch only at new trees—detail irrigation dripline outside of mulched root zone.
27. Overhead spray systems shall be designed for plant material less than the height of the spray head.
28. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans.
29. Show 25% of trees as California native (Platanus racemosa, Quercus agrifolia, Quercus wislizenii, Quercus douglasii, Cercis occidentalis, etc.) in appropriate locations.
30. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
31. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PMTT23-005 and PDEV23-011

Address: Southeast corner Schaefer Avenue and Euclid Avenue

APN: 1053-071-01 thru 04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01 thru 04

Existing Land Use: Vacant

Proposed Land Use: Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet

Site Acreage: 60 Proposed Structure Height: 48 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT and Chino Airport

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Edmelynn Hutter

Date: 6/26/2024

CD No.: 2023-018

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 FT +	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: 75 - 105 FT

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

The proposed project is located within the Airport Influence Area of Chino Airport and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for Chino Airport.

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2022-021
PALU No.: 2023-018

PROJECT CONDITIONS

The maximum height limit for the project site is 75 feet and as such, any construction equipment such as cranes or any other equipment exceeding 70 feet in height will need a determination of "No Hazard" from the FAA. An FAA Form 7460-1 for any temporary objects will need be filed with the FAA and approved prior to operating such equipment on the project site during construction.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Land Development Division, Environmental Section, Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. PM-20714 RELATED FILE NO(S). PMTT23-005, PDEV23-011	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__	

CITY PROJECT ENGINEER & PHONE NO: Angela Truong (909) 395-2134

CITY PROJECT PLANNER & PHONE NO: Edmelynne Hutter (909) 395-2429

DAB MEETING DATE: July 1st, 2024

PROJECT NAME / DESCRIPTION: A Parcel Map to subdivide approximately 60 acres of land into 13 numbered lots and 2 lettered lots and a Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet within the Euclid Mixed Use Specific Plan.

LOCATION: E/O Euclid Avenue, S/O Schaefer Avenue, W/O Sultana Avenue, and N/O Edison Avenue

APPLICANT: RCCD Inc.

REVIEWED BY: Raymond Lee 6/27/24
 Raymond Lee, P.E. Date
 Assistant City Engineer

APPROVED BY: Khoi Do 6-27-24
 Khoi Do, P.E. Date
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1.	PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL:	Check When Complete
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- | | | | |
|-------------------------------------|------|--|--------------------------|
| <input checked="" type="checkbox"/> | 1.01 | Dedicate to the City of Ontario, the right-of-way, described below: <ul style="list-style-type: none"> A. 4 to 21 feet on Schaefer Avenue to achieve ultimate ROW-CL of 54 feet B. All right-of-way necessary to construct the temporary full cul-de-sac at the southern termination point of Sultana Avenue. See Sec. 2.39(4). C. All right-of-way necessary to install an all-way stop at the intersection of Schaefer Avenue and Sultana Avenue. See Sec. 2.39(9). Property line corner 'cut-back' required at the intersection of <ul style="list-style-type: none"> A. Schaefer Avenue and Sultana Avenue B. Schaefer Avenue and Euclid Avenue | <input type="checkbox"/> |
|-------------------------------------|------|--|--------------------------|
- | | | | |
|-------------------------------------|------|---|--------------------------|
| <input checked="" type="checkbox"/> | 1.02 | Dedicate to the City of Ontario, the following easement(s): <ul style="list-style-type: none"> A. 23 feet on Schaefer Avenue for the neighborhood edge (landscape, trail, sidewalk, storm water treatment, communication, utility, or any other lawful public purposes) B. 35 feet on Euclid Avenue for the neighborhood edge (landscape, trail, sidewalk, storm water treatment, communication, utility, or any other lawful public purposes) C. 10 feet on Sultana Avenue for the landscape buffer | <input type="checkbox"/> |
|-------------------------------------|------|---|--------------------------|
- | | | | |
|--------------------------|------|---|--------------------------|
| <input type="checkbox"/> | 1.03 | Restrict vehicular access to the site as follows: _____ | <input type="checkbox"/> |
|--------------------------|------|---|--------------------------|
- | | | | |
|-------------------------------------|------|---|--------------------------|
| <input checked="" type="checkbox"/> | 1.04 | Vacate the following street(s) and/or easement(s): <ul style="list-style-type: none"> A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company. | <input type="checkbox"/> |
|-------------------------------------|------|---|--------------------------|
- | | | | |
|-------------------------------------|------|--|--------------------------|
| <input checked="" type="checkbox"/> | 1.05 | Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles. | <input type="checkbox"/> |
|-------------------------------------|------|--|--------------------------|
- | | | | |
|-------------------------------------|------|---|--------------------------|
| <input checked="" type="checkbox"/> | 1.06 | Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards. | <input type="checkbox"/> |
|-------------------------------------|------|---|--------------------------|
- | | | | |
|--------------------------|------|--|--------------------------|
| <input type="checkbox"/> | 1.07 | For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at http://tceplumecleanup.com/), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658 . | <input type="checkbox"/> |
|--------------------------|------|--|--------------------------|



- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
- (1) _____
- (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.
- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
- 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
- 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
- 3) Provide evidence of Phase 2 Water improvement payment as an alternative to construction of the Phase 2 Water Improvements required by the Euclid Mixed Use Specific Plan. Refer to Section 4.5.2 of the Development Agreement (PDA23-004).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map No. 20714 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.



- 2.05 Apply for a:
 - Certificate of Compliance with a Record of Survey;
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 **Submit a soils/geology report.**
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: City of Chino (for improvements on Euclid Avenue)**
- 2.10 Dedicate to the City of Ontario the right-of-way described below:

_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____ and _____.
- 2.11 Dedicate to the City of Ontario the following easement(s): _____
- 2.12 Vacate the following street(s) and/or easement(s):
 - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 2.13 **Ontario Ranch Developments:**
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the



Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.

2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.

3) **Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall.**

- 2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.15 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.16 **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$1,708,246.33, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.**
- 2.17 Other conditions: _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Schaefer Avenue	Sultana Avenue	Euclid Avenue	Street 4
Curb and Gutter	<input checked="" type="checkbox"/> New; 42 to 49 ft. from C/L (A) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 24 ft. from C/L (D) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 85 ft. from C/L (G) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen along frontage, including pavm't transitions (B, C)	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> New (F)	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen along frontage, including pavm't transitions (H)	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New, see Sec. 2.39(13) <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New (A) <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (E) <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (G) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees (A) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (A)	<input checked="" type="checkbox"/> Trees (E) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (E)	<input checked="" type="checkbox"/> Trees (G) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (G)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; full-width (66' feet) (I) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace



Fire Hydrant	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input checked="" type="checkbox"/> New, see Sec. 2.39(14) <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New, see Sec. 2.39(15) <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2.G)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2.K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input checked="" type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	All-way stop at the intersection of Schaefer Avenue and Sultana Avenue, Sec. 2.39(9)	Temporary cul-de-sac at the proposed southern terminus, Sec. 2.39(4)	_____	_____

Specific notes for improvements listed in item no. 2.18, above:

- A. South side along project frontage.
- B. Ultimate half-width (42-foot to 49-foot pavement width + 7-foot striped median) on south side along project frontage.



- C. A 7-foot striped median, 14-foot circulation lane and a 5-foot paved shoulder are required on the north side along project frontage.
- D. West and east side along project frontage.
- E. West side along project frontage.
- F. Ultimate full-width (48-foot pavement width) on east and west side along project frontage.
- G. East side along project frontage.
- H. Ultimate half-width (52-foot pavement width) on east side along project frontage.
- I. The applicant/developer shall coordinate with the City of Chino, including, but not limited to, their infrastructure requirements and the reimbursement of said improvements. If the City of Chino is not able to reimburse for the improvements within the City of Chino, then the improvements within the City of Chino may not be required.

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): _____
- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892).
- 2.23 Other conditions: _____

C. SEWER

- 2.24 A 16-inch sewer main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after sewer infrastructure of PM-20016 is accepted (Ref: Sewer Drawing Number: S16627)
- 2.25 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately 3,000 feet away.
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 Other conditions:
 - 1) See Exhibit B for additional Sewer Conditions of Approval from OMUC.

D. WATER

- 2.28 A 30-inch water main is available for connection by this project in Grove Avenue after water infrastructure of M-1312 is accepted (Ref: Water Drawing Number: W16989). A 16-inch water main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after water infrastructure of PM-20016 is accepted (Ref: Water Drawing Number: W16874).
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately 3,000 feet away.
- 2.30 Other conditions:
 - 1) See Exhibit B for additional Water Conditions of Approval from OMUC.

E. RECYCLED WATER

- 2.31 A 12-inch recycled water main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after recycled water infrastructure of PM-20016 is accepted (Ref:



Recycled Water Drawing Number: P11883).

- 2.32 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.34 Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.

Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678 or email OMUCWQPlanCheck@ontarioca.gov regarding this requirement. *Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.*
- 2.35 Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.
- 2.36 Other conditions:
 - 1) See Exhibit B for additional Recycled Water Conditions of Approval from OMUC.

F. TRAFFIC / TRANSPORTATION

- 2.37 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.38 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.39 Other conditions:
 - 1) The Applicant/Developer shall be responsible to design and construct street improvements along property frontages of Euclid Avenue, Schaefer Avenue, and Sultana Avenue in accordance with conditions issued by City's Land Development Division. These, and all other street improvements required herein, shall include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, pavement transitions to existing conditions and parkway landscaping.
 - 2) The Applicant/Developer shall be responsible to design and construct Euclid Avenue to its ultimate half-width along project frontage (15-foot parkway + 52-foot pavement + 66-foot raised median). The Applicant/Developer shall coordinate any work and improvements on Euclid Avenue with the City of Chino.
 - 3) If at the time of development of PDEV23-011, Schaefer Storage Specific Plan (PSP20-001/PDEV20-018) has not constructed Sultana Avenue widening improvements, the Applicant/Developer shall be responsible to design and construct Sultana Avenue to its full width curb to curb (48') along project frontage.
 - 4) The Applicant/Developer shall be responsible to design and construct temporary full cul-de-sac at the southern termination point of Sultana Avenue along the project frontage in accordance with the City of Ontario Standard Drawing No.1102.



- 5) **The Applicant/Developer shall be responsible to design and construct Schaefer Avenue to its ultimate half-width along project frontage (12-foot parkway + 42-foot pavement + 14-foot striped median + 14-foot circulation lane + 5-foot paved shoulder).**
- 6) **If at the time of development of PDEV23-011, Schaefer Storage Specific Plan (PSP20-001/PDEV20-018) has not constructed widening improvements along Schaefer Avenue, the Applicant/Developer shall be responsible to design and construct pavement widening and signing/stripping improvements on Schaefer Avenue at Sultana Avenue intersection as necessary to accommodate a westbound left turn lane onto the new segment of Sultana Avenue including required pavement transitions and intersection lighting.**
- 7) **The Applicant/Developer shall be responsible to design and construct pavement transitions and signing/stripping improvements (at the intersections listed below) beyond the project frontage to transition from existing roadway width to the widened section.**
 - a. **Euclid Avenue north of Schaefer Avenue**
 - b. **Schaefer Avenue west of Euclid Avenue**
 - c. **Schaefer Avenue east of future Sultana Avenue**
- 8) **The Applicant/Developer shall be responsible to design and construct in-fill public street lights and a potential new service as needed along its project frontages of Euclid Avenue, Schaefer Avenue, and Sultana Avenue. Street lighting shall be LED-type and in accordance with City's Approved Material List LED Luminaires. The Applicant/Developer shall also install smart nodes on all new street light fixtures along project frontage.**
- 9) **The Applicant/Developer shall be responsible to install an all-way stop at the intersection of Schaefer Avenue and Sultana Avenue.**
- 10) **The Applicant/Developer shall be responsible to design and construct modifications to the existing traffic signal on Euclid Avenue at Schaefer Avenue. The traffic signal modification shall address relocation of any equipment including video detection, CCTV, fiber optic communication conduit, cable and equipment, emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.**
- 11) **Proposed driveways on Euclid Avenue shall be restricted to right-in/right-out access only. On-site signage and pavement markings shall be provided for driveway access restrictions.**
- 12) **Parking shall be restricted all along project frontages and shall be signed "No Parking Any Time" or "No Stopping Any Time".**
- 13) **Euclid Avenue is a designated truck route in the City of Ontario. The Applicant/Developer shall be responsible to design and construct concrete approaches for all lanes at the intersection of Euclid Avenue at Schaefer Avenue in accordance with City of Ontario Standard Drawing No. 1207.**
- 14) **The Applicant/Developer shall be responsible to design and construct a concrete bus pad to serve the future stop on the south side Schaefer Avenue, east of Euclid Avenue. The pad shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.**
- 15) **The Applicant/Developer shall be responsible to design and construct a concrete bus turnout to serve the future stop on the eastside of Euclid Avenue, north of Ontario Ranch Road. The Bus turnout shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.**



- 16) Design and construct proposed driveways in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway.
- 17) All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
- 18) The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the street lighting, traffic signal and signing/ striping design plans to define limits of improvements.

G. DRAINAGE / HYDROLOGY

- 2.40 A _____ inch storm drain main is available to accept flows from this project in _____. (Ref: Storm Drain Drawing Number: _____)
- 2.41 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.42 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.43 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.44 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.45 Other conditions:
 - 1) Design and construct a 90" to 102" storm drain line along Euclid Avenue from Schaefer Avenue to Eucalyptus Avenue. A 102" storm drain main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after storm drain infrastructure of PM-20016 is accepted (Ref: Storm Drain Drawing Number: D14489).
 - 2) Design and construct a 48" to 90" storm drain line along Schaefer Avenue from Sultana Avenue to Euclid Avenue and connect to the proposed storm drain on Euclid Avenue.
 - 3) Design and construct a 36" storm drain line along Sultana Avenue from Schaefer Avenue to approximately 750 feet south of Schaefer Avenue.

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.46 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels. If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted. Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.



- 2.47 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.48 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.49 Other conditions: _____

J. SPECIAL DISTRICTS

- 2.50 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.
- 2.51 Other conditions: _____

K. FIBER OPTIC

- 2.52 A _____ fiber optic line is available for connection by this project in _____. (Ref: Fiber Optic Drawing Number: _____)
- 2.53 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole. See Exhibit C for Conditions of Approval from Broadband Operations.
- 2.54 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.



- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV23-011, and/or Parcel Map No. 20714

All plan check submittals are to be done digitally through the City Of Ontario Citizen Portal Access. The following items are to be included with the first plan check submittal:

1. A copy of this check list
2. Payment of fee for Plan Checking
3. Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.
4. Project Conditions of Approval
5. Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Public Street improvement plan with street cross-sections
7. Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
8. Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
9. Public Sewer improvement plan
10. Public Storm Drain improvement plan
11. Public Street Light improvement plan
12. Signing and Striping improvement plan
13. Fiber Optic plan (include Auto CAD electronic submittal)
14. HOA Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
15. CFD Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
16. Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
17. Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
18. Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).
19. Hydrology/Drainage study



- 20. Soils/Geology report
- 21. Payment for Final Map/Parcel Map processing fee
- 22. Final Map/Parcel Map
- 23. Approved Tentative Map
- 24. Preliminary Title Report (current within 30 days)
- 25. Traverse Closure Calculations
- 26. Set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 27. Supplemental Engineering Report, in electronic format (PDF format), for recycled water use only. **Must be reviewed and submitted to the Division of Drinking Water by OMUC Water Quality Programs before clearing plan check workflows (includes grading and landscape plan reviews). Approval letter issued by the Division of Drinking Water must be obtained before meter installation and if applicable, occupancy release.**
- 28. Other: _____



CITY OF ONTARIO MEMORANDUM



DATE: June 27, 2024
TO: Angela Truong, Engineering Department
CC: Edmelynne Hutter, Planning Department
FROM: Jeff Krizek, Utilities Engineering Division (QCR: EW & HY)
SUBJECT: DPR4.1 Utilities Engineering Conditions of Approval (COAs) (#10254a #10253a)
PROJECT NO.: PM-20717 (PMTT23-005) & PDEV23-011

BRIEF DESCRIPTION:

PM-20717 (PMTT23-005): A Parcel Map to subdivide approximately 60 acres of land into 13 numbered lots and 2 lettered lots generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PDEV23-011.

PDEV23-011: A Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet on approximately 60 acres of land generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific Plan (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PMTT23-005.

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:

General Conditions:

- 1. Standard Conditions of Approval: Project shall comply with the requirements set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

- 2. Inherited Requirements and Conditions of Approval: This project is subject to all the Requirements and Conditions of Approval of related entitlements: Euclid Mixed-Use Specific Plan, as amended. Any conflict in Conditions of Approval and requirements, the Conditions of Approval below for this Project will supersede previous Conditions of Approval.
3. Final Utilities Systems Map (USM): Submit a Final Utilities Systems Map (USM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.

4. Unused Service Abandonment: All adjacent water services (along with connected appurtenances) and sewer laterals and main stubs along the frontages of the project site not used to provide service to this Development Project shall be abandoned back to the main in accordance with City Standards and Practices.
5. Public Utilities and Public Right-of-Way including Public Utility Easements (PUE): All City of Ontario Public Utilities shall be installed within a Public Right-of-Way (RoW), or within a Public Utility Easements (PUE), or within a combination of RoW and PUE. In this case, Public Utilities is referring to the mains and connected appurtenances of the following City of Ontario/OMUC Utilities: Public Potable Water; Public Recycled Water; and Public Sanitary Sewer. Public Utilities shall be subject to the Minimum RoW/PUE Area Requirements and PUE Restrictions:
 - a. Minimum RoW Area Requirements: Public Utilities shall be installed within in existing RoW/PUE in alignments/locations that meet the following minimum RoW/PUE areas surrounding the Public Utilities, and/or additional RoW/PUE shall be dedicated/granted to the City to provide the following minimum RoW/PUE areas surrounding the Public Utilities:
 - i. For each main, the RoW/PUE Area shall be a minimum of 20 feet wide, centered on the utility main with a minimum of 10 feet of RoW/PUE on each side of the main and this minimum area shall extend a minimum for 10 feet past the end of a main;
 - A. The surface of this Area above the main shall be designed and graded/constructed to allow vehicle access over and along the full length of the utility main by any City maintenance vehicle.
 - ii. For each Service/Lateral, the RoW/PUE Area shall be a minimum of 10 feet wide, centered on the service/lateral with a minimum of 5 feet of PRow on each side of each service/lateral;
 - iii. For each water meter box, the RoW/PUE Area shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box;
 - iv. For each water appurtenances (fire hydrants, blowoffs, airvacs, etc), the RoW/PUE Area shall be a minimum of 5 feet on each side surrounding the water appurtenances (fire hydrants, blowoffs, airvacs, etc);
 - v. The RoW/PUE minimum areas for separate Public Utilities may overlap, provide that all minimum separations and PUE Restrictions are met.
 - b. PUE Restrictions: The Minimum Row/PUE Area required surrounding Public Utilities shall be subject to the following restrictions:
 - i. The Minimum PUE Area required surrounding Public Utilities shall not contain:
 - A. Any storm water quality improvements (infiltration, detention, retention, bioswale, etc);
 - B. Landscaping with thick or intrusive root structures,
 - C. Any trees;
 - D. Any private utilities, plumbing lines, private fire system, or irrigation lines; or,
 - E. Any permanent structures or overhangs of permanent structures.
 - ii. Minimum Separations: Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met for all Public Potable Water Mains and Services between: all Public City Utilities; Non-City Utilities; and Private Utilities. Additionally, the following Minimum Separations shall be met:
 - A. At minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside edge of the Joint Utility Trench and the outside wall of the Utility Pipeline. The minimum 4 feet horizontal separation also includes between services and service appurtenances and: other utilities (public or private) and utility appurtenances; any other objects or potentials obstructions (boxes, handholes, vaults, transformers, panels, poles and standards, signs, driveway approaches and wings/curb returns, trees, controllers, etc.); and any other items, as determined by the Ontario Municipal Utilities Company (OMUC).
 - B. Public Utility mains shall not be located behind curb or under curb & gutter and shall be located at minimum of 8 feet from curbface. With specific written permission of OMUC Management Staff, in rare circumstances, this 8 feet minimum can be reduced to 5 feet in specific locations where the 8 feet is not feasible, but at all locations the utilities alignments shall be optimized to meet this minimum location, while still maintaining all other minimum separation.
6. Well Abandonment: All existing Ground Water Wells shall be abandoned per County and State requirements prior to grading if they are not authorized to remain in service by the City's Water Resources Section.

7. Septic Tank Abandonment: All existing septic tank(s) on the property shall be abandoned per City, County, and State regulations and standards.

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

8. Sanitary Sewer Infrastructure: The Project is limited to Public Sewer Mains within Public Streets in Publicly Dedicated Right-of-way for Streets and Public Sewer Mains are not allowed within private property or private streets/private drive aisles. The Project is required to install the following Public Sewer Mains and only to the extent necessary to serve each lot:
- a. Install a 16-inch main in Euclid Avenue connecting between the existing public sewer main at the intersection of Eucalyptus Ave and extending north through the intersection of Schaefer Avenue.
 - i. For the point of connection to the existing sewer, connect to the existing manhole and the next manhole shall be a minimum of 100 feet upstream. This means that if the proposed main is jogging out of the current northerly alignment, then the existing main stub needs to be removed and the manhole reconstructed/rechannelized to allow for a different inlet point.
 - b. The Public Sewer Mains shall be sized to meet the Design Criteria established in the Sewer Master Plan; and, the main sizes shall be calculated by hydraulic analysis at the time of final design of the sewer main. Any main sizes provided in these conditions are subject to change to meet the Design Criteria through hydraulic analysis calculations reviewed and approved by the City.
9. Sanitary Sewer Service:
- a. Each building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Laterals for each building shall be limited to the minimum necessary to meet all of the conditions of approved and as limited by the City.
 - b. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Public Sewer Lateral.
10. Private Onsite Sewer System and Plumbing: All proposed Onsite Sewer within Parcels 1 - 13, Lot A, and Lot B shall be private, privately maintained, and per Building Code and Plumbing Code requirements.
- a. For wastewater flows for non-residential uses:
 - i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. Each building and each connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.
 - b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Private Onsite Sewer pipes.
11. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.
12. Septic Systems:
- a. Abandon any existing septic tank(s) on the property per State, County, and City standards.
 - b. Onsite Wastewater Treatment Systems (OWTS) are not allowed. The Entire Project shall connect to the Public Sewer.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

13. Phase 2 Water Improvements: As an alternative to construction of the Phase 2 Water Improvements required by the Euclid Mixed Use Specific Plan, Phase 2 Water Improvement payments shall be made by the Owner as described in the associated Development Agreement (PDA23-004).
14. Potable Water Infrastructure: The Project is limited to Public Potable Water Mains within Public Streets in Publicly Dedicated Right-of-way for Streets and Public Potable Water Mains are not allowed within private property or private streets/private drive aisles. The Project is required to install the following Public 925PZ Potable Water Mains and only to the extent necessary to serve each parcel/lot and achieve required looping:
 - a. Install a 16-inch main in Euclid Avenue connecting to the existing City public potable water main at the intersection of Eucalyptus Ave and extending north through the intersection of Schaefer Avenue.
 - b. Install a 16-inch main in Schaefer Avenue connecting from the proposed public potable water main at the intersection of Euclid Avenue and extending east to connect to the existing 30-inch City public potable water main in Grove Avenue.
 - c. A 12-inch main in Sultana Avenue connecting from the proposed public potable water main at the intersection of Schaefer Avenue and extending south to the southern Project Boundary.
 - d. The public potable water mains shall be sized to meet Fire Department Fire Flow requirements and the Design Criteria established in the Water Master Plan; and, the mains sizes shall be calculated by hydraulic analysis at the time of final design of the water main. Any main sizes provided in these conditions are subject to change to meet the Design Criteria through hydraulic analysis calculations reviewed and approved by the City.
 - i. The mains within Schaefer Avenue were to be 12-inch mains per the Water Master Plan and Development Impact Fee (DIF) Capital Program. However, due to timing of this Project ahead of construction/completion of the ultimate potable water system laid out in the Water Master Plan, hydraulic analysis has determined that the 12-inch mains were not sufficient given the Projects requirements and the limited existing master planned potable water system infrastructure. Therefore, due to the impacts from the timing of this Project, this Project is required install minimum 16-inch potable water mains in Schaefer Avenue, instead of master planned 12-inch mains and the changing in main size is solely the responsibility of this Project.
15. Potable Water Service:
 - a. Domestic Service:
 - i. Each building shall have its own potable water service and meter with backflow prevention device connected to the Public Potable Water System per City Standards.
 - b. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water, the landscape irrigation uses shall have a separate irrigation water service and meter with backflow prevention device connected to the Public Potable Water System. The onsite landscape irrigation system shall be separate from the onsite domestic water plumbing system and the onsite fire system.
 - i. Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association.
 - c. Backflow Prevention: Each Meter connected to the Public Potable Water System that serves any use that is more than one (1) single family residential unit or any non-residential use requires a backflow prevention device per City Standards.
 - d. Fire Water Service: For onsite private Fire System uses, where the domestic water service and meters connected to the Public Potable Water System that serves any use that is more than one (1) single family detached residential unit, or any non-residential use:
 - i. If an onsite private fire system is required, then a separate Fire Service with Double Check Detector Assembly (DCDA) per City Standard #4208 connected to the Public Potable Water System is required, to serve the onsite private fire system. The onsite fire system shall be separate from the onsite domestic water plumbing system and the onsite landscape irrigation system.

- e. Fire Hydrants:
 - i. Fire Hydrants along Public Potable Water Mains shall be installed to be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - ii. Existing Public Fire Hydrants along the Project frontage that do not meet current City Standards shall be abandoned back to main and replaced with new Fire Hydrants that meet current City Standards.
- f. Private Onsite Water System and Plumbing: All proposed Onsite Water Systems (Domestic, Fire, Irrigation) within Parcels 1 - 13, Lot A, and Lot B shall be private, privately maintained, and per Building Code and Plumbing Code requirements with master meters with backflows serving the Parcels/Lots and submeters for each unit.
- g. Relocated Services: For any existing service with appurtenances to be relocated, the service shall be abandoned back to the main connection and the service and appurtenances shall be installed new per related City Standards.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

- 16. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
- 17. Recycled Water Infrastructure: In order to comply with City Ordinance 2689, the Project is limited to Public Recycled Water Mains within Public Streets in Publicly Dedicated Right-of-way for Streets and Public Recycled Water Mains are not allowed within private property or private streets/private drive aisles. The Project is required to install the following Public 930PZ Recycled Water Mains and only to the extent necessary to serve each parcel/lot:
 - a. Install a 12-inch main in Euclid Avenue connecting to the existing City public recycled water main at the intersection of Eucalyptus Ave and extending north through the intersection of Schaefer Avenue.
 - b. Install an 8-inch main in Schaefer Avenue connecting from the proposed public recycled water main at the intersection of Euclid Avenue and extending east through the intersection of Sultana Avenue.
 - c. Install an 8-inch main in Sultana Avenue connecting from the proposed public recycled water main at the intersection of Schaefer Avenue and extending south to the southern Project Boundary.
- 18. Recycled Water Service: In order to comply with City Ordinance 2689:
 - a. Recycled Water Services with Meters:
 - i. Private Property Owner Maintained Uses: Each parcel/lot shall have its own separate Recycled Water Service with Meter serving the parcel/lot for Private Property Owner Maintained Landscape Irrigation Uses. If Recycled Water is going to be used for uses other than Landscape Irrigation, then a second separate Recycled Water Service with Meter is required to serve the non-Landscape Irrigation uses.
 - ii. Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association
- 19. RW Program Requirements: In order to receive RW service, the applicant shall comply with each of the following:
 - a. Prior to Precise Grading Plan Approval and Building Permits Issuance:
 - i. Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.
 - ii. Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.
 - A. Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678

or email OMUCWQPlanCheck@ontarioca.gov regarding this requirement. Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.

- b. Prior to Occupancy Release/Finalizing:
 - i. Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - ii. Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - iii. Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.



CITY OF ONTARIO MEMORANDUM

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL Broadband Operations Section

DATE: 06-03-24

PROJECT: PDEV23-011

LOCATION: Euclid and Schaefer

PROJECT ENGINEER: Angela Truong

BROADBAND PLAN CHECKER: Cameron Chadwick - CChadwick@ontarioca.gov

The following Conditions of Approval requirements must be incorporated prior to the Development Advisory Board and/or Zoning Administrator Hearing.

1. Project shall be designed and constructed to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole in the Right-of-Way (ROW) and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.
2. Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties within a reasonable distance. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
3. Where a joint telecom or street light street crossing is required, include (2) 2" HDPE SDR-11 conduits or (1) 4" schedule 80 conduit sleeve. Terminate the street crossing conduit(s) in a new HH-3/22 OntarioNet hand hole in the right of way
4. The City requires a public utility easement for fiber optics on all private aisles/alley ways.
5. Hand holes - Design and install OntarioNet fiber optic hand hole HH-FP (10x00x10), HH-1 (13x24x18), HH-2 (17x30x24), HH-2A (24x36x30), HH-3 (30x48x36) and/or HH-4 (36x60x36) as needed. Respectively, Newbasis Part # PLA100010T-00002, PCA132418-00006, PCA-173024-90116, PCA-243630-90064, PCA-304836-90244 and PCA-366036-90146 or equivalent as specified per City Standard 1316. Conduits sweeping into hand holes shall enter in flush with the cut-out mouse holes aligned parallel to the bottom of the box and come in perpendicular to the wall of the box. Conduits shall not enter at any angle other than parallel. Provide 5-foot minimum clearance from existing/proposed utilities. All hand holes will have ¼-inch galvanized wire between the hand holes and the gravel it is placed on.
6. ROW Conduit – Design and install fiber optic conduit at a minimum depth of 36-inch. Trenching shall be per City Standard 1306. Install (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct and (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange with Black Stripe) duct. Conduit(s) between ROW hand holes and hand holes on private property shall be 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct.
7. Building Entrance (Single Family) – Design and install 0.75-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct from hand holes on property or hand holes in the ROW. Consult City's Fiber Team for design assistance.
8. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install

locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct

9. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
10. A minimum 13/16 millimeter microduct joint use telecommunications conduit with pull-rope from the single-family, multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
11. Warning Tape - Contractor shall supply and install an approved non-detectable warning tape 18-inch above the uppermost conduit when backfilling trenches, pits or excavations greater than 10' in length. Warning Tape shall be non-detectable, Orange in color, 4-inch minimum width, 4 mil, 500% minimum elongation, with bold printed black letters "CAUTION - BURIED FIBER OPTIC CABLE BELOW" printed in bold black lettering no less than 2-inch high.
12. All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All hand holes, conduits and ducts shall be placed in the public right of way.
13. All unused conduits/ducts/microducts shall be protected with duct plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
14. Locate/Tracer Wire - Conduit bank requires (1) 12AWG high strength (minimum break load 452#) copper-clad steel with 30mil HDPE orange insulation for locate/tracer wire. Contact City's Fiber Team for tracer wire specifications and see note 8.
15. Multi-family dwellings are considered commercial property.
16. Refer to the In-tract Fiber Network Design guideline on the City's website for additional in-tract conduit guidelines.



CITY OF ONTARIO

MEMORANDUM

TO: Edmelynn Hutter, Senior Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: May 11, 2023

SUBJECT: PDEV23-011 - A Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet on approximately 60 acres of land generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PMTT23-005.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: Assumed III-B
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): Varies, 13 Buildings Totaling 1.1 Million Sq. Ft.
- D. Number of Stories: 1 w/ Mezzanine
- E. Total Square Footage: Largest Building 160,949 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): S

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 4000 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and location(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1 6.06 of the Ontario Municipal Code and Standard #H-003.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



CITY OF ONTARIO

MEMORANDUM

TO: Edmelynn Hutter, Senior Planner

FROM: Heather Lugo, MA, Police Department

DATE: April 29, 2024

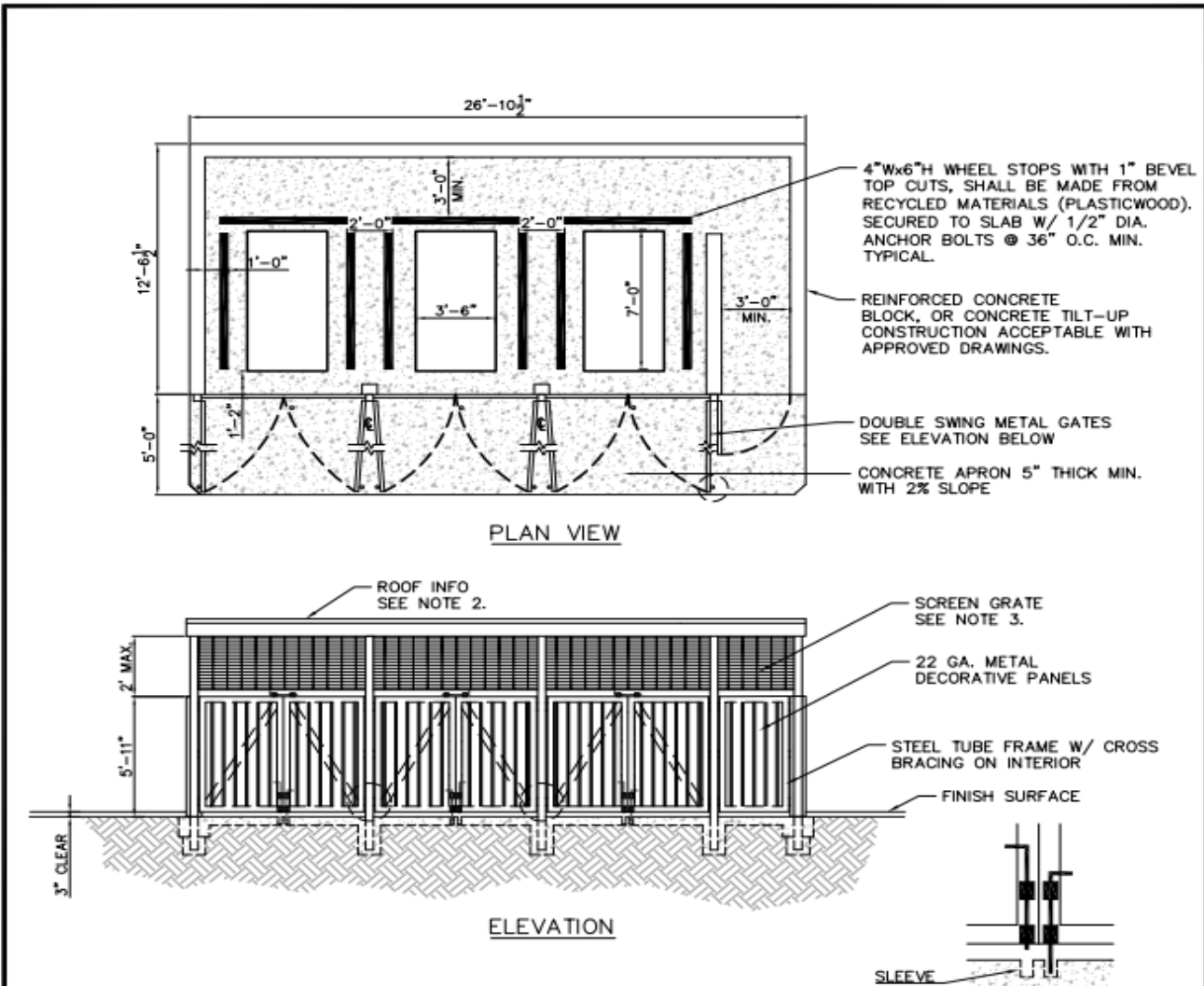
SUBJECT: PDEV23-011 - A Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet on approximately 60 acres of land generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific Plan (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PMTT23-005.

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- During hours of darkness, all parking lots shall be provided with minimum one foot-candle of light, measured on the parking surface. Lighting devices shall be fully protected with weather and vandalism resistant covers.
- Parking garages, stairwells, blind spots and any hidden areas shall have Convex mirrors to allow for visibility to the areas.
- Maintain all landscaping on property to a standard that all ground covering shrubbery and hedges are no taller than 2 feet (24") and the lower canopy of all trees is no lower than 6 feet (72").
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The Applicant shall install a video surveillance system on the site. Cameras shall cover all entry doors and exit doors, parking lots and driveways. Cameras shall be positioned to maximize the coverage of patrons and vehicles in these areas. Cameras shall record at least 15 frames per second and at a minimum of 640x480 lines of resolution. Recordings shall be stored for a minimum of 30 days and made available upon request to any member of the Ontario Police Department.
- All exterior electrical outlets shall be secured and locked.
- All exterior water spigots / water supply sources shall be secured and locked.

- Trash enclosure shall be fully secured/enclosed by locks, mesh, and screen grate to reduce crime and encampment opportunities for homeless persons.

The Applicant is invited to contact Heather Lugo at (909) 408-1074 with any questions or concerns regarding these conditions.



NOTES:

- ① THIS DRAWING SERVES AS A GUIDELINE TO THE TRASH ENCLOSURE BIN LAYOUT. PLANS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL TO MEET CURRENT BUILDING CODES.
- ② SOLID ROOF TO MEET ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.
- ③ TRASH ENCLOSURE SHALL BE FULLY SECURED/ENCLOSED BY LOCKS, MESH, AND SCREEN GRATE.

CITY OF ONTARIO - INTEGRATED WASTE DEPARTMENT

EXAMPLE 1

COMMERCIAL/INDUSTRIAL REFUSE, RECYCLING AND ORGANICS ENCLOSURE (THREE 4-6 CU. YD. BINS)

DECISION NO.: [insert #]

FILE NO.: PDEV23-011

DAB Hearing Date: July 1, 2024

SUBJECT: A Development Plan to construct 12 business park buildings totaling 882,538 square feet on approximately 43 acres of land generally located east of Euclid Avenue, south of Schaefer Avenue, west of Sultana Avenue and north of Edison Avenue within a proposed Euclid Mixed Use Specific Plan (File No. PSP22-001); (APNs: 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04)

PART 1: RECITALS

WHEREAS, Euclid Land Investment LLC (hereinafter referred to "Applicant") filed an Application requesting approval of Development Plan, File No. PDEV23-011, as described in the Subject of this Decision (herein after referred to as "Application" or "Project"); and

WHEREAS, the Application applies to 43 acres of land generally located south of Schaefer Avenue, north of existing residential, vacant and agricultural properties, east of Euclid Avenue, and west of future Sultana Avenue and is presently occupied by agricultural and dairy uses; and

WHEREAS, the properties to the north of the Project site are within the SP (Specific Plan) zoning district and contain agricultural uses. The properties to the south are within the SP zoning district and include vacant land and dairy farm uses. The properties to the east are within the SP zoning district and are vacant. The properties to the west are located within the City of Chino and improved with commercial, residential and trailer storage uses; and

WHEREAS, the Project site is located within the SP (Specific Plan), AG (Agricultural Overlay), and Chino Airport (CNO) Overlay and requires the establishment of a Specific Plan document with development standards and regulations prior to commencement of new construction projects on the Project site; and

WHEREAS, the Applicant filed the Euclid Mixed Use Specific Plan (EMUSP) (File No. PSP22-001) application to establish development standards and regulations for the 84-acre Specific Plan area, including the Project Site; and

WHEREAS, the proposed EMUSP is scheduled for consideration by the Planning Commission at its July 23, 2024, meeting; and

WHEREAS, the Project is contingent on approval of the proposed Euclid Mixed Use Specific Plan and certification of the associated Environmental Impact Report; and

WHEREAS, the Project site is located within Planning Areas 1 and 2A of the proposed EMUSP, which among other things, would allow for business park and mixed-use development; and

WHEREAS, the Project includes the development of 12 business park buildings collectively totaling 882,538 square feet and associated site improvements including parking, landscape, infrastructure, among others, on approximately 43 acres of land within the Project Site; and

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Euclid Mixed Use Specific Plan Environmental Impact Report (State Clearinghouse No. 2023020281) was prepared, in which development and use of the Project site was discussed, and is scheduled for consideration by the Planning Commission at its July 23, 2024 regular meeting; and

WHEREAS, the environmental impacts of this Project were thoroughly analyzed in the Euclid Mixed Use Specific Plan Environmental Impact Report, which concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon

consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as "ONT ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, the Project is also located within the Chino Airport Overlay Zoning District (hereinafter referred to as "CNO OZD" and Reference I, Chino Airport Land Use Compatibility Plan (hereinafter referred to as CNO ALUCP) established in the City of Ontario Development Code. As the recommending body for the Subdivision, the DAB has considered and reviewed the facts and information contained in the Application and supporting documentation against the ONT ALUCP and CNO ALUCP compatibility factors, including safety, Airspace Protection, Overflight. As a result, the DAB therefore finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP and the CNO ALUCP.

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on July 1, 2024, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

PART 2: THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND, DETERMINED AND DECIDED by the Development Advisory Board of the City of Ontario as follows:

SECTION 1: Environmental Determination and Findings. As the recommending body for the Project, the DAB has considered the background information related to the Euclid Mixed Use Specific Plan and supporting documentation and finds as follows:

(1) The environmental impacts of this Project were reviewed in conjunction with File Nos. PSP22-001, Euclid Mixed Use Specific Plan, for which the Euclid Mixed Use Specific Plan Environmental Impact Report (EMUSP EIR) (State Clearinghouse No. 2023020281) was prepared and will be considered by the Planning Commission on July 23, 2024; and

- (2) The EMUSP EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and
- (3) The EMUSP EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and
- (4) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the EMUSP EIR, and all mitigation measures proposed in the EMUSP EIR, are incorporated herein by this reference.

SECTION 2: Subsequent or Supplemental Environmental Review Not Required. Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental EMUSP EIR is not required for the Project, as the Project:

- (1) Does not constitute substantial changes to the EMUSP EIR that will require major revisions to the EMUSP EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
- (2) Does not constitute substantial changes with respect to the circumstances under which the EMUSP EIR was prepared, that will require major revisions to the EMUSP EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and
- (3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the EMUSP EIR was prepared, that shows any of the following:
 - (a) The Project will have one or more significant effects not discussed in the EMUSP EIR; or
 - (b) Significant effects previously examined will be substantially more severe than shown in the EMUSP EIR; or
 - (c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or
 - (d) Mitigation measures or alternatives considerably different from those analyzed in the EMUSP EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and

information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Housing Element Sites contained in Tables B-1 and B-2 (Housing Element Sites Inventory) of the Housing Element Technical Report.

SECTION 4: Airport Land Use Compatibility Plan (ALUCP) Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan.

(1) On April 19, 2011, the City Council of the City of Ontario approved and adopted the ONT ALUCP, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the Development Advisory Board has reviewed and considered the facts and information contained in the Application and supporting documentation against the ONT ALUCP compatibility factors, including [1] Safety Criteria (ONT ALUCP Table 2-2) and Safety Zones (ONT ALUCP Map 2-2), [2] Noise Criteria (ONT ALUCP Table 2-3) and Noise Impact Zones (ONT ALUCP Map 2-3), [3] Airspace protection Zones (ONT ALUCP Map 2-4), and [4] Overflight Notification Zones (ONT ALUCP Map 2-5). As a result, the Development Advisory Board, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ONT ALUCP.

(2) On August 22, 2022, the City Council of the City of Ontario approved and adopted a Development Code Amendment to establish the Chino Airport ("CNO") Overla Zoning ("OZD") and Reference I, Chino Airport Land Use Compatibility Plan ("CNO ALUCP"). The CNO OZD and CNO ALUCP established the Airport Influence Area for Chino Airport, solely within the City of Ontario, and limits future and uses and development within the Airport Influence Area, as they relate to safety, airspace protection, and overflight impacts of current and future airport activity. The CNO ALUCP is consistent with policies and criteria set forth within the Caltrans 2011 California Airport Influence Area of Chino Airport and was evaluated and found to be consistent with the California Airport Land Use Planning Handbook and the CNO ALUCP. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the CNO ALUCP compatibility factors, including Safety, Airspace Protection, Overflight. As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Business Park (BP): 0.60 FAR and Mixed Use – Great Park (MU-Great Park): 14.0 to 65.0 du/ac; 1.5 FAR office; and 1.0 FAR retail of the Policy Plan Land Use Map, and the proposed Euclid Mixed Use Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Pla; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and Business Park and Mixed Use land use districts of the proposed Euclid Mixed Use Specific Plan, including standards relative to the particular land use proposed, as-well-as building intensity, building and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions, among others; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the Project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed Project.*** The Development Advisory Board has required certain safeguards, and imposed certain conditions of approval, which have been established to ensure that: [i] the purposes of the Euclid Mixed Use Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Euclid Mixed Use Specific Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Euclid Mixed Use Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and

guidelines specifically related to the particular land use being proposed (industrial). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Euclid Mixed Use Specific Plan.

SECTION 6: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Conditions of Approval included as Attachment A of this Decision and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 1st day of July 2024.

Development Advisory Board Chairman

Attachment A: Conditions of Approval

(Conditions of Approval follow this page)

Date Prepared: 5/31/2024
File No: PDEV23-011
Related Files: PMTT23-005, PDA23-004

Project Description: A Development Plan to construct 12 business park industrial buildings totaling 882,538 square feet on approximately 43 acres of land generally located east of Euclid Avenue, south of Schaefer Avenue, west of Sultana Avenue and north of Edison Avenue within a proposed Euclid Mixed Use Specific Plan; (APNs: 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04); **submitted by Euclid Land Investment LLC.**

Prepared By: Edmelynn V. Hutter, AICP, Senior Planner
Phone: 909.395.2429 (direct)
Email: ehutter@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape

and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11). Final design and placement of bicycle parking facilities shall be subject to Planning Department review and approval.

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

Screen Wall Height	Minimum Gate Height
14 feet:	10 feet
12 feet:	9 feet
10 feet:	8 feet
8 feet:	8 feet
6 feet:	6 feet

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs.

(a) All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noise levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

- (i)** Landscaping and irrigation systems within common areas;
- (ii)** Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;
- (iii)** Shared parking facilities and access drives; and
- (iv)** Utility and drainage easements.

(d) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(e) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(f) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.13 Environmental Requirements.

(a) The environmental impacts of this project were reviewed in conjunction with the Euclid Mixed Use Specific Plan Environmental Impact Report (State Clearinghouse No. 2023020281). This application introduces no new significant environmental impacts. All adopted mitigation measures are a condition of approval and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.14 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.15 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.16 Related Applications.

(a) Development Plan approval shall not be final and complete until such time that related File No. PSP22-001 has been approved by the City Council.

(b) Development Plan approval shall not be final and complete until such time that related File No. PDA23-004 has been approved by the City Council.

(c) Development Plan approval shall not be final and complete until such time that related File No. PMTT23-005 has been approved by the Planning Commission.

2.17 Public Art. The Project is subject to the requirements of the City's Public Art Ordinance (Ontario Municipal Code Section 5-33.05, Private Art for Public Enjoyment in Commercial and Industrial Development Projects).

2.18 Final Occupancy. The Project Architect of record will certify that construction of each building site and the exterior elevations of each structure shall be completed in compliance with the approved plans. Any deviation to approved plans shall require a resubmittal to the Planning Department for review and approval prior to construction. The Occupancy Release Request Form/Architect Certificate of Compliance shall be provided prior to final occupancy. After the receipt of this Certification, the Planning Department will conduct a final site and exterior elevations inspection. The Owner's Representative and Contractor shall be present.

2.19 Additional Requirements.

(a) The Euclid Mixed Use Environmental Impact Report (State Clearing House No. 2023020281) Mitigation and Monitoring Table shall be included in the construction plan set for the project.

(b) Approval of PDEV23-011 excludes Building 13 and related site improvements. Future development of the related site (Parcel 13 of Tentative Parcel Map No. 20714) shall require submittal and approval of a Development Plan application. Improvements related to common facilities such as neighborhood edge, utilities, street improvements, etc. shall be allowed.

(c) Approval of PDEV23-011 excludes improvements or uses on Lots A and B, the Southern California Edison utility easements. Future improvements and uses on these Lots shall require submittal and approval of Development Plan and/or Conditional Use Permit applications, pursuant to the requirements set forth in Development Code and Euclid Mixed Use Specific Plan.

(d) The Reduction Measures identified in the Project's Greenhouse Gas Emissions Screening Table shall be incorporated into the Project's design, CC&Rs, and operational procedures where applicable.

(e) The Applicant shall incorporate additional architectural details into the building elevation designs that reduce building massing, incorporate design accents such as form liner texture and/or additional material, break up long expanses of building walls, and achieve more vertical and horizontal dimension. The Applicant shall collaborate with the Planning Department and final building design shall be determined during the plan check process.

(f) The Applicant shall prepare a covenant to the Project site that restricts the use of the property/building to warehousing and distribution, unless an alternative parking plan is provided, which demonstrates that on-site parking can support more intense business park land uses.

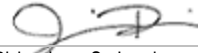
(g) Required truck trailer parking locations shall be outside vehicle and truck maneuvering areas and shall not obstruct dock doors, trash enclosures, and other operational functions of the building site.

(h) Passenger vehicle parking spaces within the screened truck yard areas may be utilized for other allowable uses when tenant operations do not necessitate utilizing said parking spaces. Permanent structures shall not occupy areas designated for vehicle parking.

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

PRELIMINARY PLAN
CORRECTIONS

Sign Off



Jamie Richardson, Sr. Landscape Architect

05/24/2024

Date

Reviewer's Name:

Jamie Richardson, Sr. Landscape Architect

Phone:

(909) 395-2615

D.A.B. File No.:

PDEV23-011, PMTT23-005

Case Planner:

Edmelynn Hutter

Project Name and Location:

13 Industrial Buildings
 East of Euclid, South of Schaefer, West of Sultana and North of Edison

Applicant/Representative:

RCCD Inc. – Jason Lee
 8101 E Kaiser Blvd., Suite 140
 Anaheim Hills, CA 92808



Preliminary Plans (dated 05/24/2024) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.



Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.

PREVIOUS COMMENTS/Second Request; additional clarification provided in red.
Civil/Site Plans

1. Replacement and mitigation for removed trees shall equal the trunk diameter of heritage trees removed per the Development Code Tree Preservation Policy and Protection Measures, section 6.05.020. A total of 656 inches of heritage tree trunk diameter is identified to be removed; see below for mitigation.
2. Show on demo plans and landscape construction plans trees to be preserved, removed or mitigation measures for trees removed, such as:
 - a. New 15-gallon trees min 1" diameter trunk, in addition to trees required. A total of 656 trees required
 - b. New 24" box trees min 1.5" diameter trunk, in addition to trees required. A total of 437 trees required.
 - c. Upsizing trees on the plan one size larger such as 15 gallon to 24" box, or 24" to 36" box size.
 - d. Monetary value of the trees removed, as identified in the "Guide for Plant Appraisal," approved certified arborist plant appraiser, may be equal to the value of the installation cost of planting, fertilizing, staking, and irrigating 15-gallon trees (100\$ each) to the City of Ontario Historic Preservation Fund for city tree planting or city approved combination of the above items. A total monetary value of \$65,600.
3. Show and note a 10' total space, 5' clearance on each side of the tree from any utility or hardscape, including water, sewer, drain lines, and driveways, and 10' clear from street lights. Relocate utilities to minimum clearances to allow parkway trees.
4. Corners; verify dimension and grade for any required monumentation. Adjacent walls shall not interfere with the required monumentation.
5. DG trails and parkways at corners shall have the trail curve into the sidewalk rather than out to the corner ramp; OK to end the parkway landscape before corner utilities.

6. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
7. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
8. Show backflow devices set back 4' from paving on all sides. Locate on level grade.
9. Locate utilities, including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations—coordinate civil plans with landscape plans.
10. Provide a utility clear space 8' wide in parkways and 30' apart for street trees.
11. Show corner ramp and sidewalk per city standard drawing 1213 with max 10' or 13' of ramp and sidewalk behind corners.
12. Show site plan landscape calculations to show the site with landscaping, not including the right of way or paving.
13. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.
14. Show an accessible access route from the public sidewalk, an accessible path to employee break area, and an accessible path to adjacent industrial buildings within the same development.

Landscape Plans

15. Provide an arborist report and tree inventory, as noted in #1.
16. CFD landscape improvement plans are to be submitted to the Engineering Department for the Euclid median, Euclid Ave, Schaeffer Avenue, and Ontario Ranch Road/Edison Avenue.
17. Cistus and Dodonaea have not been performing well in Ontario Ranch. Limit the use of Lantana (overgrows planter spaces, is sensitive to frost, and gets woody) to planter spaces 8' wide in all directions. Limit ornamental grasses (difficult to maintain in masses) such as Muhlenbergia c. 'Regal Mist,' Pennisetum, Sesleria, and Agaves (sensitive to frost) to accent areas.
18. Show minimum on-site tree sizes per the Landscape Development standards; see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
19. During the plan check, provide an overall exhibit showing water meter locations, including POC and controllers.
20. Show backflow devices with 36" high strappy leaf shrub screening, trash enclosures, transformers, and a 4'-5' high evergreen hedge screening. Do not encircle utility; show as masses and duplicate masses in other locations at regular intervals.
21. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
22. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
23. Show corner ramp and sidewalk per city standard drawing 1213.
24. Show landscaping in the perimeter planters and trees spaced 30' apart.
25. Locate trees for shade on buildings, parking lots, seating areas, and paving. Locate trees 50% of the canopy width from walls, buildings, and existing trees. Screen blank walls and adjacent properties where missing, accent trees to entries and driveways, and provide visibility to signs, windows, and doors.
26. Show an 8' diameter of mulch only at new trees—detail irrigation dripline outside of mulched root zone.
27. Overhead spray systems shall be designed for plant material less than the height of the spray head.
28. Designer or developer to provide agronomical soil testing and include a report on landscape construction plans.
29. Show 25% of trees as California native (Platanus racemosa, Quercus agrifolia, Quercus wislizenii, Quercus douglasii, Cercis occidentalis, etc.) in appropriate locations.
30. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
31. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PMTT23-005 and PDEV23-011

Address: Southeast corner Schaefer Avenue and Euclid Avenue

APN: 1053-071-01 thru 04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01 thru 04

Existing Land Use: Vacant

Proposed Land Use: Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet

Site Acreage: 60 Proposed Structure Height: 48 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT and Chino Airport

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Edmelynn Hutter

Date: 6/26/2024

CD No.: 2023-018

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="checkbox"/> High Terrain Zone	<input type="checkbox"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input type="checkbox"/> FAA Notification Surfaces	<input type="checkbox"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="checkbox"/> 65 - 70 dB CNEL	<input type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="checkbox"/> Zone 3	<input type="checkbox"/> 60 - 65 dB CNEL	<input type="checkbox"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 FT +	
<input type="radio"/> Zone 5			

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: 75 - 105 FT

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

The proposed project is located within the Airport Influence Area of Chino Airport and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for Chino Airport.

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2022-021
PALU No.: 2023-018

PROJECT CONDITIONS

The maximum height limit for the project site is 75 feet and as such, any construction equipment such as cranes or any other equipment exceeding 70 feet in height will need a determination of "No Hazard" from the FAA. An FAA Form 7460-1 for any temporary objects will need be filed with the FAA and approved prior to operating such equipment on the project site during construction.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Land Development Division, Environmental Section, Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

<input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES
PROJECT FILE NO. PM-20714 RELATED FILE NO(S). PMTT23-005, PDEV23-011	
<input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__	

CITY PROJECT ENGINEER & PHONE NO: **Angela Truong (909) 395-2134**

CITY PROJECT PLANNER & PHONE NO: **Edmelynne Hutter (909) 395-2429**

DAB MEETING DATE: **July 1st, 2024**

PROJECT NAME / DESCRIPTION: **A Parcel Map to subdivide approximately 60 acres of land into 13 numbered lots and 2 lettered lots and a Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet within the Euclid Mixed Use Specific Plan.**

LOCATION: **E/O Euclid Avenue, S/O Schaefer Avenue, W/O Sultana Avenue, and N/O Edison Avenue**

APPLICANT: **RCCD Inc.**

REVIEWED BY: Raymond Lee 6/27/24
 Raymond Lee, P.E. **Date**
 Assistant City Engineer

APPROVED BY: Khoi Do 6-27-24
 Khoi Do, P.E. **Date**
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1.	PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL:	Check When Complete
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- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:**
 - A. 4 to 21 feet on Schaefer Avenue to achieve ultimate ROW-CL of 54 feet
 - B. All right-of-way necessary to construct the temporary full cul-de-sac at the southern termination point of Sultana Avenue. See Sec. 2.39(4).
 - C. All right-of-way necessary to install an all-way stop at the intersection of Schaefer Avenue and Sultana Avenue. See Sec. 2.39(9).

Property line corner 'cut-back' required at the intersection of

- A. Schaefer Avenue and Sultana Avenue
- B. Schaefer Avenue and Euclid Avenue

- 1.02 Dedicate to the City of Ontario, the following easement(s):**
 - A. 23 feet on Schaefer Avenue for the neighborhood edge (landscape, trail, sidewalk, storm water treatment, communication, utility, or any other lawful public purposes)
 - B. 35 feet on Euclid Avenue for the neighborhood edge (landscape, trail, sidewalk, storm water treatment, communication, utility, or any other lawful public purposes)
 - C. 10 feet on Sultana Avenue for the landscape buffer

- 1.03 Restrict vehicular access to the site as follows:** _____

- 1.04 Vacate the following street(s) and/or easement(s):**
 - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.

- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.**

- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.**

- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.**



- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
- (1) _____
- (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.
- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
- 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
- 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
- 3) Provide evidence of Phase 2 Water improvement payment as an alternative to construction of the Phase 2 Water Improvements required by the Euclid Mixed Use Specific Plan. Refer to Section 4.5.2 of the Development Agreement (PDA23-004).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map No. 20714 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per _____.
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.



- 2.05 Apply for a:
 - Certificate of Compliance with a Record of Survey;
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 **Submit a soils/geology report.**
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: City of Chino (for improvements on Euclid Avenue)**
- 2.10 Dedicate to the City of Ontario the right-of-way described below:

_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____ and _____.
- 2.11 Dedicate to the City of Ontario the following easement(s): _____
- 2.12 Vacate the following street(s) and/or easement(s):
 - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 2.13 **Ontario Ranch Developments:**
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the



Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.

2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.

3) **Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall.**

- 2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.15 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.16 **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$1,708,246.33, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan and the DIF rate at the time of payment.**
- 2.17 Other conditions: _____



B. PUBLIC IMPROVEMENTS

(See attached Exhibit 'A' for plan check submittal requirements.)

- 2.18 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

Improvement	Schaefer Avenue	Sultana Avenue	Euclid Avenue	Street 4
Curb and Gutter	<input checked="" type="checkbox"/> New; 42 to 49 ft. from C/L (A) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 24 ft. from C/L (D) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; 85 ft. from C/L (G) <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace
AC Pavement	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen along frontage, including pavm't transitions (B, C)	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> New (F)	<input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen along frontage, including pavm't transitions (H)	<input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions
PCC Pavement (Truck Route Only)	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New, see Sec. 2.39(13) <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Drive Approach	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Sidewalk	<input checked="" type="checkbox"/> New (A) <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (E) <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New (G) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
ADA Access Ramp	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace
Parkway	<input checked="" type="checkbox"/> Trees (A) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (A)	<input checked="" type="checkbox"/> Trees (E) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (E)	<input checked="" type="checkbox"/> Trees (G) <input checked="" type="checkbox"/> Landscaping (w/irrigation) (G)	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation)
Raised Landscaped Median	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace	<input checked="" type="checkbox"/> New; full-width (66' feet) (I) <input type="checkbox"/> Remove and replace	<input type="checkbox"/> New <input type="checkbox"/> Remove and replace



Fire Hydrant	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Sewer (see Sec. 2.C)	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Water (see Sec. 2.D)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Recycled Water (see Sec. 2.E)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service	<input type="checkbox"/> Main <input type="checkbox"/> Service
Traffic Signal System (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Traffic Signing and Striping (see Sec. 2.F)	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Street Light (see Sec. 2.F)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation	<input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation
Bus Stop Pad or Turn-out (see Sec. 2.F)	<input checked="" type="checkbox"/> New, see Sec. 2.39(14) <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing	<input checked="" type="checkbox"/> New, see Sec. 2.39(15) <input type="checkbox"/> Modify existing	<input type="checkbox"/> New <input type="checkbox"/> Modify existing
Storm Drain (see Sec. 2.G)	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral	<input type="checkbox"/> Main <input type="checkbox"/> Lateral
Fiber Optics (see Sec. 2.K)	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input checked="" type="checkbox"/> Conduit / Appurtenances	<input type="checkbox"/> Conduit / Appurtenances
Overhead Utilities	<input checked="" type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate	<input checked="" type="checkbox"/> Underground <input checked="" type="checkbox"/> Relocate	<input type="checkbox"/> Underground <input type="checkbox"/> Relocate
Removal of Improvements	_____	_____	_____	_____
Other Improvements	All-way stop at the intersection of Schaefer Avenue and Sultana Avenue, Sec. 2.39(9)	Temporary cul-de-sac at the proposed southern terminus, Sec. 2.39(4)	_____	_____

Specific notes for improvements listed in item no. 2.18, above:

- A. South side along project frontage.
- B. Ultimate half-width (42-foot to 49-foot pavement width + 7-foot striped median) on south side along project frontage.



- C. A 7-foot striped median, 14-foot circulation lane and a 5-foot paved shoulder are required on the north side along project frontage.
- D. West and east side along project frontage.
- E. West side along project frontage.
- F. Ultimate full-width (48-foot pavement width) on east and west side along project frontage.
- G. East side along project frontage.
- H. Ultimate half-width (52-foot pavement width) on east side along project frontage.
- I. The applicant/developer shall coordinate with the City of Chino, including, but not limited to, their infrastructure requirements and the reimbursement of said improvements. If the City of Chino is not able to reimburse for the improvements within the City of Chino, then the improvements within the City of Chino may not be required.

- 2.19 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): _____
- 2.20 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.21 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.22 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892).
- 2.23 Other conditions: _____

C. SEWER

- 2.24 A 16-inch sewer main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after sewer infrastructure of PM-20016 is accepted (Ref: Sewer Drawing Number: S16627)
- 2.25 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately 3,000 feet away.
- 2.26 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.27 Other conditions:
 - 1) See Exhibit B for additional Sewer Conditions of Approval from OMUC.

D. WATER

- 2.28 A 30-inch water main is available for connection by this project in Grove Avenue after water infrastructure of M-1312 is accepted (Ref: Water Drawing Number: W16989). A 16-inch water main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after water infrastructure of PM-20016 is accepted (Ref: Water Drawing Number: W16874).
- 2.29 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately 3,000 feet away.
- 2.30 Other conditions:
 - 1) See Exhibit B for additional Water Conditions of Approval from OMUC.

E. RECYCLED WATER

- 2.31 A 12-inch recycled water main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after recycled water infrastructure of PM-20016 is accepted (Ref:



Recycled Water Drawing Number: P11883).

- 2.32 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.33 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.34 Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.

Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678 or email OMUCWQPlanCheck@ontarioca.gov regarding this requirement. Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.
- 2.35 Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.
- 2.36 Other conditions:
 - 1) See Exhibit B for additional Recycled Water Conditions of Approval from OMUC.

F. TRAFFIC / TRANSPORTATION

- 2.37 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.38 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.39 Other conditions:
 - 1) The Applicant/Developer shall be responsible to design and construct street improvements along property frontages of Euclid Avenue, Schaefer Avenue, and Sultana Avenue in accordance with conditions issued by City's Land Development Division. These, and all other street improvements required herein, shall include, but not be limited to, concrete curb and gutter, sidewalk, LED street lights, signing and striping, pavement transitions to existing conditions and parkway landscaping.
 - 2) The Applicant/Developer shall be responsible to design and construct Euclid Avenue to its ultimate half-width along project frontage (15-foot parkway + 52-foot pavement + 66-foot raised median). The Applicant/Developer shall coordinate any work and improvements on Euclid Avenue with the City of Chino.
 - 3) If at the time of development of PDEV23-011, Schaefer Storage Specific Plan (PSP20-001/PDEV20-018) has not constructed Sultana Avenue widening improvements, the Applicant/Developer shall be responsible to design and construct Sultana Avenue to its full width curb to curb (48') along project frontage.
 - 4) The Applicant/Developer shall be responsible to design and construct temporary full cul-de-sac at the southern termination point of Sultana Avenue along the project frontage in accordance with the City of Ontario Standard Drawing No.1102.



- 5) **The Applicant/Developer shall be responsible to design and construct Schaefer Avenue to its ultimate half-width along project frontage (12-foot parkway + 42-foot pavement + 14-foot striped median + 14-foot circulation lane + 5-foot paved shoulder).**
- 6) **If at the time of development of PDEV23-011, Schaefer Storage Specific Plan (PSP20-001/PDEV20-018) has not constructed widening improvements along Schaefer Avenue, the Applicant/Developer shall be responsible to design and construct pavement widening and signing/stripping improvements on Schaefer Avenue at Sultana Avenue intersection as necessary to accommodate a westbound left turn lane onto the new segment of Sultana Avenue including required pavement transitions and intersection lighting.**
- 7) **The Applicant/Developer shall be responsible to design and construct pavement transitions and signing/stripping improvements (at the intersections listed below) beyond the project frontage to transition from existing roadway width to the widened section.**
 - a. **Euclid Avenue north of Schaefer Avenue**
 - b. **Schaefer Avenue west of Euclid Avenue**
 - c. **Schaefer Avenue east of future Sultana Avenue**
- 8) **The Applicant/Developer shall be responsible to design and construct in-fill public street lights and a potential new service as needed along its project frontages of Euclid Avenue, Schaefer Avenue, and Sultana Avenue. Street lighting shall be LED-type and in accordance with City's Approved Material List LED Luminaires. The Applicant/Developer shall also install smart nodes on all new street light fixtures along project frontage.**
- 9) **The Applicant/Developer shall be responsible to install an all-way stop at the intersection of Schaefer Avenue and Sultana Avenue.**
- 10) **The Applicant/Developer shall be responsible to design and construct modifications to the existing traffic signal on Euclid Avenue at Schaefer Avenue. The traffic signal modification shall address relocation of any equipment including video detection, CCTV, fiber optic communication conduit, cable and equipment, emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.**
- 11) **Proposed driveways on Euclid Avenue shall be restricted to right-in/right-out access only. On-site signage and pavement markings shall be provided for driveway access restrictions.**
- 12) **Parking shall be restricted all along project frontages and shall be signed "No Parking Any Time" or "No Stopping Any Time".**
- 13) **Euclid Avenue is a designated truck route in the City of Ontario. The Applicant/Developer shall be responsible to design and construct concrete approaches for all lanes at the intersection of Euclid Avenue at Schaefer Avenue in accordance with City of Ontario Standard Drawing No. 1207.**
- 14) **The Applicant/Developer shall be responsible to design and construct a concrete bus pad to serve the future stop on the south side Schaefer Avenue, east of Euclid Avenue. The pad shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.**
- 15) **The Applicant/Developer shall be responsible to design and construct a concrete bus turnout to serve the future stop on the eastside of Euclid Avenue, north of Ontario Ranch Road. The Bus turnout shall be designed in accordance with Omnitrans requirements and to the satisfaction of the City Engineer.**



- 16) Design and construct proposed driveways in accordance with City of Ontario Standard Drawing No. 1204 for Commercial Driveway.
- 17) All landscaping, block walls, and other obstructions shall be compatible with the stopping sight distance requirements per City of Ontario Standard Drawing No. 1309.
- 18) The Applicant/Developer's engineer-of-record shall meet with City Engineering staff prior to designing and submitting for plan check the street lighting, traffic signal and signing/ striping design plans to define limits of improvements.

G. DRAINAGE / HYDROLOGY

- 2.40 A _____ inch storm drain main is available to accept flows from this project in _____. (Ref: Storm Drain Drawing Number: _____)
- 2.41 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.42 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.43 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.44 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.45 Other conditions:
 - 1) Design and construct a 90" to 102" storm drain line along Euclid Avenue from Schaefer Avenue to Eucalyptus Avenue. A 102" storm drain main is available for connection by this project in Euclid Avenue north of Eucalyptus Avenue after storm drain infrastructure of PM-20016 is accepted (Ref: Storm Drain Drawing Number: D14489).
 - 2) Design and construct a 48" to 90" storm drain line along Schaefer Avenue from Sultana Avenue to Euclid Avenue and connect to the proposed storm drain on Euclid Avenue.
 - 3) Design and construct a 36" storm drain line along Sultana Avenue from Schaefer Avenue to approximately 750 feet south of Schaefer Avenue.

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.46 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.

If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.



- 2.47 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.
- 2.48 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.49 Other conditions: _____

J. SPECIAL DISTRICTS

- 2.50 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Financial Services Agency at (909) 395-2015 or email CFD@ontarioca.gov to initiate the CFD application process.
- 2.51 Other conditions: _____

K. FIBER OPTIC

- 2.52 A _____ fiber optic line is available for connection by this project in _____. (Ref: Fiber Optic Drawing Number: _____)
- 2.53 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole. See Exhibit C for Conditions of Approval from Broadband Operations.
- 2.54 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.



- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV23-011, and/or Parcel Map No. 20714

All plan check submittals are to be done digitally through the City Of Ontario Citizen Portal Access. The following items are to be included with the first plan check submittal:

1. A copy of this check list
2. Payment of fee for Plan Checking
3. Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.
4. Project Conditions of Approval
5. Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).
6. Public Street improvement plan with street cross-sections
7. Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)
8. Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)
9. Public Sewer improvement plan
10. Public Storm Drain improvement plan
11. Public Street Light improvement plan
12. Signing and Striping improvement plan
13. Fiber Optic plan (include Auto CAD electronic submittal)
14. HOA Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
15. CFD Landscape improvement plans. Show corner sight line distance per engineering standard drawing 1309.
16. Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)
17. Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.
18. Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).
19. Hydrology/Drainage study



- 20. Soils/Geology report
- 21. Payment for Final Map/Parcel Map processing fee
- 22. Final Map/Parcel Map
- 23. Approved Tentative Map
- 24. Preliminary Title Report (current within 30 days)
- 25. Traverse Closure Calculations
- 26. Set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 27. Supplemental Engineering Report, in electronic format (PDF format), for recycled water use only. Must be reviewed and submitted to the Division of Drinking Water by OMUC Water Quality Programs before clearing plan check workflows (includes grading and landscape plan reviews). *Approval letter issued by the Division of Drinking Water must be obtained before meter installation and if applicable, occupancy release.*
- 28. Other: _____



CITY OF ONTARIO MEMORANDUM



DATE: June 27, 2024
TO: Angela Truong, Engineering Department
CC: Edmelynne Hutter, Planning Department
FROM: Jeff Krizek, Utilities Engineering Division (QCR: EW & HY)
SUBJECT: DPR4.1 Utilities Engineering Conditions of Approval (COAs) (#10254a #10253a)
PROJECT NO.: PM-20717 (PMTT23-005) & PDEV23-011

BRIEF DESCRIPTION:

PM-20717 (PMTT23-005): A Parcel Map to subdivide approximately 60 acres of land into 13 numbered lots and 2 lettered lots generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PDEV23-011.

PDEV23-011: A Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet on approximately 60 acres of land generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific Plan (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PMTT23-005.

OMUC UTILITIES ENGINEERING DIVISION CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL: *The Ontario Municipal Utilities Company (OMUC) Utilities Engineering Division recommends this application for approval subject to the Conditions of Approval outlined below and compliance with the City's Design Development Guidelines, Specifications Design Criteria, and City Standards. The Applicant shall be responsible for the compliance with and the completion of all the following applicable Conditions of Approval prior to the following milestones and subject to compliance with City's Design Development Guidelines, Specifications Design Criteria, and City Standards:*

General Conditions:

1. **Standard Conditions of Approval:** Project shall comply with the requirements set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017, or as amended or superseded by Council Resolution; as well as project-specific conditions/requirements as outlined below.

Prior to Issuance of Any Permits (Grading, Building, Demolition and Encroachment), unless other timeline milestones are specified by individual conditions below, the Applicant Shall:

General Conditions (Section 2.A, Other conditions): The Applicant shall comply with the following:

2. **Inherited Requirements and Conditions of Approval:** This project is subject to all the Requirements and Conditions of Approval of related entitlements: Euclid Mixed-Use Specific Plan, as amended. Any conflict in Conditions of Approval and requirements, the Conditions of Approval below for this Project will supersede previous Conditions of Approval.
3. **Final Utilities Systems Map (USM):** Submit a Final Utilities Systems Map (USM) as part of the precise grading plan submittal that meets all the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements. See Utility Systems Map (USM) Requirements document for details.

4. **Unused Service Abandonment:** All adjacent water services (along with connected appurtenances) and sewer laterals and main stubs along the frontages of the project site not used to provide service to this Development Project shall be abandoned back to the main in accordance with City Standards and Practices.
5. **Public Utilities and Public Right-of-Way including Public Utility Easements (PUE):** All City of Ontario Public Utilities shall be installed within a Public Right-of-Way (RoW), or within a Public Utility Easements (PUE), or within a combination of RoW and PUE. In this case, Public Utilities is referring to the mains and connected appurtenances of the following City of Ontario/OMUC Utilities: Public Potable Water; Public Recycled Water; and Public Sanitary Sewer. Public Utilities shall be subject to the Minimum RoW/PUE Area Requirements and PUE Restrictions:
 - a. **Minimum RoW Area Requirements:** Public Utilities shall be installed within in existing RoW/PUE in alignments/locations that meet the following minimum RoW/PUE areas surrounding the Public Utilities, and/or additional RoW/PUE shall be dedicated/granted to the City to provide the following minimum RoW/PUE areas surrounding the Public Utilities:
 - i. For each main, the RoW/PUE Area shall be a minimum of 20 feet wide, centered on the utility main with a minimum of 10 feet of RoW/PUE on each side of the main and this minimum area shall extend a minimum for 10 feet past the end of a main;
 - A. The surface of this Area above the main shall be designed and graded/constructed to allow vehicle access over and along the full length of the utility main by any City maintenance vehicle.
 - ii. For each Service/Lateral, the RoW/PUE Area shall be a minimum of 10 feet wide, centered on the service/lateral with a minimum of 5 feet of PRow on each side of each service/lateral;
 - iii. For each water meter box, the RoW/PUE Area shall be a minimum of 5 feet behind and 5 feet on each side of a water meter box;
 - iv. For each water appurtenances (fire hydrants, blowoffs, airvacs, etc), the RoW/PUE Area shall be a minimum of 5 feet on each side surrounding the water appurtenances (fire hydrants, blowoffs, airvacs, etc);
 - v. The RoW/PUE minimum areas for separate Public Utilities may overlap, provide that all minimum separations and PUE Restrictions are met.
 - b. **PUE Restrictions:** The Minimum Row/PUE Area required surrounding Public Utilities shall be subject to the following restrictions:
 - i. The Minimum PUE Area required surrounding Public Utilities shall not contain:
 - A. Any storm water quality improvements (infiltration, detention, retention, bioswale, etc);
 - B. Landscaping with thick or intrusive root structures,
 - C. Any trees;
 - D. Any private utilities, plumbing lines, private fire system, or irrigation lines; or,
 - E. Any permanent structures or overhangs of permanent structures.
 - ii. **Minimum Separations:** Within a PUE, all Department of Drinking Water (DDW) Water Main Separations per California Code of Regulations (CCR) §64572 shall be met for all Public Potable Water Mains and Services between: all Public City Utilities; Non-City Utilities; and Private Utilities. Additionally, the following Minimum Separations shall be met:
 - A. At minimum there shall be a 4 feet horizontal separation between each utility as measured between the outside walls of the utility pipelines, or in the case of a Joint Utility Trench, between the outside edge of the Joint Utility Trench and the outside wall of the Utility Pipeline. The minimum 4 feet horizontal separation also includes between services and service appurtenances and: other utilities (public or private) and utility appurtenances; any other objects or potentials obstructions (boxes, handholes, vaults, transformers, panels, poles and standards, signs, driveway approaches and wings/curb returns, trees, controllers, etc.); and any other items, as determined by the Ontario Municipal Utilities Company (OMUC).
 - B. Public Utility mains shall not be located behind curb or under curb & gutter and shall be located at minimum of 8 feet from curbface. With specific written permission of OMUC Management Staff, in rare circumstances, this 8 feet minimum can be reduced to 5 feet in specific locations where the 8 feet is not feasible, but at all locations the utilities alignments shall be optimized to meet this minimum location, while still maintaining all other minimum separation.
6. **Well Abandonment:** All existing Ground Water Wells shall be abandoned per County and State requirements prior to grading if they are not authorized to remain in service by the City's Water Resources Section.

7. Septic Tank Abandonment: All existing septic tank(s) on the property shall be abandoned per City, County, and State regulations and standards.

Sanitary Sewer Conditions (Section 2.C): The Applicant shall comply with the following:

8. Sanitary Sewer Infrastructure: The Project is limited to Public Sewer Mains within Public Streets in Publicly Dedicated Right-of-way for Streets and Public Sewer Mains are not allowed within private property or private streets/private drive aisles. The Project is required to install the following Public Sewer Mains and only to the extent necessary to serve each lot:
- a. Install a 16-inch main in Euclid Avenue connecting between the existing public sewer main at the intersection of Eucalyptus Ave and extending north through the intersection of Schaefer Avenue.
 - i. For the point of connection to the existing sewer, connect to the existing manhole and the next manhole shall be a minimum of 100 feet upstream. This means that if the proposed main is jogging out of the current northerly alignment, then the existing main stub needs to be removed and the manhole reconstructed/rechannelized to allow for a different inlet point.
 - b. The Public Sewer Mains shall be sized to meet the Design Criteria established in the Sewer Master Plan; and, the main sizes shall be calculated by hydraulic analysis at the time of final design of the sewer main. Any main sizes provided in these conditions are subject to change to meet the Design Criteria through hydraulic analysis calculations reviewed and approved by the City.
9. Sanitary Sewer Service:
- a. Each building and its onsite private sewer system shall discharge wastewater to the Public Sanitary Sewer System through a Public Sewer Lateral per Standard #2003. The quantity of Public Sewer Laterals for each building shall be limited to the minimum necessary to meet all of the conditions of approved and as limited by the City.
 - b. Public Sewer Laterals and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Public Sewer Lateral.
10. Private Onsite Sewer System and Plumbing: All proposed Onsite Sewer within Parcels 1 - 13, Lot A, and Lot B shall be private, privately maintained, and per Building Code and Plumbing Code requirements.
- a. For wastewater flows for non-residential uses:
 - i. The Onsite sewer system and building plumbing shall be designed in such a way that the sanitary domestic wastewater flows leave the building separately from non-sanitary wastewater flows (industrial, process, or kitchen, etc.) and the line for non-sanitary wastewater flows can be upgraded in the future to have pretreatment equipment and devices on it, as required by a Wastewater Discharge Permit.
 - ii. Each building and each connection from the Onsite Sewer System to the Public Sewer System shall have an onsite monitoring manhole prior to the point of connection with the Public Sewer System.
 - b. Private Onsite Sewer and Storm Water Quality Improvements: No storm water quality improvements (infiltration, detention, retention, bioswale, etc) shall be installed above or within 5 feet of any Private Onsite Sewer pipes.
11. Wastewater Discharge: For Non-Residential Uses: each Occupant of the building, or units, as applicable, shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply with all the requirements of their Wastewater Discharge Permit. Requirements of Wastewater Discharge Permit may include, but not limited to include installing a monitoring manhole, clarifier, interceptor, or other wastewater pretreatment equipment.
12. Septic Systems:
- a. Abandon any existing septic tank(s) on the property per State, County, and City standards.
 - b. Onsite Wastewater Treatment Systems (OWTS) are not allowed. The Entire Project shall connect to the Public Sewer.

Potable Water Conditions (Section 2.D): The Applicant shall comply with the following:

13. Phase 2 Water Improvements: As an alternative to construction of the Phase 2 Water Improvements required by the Euclid Mixed Use Specific Plan, Phase 2 Water Improvement payments shall be made by the Owner as described in the associated Development Agreement (PDA23-004).
14. Potable Water Infrastructure: The Project is limited to Public Potable Water Mains within Public Streets in Publicly Dedicated Right-of-way for Streets and Public Potable Water Mains are not allowed within private property or private streets/private drive aisles. The Project is required to install the following Public 925PZ Potable Water Mains and only to the extent necessary to serve each parcel/lot and achieve required looping:
 - a. Install a 16-inch main in Euclid Avenue connecting to the existing City public potable water main at the intersection of Eucalyptus Ave and extending north through the intersection of Schaefer Avenue.
 - b. Install a 16-inch main in Schaefer Avenue connecting from the proposed public potable water main at the intersection of Euclid Avenue and extending east to connect to the existing 30-inch City public potable water main in Grove Avenue.
 - c. A 12-inch main in Sultana Avenue connecting from the proposed public potable water main at the intersection of Schaefer Avenue and extending south to the southern Project Boundary.
 - d. The public potable water mains shall be sized to meet Fire Department Fire Flow requirements and the Design Criteria established in the Water Master Plan; and, the mains sizes shall be calculated by hydraulic analysis at the time of final design of the water main. Any main sizes provided in these conditions are subject to change to meet the Design Criteria through hydraulic analysis calculations reviewed and approved by the City.
 - i. The mains within Schaefer Avenue were to be 12-inch mains per the Water Master Plan and Development Impact Fee (DIF) Capital Program. However, due to timing of this Project ahead of construction/completion of the ultimate potable water system laid out in the Water Master Plan, hydraulic analysis has determined that the 12-inch mains were not sufficient given the Projects requirements and the limited existing master planned potable water system infrastructure. Therefore, due to the impacts from the timing of this Project, this Project is required install minimum 16-inch potable water mains in Schaefer Avenue, instead of master planned 12-inch mains and the changing in main size is solely the responsibility of this Project.
15. Potable Water Service:
 - a. Domestic Service:
 - i. Each building shall have its own potable water service and meter with backflow prevention device connected to the Public Potable Water System per City Standards.
 - b. Irrigation Service: For landscape irrigation uses that are not served by Recycled Water, the landscape irrigation uses shall have a separate irrigation water service and meter with backflow prevention device connected to the Public Potable Water System. The onsite landscape irrigation system shall be separate from the onsite domestic water plumbing system and the onsite fire system.
 - i. Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association.
 - c. Backflow Prevention: Each Meter connected to the Public Potable Water System that serves any use that is more than one (1) single family residential unit or any non-residential use requires a backflow prevention device per City Standards.
 - d. Fire Water Service: For onsite private Fire System uses, where the domestic water service and meters connected to the Public Potable Water System that serves any use that is more than one (1) single family detached residential unit, or any non-residential use:
 - i. If an onsite private fire system is required, then a separate Fire Service with Double Check Detector Assembly (DCDA) per City Standard #4208 connected to the Public Potable Water System is required, to serve the onsite private fire system. The onsite fire system shall be separate from the onsite domestic water plumbing system and the onsite landscape irrigation system.

- e. Fire Hydrants:
 - i. Fire Hydrants along Public Potable Water Mains shall be installed to be spaced a maximum of 300 feet apart or per Fire Department Standards/Requirements, whichever is closer.
 - ii. Existing Public Fire Hydrants along the Project frontage that do not meet current City Standards shall be abandoned back to main and replaced with new Fire Hydrants that meet current City Standards.
- f. Private Onsite Water System and Plumbing: All proposed Onsite Water Systems (Domestic, Fire, Irrigation) within Parcels 1 - 13, Lot A, and Lot B shall be private, privately maintained, and per Building Code and Plumbing Code requirements with master meters with backflows serving the Parcels/Lots and submeters for each unit.
- g. Relocated Services: For any existing service with appurtenances to be relocated, the service shall be abandoned back to the main connection and the service and appurtenances shall be installed new per related City Standards.

Recycled Water Conditions (Section 2.E): The Applicant shall comply with the following:

- 16. City Ordinance 2689: This development shall comply with City Ordinance 2689 and make use of recycled water for all approved uses, including but not limited to landscape irrigation for HOA maintained areas and parks. Appropriately sized public and private mains shall be installed throughout the Project to meet this requirement, as approved by the City.
- 17. Recycled Water Infrastructure: In order to comply with City Ordinance 2689, the Project is limited to Public Recycled Water Mains within Public Streets in Publicly Dedicated Right-of-way for Streets and Public Recycled Water Mains are not allowed within private property or private streets/private drive aisles. The Project is required to install the following Public 930PZ Recycled Water Mains and only to the extent necessary to serve each parcel/lot:
 - a. Install a 12-inch main in Euclid Avenue connecting to the existing City public recycled water main at the intersection of Eucalyptus Ave and extending north through the intersection of Schaefer Avenue.
 - b. Install an 8-inch main in Schaefer Avenue connecting from the proposed public recycled water main at the intersection of Euclid Avenue and extending east through the intersection of Sultana Avenue.
 - c. Install an 8-inch main in Sultana Avenue connecting from the proposed public recycled water main at the intersection of Schaefer Avenue and extending south to the southern Project Boundary.
- 18. Recycled Water Service: In order to comply with City Ordinance 2689:
 - a. Recycled Water Services with Meters:
 - i. Private Property Owner Maintained Uses: Each parcel/lot shall have its own separate Recycled Water Service with Meter serving the parcel/lot for Private Property Owner Maintained Landscape Irrigation Uses. If Recycled Water is going to be used for uses other than Landscape Irrigation, then a second separate Recycled Water Service with Meter is required to serve the non-Landscape Irrigation uses.
 - ii. Community Service District (CFD) Maintained Irrigation Areas: Any irrigated areas that are to be maintained by a Community Service District (CFD) and not by the property owner or owners association require irrigation services and meters separate from those that are maintained by the property owner or owners association
- 19. RW Program Requirements: In order to receive RW service, the applicant shall comply with each of the following:
 - a. Prior to Precise Grading Plan Approval and Building Permits Issuance:
 - i. Submit one (1) electronic copy, in PDF format, of the Landscape Plans (on-site & off-site) to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and approval.
 - ii. Submit one (1) electronic copy, in PDF format, of the Supplemental Engineering Report (ER), for the use of recycled water to OMUC's Water Quality Programs at OMUCWQPlanCheck@ontarioca.gov for review and subsequent submittal to the California State Water Board (Division of Drinking Water) for final approval.
 - A. Note: The Division of Drinking Water review and approval process may take up to four (4) months. Contact the OMUC's Water Quality Programs at (909) 395-2678

or email OMUCWQPlanCheck@ontarioca.gov regarding this requirement. Failure to obtain an approval letter from the Division of Drinking Water authorizing the use of recycled water will delay meter installation and if applicable, occupancy release for new developments.

- b. Prior to Occupancy Release/Finalizing:
 - i. Procure from OMUC a copy of the letter of confirmation from the California State Water Board (Division of Drinking Water) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - ii. Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - iii. Complete Site Supervisor training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.



CITY OF ONTARIO MEMORANDUM

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL Broadband Operations Section

DATE: 06-03-24

PROJECT: PDEV23-011

LOCATION: Euclid and Schaefer

PROJECT ENGINEER: Angela Truong

BROADBAND PLAN CHECKER: Cameron Chadwick - CChadwick@ontarioca.gov

The following Conditions of Approval requirements must be incorporated prior to the Development Advisory Board and/or Zoning Administrator Hearing.

1. Project shall be designed and constructed to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole in the Right-of-Way (ROW) and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole.
2. Contractor is responsible for locating and connecting conduit to existing OntarioNet hand holes on adjacent properties within a reasonable distance. There should be no "Gaps" in conduit between the contractor's development and the adjacent property. OntarioNet hand holes are typically located in the ROW at the extreme edge of a property.
3. Where a joint telecom or street light street crossing is required, include (2) 2" HDPE SDR-11 conduits or (1) 4" schedule 80 conduit sleeve. Terminate the street crossing conduit(s) in a new HH-3/22 OntarioNet hand hole in the right of way
4. The City requires a public utility easement for fiber optics on all private aisles/alley ways.
5. Hand holes - Design and install OntarioNet fiber optic hand hole HH-FP (10x00x10), HH-1 (13x24x18), HH-2 (17x30x24), HH-2A (24x36x30), HH-3 (30x48x36) and/or HH-4 (36x60x36) as needed. Respectively, Newbasis Part # PLA100010T-00002, PCA132418-00006, PCA-173024-90116, PCA-243630-90064, PCA-304836-90244 and PCA-366036-90146 or equivalent as specified per City Standard 1316. Conduits sweeping into hand holes shall enter in flush with the cut-out mouse holes aligned parallel to the bottom of the box and come in perpendicular to the wall of the box. Conduits shall not enter at any angle other than parallel. Provide 5-foot minimum clearance from existing/proposed utilities. All hand holes will have ¼-inch galvanized wire between the hand holes and the gravel it is placed on.
6. ROW Conduit – Design and install fiber optic conduit at a minimum depth of 36-inch. Trenching shall be per City Standard 1306. Install (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct and (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange with Black Stripe) duct. Conduit(s) between ROW hand holes and hand holes on private property shall be 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct.
7. Building Entrance (Single Family) – Design and install 0.75-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct from hand holes on property or hand holes in the ROW. Consult City's Fiber Team for design assistance.
8. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install

locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct

9. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
10. A minimum 13/16 millimeter microduct joint use telecommunications conduit with pull-rope from the single-family, multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City's website for additional details.
11. Warning Tape - Contractor shall supply and install an approved non-detectable warning tape 18-inch above the uppermost conduit when backfilling trenches, pits or excavations greater than 10' in length. Warning Tape shall be non-detectable, Orange in color, 4-inch minimum width, 4 mil, 500% minimum elongation, with bold printed black letters "CAUTION - BURIED FIBER OPTIC CABLE BELOW" printed in bold black lettering no less than 2-inch high.
12. All hand holes, conduits, conduit banks, materials and installations are per the City's Fiber Optic Master Plan and City Fiber Optic Cable and Duct Standards. All hand holes, conduits and ducts shall be placed in the public right of way.
13. All unused conduits/ducts/microducts shall be protected with duct plugs that provide a positive seal. Ducts that are occupied shall be protected with industry accepted duct seal compound.
14. Locate/Tracer Wire - Conduit bank requires (1) 12AWG high strength (minimum break load 452#) copper-clad steel with 30mil HDPE orange insulation for locate/tracer wire. Contact City's Fiber Team for tracer wire specifications and see note 8.
15. Multi-family dwellings are considered commercial property.
16. Refer to the In-tract Fiber Network Design guideline on the City's website for additional in-tract conduit guidelines.



CITY OF ONTARIO

MEMORANDUM

TO: Edmelyne Hutter, Senior Planner
Planning Department

FROM: Paul Ehrman, Sr. Deputy Fire Chief/Fire Marshal
Fire Department

DATE: May 11, 2023

SUBJECT: PDEV23-011 - A Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet on approximately 60 acres of land generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PMTT23-005.

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- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
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SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: Assumed III-B
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): Varies, 13 Buildings Totaling 1.1 Million Sq. Ft.
- D. Number of Stories: 1 w/ Mezzanine
- E. Total Square Footage: Largest Building 160,949 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): S

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 4000 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and locations(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.4 Multiple unit building complexes shall have building directories provided at the main entrances. The directories shall be designed to the requirements of the Fire Department, see Section 9-1 6.06 of the Ontario Municipal Code and Standard #H-003.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



CITY OF ONTARIO

MEMORANDUM

TO: Edmelynn Hutter, Senior Planner

FROM: Heather Lugo, MA, Police Department

DATE: April 29, 2024

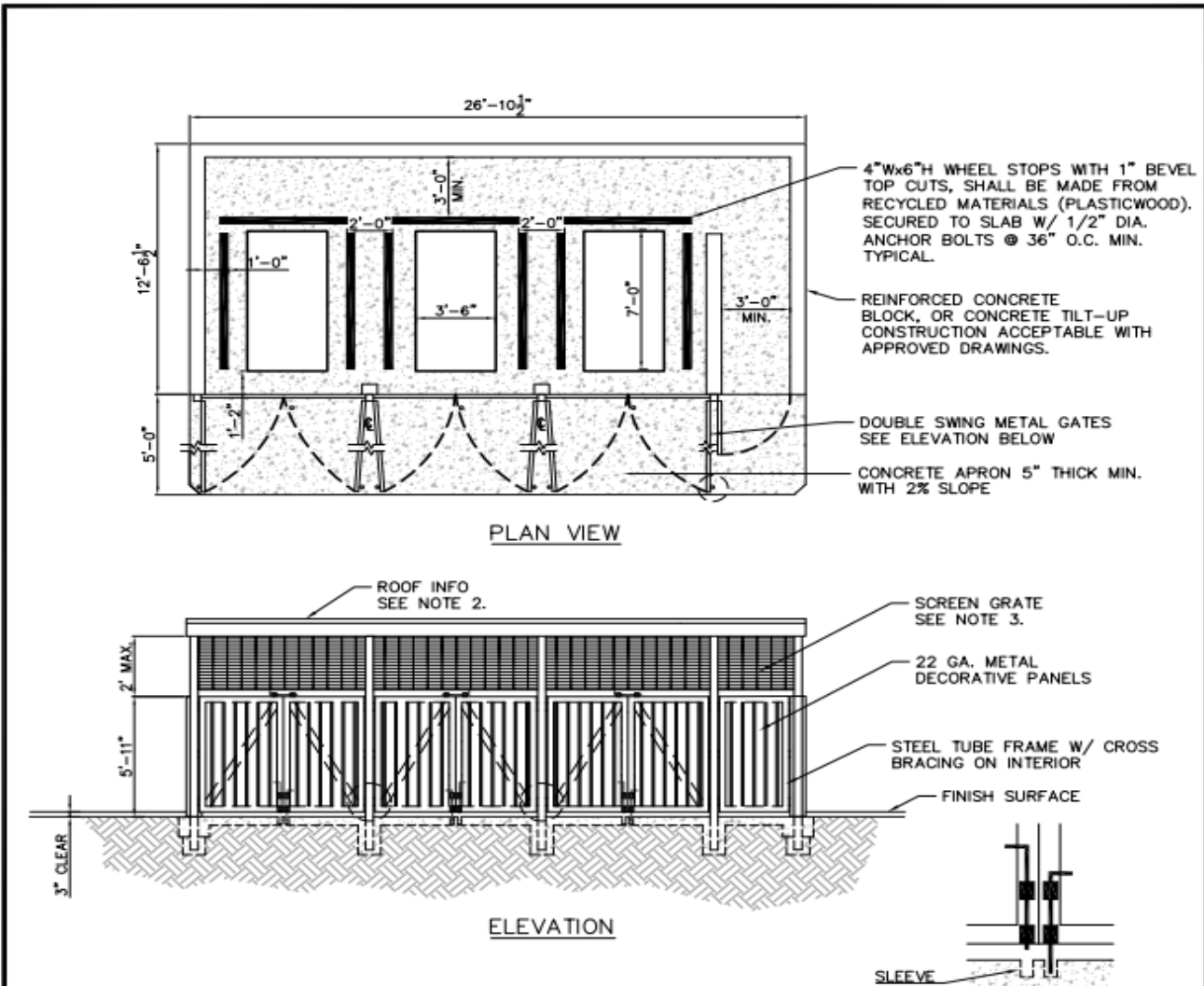
SUBJECT: PDEV23-011 - A Development Plan to construct 13 industrial buildings totaling 1,009,128 square feet on approximately 60 acres of land generally located east of Euclid Avenue, South of Schaefer Avenue, West of Sultana Avenue, and North of Edison Avenue, within the Euclid Mixed Use Specific Plan (APN(s): 1053-071-01; 1053-071-02; 1053-071-03; 1053-071-04; 1053-211-01; 1053-211-02; 1053-281-08; 1053-081-01; 1053-081-02; 1053-081-03; 1053-081-04). Related File(s): PSP-22-001; PMTT23-005.

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- During hours of darkness, all parking lots shall be provided with minimum one foot-candle of light, measured on the parking surface. Lighting devices shall be fully protected with weather and vandalism resistant covers.
- Parking garages, stairwells, blind spots and any hidden areas shall have Convex mirrors to allow for visibility to the areas.
- Maintain all landscaping on property to a standard that all ground covering shrubbery and hedges are no taller than 2 feet (24") and the lower canopy of all trees is no lower than 6 feet (72").
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- The Applicant shall install a video surveillance system on the site. Cameras shall cover all entry doors and exit doors, parking lots and driveways. Cameras shall be positioned to maximize the coverage of patrons and vehicles in these areas. Cameras shall record at least 15 frames per second and at a minimum of 640x480 lines of resolution. Recordings shall be stored for a minimum of 30 days and made available upon request to any member of the Ontario Police Department.
- All exterior electrical outlets shall be secured and locked.
- All exterior water spigots / water supply sources shall be secured and locked.

- Trash enclosure shall be fully secured/enclosed by locks, mesh, and screen grate to reduce crime and encampment opportunities for homeless persons.

The Applicant is invited to contact Heather Lugo at (909) 408-1074 with any questions or concerns regarding these conditions.



NOTES:

- ① THIS DRAWING SERVES AS A GUIDELINE TO THE TRASH ENCLOSURE BIN LAYOUT. PLANS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL TO MEET CURRENT BUILDING CODES.
- ② SOLID ROOF TO MEET ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.
- ③ TRASH ENCLOSURE SHALL BE FULLY SECURED/ENCLOSED BY LOCKS, MESH, AND SCREEN GRATE.

CITY OF ONTARIO - INTEGRATED WASTE DEPARTMENT
EXAMPLE 1
 COMMERCIAL/INDUSTRIAL REFUSE, RECYCLING AND ORGANICS ENCLOSURE (THREE 4-6 CU. YD. BINS)