



CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD

AGENDA

January 19, 2022

All documents for public review are on file in the Planning Department located in City Hall at 303 East "B" St., Ontario, CA 91764.

MEETING WILL BE HELD AT 1:30 PM VIA ZOOM

Scott Ochoa, City Manager
Scott Murphy, Executive Director, Community Development Agency
Jennifer McLain Hiramoto, Economic Development Director
James Caro, Building Official
Rudy Zeledon, Planning Director
Khoi Do, City Engineer
Chief Michael Lorenz, Police Department
Fire Marshal Paul Ehrman, Fire Department
Scott Burton, Utilities General Manager
Angela Magana, Community Improvement Director

SPECIAL AND URGENT NOTICE ELIMINATING IN-PERSON PUBLIC PARTICIPATION AT CITY OF ONTARIO DEVELOPMENT ADVISORY BOARD MEETINGS

In accordance with the Governor's Declarations of Emergency for the State of California (Executive Orders N-25-20 and N-29-20), the Ontario DEVELOPMENT ADVISORY BOARD Meetings are being conducted via Zoom Conference and there will be no members of the public in attendance at the upcoming meeting of the City of Ontario Development Advisory Board. In place of in-person attendance, members of the public can observe and offer comment at this meeting remotely in the following ways:

TO VIEW THE MEETING:

- VISIT THE CITY'S WEBSITE AT THE FOLLOWING ADDRESS:
ontarioca.gov/agendas/dab
- THE LINK FOR THE ZOOM CONFERENCE MEETING WILL BE LISTED AT THE WEBSITE ADDRESS ABOVE.

TO PROVIDE PUBLIC COMMENT:

1. **PROVIDE PUBLIC TESTIMONY DURING THE MEETING:** Submit your request to speak no later than 12:00 PM the day of the meeting by either (1) emailing your name, telephone number, agenda item you are commenting on, and your comment to planningdirector@ontarioca.gov or (2) by completing the Comment Form on the City's website at: ontarioca.gov/agendas/dab.

Comments will be limited to 5 minutes. If a large number of individuals wish to speak on an item, the Development Advisory Board Chairman may limit the time for individuals wishing to speak to 3 minutes in order to provide an opportunity for more people to be heard. Speakers will be alerted when their time is up, and no further comments will be permitted.

2. **COMMENT BY E-MAIL:** Submit your comments by email no later than 12:00 PM on the day of the meeting by emailing your name, agenda item you are commenting on, and your comment to planningdirector@ontarioca.gov . All comments received by the deadline will be forwarded to the Development Advisory Board for consideration before action is taken on the matter.
3. **COMMENT BY TELEPHONE:** Submit your comments by telephone no later than 12:00 PM on the day of the meeting by providing your name, agenda item you are commenting on, and your comment by calling (909) 395-2036. All comments received by the deadline will be provided to the Development Advisory Board for consideration before action is taken on the matter.
4. **COMMENT BY MAIL:** To submit your comments by mail, provide your name, agenda item you are commenting on, and your comment by mailing to Planning Department, Ontario City Hall, 303 East "B" Street, Ontario, CA 91764. Comments by mail must be actually received by the Planning Department no later than 12:00 PM on the day of the meeting. Postmarks are not accepted. All comments received by the deadline will be provided to the Development Advisory Board for consideration before action is taken on the matter.

LOCATION WHERE DOCUMENTS MAY BE VIEWED: All documents for public review are on file in the Planning Department located at 303 E. B Street, Ontario, CA 91764 and on the city website at www.ontarioca.gov/agendas/dab.

The City of Ontario will gladly accommodate disabled persons wishing to communicate at a public meeting. Should you need any type of special equipment or assistance in order to communicate at a public meeting, please inform the Planning Department at (909) 395-2036, a minimum of 72 hours prior to the scheduled meeting.

PUBLIC COMMENTS

Citizens wishing to address the Development Advisory Board on any matter that is not on the agenda may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.

Please note that while the Development Advisory Board values your comments, the members cannot respond nor take action until such time as the matter may appear on the forthcoming agenda.

AGENDA ITEMS

For each of the items listed below the public will be provided an opportunity to speak. After a staff report is provided, the chairperson will open the public hearing. At that time the applicant will be allowed five (5) minutes to make a presentation on the case. Members of the public will then be allowed five (5) minutes each to speak. The Development Advisory Board may ask the speakers questions relative to the case and the testimony provided. The question period will not count against your time limit. After all persons have spoken, the applicant will be allowed three minutes to summarize or rebut any public testimony. The chairperson will then close the public hearing portion of the hearing and deliberate the matter.

CONSENT CALENDAR ITEMS

A. MINUTES APPROVAL

Development Advisory Board Minutes of December 20, 2021, approved as written.

PUBLIC HEARING ITEMS

B. ENVIRONMENTAL ASSESSMENT AND TENTATIVE PARCEL MAP REVIEW FOR

FILE NO. PMTT20-005: A Tentative Parcel Map (TPM 20253) to subdivide 53.53-acres of land into 27 numbered lots and 3 “common” lettered lots generally bordered by Guasti Road to the north, Old Guasti Road to the south, Turner Avenue to the east and Archibald Avenue to the west, within Planning Areas 2 and 3 of the Guasti Plaza Specific Plan. The environmental impacts of this project were previously reviewed in conjunction with the Guasti Plaza Specific Plan, File No. 4413-SP, for which an Environmental Impact Report (FEIR No. 90-4/State Clearinghouse No. 91-122-009) was certified by the City Council on August 20, 1996 and in conjunction with an amendment to the Guasti Plaza Specific Plan, File No. PSPA08-006, for which a Supplemental Environmental Impact Report (State Clearinghouse No. 2008111072) was certified by the City Council on May 3, 2011. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0210-192-11 and 0211-201-15) **submitted by Ontario Airport Venture, LLC. Planning Commission action is required.**

1. CEQA Determination

No action necessary – use of previous EIR

2. File No. PMTT20-005 (Tentative Parcel Map)

Motion to recommend Approval/Denial

C. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE

NO. PDEV21-013: A modification to a previously approved Development Plan (File No. PDEV17-016) to increase the overall building footprint from 85,583 square feet to 101,163 square feet, to facilitate the construction of a neighborhood shopping center consisting of six buildings and establish a restaurant pad with drive-thru for future construction on 13.4 acres of land located at the southeast corner of Haven Avenue and Fourth Street, within the Commercial land use district of the Piemonte Overlay Area of the Ontario Center Specific Plan. The environmental impacts of this project were analyzed in a previous Mitigated Negative Declaration (“MND”) adopted by the City Council on May 16, 2017, in conjunction with File No. PSPA16-003. This application

introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 0210-531-06, 0210-531-07, 0210-531-08, 0210-531-09, 0210-531-10, 0210-531-11, 0210-531-12, 0210-531-13, 0210-531-14)..) **submitted by Lewis Retail Centers.**

1. CEQA Determination

No action necessary – use of a previous MND

2. File No. PDEV21-013 (Development Plan)

Motion to Approve / Deny

- D. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV21-016:** A Development Plan to construct a 37,309-square-foot industrial building on 1.60 acres of land located at the southeast corner of the Sunkist Street and Taylor Avenue, within the IG (General Industrial) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 1049-212-05, 1049-212-06, 1049-212-07, 1049-212-08, 1049-212-09, 1049-212-10, 1049-212-11 & 1049-212-12) **submitted by OC Engineering. Planning Commission action is required.**

1. CEQA Determination

No action necessary – Exempt: CEQA Guidelines Section § 15332

2. File No. PDEV21-016 (Development Plan)

Motion to recommend Approval/Denial

- E. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV21-026:** A Development Plan to construct a 44,885-square-foot industrial building on 2.03 acres of land located at 1030 and 1042 East Holt Boulevard, within the IP (Industrial Park) zoning district. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 1049-131-13 and 1049-131-14) **submitted by Holt LPIV 8 LLC. Planning Commission action is required.**

1. CEQA Determination

No action necessary – Exempt: CEQA Guidelines Section § 15332

2. File No. PDEV21-026 (Development Plan)

Motion to recommend Approval/Denial

If you wish to appeal a decision of the **Development Advisory Board**, you must do so within ten (10) days

of the **Development Advisory Board** action. Please contact the **Planning Department** for information regarding the appeal process.

If you challenge any action of the **Development Advisory Board** in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the **Development Advisory Board** at, or prior to, the public hearing.

The next **Development Advisory Board** meets on **February 7, 2022**.

I, Gwen Berendsen, Administrative Assistant of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **January 14, 2022**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.



Administrative Assistant

CITY OF ONTARIO

Development Advisory Board

Minutes

DECEMBER 20, 2021

BOARD MEMBERS PRESENT

Rudy Zeledon, Chairman, Planning Department
Kevin Rugg, Building Department
Paul Ehrman, Fire Department
Christy Stevens, Municipal Utilities Company
Tony Galban, Police Department
Elda Zavala, Community Improvement

BOARD MEMBERS ABSENT

Charity Hernandez, Economic Development Agency
Khoi Do, Engineering Department

STAFF MEMBERS PRESENT

Antonio Alejos, Engineering Department
Chuck Mercier, Planning Department
Edmelyne Hutter, Planning Department
Elly Antuna, Planning Department
Gwen Berendsen, Planning Department
Jeanie Aguilo, Planning Department
Kim Ruddins, Planning Department
Michael Bhatanawin, Engineering Department
Robert Morales, Planning Department

PUBLIC COMMENTS

No person from the public wished to speak.

CONSENT CALENDAR ITEMS

A-01. MINUTES APPROVAL

Development Advisory Board Minutes of October 18, 2021, approved as written.

A-02. MINUTES APPROVAL

Development Advisory Board Minutes of November 15, 2021, approved as written.

Motion to approve the minutes from October 18, 2021 and November 15, 2021 as written was made by Mr. Ehrman; seconded by Ms. Zavala; and approved unanimously by those present (6-0).

PUBLIC HEARING ITEMS

- B. ENVIRONMENTAL ASSESSMENT AND DEVELOPMENT PLAN REVIEW FOR FILE NO. PDEV21-030:** A Development Plan (File No. PDEV21-030) to construct a 174,603 -square-foot industrial building on 7.47 acres of land. The project is located on the west side of Bon View Avenue, approximately 132 feet north of Cedar Street, within the IL (Light Industrial) and IG (General Industrial) zoning districts. Staff has prepared an Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008101140), certified by the City Council on January 27, 2010. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport, and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APNs: 1050-441-05, 1050-441-09, 1050-441-11, 1050-441-12, 1050-441-13, 1050-441-14, 1050-441-15, 1050-441-16, 1050-441-17, 1050-441-18, 1050-441-19, 1050-441-20, 1050-441-21, 1050-441-22, 1050-441-23, 1050-441-24, 1050-441-25, 1050-441-26, 1050-441-27, 1050-441-28, 1050-441-29, 1050-441-30, 1050-441-31, 1050-441-32, 1050-441-33, 1050-441-34, 1050-441-35, 1050-441-36, 1050-441-37, 1050-441-38, 1050-441-39, 1050-441-40, 1050-441-41, 1050-441-42, 1050-441-43, 1050-441-44, 1050-441-45, 1050-441-46, 1050-441-47, 1050-441-48, 1050-441-49, 1050-441-50, 1050-441-51, 1050-441-52, 1050-441-53, 1050-441-54, 1050-441-55, 1050-441-56, 1050-441-57, 1050-441-58, 1050-441-59, 1050-441-60, 1050-441-61, 1050-441-62, and 1050-441-73) **submitted by Bon View Land 10, LLC & BV Investments 10, LLC. Planning Commission action is required.**

Luke Rutherford with Pannatoni Development was present and available to answer questions.

Mr. Zeledon asked if he had reviewed the Conditions of Approval and agreed to them.

Mr. Rutherford stated he agreed to the COAs.

Motion to recommend approval of **File No. PDEV21-030**, subject to the conditions, to the Planning Commission, was made by Mr. Ehrman; seconded by Ms. Zavala; and approved unanimously by those present (6-0).

- C. ENVIRONMENTAL ASSESSMENT AND TENTATIVE PARCEL MAP REVIEW FOR FILE NO. PMTT21-012:** A Tentative Parcel Map (TPM 20387) to subdivide 0.31-acre of land into 2 parcels located at the southwest corner of Euclid Avenue and Maitland Street, at 1004 South Euclid Avenue, within the LDR-5 (Low Density Residential – 2.1 to 5.0 du/ac) and EA (Euclid Avenue Overlay) zoning districts. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15315 (Class 15, Minor Land Divisions) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 1049-563-10) **submitted by United Construction Company. Planning Commission action is required.**

Omar Magana with United Construction Company was present and available to answer questions.

Mr. Zeledon asked if he had reviewed the Conditions of Approval and agreed to them.

Mr. Magana stated he agreed to the COAs.

Motion to recommend approval of **File No. PMTT21-012 (TPM 20387)**, subject to the conditions, to the Planning Commission, was made by Ms. Stevens; seconded by Mr. Ehrman; and approved unanimously by those present (6-0).

- D. ENVIRONMENTAL ASSESSMENT, CONDITIONAL USE PERMIT, AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PCUP21-004 AND PDEV21-012:** A Conditional Use Permit (File No. PCUP 21-004) and Development Plan (File No. PDEV21-012) to construct and establish a 2,370 square foot fast food restaurant with drive-thru (Sonic) on 0.72-acre of land located at the southwest corner of Mountain Avenue and Sixth Street, within the Main Street land use district of the Mountain Village Specific Plan. The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-Fill Development Projects) of the CEQA Guidelines. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 1008-431-25) **submitted by Coast to Coast Commercial, LLC. Planning Commission action is required.**

The applicant was not present, however Mr. Zeledon did state that Ms. Aguilo, the project planner, had heard from the applicant and they agreed to all the Conditions of Approval.

Motion to recommend approval of **File Nos. PCUP21-004 and PDEV21-012**, subject to the conditions, to the Planning Commission, was made by Ms. Stevens; seconded by Mr. Rugg; and approved unanimously by those present (6-0).

- E. ENVIRONMENTAL ASSESSMENT, TENTATIVE PARCEL MAP, AND DEVELOPMENT PLAN REVIEW FOR FILE NOS. PMTT21-010 AND PDEV21-018:** A Tentative Parcel Map (TPM 20147) (File No. PMTT21-010) to subdivide 95.35 acres of land into three parcels, in conjunction with a Development Plan (File No. PDEV21-018) to construct two industrial buildings totaling 168,772 square feet on 13.07 acres of land located at the southeast corner of Jurupa Street and Milliken Avenue, at 1425 South Toyota Way, within the Industrial Mixed Use and Warehouse/Distribution land use districts of the Toyota Ontario Business Park Specific Plan. An Addendum to The Ontario Plan Environmental Impact Report (State Clearinghouse No. 2008104410) was prepared. This application introduces no new significant environmental impacts. The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan (ALUCP); (APN: 0238-121-75) **submitted by Pamela Steele, MIG, Inc. Planning Commission action is required.**

Pam Steele with MIG was present and available to answer questions.

Mr. Zeledon asked if she had reviewed the Conditions of Approval and agreed to them.

Ms. Steele stated she agreed with the COA's.

Motion to recommend approval of **File Nos. PMTT21-010 (TPM 20147) and PDEV21-018**, subject to the conditions, to the Planning Commission, was made by Ms. Zavala; seconded by Mr. Ehrman; and approved unanimously by those present (6-0).

BUSINESS MATTERS

- Nominations for a new Development Advisory Board Chairperson, was continued to the January 3, 2022, so that more regular committee members would be present.

There being no further business, the meeting was adjourned to the next meeting on January 3, 2022.

Respectfully submitted,

A handwritten signature in cursive script that reads "Gwen Berendsen".

Gwen Berendsen
Recording Secretary



Development Advisory Board Decision

January 19, 2022

DECISION NO.: [insert #]

FILE NO.: PMTT20-005 (TPM 20253)

DESCRIPTION: A Tentative Parcel Map to subdivide 53.53-acres of land into 27 numbered lots and 3 lettered common lots, within Planning Areas 2 and 3 (Commercial/Office/Residential Overlay) land use designations of the Guasti Plaza Specific Plan. The Project is bound by Guasti Road to the north, Southern Pacific Railroad to the south, Turner Avenue to the east and Archibald Avenue to the west; (APNs: 0210-192-11 and 0211-201-15) **submitted by Ontario Airport Venture, LLC. Planning Commission action is required.**

Part I—BACKGROUND & ANALYSIS

Ontario Airport Venture, LLC., (herein after referred to as "Applicant") has filed an application requesting Tentative Parcel Map approval, File No. PMTT20-005 (TPM 20253), as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 53.53 acres of land located within Planning Areas 2 and 3 of the Guasti Plaza Specific Plan ("GPSP"). Overall, the specific plan has 3 planning areas and covers approximately 73 acres of land bounded by the I-10 freeway on the north, Turner Avenue on the east, Southern Pacific Railroad right-of-way on the south, and Archibald Avenue on the west. Planning Areas 2 and 3 comprise approximately two-thirds of the land area within the GPSP. The specific plan, planning areas, and Project site boundary are depicted in Exhibit A—Project Location Map and Exhibit B—Guasti Plaza Specific Plan Map, attached.

The Project site contains the remnants of the former Italian Vineyard Company wine manufacturing establishment and town, founded by Secondo Guasti around 1900. The GPSP, as amended in 2011, identified 15 historically significant winery related buildings to be retained in place or relocated, preserved, rehabilitated, and adaptively re-used. These buildings, located within Planning Area 2, are vacant.

Land uses surrounding the Project site include 2 office buildings and vacant land to the north, which is within the GPSP. Properties to the east are developed with offices (Centrelake Specific Plan area), a church (San Secondo D'Asti Church), and light industrial uses. To the south of the Project area is Ontario International Airport, and to the west are vacant properties, which are designated for future mixed-use development centered around a future multimodal transit station. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

| | <i>Existing Land Use</i> | <i>General Plan Designation</i> | <i>Zoning Designation</i> | <i>Specific Plan Land Use</i> |
|--------------|---------------------------------|--|----------------------------------|---|
| <i>Site</i> | Vacant | Mixed-Use (Guasti) | SP- Guasti Plaza Specific Plan | Office, Hotel, Commercial, Office Park, Residential |
| <i>North</i> | Office | Mixed-Use (Guasti) | SP- Guasti Plaza Specific Plan | Office, Hotel, Commercial |
| <i>South</i> | Vacant/Railroad Corridor | Railroad | Railroad Corridor | N/A |

| | Existing Land Use | General Plan Designation | Zoning Designation | Specific Plan Land Use |
|-------------|--------------------------|---------------------------------|-----------------------------|----------------------------------|
| <i>East</i> | Office/Church/Vacant | OC- Office Commercial | SP-Centrelake Business Park | Office, Light Industrial, Church |
| <i>West</i> | Vacant | Mixed-Use (Multimodal) | SP- Specific Plan | N/A |

(2) **Project Description:**

(a) **Background** — In August 1996, the City Council adopted Resolution No. 96-077, approving the Guasti Plaza Specific Plan (“GPSP”). The GPSP proposes a maximum of 3,184,236 square feet of hotel, office, retail, restaurant, and related land uses, along with the retention of numerous historic structures for adaptive reuse. The GPSP was amended in 2011 and created a Residential Overlay Zone that would allow up to 465 dwelling units on approximately 7.76 acres of land located along Turner Avenue, north of Pepper Tree Lane, as an alternative to planned office and commercial uses in this area.

Prior to the approval of a subdivision map or site development plan, the GPSP requires approval of a Planning Area Plan (“PAP”) by the Planning Commission. The PAP requirement is waived, however, if a development application is submitted, which covers an entire planning area. The purpose of the PAP is to function as a master conceptual plan, showing the ultimate development configuration of uses within each Planning Area, consistent with the GPSP. The PAP is required to address specific land uses proposed, general location and square footage of proposed buildings, proposed parcel lines, utility and infrastructure plans, parking, roadways and access points, public facilities, site coverage calculations, conceptual landscape, general architectural concepts, relationship to other PAPs, and conceptual grading and drainage.

In May 2006, the Planning Commission approved a Development Plan (File No. PDEV06-001) covering Planning Area 1 in its entirety, which allows the development of a 150,500-square-foot, six-story office building and a 10,300-square-foot retail building. Additionally, a master plan was approved for the phased construction of an additional four office buildings, totaling approximately 600,000 square feet, and a 225-room hotel (approximately 175,500 square feet).

In March 2007, the Planning Commission approved a Planning Area Plan (File No. PPAP06-001) for Planning Areas 2 and 3 of the GPSP, establishing a master conceptual site plan showing the ultimate development configuration of uses and the phasing of development within each Planning Area, which is depicted in Exhibit C—Planning Area Plan, attached. The addition of any residential development would require an amendment to the PAP.

In April 2008, the Planning Commission approved Tentative Parcel Map (File No. PMTT07-05) to subdivide Planning Areas 2 and 3 into 24 parcels; however, the final map was never recorded. On June 26, 2020, the Applicant submitted a Tentative Parcel Map (File No. PMTT20-005) to facilitate the development of the Project site in accord with the GPSP and approved PAP.

(b) **Tentative Parcel Map** — The proposed Tentative Parcel Map will subdivide the Project site into 27 numbered lots and 3 “common” lettered lots ranging in size from 0.46 to 7.21 acres, as shown in Exhibit D—Tentative Parcel Map and Exhibit E—Tentative Parcel Map Summary Table, attached. The GPSP does not require a minimum parcel size but does note that lots shall be adequately sized to contain principal and accessory buildings, parking, setbacks, and landscaping requirements.

(c) **Site Access/Circulation** — Two private streets, “Street A” and “Street B,” will provide access to the Project site from Guasti Road and one private street, “Old Guasti Road,” will be accessible from Turner Avenue. No through access will be provided to the south or to Archibald Avenue on the west. As a condition of approval to the Project, the new intersections on Guasti Road will be signalized.

Part II—RECITALS

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, the Guasti Plaza Specific Plan Environmental Impact Report (State Clearinghouse No. 91-122-009) was certified by the City Council on August 20, 1996 ("Certified EIR") in conjunction with File No. 4413-SP, in which development and use of the Project site was discussed; and

WHEREAS, the Guasti Plaza Specific Plan Supplemental Environmental Impact Report (State Clearinghouse No. 208111072) was certified by the City Council on May 3, 2011 ("Certified Supplemental EIR") in conjunction with File No. PSPA08-006, in which development and use of the Project site was discussed; and

WHEREAS, the environmental impacts of this Project were thoroughly analyzed in the Certified EIR and Supplemental EIR, which concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (hereinafter referred to as "DAB") the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on January 19, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the recommending body for the Project, the DAB has reviewed and considered the information contained in the previous Certified EIR and Supplemental EIR and supporting documentation. Based upon the facts and information contained in the previous Certified EIR and Supplemental EIR and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously reviewed in conjunction with File No. 4413-SP, a specific plan for which an Environmental Impact Report (SCH No. 91-122-009) (“Certified EIR”) was adopted by the City Council on August 20, 1996 and in conjunction with File No. PSPA08-006, and amendment to the specific plan for which a Supplemental Environmental Impact Report (State Clearinghouse No. 2008111072) was certified by the City Council on May 3, 2011; and

(2) The previous Certified EIR and Supplemental EIR contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous Certified EIR and Supplemental EIR was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous Certified EIR and Supplemental EIR reflects the independent judgment of the Development Advisory Board; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous Certified EIR and Supplemental EIR, and all mitigation measures previously adopted with the Certified EIR and Supplemental EIR, are incorporated herein by this reference.

SECTION 2: *Subsequent or Supplemental Environmental Review Not Required.* Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental Certified EIR is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the Certified EIR and Supplemental EIR that will require major revisions to the Certified EIR and Supplemental EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the Certified EIR and Supplemental EIR were prepared, that will require major revisions to the Certified EIR and Supplemental EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified EIR and Supplemental EIR were certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the Certified EIR and Supplemental EIR; or

(b) Significant effects previously examined will be substantially more severe than shown in the Certified EIR and Supplemental EIR; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the Certified EIR and Supplemental EIR would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan. The Project site is one of the properties listed in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix, and the proposed Project does not preclude future development of residential dwelling units, and therefore is consistent with the number of dwelling units (469) and density (60 dus/ac) specified in the Available Land Inventory.

SECTION 4: ALUCP Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) **The proposed Tentative Tract/Parcel Map is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable area and specific plans, and planned unit developments.** The proposed Tentative Parcel Map is located within the Mixed-Use (Guasti) land use district of the Policy Plan Land Use Map, and the Guasti Plaza Specific Plan zoning district. The proposed subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the Project will contribute to the establishment of “[a] dynamic, progressive city containing distinct neighborhoods and commercial districts that foster a positive sense of identity and belonging among residents, visitors, and businesses” (Goal CD1). Furthermore, the Project will promote the City’s policy to “take actions that are consistent with the City being a leading urban center in Southern California while recognizing the diverse character of our existing viable neighborhoods” (Policy CD1-1 *City Identity*).

(2) ***The design or improvement of the proposed Tentative Tract/Parcel Map is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, and applicable specific plans and planned unit developments.*** The proposed Tentative Parcel Map is located within the Mixed-Use (Guasti) land use district of the Policy Plan Land Use Map, and the Guasti Plaza Specific Plan zoning district. The proposed design or improvement of the subdivision is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan, as the Project will provide “[a] high level of design quality resulting in public spaces, streetscapes, and developments that are attractive, safe, functional and distinct (Goal CD2). Furthermore, the Project will promote the City’s policy to “collaborate with the development community to design and build neighborhoods, streetscapes, sites, outdoor spaces, landscaping and buildings to reduce energy demand through solar orientation, maximum use of natural daylight, passive solar and natural ventilation, building form, mechanical and structural systems, building materials and construction techniques” (Policy CD2-7 *Sustainability*).

(3) ***The site is physically suitable for the type of development proposed.*** The Project site meets the minimum lot area and dimensions of the Guasti Plaza Specific Plan zoning district and is physically suitable for the type of mixed-use development proposed in terms of zoning, land use and development activity proposed, and existing and proposed site conditions.

(4) ***The site is physically suitable for the density/intensity of development proposed.*** The Project site is proposed for mixed-use development at a residential density of 60 DUs/acre and a floor area ratio of 1.0 for nonresidential structures. The Project site meets the minimum lot area and dimensions of the Guasti Plaza Specific Plan and is physically suitable for this proposed density/intensity of development.

(5) ***The design of the subdivision or the proposed improvements thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat.*** The Project site is not located in an area that has been identified as containing species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service, nor does the site contain any riparian habitat or other sensitive natural community, and no wetland habitat is present on site; therefore, the design of the subdivision, or improvements proposed thereon, are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife, or their habitat.

(6) ***The design of the subdivision, or the type of improvements thereon, are not likely to cause serious public health problems.*** The design of the proposed subdivision, and the utility and right-of-way improvements existing or proposed on the Project site, are not likely to cause serious public health problems, as The Project is not anticipated to involve the transport, use, or disposal of hazardous materials during either construction or Project implementation, include the use of hazardous materials or volatile fuels, nor are there any known stationary commercial or industrial land uses within close proximity to the subject site that use/store hazardous materials to the extent that they would pose a significant hazard to visitors or occupants to the Project site.

(7) ***The design of the subdivision, or the type of improvements thereon, will not conflict with easements acquired by the public at large for access through, or use of property within, the proposed subdivision.*** The proposed subdivision has provided for all necessary public easements and dedications for access through, or use of property within, the proposed subdivision. Furthermore, all such public easements and dedications have been designed pursuant to: (a) the requirements of the Policy Plan component of The Ontario Plan and applicable area plans; (b) applicable specific plans or planned unit developments; (c) applicable provisions of the City of Ontario Development Code; (d) applicable master plans and design guidelines of the City; and (e) applicable Standard Drawings of the City.

SECTION 6: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision, and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 19th day of January 2022.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



Exhibit B—GUASTI PLAZA SPECIFIC LAND USE PLAN

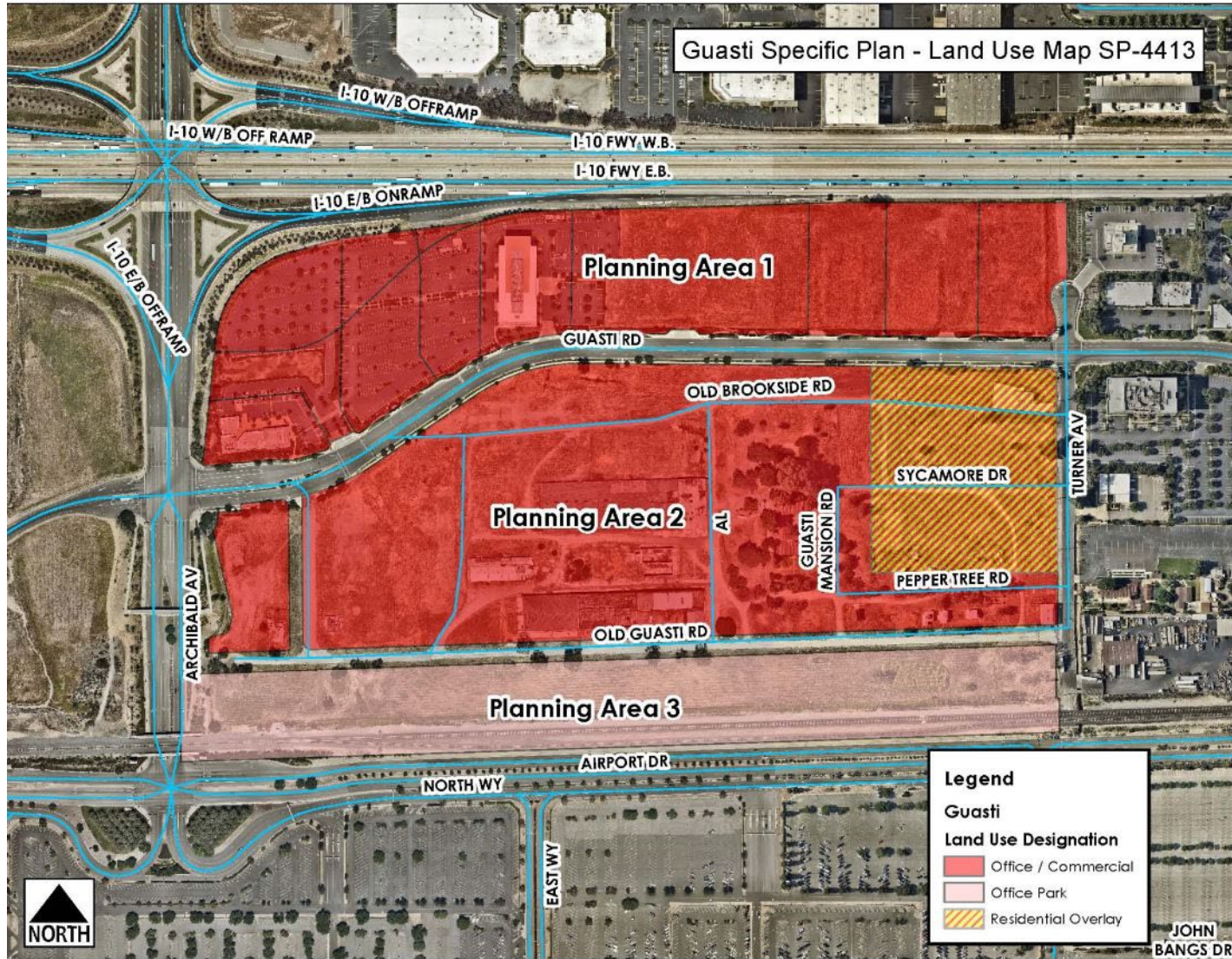
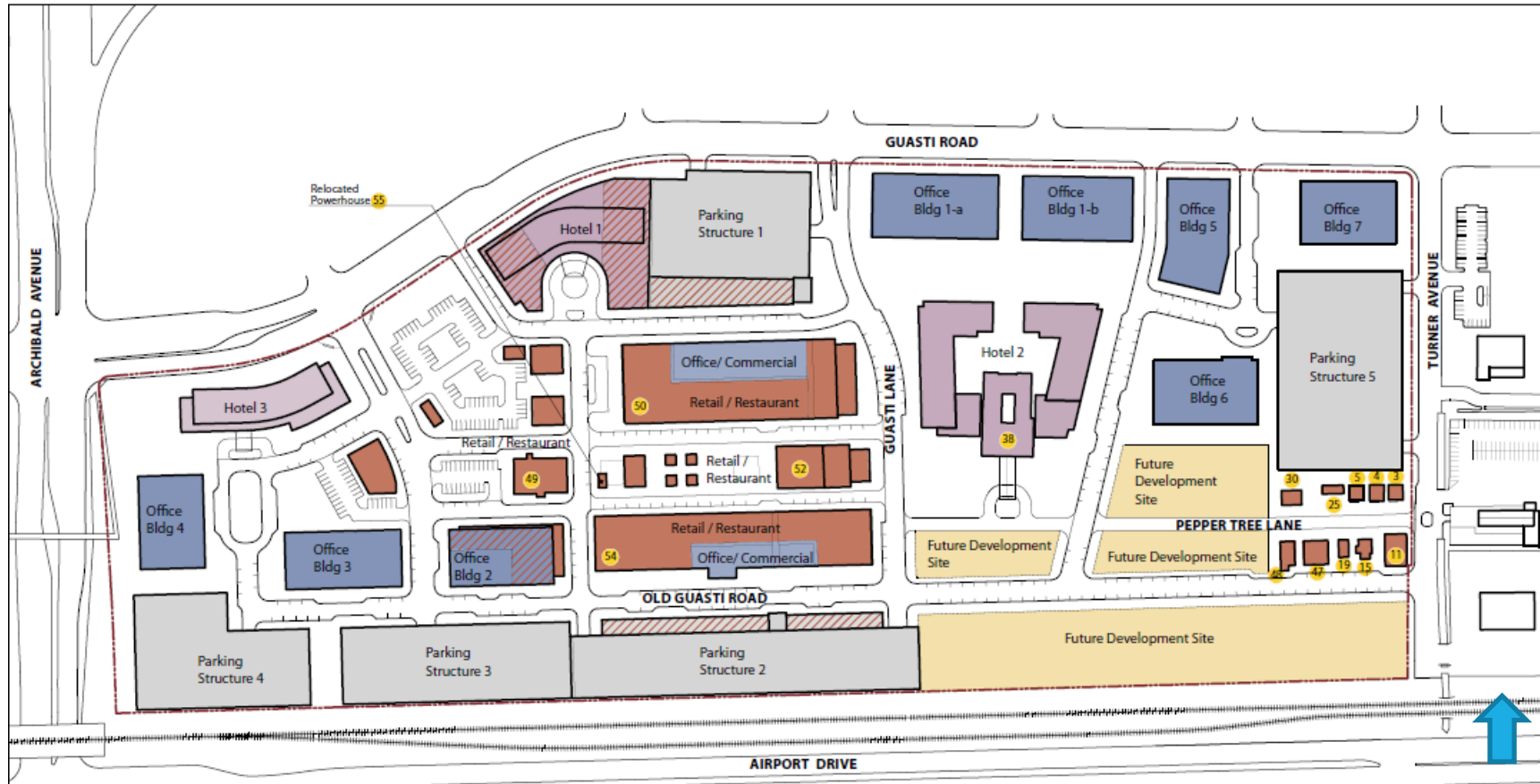


Exhibit C—PLANNING AREA PLAN (FILE NO. PPAP06-001)



- Property Line
- Retail / Restaurant
- Retail @ 1st Level
- Hotel
- Historic Structure
- Future Development Site
- Office / Commercial
- Parking Structure

| PROGRAM | |
|---------------------|---------------------|
| RETAIL / RESTAURANT | 260,000 sf |
| OFFICE / COMMERCIAL | 970,000 sf |
| HOTEL | 390,000 sf |
| FUTURE DEVELOPMENT | 480,000 sf |
| TOTAL | 2,100,000 sf |

| | |
|-----------------------------------|----------------------|
| ESTIMATED REQUIRED PARKING | 7,040 spaces* |
| ESTIMATED PROVIDED PARKING | 7,040 spaces |

*15% shared parking reduction

Exhibit E—TENTATIVE PARCEL MAP SUMMARY TABLE

| Parcel | Parcel Area (in acres) |
|---------------|-------------------------------|
| 1 | 1.94 |
| 2 | 1.53 |
| 3 | 1.52 |
| 4 | 1.37 |
| 5 | 1.04 |
| 6 | 1.22 |
| 7 | 1.05 |
| 8 | 1.08 |
| 9 | 1.10 |
| 10 | 0.91 |
| 11 | 0.91 |
| 12 | 1.04 |
| 13 | 0.70 |
| 14 | 1.41 |
| 15 | 1.37 |
| 16 | 1.44 |
| 17 | 3.52 |
| 18 | 2.99 |
| 19 | 4.77 |
| 20 | 2.32 |
| 21 | 2.85 |
| 22 | 2.07 |
| 23 | 0.72 |
| 24 | 1.79 |
| 25 | 0.46 |
| 26 | 0.48 |
| 27 | 7.21 |
| A | 0.78 |
| B | 1.06 |
| C | 2.87 |
| Total | 53.53 |

Attachment A—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)

Date Prepared: 12/20/2020

File No: PMTT20-005 (TPM 20253)

Related Files: A Planning Area Plan (**File No. PPAP06-001**) for Planning Areas 2 and 3 of the Guasti Plaza Specific Plan, establishing a master conceptual site plan showing the ultimate development configuration of uses and the phasing of development within each Planning Area.

Project Description: A Tentative Parcel Map to subdivide 53.53-acres of land into 27 numbered lots and 3 "common" numbered" lots, within Planning Areas 2 and 3 (Commercial/Office/Residential Overlay) land use designations of the Guasti Plaza Specific Plan. The project is bound by Guasti Road to the north, Southern Pacific Railroad to the south, Turner Avenue to the east and Archibald Avenue to the west; (APNs: 0210-192-11 and 0211-201-15); **submitted by Ontario Airport Venture, LLC. c/o Sares Regis Group.**

Prepared By: Diane Ayala, Senior Planner
Phone: 909.395.2428 (direct)
Email: dayala@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Tentative Parcel Map approval shall become null and void 2 years following the effective date of application approval, unless the final parcel/tract map has been recorded, or a time extension has been approved by the Planning Commission pursuant to Development Code Section 2.02.025 (Time Limits and Extensions). This Permit does not supersede any individual time limits specified herein for performance of specific conditions or improvements.

2.2 Subdivision Map.

(a) The Final Parcel Map shall be in conformance with the approved Tentative Parcel Map on file with the City. Variations from the approved Tentative Parcel Map may be

reviewed and approved by the Planning Department. A substantial variation from the approved Tentative Parcel Map may require review and approval by the Planning Commission, as determined by the Planning Director.

(b) Tentative Parcel Map approval shall be subject to all conditions, requirements and recommendations from all other departments/agencies provided on the attached reports/memorandums.

(c) The subject Tentative Parcel Map for condominium purposes shall require the recordation of a condominium plan concurrent with the recordation of the Final Tract/Parcel Map and CC&Rs.

(d) Pursuant to California Government Section 66474.9, the subdivider agrees that it will defend, indemnify, and hold harmless the City of Ontario or its agents, officers and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer of this subdivision, which action is brought within the time period provided for in Government Code Section 66499.37. The City of Ontario shall promptly notify the subdivider of any such claim, action or proceeding and the City of Ontario shall cooperate fully in the defense.

2.3 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.4 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.5 Walls and Fences.

(a) All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

(b) Historic wall around perimeter of the Guasti Mansion shall be preserved in place.

2.6 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.9 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.10 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels.

(d) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

(i) Landscaping and irrigation systems within common areas;

(ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

(iii) Shared parking facilities and access drives;

(iv) Utility and drainage easements; and

(v) Guasti Plaza SP Section VII (B), Maintenance.

(e) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(f) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(g) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.11 Disclosure Statements.

(a) A copy of the Public Report from the Department of Real Estate, prepared for the subdivision pursuant to Business and Professions Code Section 11000 et seq., shall be provided to each prospective buyer of the residential units and shall include a statement to the effect that:

(i) This tract is subject to noise from the Ontario International Airport and may be more severely impacted in the future.

(ii) The area south of Riverside Drive lies within the San Bernardino County Agricultural Preserve. Dairies currently existing in that area are likely to remain for the foreseeable future.

(iii) This tract is part of a Landscape Maintenance District. The homeowner(s) will be assessed through their property taxes for the continuing maintenance of the district.

2.12 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with File No. 4413-SP, a(n) Specific Plan for which a/the Guasti Plaza Specific Plan Environmental Impact Report (SCH No. 1991122009) was previously adopted by the City Council on August 20, 1996 and in conjunction with File No. PSPA08, an amendment to the Guasti Plaza Specific Plan for which a Supplemental Environmental Impact Report (SCH No. 2008111072) was previously adopted by the City Council in May 2011. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act ("CEQA")" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Additional Requirements.

(a) Prior to recordation of Final Parcel Map, a conditions assessment of all the historic buildings located within Planning Area No. 2 shall be prepared by a qualified architectural conservator or architect specializing in preservation of historic resources and a qualified professional structural engineer, if applicable, in collaboration with the Planning Department. A condition assessment report shall be prepared in accordance with the U.S. Department of the Interior, National Park Service (NPS) Technical Preservation Brief series, including, but not limited to Preservation Brief No. 31 Mothballing. At a minimum, the report shall update the Conservation Plan in the Guasti Plaza Specific Plan, and contain the following information:

- Identify historic buildings, material, and character defining features (architectural elements),
- Provide recommendations on emergency, interim, and long-term repairs to stabilize and arrest deterioration rate for the preservation and adaptive reuse as envisioned by the Guasti Plaza Specific Plan,
- Discuss the feasibility of relocating the historic wood-framed bungalows and houses for the recreation of Pepper Tree Lane pursuant to the Master Historic Interpretive Plan contained in the Guasti Plaza SP, and
- Prepare a preventative maintenance schedule for the historic buildings and site.

All imminent threats to preservation of buildings and site identified in the Conditions Assessment shall be rectified through repair within 30 days of notice.

NPS Preservation Brief Series

<https://www.nps.gov/tps/how-to-preserve/briefs.htm>

(b) Planning Area No. 2 and 3 require approval of a Certificate of Appropriateness prior to commencement of any new construction or grading, and alteration, rehabilitation, repair, and preservation of historic buildings/resources. A Certificate of Appropriateness shall be processed prior or in conjunction with a Development Plan or any other development entitlement.

(c) The Parcel Map shall comply with all applicable requirements of the Guasti Plaza Specific, Guasti Planning Area Plan (File No. PPAP06-001), and the Development Code.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

| | | |
|---|---|---|
| <input type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER | <input checked="" type="checkbox"/> PARCEL MAP | <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES |
| PROJECT FILE NO. <u>PM-20253</u> RELATED FILE NO(S). <u>PMTT20-005</u> | | |
| <input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> </u> / <u> </u> / <u> </u> | | |

CITY PROJECT ENGINEER & PHONE NO: Antonio Alejos *A.A.* (909) 395-2384

CITY PROJECT PLANNER & PHONE NO: Dianne Ayala (909) 395-2428

DAB MEETING DATE: January 19th, 2022

PROJECT NAME / DESCRIPTION: PM-20253, a Tentative Parcel Map to subdivide 54.13 acres of land into 29 lots, within the Commercial/Office land use designation of the Guasti Plaza Specific Plan.

LOCATION: The project is bounded by Guasti Road to the north, Southern Pacific Railroad to the south, Turner Avenue to the East and Archibald Avenue to the west.

APPLICANT: Ontario Airport Venture, LLC

REVIEWED BY: *Raymond Lee* *1/12/2022*
 Raymond Lee, P.E. Date
 Assistant City Engineer

APPROVED BY: *[Signature]* *1/12/2022*
 Khoi Do, P.E. Date
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:**
 - a. **Variable width (82-ft to 121-ft) along the westerly portion of parcel 3 & 4 fronting Archibald Avenue.**
 - b. **Around proposed driveways & traffic signal improvements along Guasti Road and Turner Avenue property frontage. Locations and right-of-way limits to be finalized during plan check.**
 - c. **Around proposed cul-de-sac along Turner Avenue property frontage. Locations and right-of-way limits to be finalized during plan check.**
 - d. **Property line corner 'cut-back' required at the intersection SWC of Guasti Road & Turner Avenue.**

- 1.02 Dedicate to the City of Ontario, the following easement(s):**
 - a. **A public utility easement on private "A" Street, "B" Street & Old Guasti Road from 3-ft behind sidewalk to 3-ft behind sidewalk.**
 - b. **62-ft public storm drain easement for the existing 84-inch storm drain south of Old Guasti Road.**
 - c. **20' public storm drain easement for the proposed storm drain main between parcels 1 thru 6, storm drain laterals/catch basins for the benefit of parcels 1 thru 6 and point of connection with the existing 84-inch storm drain.**
 - d. **Public water easement for the proposed master meter locations along the project site. Locations and easement limits to be determined during plan check.**

- 1.03 Restrict vehicular access to the site as follows:** _____

- 1.04 Vacate the following street(s) and/or easement(s):**
 - a. **All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**
 - b. **Old Guasti Road between Archibald Avenue and Turner Avenue.**
 - c. **Easement No. 1992-156647, located along Parcels 1, 2, 3 & 5.**

- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.**

- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.**

- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the**



Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.

- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.

 - (1) _____
 - (2) _____

- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required or complete all public improvements.
- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ontarioca.gov) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:

 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).

- 1.14 Other conditions:

 - a. All interior streets shall be private streets owned and maintained by the Property Owner's Association (POA).
 - b. The final map and dedications shall comply with the approved Guasti Plaza Specific Plan and the conditions of approval for this tentative parcel map.
 - c. The applicant/developer shall submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent parcels.
 - i. Parcel 23 or 24 shall reserve a private drainage agreement/easement for the benefit of Parcel 22.
 - ii. Parcel 16 & 19 shall reserve a private drainage agreement/easement for the benefit of Parcel 18.



2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map No. 20253 pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 Note that the subject parcel is a recognized parcel in the City of Ontario per Parcel Map No. 8144, Parcel No. 2.
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 Apply for a:
 - Certificate of Compliance with a Record of Survey;
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);
 - Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 2.08 Submit a soils/geology report.
- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - Southern Pacific Railway Company for a Temporary Construction Easement to complete the cul-de-sac at the end of Turner Avenue, if required.**
 - Inland Empire Utilities Agency (IEUA) for Sewer Main Connection at Turner Avenue.**
 - Other: Non-interference Letter required from each easement holder listed in the Title Report.**



- 2.10 Dedicate to the City of Ontario the right-of-way described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____
and _____.
- 2.11 Dedicate to the City of Ontario the following easement(s): _____

- 2.12 Vacate the following street(s) and/or easement(s):
 - A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 2.13 Ontario Ranch Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).
- 2.14 Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at _____% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.
- 2.15 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.
- 2.16 Pay all Development Impact Fees (DIF) to the Building Department.
- 2.17 Other conditions:
 - a. **As part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems.**



B. PUBLIC IMPROVEMENTS

(See attached Exhibit 'A' for plan check submittal requirements.)

- 2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

| Improvement | Guasti Rd | Turner Av | Archibald Av | Private Streets "A" & "B" |
|---|---|---|---|---|
| Curb and Gutter | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged | <input checked="" type="checkbox"/> New; 23-ft. from C/L along frontage <input type="checkbox"/> Replace damaged | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged |
| AC Pavement (see Sec. 2.F) | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input checked="" type="checkbox"/> New Cul-de-Sac <input checked="" type="checkbox"/> Widen Variable additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions |
| PCC Pavement (Truck Route Only) (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Drive Approach | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Sidewalk | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| ADA Access Ramp | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Parkway | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) | <input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) |
| Raised Landscaped Median | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Fire Hydrant | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation |
| Sewer (see Sec. 2.C) | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral | <input checked="" type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral |
| Water (see Sec. 2.D) | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service |



| | | | | |
|---|--|---|--|--|
| Recycled Water (see Sec. 2.E) | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service |
| Traffic Signal System (see Sec. 2.F) | <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing |
| Traffic Signing and Striping (see Sec. 2.F) | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Street Light (see Sec. 2.F) | <input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New <input type="checkbox"/> Relocation |
| Bus Stop Pad or Turn-out (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Storm Drain (see Sec. 2G) | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral <input checked="" type="checkbox"/> Abandon |
| Fiber Optics (see Sec. 2K) | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input checked="" type="checkbox"/> Conduit / Appurtenances |
| Overhead Utilities | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input checked="" type="checkbox"/> Relocate or Underground | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate |
| Removal of Improvements | _____ | _____ | _____ | _____ |
| Other Improvements | _____ | _____ | _____ | _____ |

| Improvement | Private Street Old Guasti Rd |
|------------------------|---|
| Curb and Gutter | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace |



| | |
|---|---|
| AC Pavement (see Sec. 2.F) | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen _____ additional feet along frontage, including pavm't transitions |
| PCC Pavement (Truck Route Only) (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Drive Approach | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Sidewalk | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| ADA Access Ramp | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Parkway | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) |
| Raised Landscaped Median | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Fire Hydrant | <input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation |
| Sewer (see Sec. 2.C) | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral <input checked="" type="checkbox"/> Abandon |
| Water (see Sec. 2.D) | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service <input checked="" type="checkbox"/> Abandon |
| Recycled Water (see Sec. 2.E) | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Service |
| Traffic Signal System (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Traffic Signing and Striping (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |



| | |
|---|---|
| Street Light (see Sec. 2.F) | <input type="checkbox"/> Upgrade <input type="checkbox"/> Relocation |
| Bus Stop Pad or Turn-out (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Storm Drain (see Sec. 2G) | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral |
| Fiber Optics (see Sec. 2K) | <input checked="" type="checkbox"/> Conduit / Appurtenances |
| Overhead Utilities | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate |
| Removal of Improvements | _____ _____ _____ |
| Other Improvements | _____ _____ _____ |

Specific notes for improvements listed in item no. 2.17, above: _____

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): _____
- 2.19 **Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter on the following street:**
 - a. **Turner Avenue.**
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service
 sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 **Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892).**
- 2.22 Other conditions: _____

C. SEWER

- 2.23 **An 8-inch, 10-inch & 12-inch sewer main are available for connection by this project in Guasti Rd (8"/10"), Old Guasti Rd (8"), & Turner Av (8") (Ref: Sewer Drawing Numbers: S13926, S13927, S13881, S13882, S13925, S13926, S10553, S10554, & S11526)**
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.



- 2.26 Other conditions:
 - a. The applicant/developer shall construct an 8-inch/10-inch public sewer main per the latest City of Ontario Design Guidelines/Standard Drawings; in the following streets:
 - i. "A" St from the point of connection with the existing 8-inch City sewer main in the intersection of "A" St & Guasti Rd to the point of connection with the existing 12-inch City sewer main between Parcel 5 & 25.
 - ii. "B" St from the point of connection with the proposed 10-inch public sewer main in the intersection of "B" St & Old Guasti Rd to the end of the proposed sewer main between Parcel 20 & 21.
 - iii. Old Guasti Rd from the point of connection with the existing 15-inch City sewer main in the intersection of "A" St & Old Guasti Rd to the end of the proposed sewer main between Parcel 13 & 14.
 - iv. Old Guasti Rd cul-de-sac from between Parcel 3 & 4 to the point of connection with the existing 15-inch City sewer main near the center of the cul-de-sac.
 - b. The applicant/developer shall tie the existing 8-inch City sewer main in Turner Av to the existing 30-inch IEUA sewer main at the intersection of Turner Av & Old Guasti Rd per the latest City of Ontario Design Guidelines/Standard Drawings.
 - c. The applicant/developer shall abandon all conflicting and unused City sewer main including:
 - i. Existing 8-inch City sewer main in Old Guasti Rd between "A" St and Turner Av.
 - d. The applicant/developer shall relocate a portion of the existing 8-inch City sewer main in "A" St between Guasti Rd and Old Guasti Rd and align it with "A" Street.

D. WATER

- 2.27 A 12-inch water main is available for connection by this project in Guasti Rd, Old Guasti Rd, & Turner Av (Ref: Water Drawing Numbers: W13292, W13294, W13296, W13298, W11144, W11145, W11146, W11100, & W12277)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 Other conditions:
 - a. The applicant/developer shall construct a 12-inch public domestic water main per the latest City of Ontario Design Guidelines/Standard Drawings; in the following streets:
 - i. "A" St from Old Guasti Rd to the point of connection with the existing 12-inch City water main in the intersection of "A" St & Guasti Rd.
 - ii. "B" St from Old Guasti Rd to the point of connection with the existing 12-inch City water main in the intersection of "B" St & Guasti Rd.
 - iii. Old Guasti Rd from the proposed cul-de-sac (near Parcels 3 & 4) to the point of connection with the existing 12-inch City water main in the intersection of Turner Av & Old Guasti Rd.
 - b. The applicant/developer shall abandon all conflicting and unused City domestic water mains including:
 - i. Existing 12-inch City domestic water main in Old Guasti Rd from the existing point of connection at the intersection of Old Guasti Rd & Turner Av to the west end of Old Guasti Rd.
 - ii. Existing 12-inch City domestic water main between Parcels 1, 2 3, 4 & 5 from the point of connection in Guasti Rd to the southerly end in Old Guasti Rd.

E. RECYCLED WATER

- 2.30 A 12-inch recycled water main is available for connection by this project in Guasti Road. (Ref: Recycled Water Drawing Number: P10116)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
- 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval. Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.



- 2.34 Other conditions:
- a. The applicant/developer shall construct an 8-inch public recycled water main per the latest City of Ontario Design Guidelines/Standard Drawings; in the following streets:
 - i. "A" St from Old Guasti Rd to the point of connection with the existing 12-inch City recycled water main in the intersection of "A" St & Guasti Rd.
 - ii. "B" St from Old Guasti Rd to the point of connection with the existing 12-inch City recycled water main in the intersection of "B" St & Guasti Rd.
 - iii. Old Guasti Rd from the proposed cul-de-sac (near Parcels 3 & 4) to the point of connection with the existing 12-inch City recycled water main in the intersection of Turner Av & Old Guasti Rd.

F. TRAFFIC / TRANSPORTATION

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer: 1. On-site and off-site circulation 2. Traffic level of service (LOS) at 'build-out' and future years 3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 Other conditions:
- a. Future driveway approaches along Guasti Road & Turner Avenue shall conform to the City of Ontario Traffic & Transportation Design Guidelines. Location and spacing requirements shall be subject to City review and acceptance.
 - b. The applicant/developer shall design and construct street improvements along Turner Avenue property frontage per the latest City of Ontario Design Guidelines/Standard Drawings. These, and all other street improvements required herein, shall include, but not be limited to concrete curb/gutter, sidewalk, public street lights, signing & striping and parkway landscaping.
 - i. Construction of improvements may require the relocation and/or undergrounding of existing utility devices, utility lines/poles, etc. Ultimate location of these utilities shall be in accordance with City Standard Drawing Numbers 1216 and 1217.
 - c. The applicant/developer shall design and construct a cul-de-sac at the west end of Old Guasti Road per City Standard Drawing Number 1101.
 - d. The applicant/developer shall design and construct an off-set cul-de-sac at the south end of Turner Avenue per the latest Traffic & Transportation Design Guidelines.
 - e. The applicant/developer shall construct concrete pavement on all northbound lanes in the signalized intersection of Archibald Avenue & Guasti Road per City Standard Drawing Number 1207.
 - f. The applicant/developer shall design and construct modifications to the existing traffic signal on Guasti Road and "A" Street (between Parcel 2 and Parcel 23). The traffic signal modification shall address relocation or upgrade of any affected equipment including poles, video detection, interconnect cable and conduit, emergency vehicle preemption systems, and bicycle detection to the satisfaction of the City Engineer.
 - i. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
 - ii. Signing and striping improvements shall be completed on Guasti Road and the north leg of the intersection as required to accommodate the south leg of the intersection.
 - iii. Traffic signal operation shall be designed with NB/SB lead-lag left turn phasing due to NB/SB left turning trucks being unable to operate concurrently.
 - g. The applicant/developer shall design and construct a new traffic signal system at the intersection of Guasti Road & Turner Avenue and shall include, but not be limited to video detection, CCTV, interconnect cable & conduit, emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer.
 - i. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
 - ii. Signing and striping improvements shall be constructed on Guasti Road and the north leg of Turner Avenue as required to accommodate the new traffic signal.



- iii. Traffic signal operation shall be designed with NB/SB lead-lag left turn phasing due to NB/SB left turning trucks being unable to operate concurrently.
- h. The applicant/developer shall design and construct a new traffic signal system at the intersection of Guasti Road & "B" Street (between Parcel 20 and Parcel 21) and shall include, but not be limited to video detection, interconnect cable & conduit, emergency vehicle preemption systems and bicycle detection to the satisfaction of the City Engineer.
 - i. All new signal equipment shall be installed at its ultimate location, unless precluded by right-of-way limitations.
 - ii. Signing and striping improvements shall be completed on Guasti Road and the north leg of the intersection as required to accommodate the south leg of the intersection.
- i. The applicant/developer shall design and construct in-fill public streets lights and a new service pedestal along Turner Avenue property frontage per the City's Traffic & Transportation Design Guidelines.
- j. The applicant/developer shall retrofit the existing public street lights along Archibald Avenue and Guasti Road property frontage per the City's Traffic & Transportation Design Guidelines.
- k. The applicant/developer shall install "No Parking Anytime" signs along Guasti Road and Turner Avenue property frontage per the latest City of Ontario Design Guidelines.

G. DRAINAGE / HYDROLOGY

- 2.38 A 24/30/54/60/84-inch storm drain main is available to accept flows from this project in Old Guasti Rd, Interior Street "A" & Guasti Rd). (Ref: Storm Drain Drawing Number: D11877-D11882, D11890)
- 2.39 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100-year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100-year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 Other conditions:
 - a. The applicant/developer shall construct a public storm drain main per the latest City of Ontario Design Guidelines/Standard Drawings; in the following streets:
 - i. "B" Street from Guasti Road to the point of connection with the proposed storm drain in the intersection of "B" Street & Old Guasti Road.
 - ii. Old Guasti Road from Turner Avenue to the point of connection in the intersection of Old Guasti Road & "A" Street.
 - b. The applicant/developer shall connect the proposed public storm drain main located within Parcels 1 thru 6 to the existing 84-inch City storm drain main within Parcel 6.
 - c. The applicant/developer shall abandon all conflicting and unused City storm drain mains including:
 - i. Existing 24-inch storm drain in Parcel 1, 2, 3, 4, 5 & 6.
 - d. The applicant/developer shall relocate the existing 66-inch storm drain in Parcel 24 and align it with "A" Street.



H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year-round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant’s engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 **Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.**
- 2.47 **Other conditions:**
 - a. **Each parcel when subdivided will need to prepare a final WQMP.**
 - b. **If infiltration is deemed infeasible with an infiltration study, the applicant/developer shall explore other Low Impact Development (LID) Best Management Practices (BMP’s) in accordance with the latest MS4 permit requirements.**

J. SPECIAL DISTRICTS

- 2.48 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.49 Other conditions: _____

K. FIBER OPTIC

- 2.50 **A 2-inch fiber optic line is available for connection by this project in Guasti Road. (Ref: Fiber Optic Drawing Number: Q10275)**
- 2.51 **Design and construct fiber optic system to provide access to the City’s conduit and fiber optic system per the City’s Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the OntarioNet hand hole located at the NWC of Guasti Road & “A” Street. Generally located along Guasti Road, Turner Avenue and Interior Streets, see Fiber Optic Exhibit herein.**
- 2.52 **Refer to the City’s Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.**

L. INTEGRATED WASTE



- 2.52 Onsite solid waste shall be designed in accordance with the City's Refuse & Recycling Planning Manual located at: <https://www.ontarioca.gov/OMUC/IntegratedWaste>
- 2.53 Other conditions: _____

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:



- 3.01 **Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.**
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 **Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**
- 4.04 **Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.**



EXHIBIT 'A'

ENGINEERING DEPARTMENT First Plan Check Submittal Checklist

Project Number: Parcel Map No. 20253

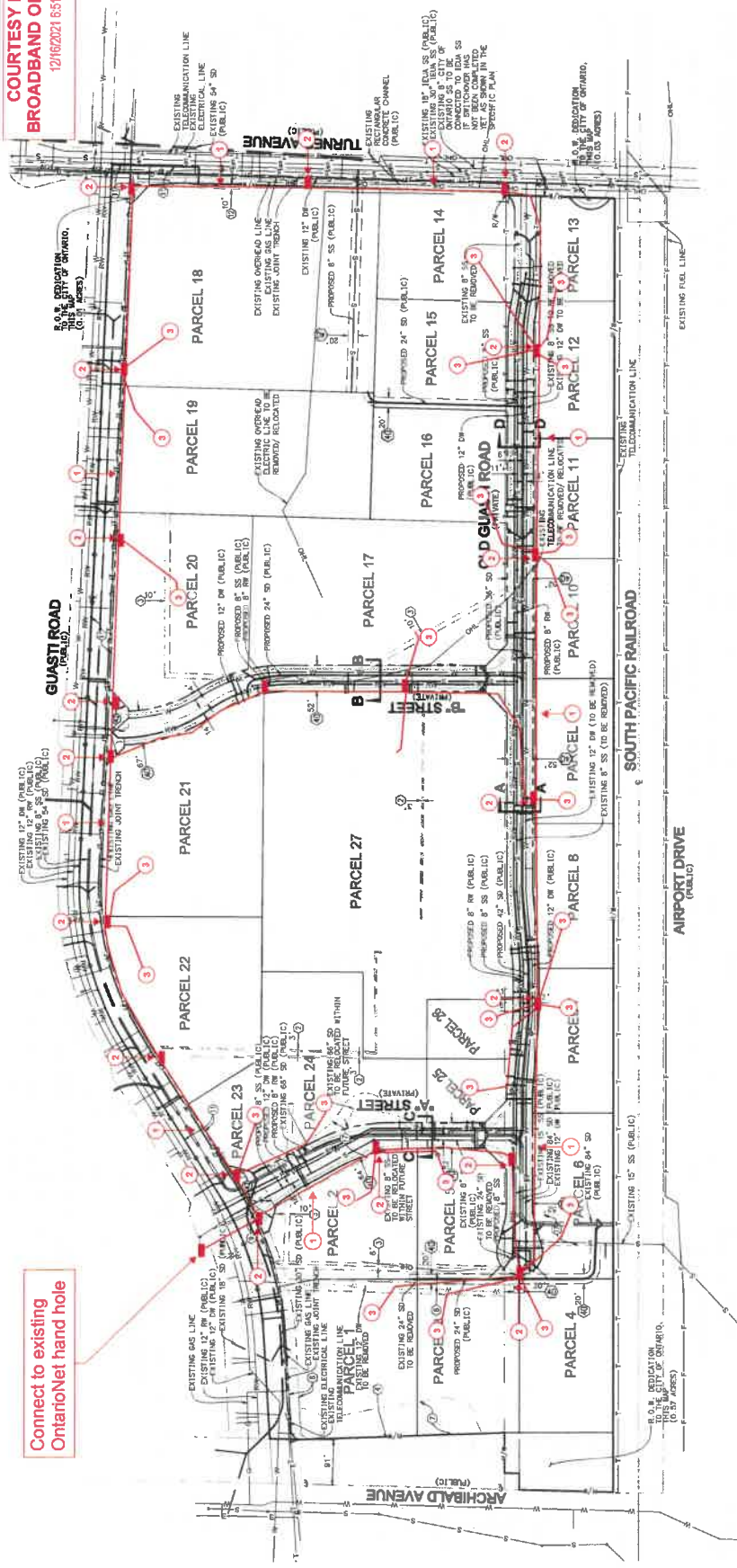
The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6. **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7. **Three (3) sets of Public Street improvement plan with street cross-sections**
8. **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9. **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10. **Four (4) sets of Public Sewer improvement plan**
11. **Five (5) sets of Public Storm Drain improvement plan**
12. **Three (3) sets of Public Street Light improvement plan**
13. **Three (3) sets of Signing and Striping improvement plan**
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18. **One (1) copy of Hydrology/Drainage study**
19. **One (1) copy of Soils/Geology report**
20. **Payment for Final Map/Parcel Map processing fee**



- 21. **Three (3) copies of Final Map/Parcel Map**
- 22. **One (1) copy of approved Tentative Map**
- 23. **One (1) copy of Preliminary Title Report (current within 30 days)**
- 24. **One (1) copy of Traverse Closure Calculations**
- 25. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 26. Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27. Other: _____

**COURTESY EXHIBIT
BROADBAND OPERATIONS**
12/16/2021 6:51:47 AM



Connect to existing OntarioNet hand hole

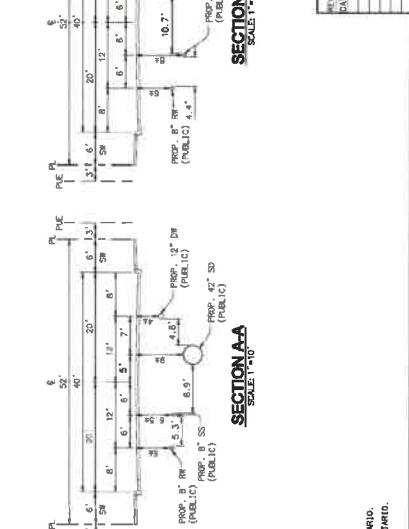
CONSTRUCTION NOTE 1
CONSTRUCT/INSTALL FIBER OPTIC CONDUIT AT A MINIMUM DEPTH OF 36". TRENCHING SHALL BE PER CITY STANDARD 1306. TWO (2)-2" HDPE SDR-11 (SMOOTHWALL) ROLL PIPE (1 ORANGE AND 1-ORANGE WITH BLACK STRIPE) OR EQUIVALENT. ALL UNUSED CONDUITS/DUCTS/MICRODUCTS SHALL BE PROTECTED WITH DUCTS PLUGS THAT PROVIDE A POSITIVE SEAL. DUCTS THAT ARE OCCUPIED SHALL BE PROTECTED WITH INDUSTRY ACCEPTED DUCT SEAL COMPOUND. CONDUIT BANK REQUIRES (1) 12AWG HIGH STRENGTH (MIN. BREAK LOAD 452#) COPPER-CLAD STEEL W/30MIL HOPE ORANGE INSULATION FOR LOCATE/TRACER WIRE.

CONSTRUCTION NOTE 2
INSTALL FIBER OPTIC HANDHOLE HH-322 (PCA304856-90241) NEWBASIS: LESS THAN OR EQUAL TO 432 STRANDS. PER CITY STANDARD 1318 CONDUITS SWEEPING INTO HANDHOLES SHALL ENTER IN FLUSH WITH THE CUT OUT MOUSE HOLES ALIGNED PARALLEL TO THE BOTTOM OF THE BOX AND COME IN PERPENDICULAR TO THE WALL OF THE BOX. CONDUITS SHALL NOT ENTER AT ANY ANGLE OTHER THAN PARALLEL. PROVIDE 5' MIN CLEARANCE FROM EXISTING/PROPOSED UTILITIES. ALL HANDHOLES WILL HAVE 1/4 INCH GALVANIZED WIRE BETWEEN THE HANDHOLES AND (THE GRAVEL ITS PLACED ON).

CONSTRUCTION NOTE 3
FROM THE NEAREST HANDHOLE TO THE BUILDING ENTRANCE, DESIGN AND INSTALL FIBER OPTIC CONDUIT AT A MINIMUM DEPTH OF 36-INCHES. TRENCHING SHALL BE PER CITY STANDARD FOR COMMERCIAL BUILDINGS. (1) 2-INCH HDPE SDR-11 (SMOOTHWALL) ROLL PIPE (ORANGE) DUCT. INSTALL LOCATE/TRACER WIRES MINIMUM 12AWG WITHIN CONDUIT BANK AND FIBER WARNING TAPE 18-INCH ABOVE THE UPPERMOST DUCT.

COMMERCIAL PROPERTIES SHALL TERMINATE CONDUIT IN AN ELECTRICAL ROOM ADJACENT TO THE WALL NO LESS THAN FIVE INCHES ABOVE THE FINISHED FLOOR. A 20" WIDTH X LENGTH 36" SPACE SHALL BE RESERVED ON THE PLYWOOD WALL FOR ONTARIO NET EQUIPMENT. THIS SPACE SHALL BE LABELED "ONTARIO NET ONLY". ONTARIO CONDUIT SHALL BE LABELED "ONTARIO NET".

LOCATION OF TELECOMMUNICATIONS ROOM IS CONCEPTUAL




- LEGEND:**
- PROPERTY LINE
 - PARCEL MAP BOUNDARY
 - 1" = 10' (PUBLIC)
 - 1" = 20' (PUBLIC)
 - 1" = 30' (PUBLIC)
 - 1" = 40' (PUBLIC)
 - 1" = 50' (PUBLIC)
 - 1" = 60' (PUBLIC)
 - 1" = 70' (PUBLIC)
 - 1" = 80' (PUBLIC)
 - 1" = 90' (PUBLIC)
 - 1" = 100' (PUBLIC)
 - 1" = 120' (PUBLIC)
 - 1" = 150' (PUBLIC)
 - 1" = 200' (PUBLIC)
 - 1" = 300' (PUBLIC)
 - 1" = 400' (PUBLIC)
 - 1" = 500' (PUBLIC)
 - 1" = 600' (PUBLIC)
 - 1" = 700' (PUBLIC)
 - 1" = 800' (PUBLIC)
 - 1" = 900' (PUBLIC)
 - 1" = 1000' (PUBLIC)
- EXISTING EASEMENT NOTES**
- EX. DOMESTIC WATER
 - EX. SANITARY SEWER
 - EX. RECYCLED WATER
 - EX. ELECTRICAL
 - EX. TELECOMMUNICATIONS
 - EX. WERHOOD LINE
 - EX. GAS LINE
 - EX. JOINT TRENCH
 - PROP. DOMESTIC WATER
 - PROP. RECYCLED WATER
 - PROP. SANITARY SEWER
 - PROP. SLOPE UNPAVEMENT
 - PROP. STORM DRAIN
- PROPOSED EASEMENT NOTES**
- PROPOSED UTILITY EASEMENT TO THE CITY OF ONTARIO
 - PROPOSED PUBLIC STREET & UTILITY EASEMENT TO THE CITY OF ONTARIO
 - PROPOSED TRAFFIC SIGNAL EQUIPMENT EASEMENT TO THE CITY OF ONTARIO

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off

| | |
|--|------------|
|  | 10/13/2021 |
| Jamie Richardson, Landscape Planner | Date |

| | |
|--|---------------------------------|
| Reviewer's Name: Jamie Richardson, Landscape Planner | Phone: (909) 395-2237 |
|--|---------------------------------|

| | | |
|--------------------------------|----------------|------------------------------|
| D.A.B. File No.: PMTT20-005 | Related Files: | Case Planner: Diane Ayala |
|--------------------------------|----------------|------------------------------|

| |
|---|
| Project Name and Location: Tentative Parcel Map No. 20253 |
|---|

| |
|--|
| Applicant/Representative: Patrick Russell – prussell@sares-regis.com 3501 Jamboree Rd., Ste. 3000 Newport Beach, CA 92660 |
|--|

- | | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | A Parcel Map (dated 09/20/2021) has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents. |
| <input type="checkbox"/> | A Parcel Map (dated) has not been approved. Corrections noted below are required before DAB approval. |

CORRECTIONS REQUIRED

1. Section D-D; show a minimum 4' curb adjacent parkway and 5' sidewalk to allow for street trees.
- To be addressed on future Grading or Utility Construction Plans:
2. Stormwater infiltration devices located in parkways or other landscape areas shall be routed to this department to be reviewed and approved before permit approval or installation.
 3. Note for decorative paving at entries.
 4. Note for compaction to not be greater than 85% at landscape areas; all finished grades 1 ½" below finished surfaces; landscaped slopes to be max 3:1.
 5. Show or note transformers shall be located in planter areas, and set back 3' from paving for small transformers less than 4' high and 5' setback for large transformer greater than 4' high. Locate on level grade. Coordinate with landscape plans.
 6. Show or note backflow devices shall be located in planter areas and set back min 3' from paving. Locate on level grade. Coordinate with landscape plans.
 7. Provide a utility clear space 8' wide in parkways 30' apart for street trees. Move water meters, drain lines, light standards to the minimum spacing to allow space for street trees.
 8. Show light standards 15' away from required tree locations.
 9. Wall footings shall not restrict landscape; max 12" in front of footing with 12" of cover.
 10. Show on plans step-outs at parking spaces adjacent to planters; 12" wide monolithic curb, 12" compacted decomposed granite or pavers adjacent to the 6" curb.
- Once items are complete, you may email an electronic set to: landscapeplancheck@ontarioca.gov

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PMTT20-005
 Address: NEC of Guasti Road and Haven Avenue
 APN: 0210-192-11 & 0211-201-15
 Existing Land Use: Vacant Winery/Buildings
 Proposed Land Use: Parcel Map to subdivide 54.13 acres into 29 lots
 Site Acreage: 54.13 Proposed Structure Height: N/A
 ONT-IAC Project Review: n/a
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Diane Ayala
 Date: 12/23/2020
 CD No.: 2020-027
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

| Safety | Noise Impact | Airspace Protection | Overflight Notification |
|-------------------------------|---|--|---|
| <input type="radio"/> Zone 1 | <input type="radio"/> 75+ dB CNEL | <input type="radio"/> High Terrain Zone | <input checked="" type="checkbox"/> Avigation Easement Dedication |
| <input type="radio"/> Zone 1A | <input type="radio"/> 70 - 75 dB CNEL | <input checked="" type="checkbox"/> FAA Notification Surfaces | <input type="radio"/> Recorded Overflight Notification |
| <input type="radio"/> Zone 2 | <input checked="" type="checkbox"/> 65 - 70 dB CNEL | <input checked="" type="checkbox"/> Airspace Obstruction Surfaces | <input type="radio"/> Real Estate Transaction Disclosure |
| <input type="radio"/> Zone 3 | <input checked="" type="checkbox"/> 60 - 65 dB CNEL | <input checked="" type="checkbox"/> Airspace Avigation Easement Area | |
| <input type="radio"/> Zone 4 | | Allowable Height: 120 FT | |
| <input type="radio"/> Zone 5 | | | |

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP
 Consistent
 Consistent with Conditions
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: _____

CITY OF ONTARIO

MEMORANDUM

TO: PLANNING DEPARTMENT, Diane Ayala
FROM: BUILDING DEPARTMENT, Kevin Shear
DATE: July 7, 2020
SUBJECT: PMTT20-005

-
- The plan **does** adequately address the departmental concerns at this time.
 No comments
 Report below.

Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lr



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Development Director
Cathy Wahlstrom, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
Kevin Shear, Building Official
Khoi Do, City Engineer
Jamie Richardson, Landscape Planning Division
Ahmed Aly, Municipal Utility Company
Emily Hernandez, Police Department
Paul Ehrman, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Eric Woosley, Engineering/NPDES
Joe De Sousa, Code Enforcement (Copy of memo only)
Jimmy Chang, IT Department

FROM: Diane Ayala, Senior Planner

DATE: July 02, 2020

SUBJECT: FILE #: PMTT20-005 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Tentative Parcel Map to subdivide 54.13 acres of land into 29 lots, within the Commercial/Office land use designation of the Guasti Plaza Specific Plan. The project is bounded by Guasti Road to the north, Southern Pacific Railroad to the south, Turner Avenue to the East and Archibald Avenue to the west. APN's: 0210-192-11 and 0211-201-15.

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

POLICE
Department

E. HERNANDEZ
Signature

POLICE OFFICER
Title

7/14/2020
Date



Development Advisory Board Decision

January 19, 2022

DECISION NO.:

FILE NO.: PDEV21-013

DESCRIPTION: A modification to a previously approved Development Plan (File No. PDEV17-016) to increase the overall building footprint from 85,583 square feet to 101,163 square feet, to facilitate the construction of a neighborhood shopping center consisting of six buildings and establish a restaurant pad with drive-thru for future construction on 13.4 acres of land located at the southeast corner of Haven Avenue and Fourth Street, within the Commercial land use district of the Piemonte Overlay Area of the Ontario Center Specific Plan; (APNs: 0210-531-06, 0210-531-07, 0210-531-08, 0210-531-09, 0210-531-10, 0210-531-11, 0210-531-12, 0210-531-13, 0210-531-14) **submitted by Lewis Retail Centers.**

Part I—BACKGROUND & ANALYSIS

LEWIS RETAIL CENTERS, (herein after referred to as “Applicant”) has filed an application requesting Development Plan approval, File No. PDEV21-013, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 13.4 acres of land located at the southeast corner of Haven Avenue and Fourth Street, within the Commercial land use district of the Piemonte Overlay Area of the Ontario Center Specific Plan and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the Project site are as follows:

| | <i>Existing Land Use</i> | <i>General Plan Designation</i> | <i>Zoning Designation</i> | <i>Specific Plan Land Use</i> |
|--------------|--|---|---|---|
| <i>Site</i> | Vacant | Ontario Center Mixed Use | SP (Specific Plan) | Commercial (Piemonte Overlay of the Ontario Center SP) |
| <i>North</i> | <u>City of Rancho Cucamonga:</u> Offices, Vacant & Industrial | <u>City of Rancho Cucamonga:</u> Industrial Park (0.40 – 0.60 FAR) | <u>City of Rancho Cucamonga:</u> Industrial Park (0.40 – 0.60 FAR) | N/A |
| <i>South</i> | Vacant & Offices | Ontario Center Mixed Use | Ontario Center Specific Plan | Urban Commercial (Piemonte Overlay of the Ontario Center SP) |
| <i>East</i> | Multiple-Family Residential | Ontario Center Mixed Use | Ontario Center Specific Plan | Urban Residential (Piemonte Overlay of the Ontario Center SP) |
| <i>West</i> | Office & Multiple-Family Residential | Ontario Center Mixed Use | Ontario Center Specific Plan and R.H. Wagner Properties Specific Plan | Garden Commercial and Urban Residential (Piemonte Overlay of the Ontario Center SP) |

(2) **Project Description:**

(a) **Background** — On June 15, 2020, the Development Advisory Board approved the Development Plan, File No. PDEV17-016, to construct a neighborhood shopping center on the Project site, consisting of six buildings totaling 85,583 square feet and a restaurant pad with a drive-thru facility for future construction.

The COVID-19 Pandemic has significantly impacted consumer behavior and transformed shopping trends to an increase in online ordering and curbside pickup, which resulted in the Applicant requesting substantial changes to the previously approved Development Plan (File No. PDEV17-016). On March 3, 2021, the Applicant submitted a new Development Plan application to revise the previously approved Development Plan. The proposed site plan will continue to facilitate the construction of six buildings and establish a restaurant pad with a drive-thru facility; however, the proposed changes include an increase to the overall building area, from 85,583 square feet to 101,163 square feet, that will require modifications to several building footprints and the overall site design. Below is a summary of proposed site design and building size changes:

- Increase the size of the market building from 45,000 to 55,000 square feet to accommodate additional storage space and provide eight dedicated curbside pickup parking stalls;
- Decrease the size of the Shops 1 building (in-line shops adjacent to the market building) from 10,550 to 9,950 square feet and site design layout changes to increase the size of the adjacent plaza area;
- Increase the size of building Pad 2 from 5,040 to 8,820 square feet and reconfigure the plaza area located at the corner of Fourth Street and Haven Avenue to accommodate additional public outdoor spaces and dining areas;
- Increase the size of building Pad 5 from 4,500 to 5,800 square feet and reconfigure the immediate site design and drive-thru facility to increase vehicle stacking and provide additional outdoor dining areas; and
- Increase the size of building Pad 6 from 7,865 to 8,965 square feet and reconfigure the immediate site design and outdoor dining areas; and

(b) **Site Design/Building Layout** — The proposed shopping center will buildout Subarea 1 of the Piemonte Overlay of the Ontario Center Specific Plan, which the Specific Plan designates for a mix of commercial and entertainment uses. The proposed site plan for the shopping center includes the following:

(i) **Market and Shops.** One 55,000-square-foot market with an attached 9,950-square-foot wing of multi-tenant shops is located at the southeasterly corner of the Project site (see Exhibit B—Site Plan). The loading dock for the market is located at the northeast corner of the building and will be screened from public view by a combination of buildings, an 8-foot-high screen wall and dense landscaping. Views from the existing multiple-family residential project to the east will be adequately screened by a mix of existing and proposed landscaping and existing carports and garages located adjacent to the Project's east property line. There are two plazas totaling 2,766 square feet directly north and west of the building that features outdoor seating, enhanced paving, landscaping, and a 3-foot-high decorative wall that will provide a buffer between the plaza and interior drive aisles (see Exhibit J—Outdoor Plazas).

(ii) **Convenience Store with Fuel Sales (7-Eleven).** A 4,088-square-foot convenience store with fuel sales is located at the northeasterly corner of the Project Site. Six fuel dispenser pumps are located immediately west of the convenience store and are covered by a 3,200-square-foot canopy.

(iii) **Building Pads 2, 3, and 6.** Three stand-alone multi-tenant pad buildings totaling 22,825 square feet are proposed. Building pads 2 and 3 (8,820 square feet and 5,040 square feet, respectively) are located at the northwesterly corner of the Project site, oriented toward the Haven Avenue/Fourth Street intersection. Buildings 2 and 3 are separated by a 10,595-square-foot large plaza that features outdoor dining/seating areas, enhanced paving, landscaping, and a 2-foot-high seat wall (see Exhibit J—Outdoor Plazas).

Building pad 6 is an 8,865-square-foot multi-tenant building located along the southern edge of the Project site and backs on to Concoors Street. Building 6 includes two small plaza areas directly east and west of the proposed building, totaling 3,134 square feet, that features outdoor dining/seating areas, enhanced paving, and landscaping (see Exhibit J—Outdoor Plazas).

(iv) **Building Pad 5.** A 5,800-square-foot, stand-alone, multi-tenant pad building with drive-thru is proposed. Pad 5 is located along the Project’s Haven Avenue frontage, on the south side of the driveway entrance. The proposed building also incorporates a small L-shaped plaza located directly north and east of the building that includes outdoor seating, enhanced paving, and landscaping (see Exhibit J—Outdoor Plazas).

(v) **Building Pad 4.** The establishment of a standalone restaurant pad with drive-thru is proposed along the Project’s Haven Avenue frontage, on the north side of the driveway entrance. This pad is intended for future construction with a maximum 3,500-square-foot fast food restaurant and a 441-square-foot plaza area, which will be considered under a separate Development Plan application.

(c) **Site Access/Circulation** — Vehicular access to the Project site is proposed at three locations, as follows:

- Access from Fourth Street is provided at the northeast corner of the Project site by a signalized full access driveway.
- Access from Haven Avenue is provided mid-block, between Fourth Street and Concoors Street, and will be limited to right in/right out, only; and
- Access from Concoors Street is provided at the southeast corner of the Project site by a full access driveway that aligns with the driveway across the street and is shared with the adjoining property to the east.

Vehicular circulation throughout the site is provided by a series of two-way drive aisles that provide access to all proposed buildings and throughout all parking fields. A drive aisle that runs north-south along the Project’s east property line provides delivery truck access to the major tenant building.

Pedestrian circulation is provided throughout the Project site, which connects each building within the development. Additionally, a number of pedestrian pathways have been provided that connect to the site perimeter along Fourth Street, Haven Avenue, and Concoors Street, which will encourage and promote pedestrian mobility through the Project.

(d) **Parking** — The minimum parking requirements for the proposed Project have been exceeded. The minimum off-street parking requirement for the shopping center is 532 spaces. A total of 592 parking spaces have been provided, providing an excess of 60 parking spaces. The parking statistics for the Project are summarized in the Off-Street Parking Summary, below.

| Off-Street Parking Summary | | | | |
|-----------------------------------|----------------------|------------------------------|-----------------|-----------------|
| Use | Building Area | Minimum Parking Ratio | Required | Provided |
| Market | 45,000 SF Retail | 4 spaces/1,000 SF | 180 | 255 |
| | 10,000 SF Storage | 1 space/1,000 SF | 10 | |

| Off-Street Parking Summary | | | | |
|-----------------------------------|----------------------------------|---|-----------------|-----------------|
| Use | Building Area | Minimum Parking Ratio | Required | Provided |
| Shops 1 | 6,050 SF Retail 3,900 SF Food | 4 spaces/1,000 SF 10 spaces/1,000 SF | 24 39 | 67 |
| Convenience Store with fuel sales | 4,088 SF | 4 spaces/1,000 SF | 16 | 21 |
| Pad 2 Retail/Food | 2,520 SF Retail 6,300 SF Food | 4 spaces/1,000 SF 10 spaces/1,000 SF | 10 63 | 67 |
| Pad 3 Retail/Food | 1,260 SF Retail 3,780 SF Food | 4 spaces/1,000 SF 10 spaces/1,000 SF | 5 38 | 52 |
| Pad 4 Fast Food | 3,500 SF | 13.3 spaces/1,000 SF | 47 | 38 |
| Pad 5 Retail/Food | 2,300 SF Retail 3,500 SF Food | 4 spaces/1,000 SF 10 spaces/1,000 SF | 9 35 | 26 |
| Pad 6 Retail/Food | 5,665 SF Retail 3,300 SF Food | 4 spaces/1,000 SF 10 spaces/1,000 SF | 23 33 | 66 |
| TOTAL | 101,163 SF | | 532 | 592 |

(e) **Architecture** — A contemporary building design has been proposed, incorporating stucco exterior walls in combination with various accent walls clad in stone veneer and metal siding having a wood appearance, Greenscreen wall-hung trellis panels, prefabricated metal canopies, color blocking, clear vision glazing set in a clear anodized storefront system, and decorative accent lights. The Applicant has proposed a development that embodies the type of high-quality architecture promoted by the Piemonte Overlay of the Ontario Center Specific Plan and the Development Code’s design guidelines for commercial developments. This is exemplified through the Project’s use of:

- Significant articulation in the building footprint, which correspond to vertical changes in the planes of exterior walls;
- Main entrances defined by enhanced architectural elements;
- A mix of exterior finishes/materials and architectural detailing, including the incorporation of stucco walls in combination with the liberal use of cultured stone veneers, decorative metal panels, and color blocking used to define changes in wall planes;
- Varied building massing, incorporating multiple changes in plane in exterior building walls; and
- Varied roof elements/forms, incorporating significant changes in roof and parapet lines.

(f) **Landscaping** — The Project provides substantial landscaping the full length of the Fourth Street, Haven Avenue, and Concours Street frontages, throughout off-street parking areas, and throughout stormwater retention areas, for an overall landscape coverage of 22.6 percent (120,634 square feet). A variety of accent and shade trees in 15 gallon, 24-inch, 36-inch, and 48-inch box sizes have been proposed to enhance the Project. Moreover, decorative paving and lighting will be provided at vehicular entries, pedestrian walkways, and other key locations throughout the Project.

(g) **Utilities (drainage, sewer)** — Public utilities (water and sewer) are available to serve the Project. Additionally, the Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes the Project’s compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizing low impact development (“LID”) best management practices (“BMPs”), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of vegetated swales and detention basins, and underground infiltration systems designed to accept runoff from building roofs, parking lots, and Project driveways. Any overflow drainage will be conveyed to the surrounding streets.

Part II—RECITALS

WHEREAS, the Application is a project pursuant to the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) ("CEQA") and an initial study has been prepared to determine possible environmental impacts; and

WHEREAS, a Mitigated Negative Declaration ("MND") in which development and use of the Project site was previously discussed, was adopted by the City Council on May 16, 2017, in conjunction with File No. PSPA16-003, pursuant to CEQA, the State CEQA Guidelines and the City of Ontario Local CEQA Guidelines; and

WHEREAS, the environmental impacts of this Project were thoroughly analyzed in the previous MND, which concluded that implementation of the Project could result in a number of significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

WHEREAS, the City's "Local Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board ("DAB") the responsibility and authority to review and act on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan ("ALUCP"), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on January 19, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: Environmental Determination and Findings. As the decision making for the Project, the DAB has reviewed and considered the information contained in the previous MND and supporting documentation. Based upon the facts and information contained in the previous MND and supporting documentation, the DAB finds as follows:

(1) The environmental impacts of this Project were previously reviewed in conjunction with File No. PSPA16-003, an Amendment to the Piemonte Overlay of The Ontario Center Specific Plan, for which an MND was adopted by the City Council on May 16, 2017.

(2) The previous MND contains a complete and accurate reporting of the environmental impacts associated with the Project; and

(3) The previous MND was completed in compliance with CEQA and the Guidelines promulgated thereunder, and the City of Ontario Local CEQA Guidelines; and

(4) The previous MND reflects the independent judgment of the DAB; and

(5) The proposed Project will introduce no new significant environmental impacts beyond those previously analyzed in the previous MND, and all mitigation measures previously adopted with the MND, are incorporated herein by this reference.

SECTION 2: Subsequent or Supplemental Environmental Review Not Required. Based on the information presented to the DAB, and the specific findings set forth in Section 1, above, the DAB finds that the preparation of a subsequent or supplemental MND is not required for the Project, as the Project:

(1) Does not constitute substantial changes to the MND that will require major revisions to the MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and

(2) Does not constitute substantial changes with respect to the circumstances under which the MND was prepared that will require major revisions to the MND due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects; and

(3) Does not contain new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the MND was certified/adopted, that shows any of the following:

(a) The Project will have one or more significant effects not discussed in the MND; or

(b) Significant effects previously examined will be substantially more severe than shown in the MND; or

(c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the City declined to adopt such measures; or

(d) Mitigation measures or alternatives considerably different from those analyzed in the MND would substantially reduce one or more significant effects on the environment, but which the City declined to adopt.

SECTION 3: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the decision making body for the Project, the DAB finds that based on the facts and information contained in the Application and

supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 4: ALUCP Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the decision making body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 5: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the determinations set forth in Sections 1 through 4, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Ontario Center Mixed Use land use district of the Policy Plan Land Use Map, and the Piemonte Overlay of the Ontario Center Specific Plan. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the applicable requirements of the City of Ontario Development Code and the Piemonte Overlay of the Ontario Center Specific Plan, including standards relative to the particular land use proposed (retail shopping center), as-well-as building intensity, building, and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Piemonte Overlay of the Ontario Center Specific Plan are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan, and the Piemonte Overlay of the Ontario Center Specific Plan; and

(4) **The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Piemonte Overlay of the Ontario Center Specific Plan that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (retail shopping center). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Piemonte Overlay of the Ontario Center Specific Plan.

SECTION 6: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 5, above, the DAB hereby APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

SECTION 7: Indemnification. The Applicant shall agree to defend, indemnify, and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers, or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 8: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 19th day of January 2022.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



Exhibit B—SITE PLAN

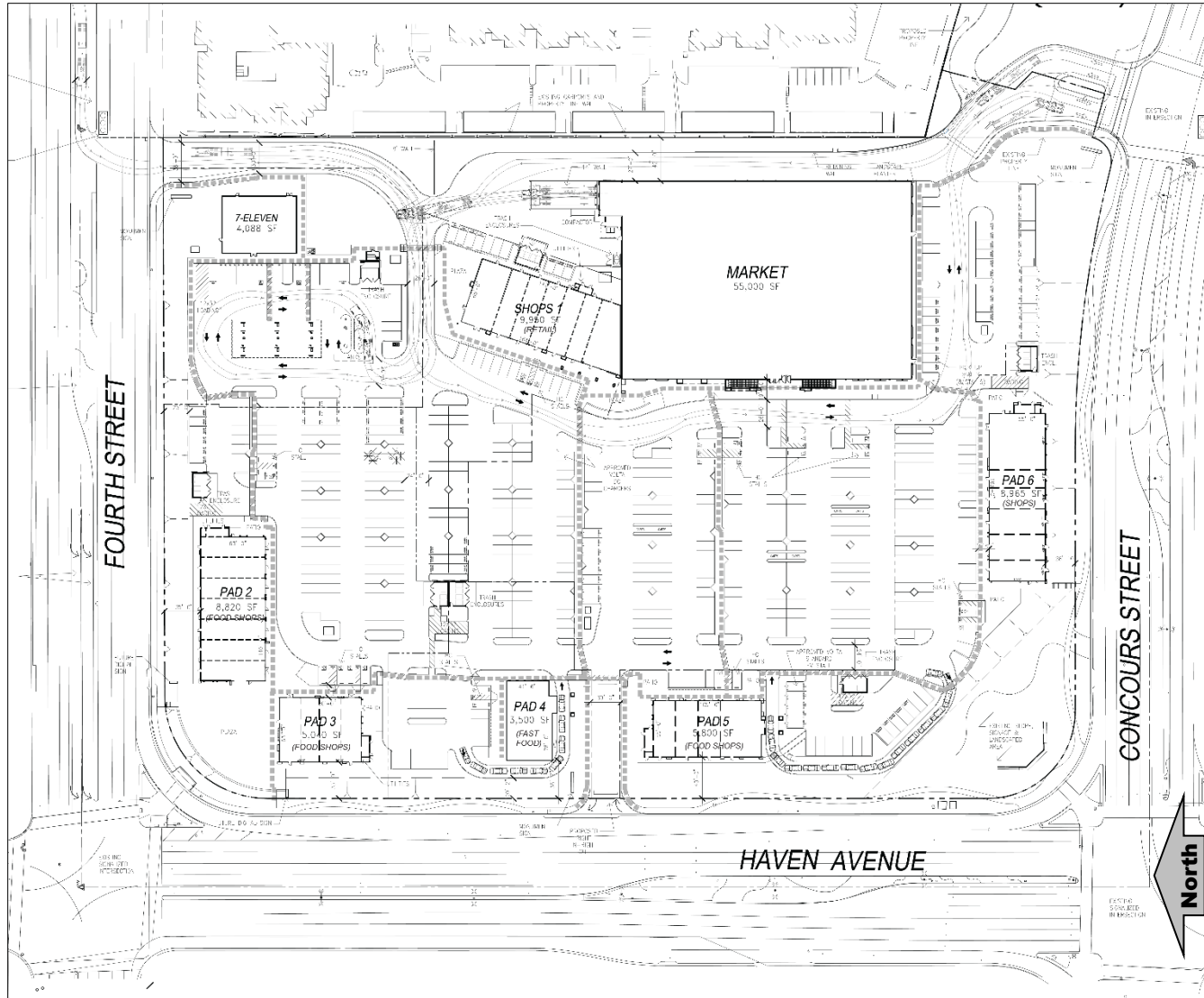


Exhibit C—EXTERIOR ELEVATIONS (MARKET AND SHOP 1)



Exhibit D—EXTERIOR ELEVATIONS (PAD 2)



Exhibit E—EXTERIOR ELEVATIONS (PAD 3)



Exhibit F—EXTERIOR ELEVATIONS (PAD 5)



Exhibit G—EXTERIOR ELEVATIONS (PAD 6)



Exhibit H—EXTERIOR ELEVATIONS (CONVENIENCE STORE WITH FUEL SALES)



Exhibit H—EXTERIOR ELEVATIONS (CONVENIENCE STORE WITH FUEL SALES - CONTINUED)

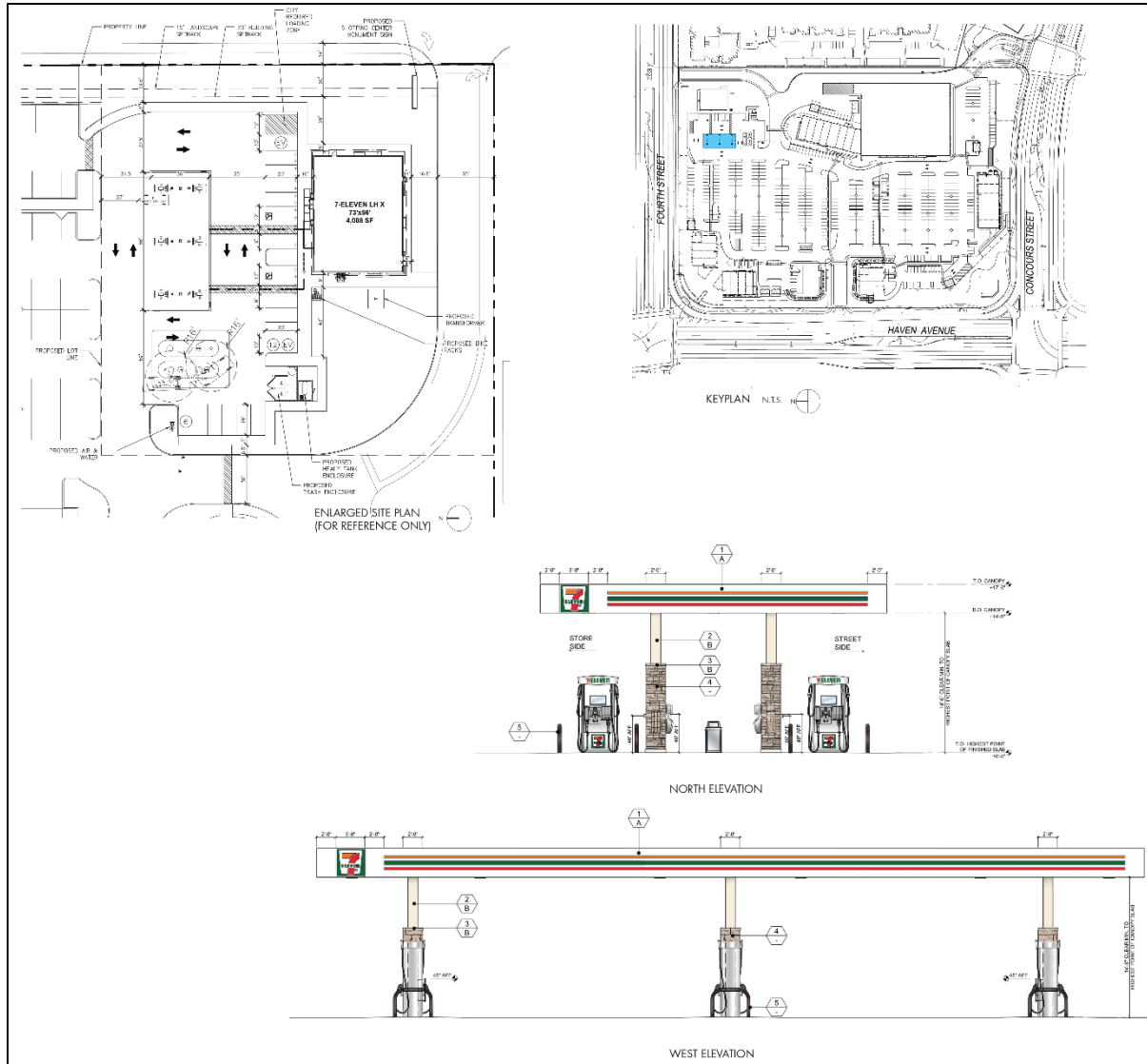


Exhibit I—LANDSCAPE PLAN



PLANT LIST

| SYMBOL | KEY BOTANICAL NAME | COMMON NAME | WILCOX'S SIZE | QTY |
|------------------------------|--|-----------------------------------|---------------|------------|
| TREES | | | | |
| | Baccharis pedunculata (Match existing street w/40'-Concoeurs Street) | Bottle Tree | L | 2478 12 |
| | Cercidion Garden | Blue Palo Verde | XL | 2478 31 |
| | Quercus macrocarpa / Quercus agrifolia | Juvenado / Coast Live Oak | M-L | 4678 9 |
| | Arbutus Menziesii | Marina Strawberry Tree | M | 2478 75 |
| | Koeberlinia paniculata | Goldenrod Tree | L | 2478 74 |
| | Schinus molle (Match existing street w/40'-Concoeurs Street) | California Pepper Tree (INVASIVE) | L | 2478 4 |
| | Platanus acerifolia (Match existing street w/40'-Haven) | London Plane Tree | M | 2478 13 |
| | Quercus wislizenii | Interior Live Oak | L | 2478 13 |
| | Cercis occidentalis | Western redbud | M | 2478 40 |
| | Magnolia grandiflora 'D.D. Blanchard' | Southern Magnolia | M | 2478 25 |
| PALMS | | | | |
| | Phoenix carolinensis | Candy Island Date Palm (INVASIVE) | L | 12' BTH 6 |
| | Phoenix dactylopera | Date Palm | L | 20' BTH 13 |
| ESPALIER | | | | |
| | Podocarpus Gracilior | Fern Pine | M | 15G |
| SHRUBS | | | | |
| | Agave 'Blue Flame' | Blue Flame Agave | L | 5G |
| | Aloe vera | Medicinal Aloe | L | 5G |
| | Buxus microphylla japonica | Japanese Boxwood | M | 1G |
| | Callitriche viminalis 'Little Job' | Dwarf Forsythia | L | 5G |
| | Carrisa grandiflora 'Green Carpet' | Nasal Plum | M | 1G |
| | Dianella tasmanica 'Silver Streak' | Silver Streak Flax Lily | M | 1G |
| | Dioscorea grandiflora | Fortnight Lily | L | 5G |
| | Lantana hybrid 'Gold Mound' | Lantana | L | 1G |
| | Ligustrum japonicum 'Texanum' | Wax Leaf Privet | M | 5G |
| | Limonium longifolium 'L.M.C.M.F.' | Ricecut Dwarf Mat Rush | M | 5G |
| | Myoporum parvifolium 'Putah Creek' | Myoporum | L | 1G |
| | Olea europaea 'Montra' P.P.#6266 | Little Olive Dwarf Olive | L | 5G |
| | Philadelphus tobiro | Tobira | M | 5G |
| | Rhipsalis indica 'Clara' | Indian Hawthorne | M | 5G |
| | Rosa x 'Nouze' | Rose Flower Carpet | M | 2G |
| | Strelitzia reginae | Bird-of-Paradise | L | 5G |
| | Trachelospermum asiaticum | Asian Jasmine | M | 1G |
| | Yucca filamentosa 'Gold Sword' | Gold Sword Yucca | VL | 5G |
| BASIN BOTTOM PLANTING | | | | |
| | Non-irrigated Grass Hydroseeded Mix - T.B.D. | | | |

NOTES:
 - LANDSCAPE CONSTRUCTION PLANS SHALL MEET ALL THE REQUIREMENTS OF THE LANDSCAPE DEVELOPMENT GUIDELINES.
 - AGRICULTURAL SOIL TESTING AND REPORT SHALL BE INCLUDED WITH THE LANDSCAPE CONSTRUCTION PLANS.

- ① CORNER PLAZA @ PAD 2 & 3 - 10595 S.F.
- ② PLAZA @ SHOPS - 9254 S.F.
- ③ ENHANCED PLAZA PAVING ENCLOSED BY 5' HT. WALL
- ④ DECORATIVE PAVING @ ENTRY (TYP) - 216457 S.F.
- ⑤ RETAIL AND BUILDING SIGNAGE (TYP.)
- ⑥ SIGN LOCATIONS
- ⑦ 36" HT. HEDGE AT DRIVE-THROUGH LANE
- ⑧ PLAZA @ PAD 2 - 784 S.F.
- ⑨ PROPOSED INTERSECTION
- ⑩ 8' HT. SCREENING WALL
- ⑪ 4' HT. SCREENING WALL
- ⑫ PLAZA @ SHOPS & MARKET - 2766 S.F.
- ⑬ EAST PLAZA @ PAD 6 - 851 S.F.
- ⑭ WEST PLAZA @ PAD 6 - 2285 S.F.
- ⑮ NORTHEAST PLAZA @ PAD 5 - 1560 S.F.
- ⑯ SOUTHEAST PLAZA @ PAD 5 - 599 S.F.
- ⑰ PLAZA @ PAD 4 - 441 S.F.
- ⑱ PLAZA @ PAD 3 - 1084 S.F.
- ⑲ 6" WIDE CONCRETE MON. STRIP

* TOTAL PATIO AREA - 24,177 S.F. (0.56 ACRES)



Exhibit J—OUTDOOR PLAZAS

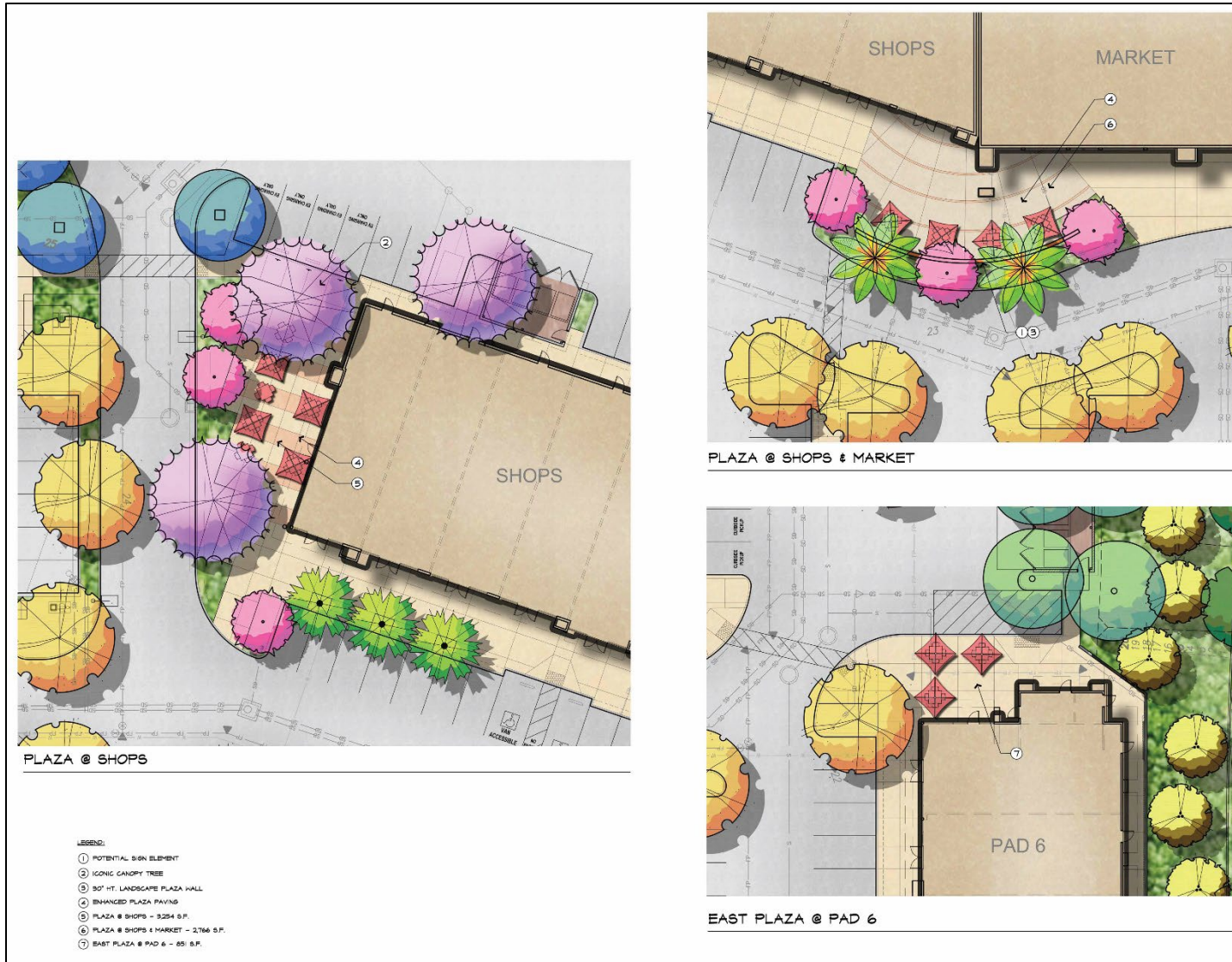
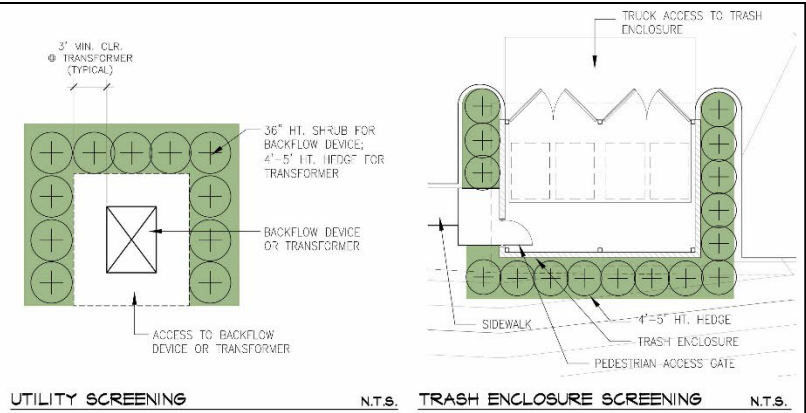


Exhibit J—OUTDOOR PLAZAS (CONTINUED)



NORTHEAST & SOUTHEAST PLAZA @ PAD 5

- LEGEND:**
- ① ICONIC CANOPY TREES
 - ② ENHANCED PAVING
 - ③ NORTHEAST PLAZA @ PAD 5 - 1360 S.F.
 - ④ SOUTHEAST PLAZA @ PAD 5 - 559 S.F.
 - ⑤ WEST PLAZA @ PAD 6 - 2285 S.F.



UTILITY SCREENING

N.T.S. TRASH ENCLOSURE SCREENING N.T.S.



WEST PLAZA @ PAD 6

Attachment A—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)

Date Prepared: 1/3/2022
File No: PDEV21-013
Related Files: PDEV17-016

Project Description: A modification to a previously approved Development Plan (File No. PDEV17-016) to increase the overall building footprint from 85,583 square feet to 91,163 square feet, to facilitate the construction of a neighborhood shopping center consisting of six buildings and establish a restaurant pad with drive-thru for future construction on 13.4 acres of land located at the southeast corner of Haven Avenue and Fourth Street, within the Commercial land use district of the Piemonte Overlay Area of the Ontario Center Specific Plan; (APNs: 0210-531-06, 0210-531-07, 0210-531-08, 0210-531-09, 0210-531-10, 0210-531-11, 0210-531-12, 0210-531-13, and 0210-531-14) **submitted by Lewis Retail Centers.**

Prepared By: Jeanie Irene Aguilo, Associate Planner
Phone: 909.395.2418 (direct)
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

| Screen Wall Height | Minimum Gate Height |
|---------------------------|----------------------------|
| 14 feet: | 10 feet |
| 12 feet: | 9 feet |
| 10 feet: | 8 feet |
| 8 feet: | 8 feet |
| 6 feet: | 6 feet |

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to

confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Covenants, Conditions and Restrictions (CC&Rs)/Mutual Access and Maintenance Agreements.

(a) CC&Rs shall be prepared for the Project and shall be recorded prior to the issuance of a building permit.

(b) The CC&Rs shall be in a form and contain provisions satisfactory to the City. The articles of incorporation for the property owners association and the CC&Rs shall be reviewed and approved by the City.

(c) CC&Rs shall ensure reciprocal parking and access between parcels.

(d) CC&Rs shall ensure reciprocal parking and access between parcels, and common maintenance of:

(i) Landscaping and irrigation systems within common areas;

(ii) Landscaping and irrigation systems within parkways adjacent to the project site, including that portion of any public highway right-of-way between the property line or right-of-way boundary line and the curb line and also the area enclosed within the curb lines of a median divider (Ontario Municipal Code Section 7-3.03), pursuant to Ontario Municipal Code Section 5-22-02;

(iii) Shared parking facilities and access drives; and

(iv) Utility and drainage easements.

(e) CC&Rs shall include authorization for the City's local law enforcement officers to enforce City and State traffic and penal codes within the project area.

(f) The CC&Rs shall grant the City of Ontario the right of enforcement of the CC&R provisions.

(g) A specific methodology/procedure shall be established within the CC&Rs for enforcement of its provisions by the City of Ontario, if adequate maintenance of the development does not occur, such as, but not limited to, provisions that would grant the City the right of access to correct maintenance issues and assess the property owners association for all costs incurred.

2.13 Environmental Review.

(a) The environmental impacts of this project were previously reviewed in conjunction with PSPA16-003, for which a Mitigated Negative Declaration was adopted by the City Council on May 16, 2017. This application introduces no new significant environmental impacts. The City's "Guidelines for the Implementation of the California Environmental Quality Act (CEQA)" provide for the use of a single environmental assessment in situations where the impacts of subsequent projects are adequately analyzed. The previously adopted mitigation measures shall be a condition of project approval and are incorporated herein by this reference.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.14 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.15 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality

Act ("CEQA"). Failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.16 Additional Requirements.

(a) A Lot Line Adjustment shall be required upon Engineering Department approval.

(b) New development, an increase of more than 10 percent in GFA, or the major alteration or remodel of any building occupied by, or proposed to be occupied by, retail commercial uses providing 10 or more shopping carts for use by business patrons, shall install and maintain in good working order, an electronic barrier system at the perimeter of the business site, which, when crossed by a shopping cart, will disable the cart, thereby preventing its removal from the site. Alternate cart retention methods that would achieve the same outcome may be considered by the Planning Director.

(c) A low screen wall along with the proposed 36-inch landscape hedges shall be designed to further screen the drive-thru lane for Pad 5. The final design of the low screen wall shall require Planning Director review and approval.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

| | |
|--|---|
| <input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER | <input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES |
| PROJECT FILE NO. <u>PDEV21-013</u> RELATED FILE NO(S). _____ | |
| <input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__ | |

CITY PROJECT ENGINEER & PHONE NO: Antonio Alejos *A.A.* (909) 395-2384

CITY PROJECT PLANNER & PHONE NO: Jeanie Aguilo (909) 395-2418

DAB MEETING DATE: January 19th, 2022

PROJECT NAME / DESCRIPTION: PDEV21-013, an Amendment to a previously approved PDEV17-016 to construct a shopping center consisting of 6 BLDGs totaling 85,583 SQ-FT & restaurant pad with drive-thru for future construction on 13.4 acres of land within the Ontario Center SP

LOCATION: SEC of Haven Av & Fourth St

APPLICANT: Lewis Retail Centers

REVIEWED BY: *Raymond Lee* 1/12/2022
 Raymond Lee, P.E. Date
 Assistant City Engineer

APPROVED BY: *Khoi Do* 1/12/2022
 Khoi Do, P.E. Date
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
_____ feet on _____
Property line corner 'cut-back' required at the intersection of _____
and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s):
A. All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
(1) _____
(2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with



accompanying security as required, or complete all public improvements.

- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario per Parcels 1 thru 9 of Parcel Map No. 17550, as per map filed in Book 216, pages 7 thru 20, inclusive of Parcel Maps; Document No. 2006-0632192, in the Office of the County Recorder of the County of San Bernardino.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 **Apply for a:**
 - Certificate of Compliance with a Record of Survey;
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);**



- Make a Dedication of Easement.
- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.**
- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.**
- 2.08 Submit a soils/geology report.**
- 2.09 Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - City of Ranch Cucamonga (Traffic Signal; Median on Fourth Street)**
 - Other: Non-interference Letter required from each easement holder listed in the title report**
- 2.10 Dedicate to the City of Ontario the right-of-way described below:**

_____ feet on _____

Property line corner 'cut-back' required at the intersection of _____ and _____.
- 2.11 Dedicate to the City of Ontario the following easement(s):**
 - a. **An easement for sidewalk purpose for any public sidewalk proposed to be constructed outside of the City right-of-way. This would include, but not be limited to, proposed meandering sidewalk on Haven Avenue and Concours frontages, as well as additional sidewalk required at the back of the drive apron at all proposed driveway approaches within the City right-of-way.**
- 2.12 Vacate the following easement(s):**
 - a. **All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**
- 2.13 Ontario Ranch Developments:**
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in**



accordance with the San Bernardino County Health Department guidelines.

2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.

3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

- 2.14 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**

- 2.15 The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.

- 2.16 **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$285,000, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.**

- 2.17 **Other conditions:**
 - a. **The applicant/developer shall be responsible for any outstanding improvements for this project per the conditions of approval for Parcel Map No. 17550 and the Ontario Center Specific Plan.**
 - b. **The applicant/developer shall submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent parcels.**
 - c. **As part of the precise grading plans submittal, provide a Final Utilities Systems Map that shows all existing and proposed Utilities (Potable Water, Recycled Water, Sewer, Storm Drain, and other utilities) including each of the City's public utilities' points of connection to the existing systems.**



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

- 2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

| Improvement | Fourth St | Haven Av | Concours St | Street 4 |
|---|---|---|---|---|
| Curb and Gutter | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace |
| AC Pavement | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions |
| PCC Pavement for Truck Routes Only (see Sec. 2.F) | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Drive Approach | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Sidewalk | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| ADA Access Ramp (see Sec. 2.F) | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Parkway (see Sec. 2.F) | <input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation) | <input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation) | <input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) |
| Raised Landscaped Median (see Sec. 2.F) | <input checked="" type="checkbox"/> Remove and modify | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Fire Hydrant (see Sec. 2.D) | <input type="checkbox"/> Upgrade <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation |
| Sewer (see Sec. 2.C) | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral |



| | | | | |
|---|---|--|---|---|
| Water (see Sec. 2.D) | <input checked="" type="checkbox"/> Services | <input checked="" type="checkbox"/> Services | <input checked="" type="checkbox"/> Services | <input type="checkbox"/> Main <input type="checkbox"/> Service |
| Recycled Water (see Sec. 2.E) | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input checked="" type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service |
| Traffic Signal System (see Sec. 2.F) | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input checked="" type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Traffic Signing and Striping (see Sec. 2.F) | <input checked="" type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Street Light (see Sec. 2.F) | <input checked="" type="checkbox"/> Upgrade <input checked="" type="checkbox"/> Relocation | <input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation |
| Bus Stop Pad or Turn-out (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Storm Drain (see Sec. 2G) | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input checked="" type="checkbox"/> Relocate catch basins as necessary <input checked="" type="checkbox"/> Modify Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral |
| Fiber Optics (see Sec. 2K) | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input type="checkbox"/> Conduit / Appurtenances |
| Overhead Utilities | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate |
| Removal of Improvements | _____ | _____ | _____ | _____ |
| Other Improvements | _____ | _____ | _____ | _____ |

Specific notes for improvements listed in item no. 2.17, above:

- a. Existing utility mains/services no longer to be used shall be abandoned or removed per the current City procedure. All services/laterals shall be abandoned by shutting off the corporation stops at the existing main and removing the service pipe at the point of connection with the main.

- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s):

 - a. Fourth Street – Minimum limits of construction shall be along the entire property frontage from the street median to curb/gutter.

- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.



- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately _____, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.22 Other conditions: _____

C. SEWER

- 2.23 An 8-inch sewer main is available for connection by this project in Concours Street. (Ref: Sewer Drawing Number: S10090)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions:
 - a. All onsite sewer lines must comply with the Building Coe and be privately owned & maintained.
 - b. The applicant/developer shall install a grease interceptor (GI) for the grocery store and each restaurant with domestic sewer connecting downstream from the GI.
 - c. The applicant/developer or occupant shall apply for a Wastewater Discharge Permit for their Establishment, and shall comply will all the requirements of the Wastewater Discharge Permit (<http://www.ontarioca.gov/municipal-utilities-company/utilities/industrial-wastewater-discharge-permit>). Requirements of the Wastewater Discharge Permit may include, but not limited to the installation of wastewater pretreatment equipment, such as clarifiers.

For wastewater discharge permit application questions, please contact:
 Michael Birmelin, Environmental Programs Manager
omucenvironmental@ontarioca.gov
 (909) 395-2661

D. WATER

- 2.27 A 12-inch, 16-inch, & 18-inch water main is available for connection by this project in Haven Avenue, Concours Street, & Fourth Street, respectively. (Ref: Water Drawing Numbers: Haven Av - W11059, W11060, Concours Av – W10388, Fourth St – W11070)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 Other conditions:
 - a. The applicant/developer shall upgrade the existing fire hydrant at the northeast corner of Concours St & Haven Av, by abandoning the existing one and construct a new one with break-way check valve per City Standard Drawing Number 4101.
 - b. The applicant/developer shall construct the proposed fire service with a straight alignment from water main to the DCDA. Additionally, the DCDA must be on private property and maintain a 5-FT separation from the property line & ECR/BCR.

E. RECYCLED WATER

- 2.30 A 12-inch recycled water main is available for connection by this project in Concours Street. (Ref: Recycled Water Drawing Number: P10075)
- 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
- 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.



- 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF & AutoCAD format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 Other conditions:
 - a. Prior to the issuance of a Building Permit, the applicant/developer shall comply with the following:
 - i. Provide copies of both on-site & off-site utilities layout in PDF & AutoCAD format.
 - ii. Submittal of ER for recycled water usage for approval by the City and State.
 - b. Prior to the issuance of Occupancy, the applicant/developer shall comply with the following:
 - i. State shall approve ER.
 - ii. Successfully pass start-up, cross-connection and overspray test.

For ER application questions, please contact:
Cynthia Heredia-Torres
ctorres@ontarioca.gov
(909) 395-2647

F. TRAFFIC / TRANSPORTATION

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 Other conditions:
 - a. The applicant/developer shall design and construct concrete pavement in accordance with City Standard Drawing Number 1207 at the intersection of Fourth Street (E/B) and the new project drive approach and at the intersection of Haven Avenue (N/B) and Fourth Street, modified as follows:
 - i. 300-ft of PCC on Haven Avenue at Fourth Street; Three (3) thru lanes and Two (2) left turn pockets.
 - ii. No PCC required in free right lane; Haven Avenue to Fourth Street (E/B)
 - iii. 200-ft of PCC on Fourth Street at proposed driveway approach; Four (4) thru lanes.
 - iv. No PCC required within the intersection proper, on either street.
 - b. The applicant/developer shall install parkway trees/landscaping along Haven Avenue, Concourse Street and Fourth Street property frontage per the Landscape Planning Division Requirements.
 - c. All landscaping, block walls and other obstructions in the parkway shall be compatible with the stopping sight distance requirements per City Standard Drawing Number 1309.
 - d. The applicant/developer shall design and construct a new traffic signal at the intersection of Fourth street and the new project driveway. The new traffic signal shall include a video detection system, interconnect cable and conduit, emergency vehicle preemption systems and bicycle detection. All new signal equipment shall be installed at it' s ultimate location. Installation of the traffic signal will require reconstruction of the existing landscaped median to provide for turning movements. Construction of the signal and modification to the median will require coordination with the City of Rancho Cucamonga, the centerline of Fourth Street being the border of the two cities.
 - e. The applicant/developer shall design and construct a new traffic signal at the intersection of Concourse Street and the existing/modified project driveway. The new traffic signal shall include a video detection system, interconnect cable and conduit, emergency vehicle preemption systems and bicycle detection. All new signal



equipment shall be installed at its ultimate location.

- f. The applicant/developer shall re-stripe Concours Street at the project driveway to realign the eastbound left turn lane to be closer to the existing median. This will allow for appropriate sight distance for vehicles preparing to make the left turn.
- g. The applicant/developer shall replace all existing street light fixtures fronting the project with the current City approved LED equivalent fixtures. This includes both heads on each doubled headed light in the medians and the single head lights in the parkway. In addition, the applicant/developer shall relocate any existing street lights which conflict with proposed drive approaches, in accordance with City Standard Drawing No. 5104. Developer/applicant shall refer to the Traffic and Transportation Design Guidelines, Section 1. 4, " Street Light Plans".
- h. The applicant/developer's engineer-of-record shall meet with City Engineering/Traffic staff prior to starting traffic signal and street light improvement plans.

G. DRAINAGE / HYDROLOGY

- 2.38 An 8'x12' RCB & a 48-inch storm drain main is available to accept flows from this project in Haven Avenue & Concours Street, respectively.
 (Ref: Storm Drain Drawing Number: Haven Av – D11790, Concours Av – D10313)
- 2.39 Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.
- 2.40 An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 Other conditions:
 - a. The applicant/developer shall relocate/reconfigure the existing catch basin(s) at the proposed driveway approach on Haven Avenue to allow for construction of the main entrance. Relocation and/ or reconfiguration may also include the modification to the existing storm drain system and relocation of an existing street light.

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.



- 2.46 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.47 Other conditions:
 - a. The applicant/developer shall obtain coverage for the project under the Construction General Permit (GCP). The owner is the legally responsible person (LRP) of the site and shall have a Storm Water Pollution Prevention Plan (SWPPP) developed and submitted through the SMARTS website at:
<https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.xhtml>

J. SPECIAL DISTRICTS

- 2.48 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.49 Other conditions: _____

K. FIBER OPTIC

- 2.50 A 2-inch fiber optic line is available for connection by this project in Fourth Street & Concourses Street.
 (Ref: Fiber Optic Drawing Number: Unknown)
- 2.51 Design and construct the required fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the OntarioNet hand hole located at the SEC of Concourses St & Duesenberg Dr and the existing OntarioNet conduit in Fourth Street. Additionally, new conduit/hand-holes shall be installed along Haven Av and Concourses St property frontage, see Fiber Optic Exhibit herein for reference.
- 2.52 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

L. INTEGRATED WASTE

- 2.52 Onsite solid waste shall be designed in accordance with the City's Refuse & Recycling Planning Manual located at:
<https://www.ontarioca.gov/OMUC/IntegratedWaste>
- 2.53 Other conditions:
 - a. Prior to the issuance of a Building Permit, the applicant/developer shall comply with the following:
 - i. Submit a Solid Waste Handling Planning (SWHP) & Integrated Waste Management Report (IWMR) with the Precise Grading Plan and Trash Enclosure Detail with the Building (Architectural) Plan for the Ontario Municipal Utilities Company (OMUC) to review and approve. Additionally email a PDF copy of the plans after the building permit number is created to bishii@ontarioca.gov (if files are larger than 20MB, then send a link to download files).
 - ii. Size the trash enclosure for a minimum of three (3) 4CY bins (one 4CY bin for refuse, one 4CY bin for recycling, and one 4CY bin for organics) plus any other bins/storage or other handling required by the SWHP and IWMR.

For questions on the SWHP and IWMR submittal requirements, please contact:
 Blaine Ishii, Integrated Waste Assistant Division Manager
bishii@ontarioca.gov
 Phone: (909) 395-2775



3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.
- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 Confirm payment of all Development Impact Fees (DIF) to the Building Department.
- 3.06 Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 Complete all Conditions of Approval listed under Sections 1-3 above.
- 4.02 Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.
- 4.03 The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.
- 4.04 Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

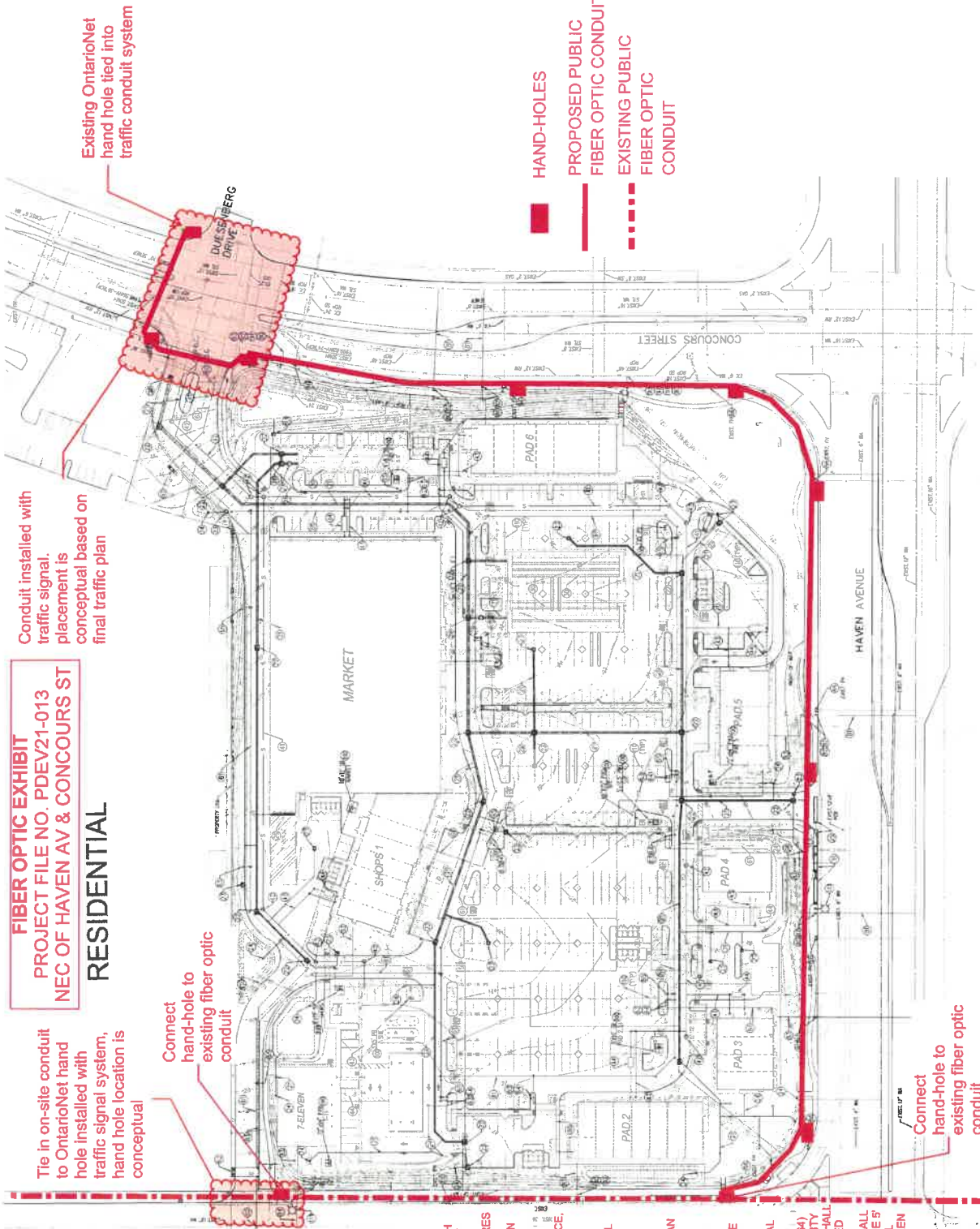
Project Number: PDEV21-013

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6. **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7. **Three (3) sets of Public Street improvement plan with street cross-sections**
8. **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9. **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10. **Four (4) sets of Public Sewer improvement plan**
11. **Five (5) sets of Public Storm Drain improvement plan**
12. **Three (3) sets of Public Street Light improvement plan**
13. **Three (3) sets of Signing and Striping improvement plan**
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18. **One (1) copy of Hydrology/Drainage study**
19. **One (1) copy of Soils/Geology report**
20. **Payment for Final Map/Parcel Map processing fee**



- 21. Three (3) copies of Final Map/Parcel Map
- 22. One (1) copy of approved Tentative Map
- 23. **One (1) copy of Preliminary Title Report (current within 30 days)**
- 24. One (1) copy of Traverse Closure Calculations
- 25. One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.
- 26. **Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use**
- 27. Other: _____



FIBER OPTIC EXHIBIT
PROJECT FILE NO. PDEV21-013
NEC OF HAVEN AV & CONCOURS ST
RESIDENTIAL

Tie in on-site conduit to OntarioNet hand hole installed with traffic signal system, hand hole location is conceptual

Conduit installed with traffic signal, placement is conceptual based on final traffic plan

HAND-HOLES
PROPOSED PUBLIC FIBER OPTIC CONDUIT
EXISTING PUBLIC FIBER OPTIC CONDUIT

- STORM DRAIN
 - 1. CONNECT TO EXISTING PUBLIC STORM DRAIN
 - 2. CONNECT TO EXISTING PUBLIC STORM DRAIN
 - 3. CONNECT TO EXISTING PUBLIC STORM DRAIN
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- SEWER
 - 1. CONNECT TO EXISTING PUBLIC SEWER
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 - 9. CONNECT TO EXISTING PUBLIC SEWER
 - 10. CONNECT TO EXISTING PUBLIC SEWER
- FIBER OPTIC
 - 1. CONNECT TO EXISTING PUBLIC FIBER OPTIC
 - 2. CONNECT TO EXISTING PUBLIC FIBER OPTIC
 - 3. CONNECT TO EXISTING PUBLIC FIBER OPTIC
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 - 8. CONNECT TO EXISTING PUBLIC FIBER OPTIC
 - 9. CONNECT TO EXISTING PUBLIC FIBER OPTIC
 - 10. CONNECT TO EXISTING PUBLIC FIBER OPTIC
- DOMESTIC WATER
 - 1. CONNECT TO EXISTING PUBLIC DOMESTIC WATER
 - 2. CONNECT TO EXISTING PUBLIC DOMESTIC WATER
 - 3. CONNECT TO EXISTING PUBLIC DOMESTIC WATER
 - 4. CONNECT TO EXISTING PUBLIC DOMESTIC WATER
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 - 7. CONNECT TO EXISTING PUBLIC DOMESTIC WATER
 - 8. CONNECT TO EXISTING PUBLIC DOMESTIC WATER
 - 9. CONNECT TO EXISTING PUBLIC DOMESTIC WATER
 - 10. CONNECT TO EXISTING PUBLIC DOMESTIC WATER

1. CONSTRUCT/INSTALL FIBER OPTIC CONDUIT AT A MINIMUM DEPTH OF 36". TRENCHING SHALL BE PER CITY STANDARD 1308. ONE (1)-2" HDPE SDR-11 (SMOOTHWALL) ROLL PIPE (ORANGE) OR EQUIVALENT. ALL UNUSED CONDUITS/SIMICRODUCTS SHALL BE PROTECTED WITH DUCT PLUGS THAT PROVIDE A POSITIVE SEAL. DUCTS THAT ARE OCCUPIED SHALL BE PROTECTED WITH INDUSTRY ACCEPTED HIGH STRENGTH POLYMER OR CONCRETE BRICK COOPER-CLAD STEEL WITH 30MIL HDPE ORANGE INSULATION FOR LOCATE/TRACE WIRE

2. FROM THE NEAREST HAND HOLE TO THE BUILDING ENTRANCE, DESIGN AND INSTALL FIBER OPTIC CONDUIT AT A MINIMUM DEPTH OF 36-INCHES. TRENCHING SHALL BE PER CITY STANDARD FOR COMMERCIAL BUILDINGS. (1) 2-INCH HDPE SDR-11 (SMOOTHWALL) ROLL PIPE (ORANGE) DUCT. INSTALL LOCATE/TRACE WIRES MINIMUM 12AWG WITHIN CONDUIT BANK AND FIBER WARNING TAPE 18-INCH ABOVE THE UPPERMOST DUCT

3. COMMERCIAL PROPERTIES SHALL TERMINATE CONDUIT IN AN ELECTRICAL ROOM ADJACENT TO THE WALL NO LESS THAN FIVE INCHES ABOVE THE FINISHED FLOOR. A 20" WIDTH X LENGTH 36" SPACE SHALL BE RESERVED ON THE PLYWOOD WALL FOR ONTARIO NET EQUIPMENT. THIS SPACE SHALL BE LABELED "ONTARIO NET ONLY". ONTARIO CONDUIT SHALL BE LABELED "ONTARIO NET"

LOCATION OF TELECOMMUNICATIONS ROOM IS CONCEPTUAL

INSTALL FIBER OPTIC HAND-HOLE HH-2A/22 (PCA248630-90064) NEWBASIS; LESS THAN OR EQUAL TO 432 STRANDS. PER CITY STANDARD 1316 CONDUITS SWEEPING INTO HAND-HOLES SHALL ENTER IN FLUSH WITH THE CUT-OUT MOUSE HOLES ALIGNED PARALLEL TO THE BOTTOM OF THE BOX AND COME IN PERPENDICULAR TO THE WALL OF THE BOX. CONDUITS SHALL NOT ENTER AT ANY ANGLE OTHER THAN PARALLEL PROVIDE 5 MIN CLEARANCE FROM EXISTING UTILITIES. ALL HAND-HOLE HANDLES SHALL BE PLACED BETWEEN THE HANDHOLES AND THE GRAVEL ITS PLACED ON.



FOURTH AND HAVEN
 CIVIL & LANDSCAPE ARCHITECTS
 1156 HIBBY MOUNTAIN AVENUE, UPLAND, CA 91786 (909)963-0071

CONCEPTUAL UTILITY PLAN

DATE: 11/11/2021
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: PDEV21-013

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

DAB CONDITIONS OF APPROVAL

Sign Off



09/17/2021

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:

Jamie Richardson, Sr. Landscape Planner

Phone:

(909) 395-2615

D.A.B. File No.:

PDEV21-013 Rev1

Case Planner:

Jeanie Aguilo

Project Name and Location:

The Collection Shopping Center
 SEC Haven Ave & 4th St.

Applicant/Representative:

| | |
|---|---|
| SiteScapes 3190 Airport Loop Dr. Costa Mesa, CA 92626 | Hork Engineering 160 S. Old Springs Rd., Ste. 210 Anaheim Hills, CA 92808 |
|---|---|



Preliminary Plans (dated 08/18/2021) meet the Standard Conditions for New Development and have been approved to consider that the following conditions below be met upon submittal of the landscape construction documents.



Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.

Landscape construction plans with plan check number may be emailed to:

landscapeplancheck@ontarioca.gov

DIGITAL SUBMITTALS MUST BE 10MB OR LESS.

Civil/ Site Plans

1. Show backflow devices set back 4' from paving all sides. Locate on level grade.
2. Locate utilities, including light standards, fire hydrants, water, drain, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
3. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 ½" below finished surfaces. Slopes to be maximum 3:1.
4. Civil plans to show the access at pad six as previously approved; coordinate with the site and landscape plans.
5. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or stormwater infiltration areas are located shall be loosened by soil fracturing. For trees, a 12'x12'x18" deep area; for stormwater infiltration, the entire area shall be loosened. Add the following information on the plans: The backhoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The backhoe shall dig into the soil, lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference, see Urban Tree Foundation – Planting Soil Specifications.

Landscape Plans

6. Add tree protection notes to construction and demo plans
7. Show backflow devices with 36" high strappy leaf shrub screening and trash enclosures and transformers, a 4'-5' high evergreen hedge screening. Do not encircle utility, show as masses, and duplicate masses in other locations at regular intervals.
8. Locate light standards, fire hydrants, water, and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans
9. Show all utilities on the landscape plans. Coordinate, so utilities are clear of tree locations.
10. Note on landscape plans: for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
11. Show 8' diameter of mulch only at new trees, 12' min. at existing trees. Detail irrigation dripline outside of mulched root zone.
12. All landscape areas shall be permanently irrigated; no non-irrigated landscape areas. Adjust plans and MAWA calculations.
13. Provide an appropriate hydroseed plant mix for water quality basins and swales; provide a mix of hydroseed and container plants and tree to side slopes of basins.
14. Designer or developer to provide agronomical soil testing and include report on landscape construction plans. For phased projects, a new report is required for each phase.
15. Identify what is maintained by the property owner and City.
16. Show minimum on-site tree sizes per the Landscape Development standards; see the Landscape Planning website. 5% 48" box, 10% 36 box, 30% 24" box, 55% 15 gallon.
17. Show 25% of trees as California native (*Platanus racemosa*, *Quercus agrifolia*, *Quercus wislizenii*, *Quercus douglasii*, *Cercis occidentalis*, etc.) in appropriate locations.
18. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines.
19. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council. Landscape construction plans with building permit number for plan check may be emailed to:
landscapeplancheck@ontarioca.gov

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV21-013

Address: SEC of Haven Ave and 4th Street

APN: Multiple parcels

Existing Land Use: Vacant

Proposed Land Use: Commercial Shopping Center - 6 buildings totaling 101,163 SF

Site Acreage: 13.46 Proposed Structure Height: 42 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Jeanie Aguilo

Date: July 6, 2021

CD No.: 2021-022

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

| Safety | Noise Impact | Airspace Protection | Overflight Notification |
|---------------------------------|--|---|--|
| <input type="radio"/> Zone 1 | <input type="radio"/> 75+ dB CNEL | <input checked="" type="checkbox"/> High Terrain Zone | <input type="checkbox"/> Avigation Easement Dedication |
| <input type="radio"/> Zone 1A | <input type="radio"/> 70 - 75 dB CNEL | <input checked="" type="checkbox"/> FAA Notification Surfaces | <input type="checkbox"/> Recorded Overflight Notification |
| <input type="radio"/> Zone 2 | <input type="checkbox"/> 65 - 70 dB CNEL | <input checked="" type="checkbox"/> Airspace Obstruction Surfaces | <input checked="" type="checkbox"/> Real Estate Transaction Disclosure |
| <input type="checkbox"/> Zone 3 | <input type="checkbox"/> 60 - 65 dB CNEL | <input type="checkbox"/> Airspace Avigation Easement Area | |
| <input type="radio"/> Zone 4 | | Allowable Height: 70 FT | |
| <input type="radio"/> Zone 5 | | | |

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: _____



CITY OF ONTARIO

MEMORANDUM

TO: Jeanie Irene Aguilo, Associate Planner
Planning Department

FROM: Mike Gerken, Deputy Fire Chief/Fire Marshal
Fire Department

DATE: March 29, 2021

SUBJECT: PDEV21-013 - An Amendment to a previously approved Development Plan (File No. PDEV17-016) to construct a neighborhood shopping center consisting of six buildings totaling 101,163 square feet and establish a restaurant pad with drive-thru for future construction on 13.4 acres of land located at the southeast corner of Haven Avenue and Fourth Street, within the Commercial land use district of the Piemonte Overlay of the Ontario Center Specific Plan; (APNs: 0210-531-06, 0210-531-07, 0210-531-08, 0210-531-09, 0210-531-10, 0210-531-11, 0210-531-12, 0210-531-13, 0210-531-14) submitted by Lewis Retail Centers.

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: IIIB
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): Varies
- D. Number of Stories: 1 Story
- E. Total Square Footage: 91,163 Sq. Ft. (8 Buildings)
3,500 Sq. Ft. – 45,000 Sq. Ft. Per Building
- F. 2019 CBC Occupancy Classification(s): Not Listed, Assumed A-2, M and/or B

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 2250 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and location(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.
- ☒ 4.8 A fixed fire extinguishing system is required for the protection of hood, duct, plenum and cooking surfaces. This system must comply with National Fire Protection Association (NFPA) Standards 17A and 96. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.



CITY OF ONTARIO

MEMORANDUM

TO: Jeanie Irene Aguilo, Associate Planner

FROM: Officer Bill Lee, Police Department

DATE: April 20, 2021

SUBJECT: PDEV21-013 - A DEVELOPMENT PLAN TO CONSTRUCT A NEIGHBORHOOD SHOPPING CENTER CONSISTING OF SIX BUILDINGS AND ESTABLISH A RESTAURANT PAD WITH DRIVE-THRU LOCATED AT THE SOUTHEAST CORNER OF HAVEN AVENUE AND FOURTH STREET.

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including but not limited to, the requirements listed below.

- Required lighting for all walkways, driveways, doorways, parking areas, and other areas used by the public shall be provided and operate on photosensor. Photometrics shall be provided to the Police Department. Photometrics shall include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the building as stated in the Standard Conditions. The numbers shall be at a minimum 3 feet tall and 1 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street.
- The Applicant shall comply with all construction site security requirements as stated in the Standard Conditions.
- The applicant will be responsible for keeping the grounds of the business clean from debris and litter.
- Graffiti abatement by the business owner/licensee, or management shall be immediate and on-going on the premises, but in no event shall graffiti be allowed unabated on the premises for more than 72 hours. Abatement shall take the form of removal, or shall be covered/painted over with a color reasonably matching the color of the existing building, structure, or other surface being abated. Additionally, the business owner/licensee, or management shall notify the City within 24 hours at (909) 395-2626 (graffiti hotline) of any graffiti elsewhere on the property not under the business owner/licensee’s or management control so that it may be abated by the property owner and/or the City’s graffiti team.

- Maintain all landscaping on property to a standard that all ground covering shrubbery and hedges are no taller than 2 feet (24") and the lower canopy of all trees is no lower than 6 feet (72").
- Trash enclosure shall be fully secured by locks and screen/grate in order to reduce to reduce crime and encampment opportunities for homeless persons.

The Applicant is invited to call Bill Lee at (909) 408-1672 regarding any questions or concerns.



Development Advisory Board Decision

January 19, 2022

DECISION NO.: [insert #]

FILE NO.: PDEV21-016

DESCRIPTION: A Development Plan to construct a 37,309-square-foot industrial building on 1.60 acres of land located at the southeast corner of the Sunkist Street and Taylor Avenue, within the IG (General Industrial) zoning district. APNs: 1049-212-05, 1049-212-06, 1049-212-07, 1049-212-08, 1049-212-09, 1049-212-10, 1049-212-11 & 1049-212-12; **submitted by OC Engineering. Planning Commission action is required.**

Part I—BACKGROUND & ANALYSIS

OC ENGINEERING, (herein after referred to as "Applicant") has filed an application requesting Development Plan approval, File No. PDEV21-016, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of 1.60 acres of land located at southeast corner of the Sunkist Street and Taylor Avenue, and is depicted in Exhibit A—Project Location Map, attached. Existing land uses, General Plan, and zoning designations on and surrounding the Project site are as follows:

| | <i>Existing Land Use</i> | <i>General Plan Designation</i> | <i>Zoning Designation</i> | <i>Specific Plan Land Use</i> |
|---------------|---|---------------------------------|---------------------------|-------------------------------|
| <i>Site:</i> | Undeveloped Land/ Outdoor Storage | Industrial | IG (General Industrial) | N/A |
| <i>North:</i> | Outdoor Storage | Industrial | IG (General Industrial) | N/A |
| <i>South:</i> | Marble/Granite Manufacturing | Industrial | IG (General Industrial) | N/A |
| <i>East:</i> | Furniture Manufacturing/ Contractors Yard/ Machine Shop/ Vacant Industrial Buildings | Industrial | IG (General Industrial) | N/A |
| <i>West:</i> | Manufacturing and Distribution | Industrial | IG (General Industrial) | N/A |

(2) **Project Description:**

(a) Background — On May 21, 2018, a Development Plan (File No. PDEV17-059) for the subject site was approved by the Development Advisory Board (Decision No. DAB18-031) that expired on May 21, 2020. On April 20, 2021, the Applicant submitted a new Development Plan (File No. PDEV21-016) for the Project site with a similar site plan layout featuring a new building design.

(b) Site Design/Building Layout — Proposed, is the construction of a 37,309-square foot industrial building, having a floor area ratio ("FAR") of 0.55. The rectangular-shaped building is centrally located on the site, with the front of the building and office entry located at the northwest corner of the

building, oriented to the north, toward Sunkist Street. The building is setback approximately 76 feet from the north (Sunkist Street) property line, approximately 130 feet from the south property line, 10 feet from the west property line (Taylor Avenue), and 6 feet from the east property line. The primary off-street parking area is located on the north side of the proposed building to serve office employees and visitors, with a smaller parking area located at the southeast corner of the site to serve employees (see Exhibit B—Site Plan, attached).

A yard area, designed for tractor-trailer parking, truck maneuvering, loading activities, and outdoor staging, is located on the south side of the proposed building. The yard area will be screened from public view by a 14-foot-high concrete tilt-up wall that will match the architecture of the building. An 8-foot-high tube steel fence will be constructed along the Project’s south and east interior property lines.

(c) Site Access/Circulation — There are two points of access to the Project site, one from Sunkist Street, located at the northeast corner of the site, providing passenger vehicle access to the main parking area. The second site access is located at the southwest corner of the site, providing truck yard access from Taylor Avenue.

(d) Parking — The Project has provided off-street parking pursuant to the “Warehouse and Distribution” parking standards specified in the Development Code. The Project requires a total of 30 passenger vehicle parking spaces, which have been provided. The off-street parking calculations for the building are as follows:

| Type of Use | Building Area | Parking Ratio | Spaces Required | Spaces Provided |
|--------------------------|----------------------|---|------------------------|------------------------|
| Warehouse / Distribution | 32,866 SF | One space per 1,000 SF (0.001/SF) for portion of GFA <20,000 SF, plus 0.5 space per 1,000 SF (0.0005/SF) for GFA > 20,000 SF; | 27 | 27 |
| Office | 4,443 SF | 4 spaces per 1,000 SF (0.004/SF) of GFA. Parking is required when “general business offices” and other associated uses, exceed 10 percent of the building GFA (maximum 3,731 SF of office allowed without additional parking required). | 3 | 3 |
| TOTAL | 37,309 SF | | 30 | 30 |

The City’s off-street parking and loading standards require that the Project provide a minimum of one tractor trailer parking space for each four dock-high loading spaces. There are 5 dock-high doors proposed requiring one tractor trailer parking space, which has been provided.

(e) Architecture — The proposed industrial warehouse building will be of concrete tilt-up construction and feature a modern architectural design with a grey, white, and blue color palette. Architecturally, the building incorporates smooth-painted concrete, horizontal and vertical reveals, color blocking, clerestory windows with clear anodized aluminum mullions and blue glazing glass, and steel canopies over the main office entry, and second story windows (see Exhibit C—Elevations, attached). The mechanical equipment for the building will be roof-mounted and obscured from public view by the parapet walls and, if necessary, equipment screens, which will incorporate design features consistent with the building architecture. Staff believes that the proposed Project illustrates the type of high-quality architecture promoted by the Development Code. This is exemplified through the use of:

- Articulation in the building footprint, incorporating a combination of recessed and popped-out wall areas
- Articulation in the building parapet/roof line, which serves to accentuate the building’s entries and breaks up large expanses of building wall
- A mix of exterior colors, finishes and reveal lines

- The building was designed to ensure that its massing and proportion, along with its colors and architectural detailing, are consistent throughout all four building elevations.

(f) Landscaping — The Project provides landscaping along Sunkist Street, Taylor Avenue, the perimeter of the site, and throughout the off-street parking areas. The Development Code requires that the Project provide a minimum 15 percent landscape coverage, which has been provided. Moreover, a combination of 15-gallon, 24-inch, 36-inch, and 48-inch box accent and shade trees will be provided throughout the Project site, in addition to a variety of shrubs and groundcovers that are low water usage and drought tolerant. Additionally, the Project includes, street widening, right-of-way improvements (curb, gutter, sidewalk, and parkway) and street trees. The proposed on-site and off-site landscape improvements will assist towards creating a walkable, safe area for pedestrians to access the Project site (see Exhibit D—Landscape Plan, attached).

(g) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the Project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan (“PWQMP”), which establishes the Project’s compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development (“LID”) best management practices (“BMPs”), such as retention and infiltration, biotreatment, and evapotranspiration. The proposed development will not substantially alter the existing drainage pattern. The onsite drainage will be conveyed by local gutters and pipes to an underground infiltration system located within the southern parking lot/yard area. Any overflow drainage will be conveyed to the curb and gutter along Taylor Avenue.

Part II—RECITALS

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as “CEQA”); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (“DAB”) the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (hereinafter referred to as “ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on January 19, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, In-fill Development Projects) of the CEQA Guidelines. The proposed Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits and the area being developed is 1.60 acres less than the five-acre threshold and is substantially surrounded by urban land uses. The Project site has no value as habitat for endangered, rare, or threatened species. Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality. Also, the site is adequately served by all required utilities and public services.

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

(3) The determination of CEQA exemption reflects the independent judgment of the DAB.

SECTION 2: *Housing Element Compliance.* Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the Project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 3: *ALUCP Compliance.* The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP

Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) ***The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.*** The proposed Project is located within the Industrial land use district of the Policy Plan Land Use Map, and the IG (General Industrial) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) ***The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.*** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the IG (General Industrial) zoning district, including standards relative to the particular land use proposed (industrial warehouse), as-well-as building intensity, building, and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) ***The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.*** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the Project will not endanger the public health, safety or general welfare; [iii] the Project will not result in any significant environmental impacts; [iv] the Project will be in harmony with the area in which it is located; and [v] the Project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (industrial warehouse). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

SECTION 5: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

SECTION 6: Indemnification. The Applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the Applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 19th day of January 2022.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



Exhibit B—SITE PLAN

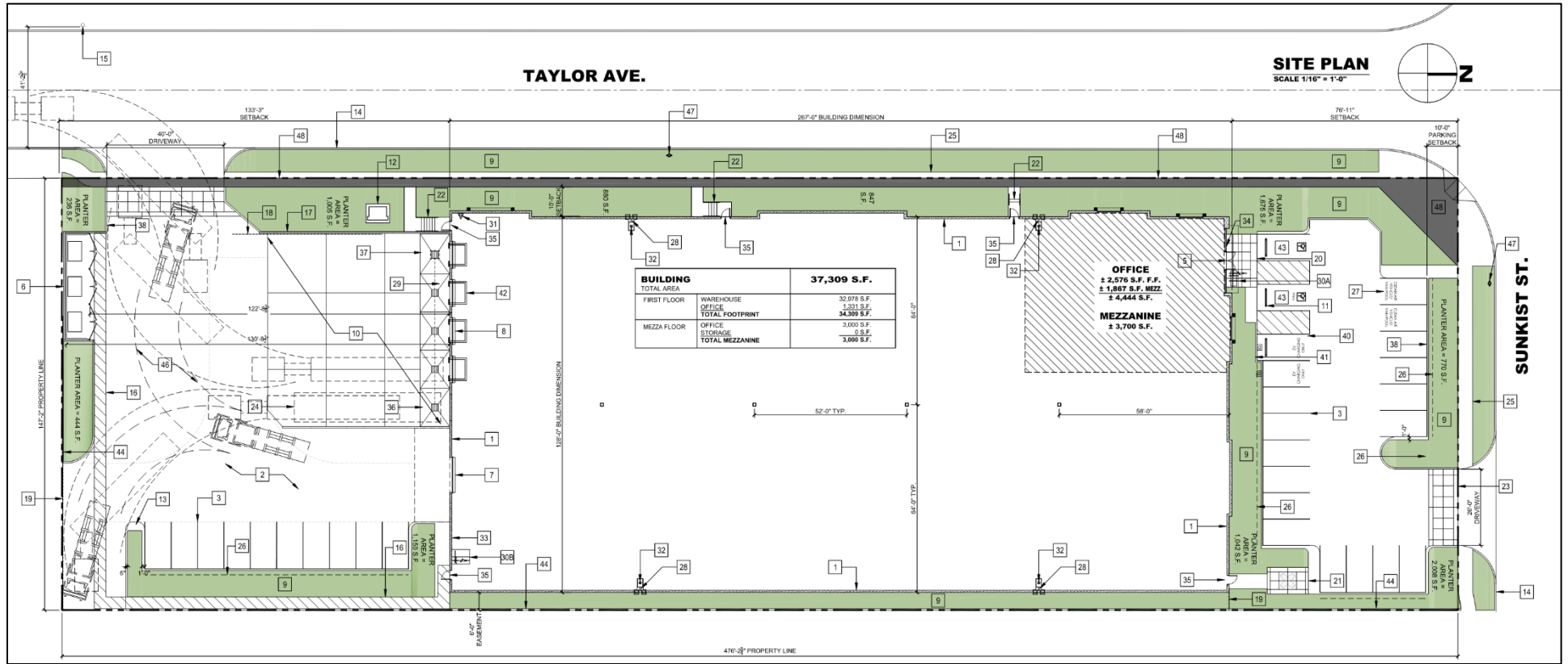
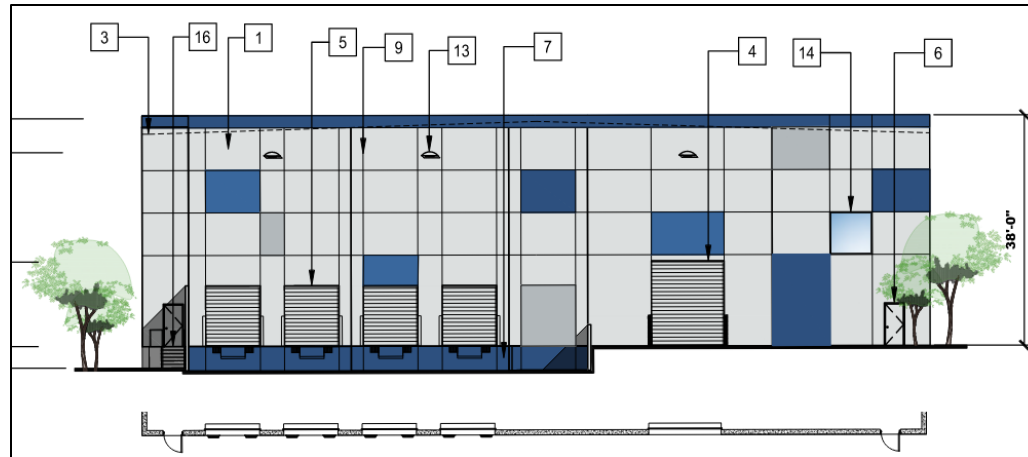


Exhibit C—ELEVATIONS

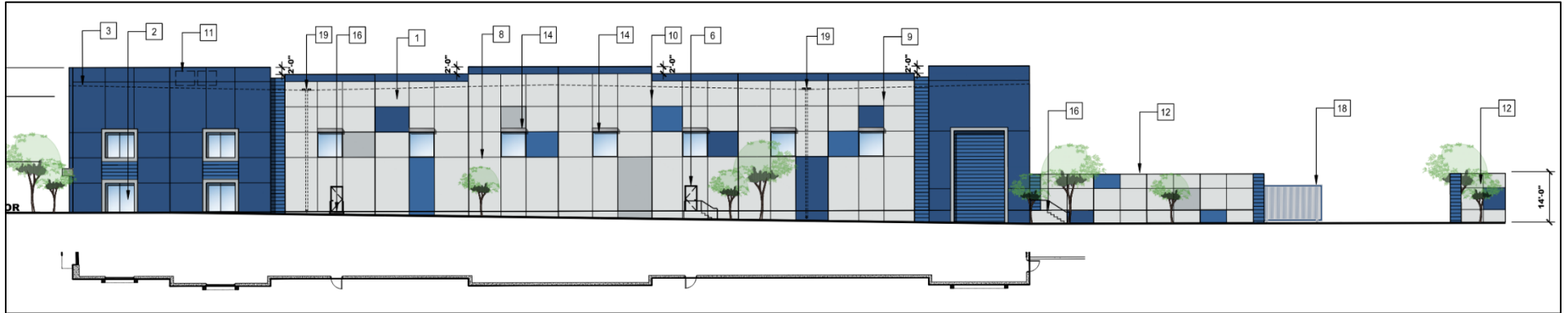


North Elevation



South Elevation

Exhibit C—ELEVATIONS (CONTINUED)



West Elevation



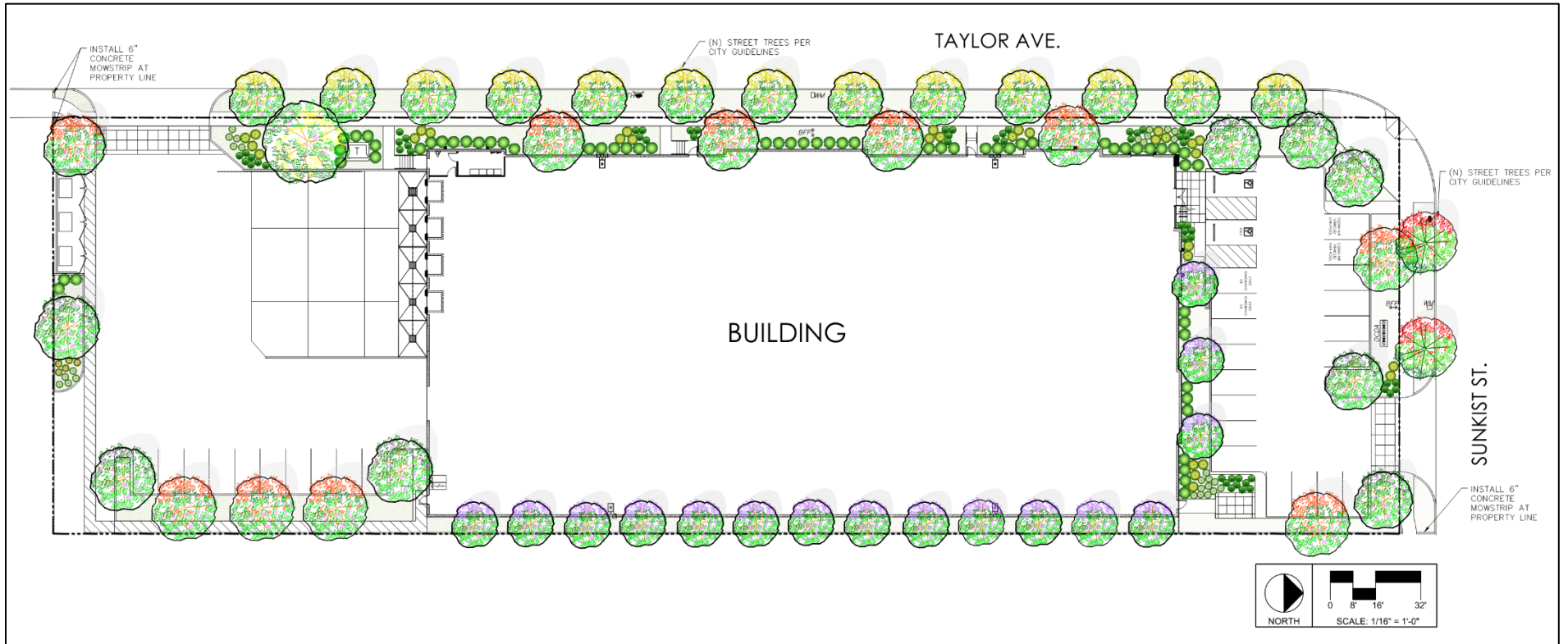
East Elevation

Exhibit C—ELEVATIONS CONTINUED



Northwest Corner Perspective View of Office Entrance

Exhibit D—LANDSCAPE PLAN



Attachment A—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)

Date Prepared: 1/19/2022

File No: PDEV21-016

Related Files: N/A

Project Description: A Development Plan to construct a 37,309-square-foot industrial building on 1.60 acres of land located at the southeast corner of the Sunkist Street and Taylor Avenue, within the IG (General Industrial) zoning district. APN(s):1049-212-05, 1049-212-06, 1049-212-07, 1049-212-08, 1049-212-09, 1049-212-10, 1049-212-11 & 1049-212-12; **submitted by OC Engineering.**

Prepared By: Lorena Mejia, Senior Planner
Phone: 909.395.2276 (direct)
Email: lmejia@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department, Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading, and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking, and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

| Screen Wall Height | Minimum Gate Height |
|---------------------------|----------------------------|
| 14 feet: | 10 feet |
| 12 feet: | 9 feet |
| 10 feet: | 8 feet |
| 8 feet: | 8 feet |
| 6 feet: | 6 feet |

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, meeting the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

| | |
|---|---|
| <input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER | <input type="checkbox"/> PARCEL MAP <input type="checkbox"/> TRACT MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES |
| PROJECT FILE NO. <u>PDEV21-016</u> RELATED FILE NO(S). _____ | |
| <input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: __/__/__ | |

CITY PROJECT ENGINEER & PHONE NO: David Zurita (909) 395-2155

CITY PROJECT PLANNER & PHONE NO: Lorena Mejia (909) 395-2721

DAB MEETING DATE: January 19, 2022

PROJECT NAME / DESCRIPTION: A Development Plan to construct one industrial building totaling 38,445 square feet on 1.6 acres of land located at SEC of Taylor and Sunkist within the IG (General Industrial) zoning district.

LOCATION: 635 S Taylor Ave

APPLICANT: Ignacio Crespo

REVIEWED BY: Raymond Lee 1/12/22
 Raymond Lee, P.E. Date
 Assistant City Engineer

APPROVED BY: for [Signature] 1/12/22
 Khoi Do, P.E. Date
 City Engineer



accompanying security as required, or complete all public improvements.

- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 Ontario Ranch Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
(Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 **Note that the subject parcel is a recognized parcel in the City of Ontario per Bryant Tract Lots 1-10 recorded in the County of San Bernardino Map Book 17 Page 63. Submit for approval, Lot Line Adjustments (LLA's) to merge existing parcels into one parcel.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 **Apply for a:**
 - Certificate of Compliance with a Record of Survey;**
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);**
 - Make a Dedication of Easement.



- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.

- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.

- 2.08 **Submit a soils/geology report.**

- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: Southern California Edison and other communication companies. The applicant/developer shall provide a non-interference letter from all affected utility companies for improvements within the existing easements located along the easterly property line.**

- 2.10 **Dedicate to the City of Ontario the right-of-way described below:**
 - a. **3 feet along the east side of Taylor Avenue to achieve the ultimate half street right-of-way width of 33 feet from centerline.**
 - b. **Property line corner 'cut-back' required at the intersection of Taylor Avenue and Sunkist Street.**

- 2.11 Dedicate to the City of Ontario the following easement(s): _____

- 2.12 **Vacate the following street(s) and/or easement(s):**
 - a. **All interfering on-site easements shall be quitclaimed, vacated, and/or submit non-interference letter from affected owner/utility company.**

- 2.13 Ontario Ranch Developments:
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary



use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.

3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall).

- 2.14 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**

- 2.15 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**

- 2.16 **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$35,824.00, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.**

- 2.17 **Other conditions:**
 - a. **Submit a Final Utilities Systems Map (USM) as part of the precise grading plan submittal that conforms to the Utility Systems Map dated 7/22/2021 and Preliminary Grading & Drainage Plan dated 10/18/2021 and meets all of the City's USM requirements. These requirements include to show and label all existing and proposed utilities (including all appurtenances such as backflow devices, DCDAs, etc.), sizes, points of connection, and any easements. The final utility design shall comply with all Division of Drinking Water (CCR §64572) Separation Requirements which include a minimum 10' horizontal separation, outside wall to outside wall, between water and sewer and a minimum 5' horizontal separation, outside wall to outside wall, between water and all other utilities.**



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

| Improvement | Taylor Ave. | Sunkist St | Street 3 | Street 4 |
|---------------------------------|---|--|---|---|
| Curb and Gutter | <input checked="" type="checkbox"/> New; 20 ft. from C/L <input type="checkbox"/> Replace damaged <input checked="" type="checkbox"/> Remove existing | <input checked="" type="checkbox"/> New; 20 ft. from C/L <input type="checkbox"/> Replace damaged <input checked="" type="checkbox"/> Remove exiting | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace |
| AC Pavement | <input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 3 additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen 3 additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions |
| PCC Pavement (Truck Route Only) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Drive Approach | <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Abandon existing | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Sidewalk | <input checked="" type="checkbox"/> New; ROW adjacent <input checked="" type="checkbox"/> Abandon existing | <input checked="" type="checkbox"/> New; ROW adjacent <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| ADA Access Ramp | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input checked="" type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Parkway | <input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation) | <input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) |
| Raised Landscaped Median | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Fire Hydrant | <input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation |



| | | | | |
|--|--|--|---|---|
| Sewer (see Sec. 2.C) | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input checked="" type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral |
| Water (see Sec. 2.D) | <input type="checkbox"/> Main <input checked="" type="checkbox"/> Service for Building Use | <input type="checkbox"/> Main <input checked="" type="checkbox"/> Services for Fire and Irrigation | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service |
| Recycled Water (see Sec. 2.E) | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service |
| Traffic Signal System (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Traffic Signing and Striping (see Sec. 2.F) | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input checked="" type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Street Light (see Sec. 2.F) | <input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation |
| Bus Stop Pad or Turn-out (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Storm Drain (see Sec. 2G) | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral |
| Fiber Optics (see Sec. 2K) | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input type="checkbox"/> Conduit / Appurtenances | <input type="checkbox"/> Conduit / Appurtenances |
| Overhead Utilities | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input checked="" type="checkbox"/> Relocate Pole to accommodate street widening | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate |
| Removal of Improvements | <input checked="" type="checkbox"/> Unused water services | <input checked="" type="checkbox"/> Existing Fire hydrant | _____ | _____ |
| Other Improvements | <input checked="" type="checkbox"/> Install "No Parking Anytime" signs along frontage <input checked="" type="checkbox"/> Construct spandrel. | <input checked="" type="checkbox"/> Install "No Parking Anytime" signs along frontage | _____ | _____ |



Specific notes for improvements listed in item no. 2.17, above:

- a. **Construct spandrel at southeast corner of Sunkist Street and Taylor Avenue.**
- b. **Close all existing unused driveway approaches with full-height curb and gutter, sidewalk, and landscaped parkway.**
- c. **The applicant/developer shall be responsible for relocating any existing power poles, fire hydrants, pull boxes, and other appurtenances that are impacted by the widening of Taylor Avenue and Sunkist Street.**

- 2.18 **Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): Taylor Avenue and Sunkist Street from centerline to gutter.**
- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately , for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.22 Other conditions: _____

C. SEWER

- 2.23 A _____ inch sewer main is available for connection by this project in _____ (Ref: Sewer plan bar code: _____)
- 2.24 **Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately 250 feet away. (Reference Sewer Atlas Sheet K14 & L14)**
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 **Other conditions:**
 - a. **Extend the proposed sewer main in Sunkist St from the intersection of Hope Avenue and Sunkist Street to the intersection of Taylor Ave & Sunkist St, as shown on the Preliminary Grading & Drainage Plan dated 10/18/2021.**
 - b. **Install a monitoring manhole at the back of the property line, as shown on the Utility Systems Map dated 7/22/2021.**
 - c. **Abandon any existing septic tanks onsite to state and county standards.**

D. WATER

- 2.27 **An 8-inch water main is available for connection by this project in Taylor Avenue and Sunkist Street. (Ref: Water plan bar code: W11214)**
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 **Other conditions:**
 - a. **Construct three separate services: building usage, irrigational use, and fire service; as shown on the Utility Systems Map dated 7/22/2021.**
 - b. **Install a meter with backflow prevention devices that meets the current City standards for the services for the building and irrigation.**
 - c. **Install a double check detector assembly (DCDA) that meets the current City standards**



- for fire service.
- d. **Abandon any unused services back to the main, including two unused services along Taylor Avenue, as shown on the Preliminary Grading & Drainage Plan dated 10/18/2021.**
- e. **Abandon existing fire hydrant back to the water main located at the southeast corner of Taylor Avenue and Sunkist Street, and construct a new fire hydrant at a minimum of 5 feet back of the ECR, as shown on the Preliminary Grading & Drainage Plan dated 10/18/2021.**
- f. **Construct a new fire hydrant on Taylor Avenue within 300 feet spacing south of the new fire hydrant to be located at the southeast corner of Taylor Avenue and Sunkist Street with a minimum of 5' back of the ECR, as shown on the Utility Systems Map dated 7/22/2021.**

E. RECYCLED WATER

- 2.30 A _____ inch recycled water main is available for connection by this project in _____.
 (Ref: Recycled Water plan bar code: _____)
 - 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
 - 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
 - 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 **Other conditions:**
 - a. **Taylor Avenue and Sunkist Street shall be signed "No Parking Anytime" along the property frontage.**
 - b. **Proposed gates on Taylor Avenue shall remain open at all times during business hours.**
 - c. **Design and construct an in-fill public street light and potential new service along the project frontages. Street lighting shall be LED-type and in accordance with City's Traffic and Transportation Design Guidelines.**
 - d. **Design and construct drive approaches in accordance with City of Ontario Standard Drawing Number 1204 for Commercial Drive Approaches.**

G. DRAINAGE / HYDROLOGY

- 2.38 A _____ inch storm drain main is available to accept flows from this project in _____.
 (Ref: Storm Drain plan bar code: _____)



- 2.39 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**
- 2.40 **An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.**
- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 Other conditions: _____

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
 If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
 Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.47 Other conditions: _____

J. SPECIAL DISTRICTS



- 2.48 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.49 Other conditions: _____

K. FIBER OPTIC

- 2.50 A _____ fiber optic line is available for connection by this project in _____.
(Ref: Fiber Optic plan bar code: _____)
- 2.51 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole; see Fiber Optic Exhibit herein.
- 2.52 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

L. INTEGRATED WASTE

- 2.52 Onsite solid waste shall be designed in accordance with the City's Refuse & Recycling Planning Manual located at:

<https://www.ontarioca.gov/OMUC/IntegratedWaste>
- 2.53 Other conditions:
 - a. Prior to the issuance of a Building Permit, the applicant/developer shall comply with the following:
 - i. Submit a Solid Waste Handling Planning (SWHP) & Integrated Waste Management Report (IWMR) with the Precise Grading Plan and Trash Enclosure Detail with the Building (Architectural) Plan for the Ontario Municipal Utilities Company (OMUC) to review and approve. Additionally email a PDF copy of the plans after the building permit number is created to bishii@ontarioca.gov (if files are larger than 20MB, then send a link to download files).
 - ii. Size the trash enclosure for a minimum of three (3) 4CY bins (one 4CY bin for refuse, one 4CY bin for recycling, and one 4CY bin for organics) plus any other bins/storage or other handling required by the SWHP and IWMR.

For questions on the SWHP and IWMR submittal requirements, please contact:
Blaine Ishii, Integrated Waste Assistant Division Manager
bishii@ontarioca.gov

- a. Phone: (909) 395-2775

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.



- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 Ontario Ranch Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 **Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**
- 4.04 **Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.**



EXHIBIT 'A'

**ENGINEERING DEPARTMENT
First Plan Check Submittal Checklist**

Project Number: PDEV21-016

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6. **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7. **Three (3) sets of Public Street improvement plan with street cross-sections**
8. **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
9. **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
10. **Four (4) sets of Public Sewer improvement plan**
11. **Five (5) sets of Public Storm Drain improvement plan**
12. **Three (3) sets of Public Street Light improvement plan**
13. **Three (3) sets of Signing and Striping improvement plan**
14. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
15. **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
16. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
17. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
18. **One (1) copy of Hydrology/Drainage study**
19. **One (1) copy of Soils/Geology report**
20. **Payment for Final Map/Parcel Map processing fee**

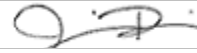


- 21. Three (3) copies of Final Map/Parcel Map
- 22. One (1) copy of approved Tentative Map
- 23. **One (1) copy of Preliminary Title Report (current within 30 days)**
- 24. One (1) copy of Traverse Closure Calculations
- 25. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 26. Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 27. **Other:**
 - a. **Provide Solid Waste Handling Plan (SWHP) that complies with City requirements.**
 - b. **Provide an Integrated Waste Management Report (IWMR) that complies with City requirements.**
 - c. **Final Utilities System Map (USM)**

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off



09/15/2021

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:

Jamie Richardson, Sr. Landscape Planner

Phone:

(909) 395-2615

D.A.B. File No.:

PDEV21-016 (previous PDEV17-059)

Case Planner:

Larissa Lomen

Project Name and Location:

Industrial Bldg.
 635 S Taylor Ave

Applicant/Representative:

Ignacio Crespo
 7901 Crossway Drive
 Pico Rivera, CA 90660



Preliminary Plans (dated 08/04/2021) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met upon submittal of the landscape construction documents.



Preliminary Plans (dated) has not been approved. Corrections noted below are required prior to Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE. Landscape construction plans with plan check number may be emailed to: landscapeplancheck@ontarioca.gov DIGITAL SUBMITTALS MUST BE 10MB OR LESS.

Civil/ Site Plans

1. Show and note the protected palm tree (mislabelled on the Tree Inventory; should identify Washingtonia filifera) relocated on the project site.
2. Continue the planter along the southern property line over to the east.
3. Storm water infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division prior to permit issuance. Any storm water devices in parkway areas shall not displace street trees.
4. Show transformers set back 5' from paving all sides. Coordinate with landscape plans.
5. Show backflow devices set back 4' from paving all sides. Locate on level grade
6. Locate utilities including light standards, fire hydrants, water, drain and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans.
7. Provide a utility clear space 8' wide in parkways 30' apart for street trees. Move water meters, drain lines, light standards to the utility minimum spacing and show utility lines at the edges of the parkway.
8. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
9. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.
10. Show parking lot island tree planters 1 for every 10 parking spaces and at each row end.
11. Show outdoor employee break area with table or bench and shade trees on the south and west sides.
12. Add Note to Grading and Landscape Plans: Landscape areas where compaction has occurred due to grading activities and where trees or storm water infiltration areas are located shall be

loosened by soil fracturing. For trees a 12'x12'x18" deep area; for storm water infiltration the entire area shall be loosened. Add the following information on the plans: The back hoe method of soil fracturing shall be used to break up compaction. A 4" layer of Compost is spread over the soil surface before fracturing is begun. The back hoe shall dig into the soil lifting and then drop the soil immediately back into the hole. The bucket then moves to the adjacent soil and repeats. The Compost falls into the spaces between the soil chunks created. Fracturing shall leave the soil surface quite rough with large soil clods. These must be broken by additional tilling. Tilling in more Compost to the surface after fracturing per the soil report will help create an A horizon soil. Imported or reused Topsoil can be added on top of the fractured soil as needed for grading. The Landscape Architect shall be present during this process and provide certification of the soil fracturing. For additional reference see Urban Tree Foundation – Planting Soil Specifications.

Landscape Plans

13. Revise incorrect tree identification and locations. Identify existing trees within 15' of adjacent property that would be affected by new walls, footings or on-site tree planting. Add tree protection notes on construction and demo plans.
 - a. Tree 4 is not a Koelreuteria bipinnata (City inventory identifies Pistacia chinensis).
 - b. Washingtonia filifera is incorrectly labeled. Relocate this tree onsite.
 - c. Identify and show existing trees within 15' of property line.
14. Show backflows, trash enclosures and transformers, with landscape screening. Do not encircle the utility with a hedge.
15. Show shade trees in parking lot planters at each row end. Change Cercis and Chitalpa to Quercus ilex at parking row ends and move trees to the center of the end island planters.
16. Locate light standards, fire hydrants, water and sewer lines to not conflict with required tree locations. Coordinate civil plans with landscape plans
17. Show all utilities on the landscape plans. Coordinate so utilities are clear of tree locations.
18. Show landscaping in the perimeter planters and trees spaced 30' apart along the southern property line; extend this planter space to the east.
19. Show outdoor employee break area with table or bench and shade trees on the south and west sides.
20. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
21. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.



CITY OF ONTARIO

MEMORANDUM

TO: Larissa Lomen, Administrative Intern

FROM: Officer Bill Lee, Police Department

DATE: May 4, 2021

SUBJECT: PDEV21-016- A DEVELOPMENT PLAN TO CONSTRUCT ONE INDUSTRIAL BUILDING TOTALING 38,445 SQUARE FEET, LOCATED AT 635 SOUTH TAYLOR AVENUE.

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 6 feet tall and 2 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.

The Applicant is invited to contact Officer Bill Lee at (909) 408-1672 with any questions or concerns regarding these conditions.



CITY OF ONTARIO

MEMORANDUM

TO: Scott Murphy, Community Development Director
Rudy Zeledon, Planning Director (Copy of memo only)
Diane Ayala, Advanced Planning Division (Copy of memo only)
Charity Hernandez, Economic Development
Matt Montieth, Building Department
Raymond Lee, Engineering Department
Jamie Richardson, Landscape Planning Division
Dennis Mejia, Municipal Utility Company
Gabriel Gutierrez, Police Department
Mike Gerken, Deputy Fire Chief/Fire Marshal
Jay Bautista, T. E., Traffic/Transportation Manager
Lorena Mejia, Airport Planning
Eric Woosley, Engineering/NPDES
Angela Magana, Community Improvement (Copy of memo only)
Jimmy Chang, IPA Department

FROM: Larissa Lomen, Administrative Intern

DATE: April 30, 2021

SUBJECT: FILE #: PDEV21-016 Finance Acct#:

The following project has been submitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by .

- Note:
- Only DAB action is required
 - Both DAB and Planning Commission actions are required
 - Only Planning Commission action is required
 - DAB, Planning Commission and City Council actions are required
 - Only Zoning Administrator action is required

PROJECT DESCRIPTION: A Development Plan to construct one industrial building totaling 38,445 square feet on 1.6 acres of land located at 635 S Taylor Ave, within the IG (General Industrial) zoning district (APN(s): 1049-212-06 & 1049-212-05)

- The plan does adequately address the departmental concerns at this time.
 - No comments
 - Report attached (1 copy and email 1 copy)
 - Standard Conditions of Approval apply
- The plan does not adequately address the departmental concerns.
 - The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

Broadband Operations

Department

Cameron Chadwick

Signature

Fiber Technician

Title

05/24/2021

Date

1. The City of Ontario is developing a fiber-optic telecommunications system throughout the city commonly known as OntarioNet. The fiber-optic telecommunications system is capable of providing advanced Internet/data services to homes and businesses in feasible areas within the city. OntarioNet will provide community related services including: traffic management; online civic services; meter reading; educational services; and a variety of other community services. OntarioNet and the high-speed data services it provides will keep the city on par with the modern workforce and ever changing lifestyles of the people and the community.
2. Communication systems proposed for on-site facilities will be placed underground within a duct and structure system to be installed by the developer. Maintenance of the installed system will be the responsibility of the City and/or Special District fiber optic entity and not that of the developer, private homeowners association or private homeowners. Development of the project requires the installation by the developer of all fiber optic infrastructure necessary to service the project as a standalone development.
3. The City requires public utility easement for fiber optics on all private aisles/alley ways.
4. Trenching, joint trenching, and boring shall be used to install the fiber-optic conduits. Fiber-optic conduit placement will generally be in a joint trench with Street Light conduits or in a separate trench/bore and in the Right-of-Way (ROW) generally placed behind the sidewalk. Resulting conduit placement generally, will be on the north side of street and the east side of street based on the direction of the street. Properly sized handholes shall be placed along the conduit path no greater than 500-feet apart in major streets and no greater than 300-feet apart within in-tract community streets. Handholes shall be strategically placed to allow for efficient entrance into commercial buildings, and residential properties and multi-dwelling units.
5. Structured Wiring – An integrated structured wiring system (low-voltage wiring) provides infrastructure for today’s technology applications and the framework for the future technology advances. Requirements and benefits of a structured wiring system include:
 - Residential (single-family and multi-family), commercial and industrial developments shall adhere to the City’s Structured Wiring ordinance
 - Allows for uniform receipt & distribution of technology services
 - Ensures scalability of wiring for future technology advances
 - Provides consistent & identical wiring protocols throughout developments
 - Enables the property infrastructure to interface efficiently with broadband networks for highest bandwidth capacity
 - Adoption of these standards will minimize retrofitting required to ensure new property owners are capable of the latest technologies and services
6. Building Entrance (Multi-family and Commercial) - From the nearest handhole to the building entrance, design and install fiber optic conduit at a minimum depth of 36-inches. Trenching shall be per City Standard for Commercial Buildings. (1) 2-inch HDPE SDR-11 (Smoothwall) roll pipe (Orange) duct. Install locate/tracer wires minimum 12AWG within conduit bank and fiber warning tape 18-inch above the uppermost duct
7. Multi-family and commercial properties shall terminate conduit in an electrical room adjacent to the wall no less than five inches above the finished floor. A 20" width X length 36" space shall be reserved on the plywood wall for OntarioNet equipment. This space shall be labeled "OntarioNet Only". Ontario Conduit shall be labeled "OntarioNet"
8. A minimum 13/16 millimeter microduct joint use telecommunications conduit with pull-rope from the multi-family or commercial building communal telecom/electrical room/closet to each multi-family or commercial building unit shall be installed. See Structured Wiring Checklist on City’s website for additional details.
9. A Fiber Optics Improvement Design Plan sheet should be part of the Design Plan submission and should be provided in digital format (PDF) as well, on future revisions

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV21-016
 Address: SEC of Taylor Avenue and Sunkist Street
 APN: 1049-212-05 thru 12
 Existing Land Use: Vacant
 Proposed Land Use: Development Plan to construct a 38,445 SF Industrial Building
 Site Acreage: 1.6 ac Proposed Structure Height: 40 FT
 ONT-IAC Project Review: N/A
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia
 Contact Info: 909-395-2276
 Project Planner: Lorena Mejia
 Date: 7/7/2021
 CD No.: 2021-028
 PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

| Safety | Noise Impact | Airspace Protection | Overflight Notification |
|--|---|--|---|
| <input type="radio"/> Zone 1 | <input type="radio"/> 75+ dB CNEL | <input type="radio"/> High Terrain Zone | <input checked="" type="checkbox"/> Avigation Easement Dedication |
| <input type="radio"/> Zone 1A | <input type="radio"/> 70 - 75 dB CNEL | <input checked="" type="checkbox"/> FAA Notification Surfaces | <input type="radio"/> Recorded Overflight Notification |
| <input checked="" type="checkbox"/> Zone 2 | <input checked="" type="checkbox"/> 65 - 70 dB CNEL | <input checked="" type="checkbox"/> Airspace Obstruction Surfaces | <input type="radio"/> Real Estate Transaction Disclosure |
| <input type="radio"/> Zone 3 | <input type="radio"/> 60 - 65 dB CNEL | <input checked="" type="checkbox"/> Airspace Avigation Easement Area | |
| <input type="radio"/> Zone 4 | | Allowable Height: 55 FT | |
| <input type="radio"/> Zone 5 | | | |

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1
 Zone 2
 Zone 3
 Zone 4
 Zone 5
 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

See Attached Conditions.

Airport Planner Signature: _____

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT

CD No.: 2021-028
PALU No.: _____

PROJECT CONDITIONS

1. This project is located within Safety Zone 2 and is required to file and record an Avigation Easement with the City of Ontario prior to obtaining a Certificate of Occupancy.
2. Project is located within Safety Zone 2 and above ground storage of hazardous materials greater than 6,000 gallons is not allowed consistent with ALUCP Policy S4b (Hazardous Material Storage).
3. The Land Use Intensity calculations proposed for this building have been met and are attached to this report.
4. New development located within any of the Ontario International Airport Safety Zones are required to have a "Property Located within Ontario International Airport Safety Zone Notification appearing on the Property Deed and Title incorporating the following language:

(NOTICE OF AIRPORT IN VICINITY: This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.) The property is presently located in a Safety Zone which limits land uses and the number of people on site. Land uses are required to meet the policies and criteria of the LA/Ontario International Airport Land Use Compatibility Plan.

5. The maximum height limit for the project site is 55 feet and as such, any construction equipment such as cranes or any other equipment exceeding 55 feet in height will need a determination of "No Hazard" from the FAA. An FAA Form 7460-1 for any temporary objects will need be filed and approved by the FAA prior to operating such equipment on the project site during construction.



CITY OF ONTARIO

MEMORANDUM

TO: Larissa Lomen, Administrative Intern
Planning Department

FROM: Mike Gerken, Deputy Fire Chief/Fire Marshal
Fire Department

DATE: May 12, 2021

SUBJECT: PDEV21-016 - A Development Plan to construct one 38,445 square foot industrial building on 1.6 acres of land located at 635 South Taylor Avenue, within the IG (General Industrial) zoning district (APNs: 1049-212-06 and 1049-212-05).

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.
-

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: IIIB
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): 34,945 Sq. Ft.
- D. Number of Stories: 1 Mezzanine
- E. Total Square Footage: 38,445 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): S1, F1 & B

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 2250 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and location(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.



Development Advisory Board Decision

January 19, 2022

DECISION NO.: [insert #]

FILE NOS.: PDEV21-026

DESCRIPTION: A Development Plan to construct a 44,885-square-foot industrial building on 2.03 acres of land located at 1030 and 1042 East Holt Boulevard, within the IP (Industrial Park) zoning district; (APNs: 1049-131-13 & 1049-131-14) **submitted by Holt LPIV 8 LLC. Planning Commission approval is required.**

Part I—BACKGROUND & ANALYSIS

HOLT LPIV 8 LLC, (herein after referred to as “Applicant”) has filed an application requesting a Development Plan approval, File No. PDEV21-026, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The Project site is comprised of two rectangular-shaped lots totaling 2.03-acres of land located on the south side of Holt Boulevard, approximately 250 feet west of Cucamonga Avenue, at 1030 and 1042 East Holt Boulevard, within the IP (Industrial Park) zoning district and is depicted in Exhibit A—Project Location Map, attached. The westerly property, 1030 East Holt Boulevard is presently vacant. The northerly one-half of 1042 East Holt Boulevard (easterly property) is presently developed with seven residential units and the balance of the property is vacant. Existing land uses, and General Plan and zoning designations on and surrounding the Project site are as follows:

| | <i>Existing Land Use</i> | <i>General Plan Designation</i> | <i>Zoning Designation</i> | <i>Specific Plan Land Use</i> |
|---------------|--|---------------------------------|---------------------------|-------------------------------|
| <i>Site:</i> | Vacant / Multi-Family Residential | Industrial | IP (industrial Park) | N/A |
| <i>North:</i> | Sky Villa Trailer Park | Mixed-Use | MU-2, East Holt Mixed-Use | N/A |
| <i>South:</i> | Railroad | Rail | RC (Rail Corridor) | N/A |
| <i>East:</i> | Vacant | Industrial | IP (industrial Park) | N/A |
| <i>West:</i> | Suppose-U Drive (Truck Rental Company) | Industrial | IP (industrial Park) | N/A |

(2) **Project Description:**

(a) **Background** —The residential property was developed in the 1920s and 1930s for ranching purposes, with a single-family residential home. During the 1940s and 1950s, three additional dwellings were constructed. Presently there are two units fronting Holt Boulevard, with the remaining 5 units and two garages located behind the front units. A Cultural Resource Assessment was prepared by BCR Consulting, LLC (dated April 10, 2021) and concluded that the existing buildings are not architecturally significant and are not significantly associated with important events or people related to the founding or development of the region. In addition, the property does not embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of an important creative individual or possess high artistic values. The residential homes are no longer occupied and will be demolished to accommodate the proposed development.

On July 15, 2021, the Applicant submitted a Development Plan application requesting to construct an industrial warehouse building totaling 44,885 square feet on the Project site, having a floor area ratio (“FAR”) of 0.51.

(b) Site Design/Building Layout — The Project site consists of two parcels that will be consolidated through a lot line adjustment to accommodate the proposed Project. The building will be located on the eastern portion of the Project site and will have an L-shape design, with the front of the building oriented to the north, facing Holt Boulevard.

The office will be located at the northwest corner of the building, with the office entrance oriented to the west. The building is setback 69 feet from the north (Holt Boulevard) property line, 30 feet from the south (rear) property line, 40 feet from the west (interior) property line, and a zero-setback condition is proposed along the east (interior) property line. The Project provides an off-street parking area for visitors and office employees at the front of the building, along the Holt Boulevard street frontage. An additional smaller parking area is located to the rear of the building that will serve warehouse employees (see Exhibit B—Site Plan, attached).

A yard area designed for tractor-trailer parking, truck maneuvering, loading activities, and outdoor staging, is located to the rear of the proposed building. The yard area will be screened from public view by the proposed building and a combination of landscaping and an 8-foot-high tilt-up screen wall with view-obstructing gates that will match the architecture of the building. Tubular steel fencing at 8 feet in height has been proposed along the west, east and south property lines. An outdoor employee patio area will be provided on the north side of the building, facing Holt Boulevard.

(c) Site Access/Circulation — The Project site will have direct access from Holt Boulevard, via a 35-foot-wide driveway located at the northwest corner of the site. An internal 26-foot-wide drive aisle is proposed along the west property line, providing vehicular access to the north parking lot and emergency/trash/truck access to the rear of the site. Pursuant to the conditions of approval, decorative pavement will be provided at the drive approach, which will extend from the back of the driveway apron to the intersecting parking lot drive aisle.

(d) Parking — The Project has provided off-street parking pursuant to the “Warehouse and Distribution” parking standards specified in the Development Code. The Project requires a total of 32 passenger vehicle parking spaces and 32 spaces have been provided. The off-street parking calculations for the building are as follows:

| Type of Use | Building Area | Parking Ratio | Spaces Required | Spaces Provided |
|--------------------------|----------------------|---|------------------------|------------------------|
| Warehouse / Distribution | 40,908 SF | One space per 1,000 SF (0.001/SF) for portion of GFA <20,000 SF, plus 0.5 space per 1,000 SF (0.0005/SF) for GFA > 20,000 SF. | 32 | 32 |
| Office | 3,777 SF | 4 spaces per 1,000 SF (0.004/SF) of GFA. Parking is required when “general business offices” and other associated uses, exceed 10 percent of the building GFA (4,399 SF of office allowed without additional parking required). | 0 | 0 |
| TOTAL | 44,885 SF | | 32 | 32 |

The City’s off-street parking and loading standards require that the project provide a minimum of one tractor trailer parking space for each four dock-high loading spaces. There are 5 dock-high doors proposed requiring one tractor trailer parking space, which has been provided.

(e) Architecture — The proposed industrial warehouse building will be of concrete tilt-up construction and feature a modern architectural design with a grey, white, and blue color palette. Architecturally, the building incorporates smooth-painted concrete, form-liner accent panels, horizontal and vertical reveals, color blocking, clerestory windows with clear anodized aluminum mullions and blue reflective glazing glass, and painted steel canopies over the main office entry (see Exhibit C—Elevations, attached). The mechanical equipment for the building will be roof-mounted and obscured from public view by the parapet walls and, if necessary, equipment screens, which will incorporate design features consistent with the building architecture. Staff believes that the proposed project illustrates the type of high-quality architecture promoted by the Development Code. This is exemplified through the use of:

- Articulation in the building footprint, incorporating a combination of recessed and popped-out wall areas; and
- Articulation in the building parapet/roof line, which serves to accentuate the building's entry and breaks up large expanses of building wall; and
- A mix of exterior materials, finishes and fixtures; and
- Incorporation of base and top treatments defined by changes in color, building reveals, and recessed wall areas; and
- The building was designed to ensure that its massing and proportion, along with its colors and architectural detailing, are consistent on all four building elevations.

(f) Landscaping — The Project provides landscaping along Holt Boulevard, around the project perimeter and tractor-trailer yard area. The Development Code requires a minimum 10 percent landscape coverage, which has been provided. The Project site is currently lacking right-of-way improvements (sidewalk/parkway) and street trees, which will be provided with the project. The proposed on-site and off-site landscape improvements will assist towards creating a walkable, safe area for pedestrians to access the Project site. The landscape plan incorporates a combination of 48-inch, 36-inch, and 24-inch box trees along Holt Boulevard, which includes a mix of California Sycamore, Raywood Ash, and Chinese Pistache trees. In addition, a mix of 15-gallon box accent and shade trees will be provided throughout the Project site that includes Western Redbud, Italian Cypress, and Brisbane box trees. A variety of shrubs and groundcovers are also being provided, which are low water usage or drought tolerant (see Exhibit D—Landscape Plan, attached).

(g) Utilities (drainage, sewer) — Public utilities (water and sewer) are available to serve the project. Furthermore, the Applicant has submitted a Preliminary Water Quality Management Plan ("PWQMP"), which establishes the Project's compliance with storm water discharge/water quality requirements. The PWQMP includes site design measures that capture runoff and pollutant transport by minimizing impervious surfaces and maximizes low impact development ("LID") best management practices ("BMPs"), such as retention and infiltration, biotreatment, and evapotranspiration. The PWQMP proposes the use of an underground stormwater chamber system located on the southern portion of the Project site. Any overflow drainage will be conveyed to an earthen swale located on the southeast corner of the Project site.

Part II—RECITALS

WHEREAS, the Application is a Project pursuant to the California Environmental Quality Act, commencing with Public Resources Code Section 21000 (hereinafter referred to as "CEQA"); and

WHEREAS, the Project is exempt from CEQA pursuant to a categorical exemption (listed in CEQA Guidelines Article 19, commencing with Section 15300) and the application of that categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

WHEREAS, Ontario Development Code Table 2.02-1 (Review Matrix) grants the Development Advisory Board (“DAB”) the responsibility and authority to review and make recommendation to the Planning Commission on the subject Application; and

WHEREAS, all members of the DAB of the City of Ontario were provided the opportunity to review and comment on the Application, and no comments were received opposing the proposed development; and

WHEREAS, the Project has been reviewed for consistency with the Housing Element of the Policy Plan component of The Ontario Plan, as State Housing Element law (as prescribed in Government Code Sections 65580 through 65589.8) requires that development projects must be consistent with the Housing Element, if upon consideration of all its aspects, it is found to further the purposes, principals, goals, and policies of the Housing Element; and

WHEREAS, the Project is located within the Airport Influence Area of Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and is subject to, and must be consistent with, the policies and criteria set forth in the Ontario International Airport Land Use Compatibility Plan (“ALUCP”), which applies only to jurisdictions within San Bernardino County, and addresses the noise, safety, airspace protection, and overflight impacts of current and future airport activity; and

WHEREAS, City of Ontario Development Code Division 2.03 (Public Hearings) prescribes the manner in which public notification shall be provided and hearing procedures to be followed, and all such notifications and procedures have been completed; and

WHEREAS, on January 19, 2022, the DAB of the City of Ontario conducted a hearing on the Application and concluded said hearing on that date; and

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

Part III—THE DECISION

NOW, THEREFORE, IT IS HEREBY FOUND AND DETERMINED by the Development Advisory Board of the City of Ontario, as follows:

SECTION 1: *Environmental Determination and Findings.* As the recommending body for the Project, the DAB has reviewed and considered the information contained in the administrative record for the Project. Based upon the facts and information contained in the administrative record, including all written and oral evidence presented to the DAB, the DAB finds as follows:

(1) The Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32, Infill Development Projects) of the CEQA Guidelines. The proposed Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits and the area being developed is 2.03 acres, less than the maximum five-acre threshold, and is substantially surrounded by urban land uses. The Project site has no value as habitat for endangered, rare, or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. The site is adequately served by all required utilities and public services; and

(2) The application of the categorical exemption is not barred by one of the exceptions set forth in CEQA Guidelines Section 15300.2; and

- (3) The determination of CEQA exemption reflects the independent judgment of the DAB.

SECTION 2: Housing Element Compliance. Pursuant to the requirements of California Government Code Chapter 3, Article 10.6, commencing with Section 65580, as the recommending body for the Project, the DAB finds that based on the facts and information contained in the Application and supporting documentation, at the time of Project implementation, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the Project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix.

SECTION 3: ALUCP Compliance. The California State Aeronautics Act (Public Utilities Code Section 21670 et seq.) requires that an Airport Land Use Compatibility Plan be prepared for all public use airports in the State; and requires that local land use plans and individual development proposals must be consistent with the policies set forth in the adopted Airport Land Use Compatibility Plan. On April 19, 2011, the City Council of the City of Ontario approved and adopted the Ontario International Airport Land use Compatibility Plan, establishing the Airport Influence Area for Ontario International Airport, which encompasses lands within parts of San Bernardino, Riverside, and Los Angeles Counties, and limits future land uses and development within the Airport Influence Area, as they relate to noise, safety, airspace protection, and overflight impacts of current and future airport activity. As the recommending body for the Project, the DAB has reviewed and considered the facts and information contained in the Application and supporting documentation against the ALUCP compatibility factors, including [1] Safety Criteria (ALUCP Table 2-2) and Safety Zones (ALUCP Map 2-2), [2] Noise Criteria (ALUCP Table 2-3) and Noise Impact Zones (ALUCP Map 2-3), [3] Airspace protection Zones (ALUCP Map 2-4), and [4] Overflight Notification Zones (ALUCP Map 2-5). As a result, the DAB, therefore, finds and determines that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the policies and criteria set forth within the ALUCP.

SECTION 4: Concluding Facts and Reasons. Based upon the substantial evidence presented to the DAB during the above-referenced hearing and upon the facts and information set forth in Parts I (Background and Analysis) and II (Recitals), above, and the specific findings set forth in Sections 1 through 3, above, the DAB hereby concludes as follows:

(1) **The proposed development at the proposed location is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.** The proposed Project is located within the IP (Industrial Park) land use district of the Policy Plan Land Use Map, and the IP (Industrial Park) zoning district. The development standards and conditions under which the proposed Project will be constructed and maintained, is consistent with the goals, policies, plans, and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan; and

(2) **The proposed development is compatible with those on adjoining sites in relation to location of buildings, with particular attention to privacy, views, any physical constraint identified on the site and the characteristics of the area in which the site is located.** The Project has been designed consistent with the requirements of the City of Ontario Development Code and the IP (Industrial Park) zoning district, including standards relative to the particular land use proposed (industrial building), as-well-as building intensity, building, and parking setbacks, building height, number of off-street parking and loading spaces, on-site and off-site landscaping, and fences, walls and obstructions; and

(3) **The proposed development will complement and/or improve upon the quality of existing development in the vicinity of the project and the minimum safeguards necessary to protect the public health, safety and general welfare have been required of the proposed project.** The Development Advisory Board has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any

significant environmental impacts; [iv] the project will be in harmony with the area in which it is located; and [v] the project will be in full conformity with the Vision, City Council Priorities and Policy Plan components of The Ontario Plan; and

(4) ***The proposed development is consistent with the development standards and design guidelines set forth in the Development Code, or applicable specific plan or planned unit development.*** The proposed Project has been reviewed for consistency with the general development standards and guidelines of the Development Code that are applicable to the proposed Project, including building intensity, building and parking setbacks, building height, amount of off-street parking and loading spaces, parking lot dimensions, design and landscaping, bicycle parking, on-site landscaping, and fences and walls, as-well-as those development standards and guidelines specifically related to the particular land use being proposed (industrial building). As a result of this review, the Development Advisory Board has determined that the Project, when implemented in conjunction with the conditions of approval, will be consistent with the development standards and guidelines described in the Development Code.

SECTION 5: Development Advisory Board Action. Based on the findings and conclusions set forth in Sections 1 through 4, above, the DAB hereby recommends the Planning Commission APPROVES the Application subject to each and every condition set forth in the Department reports included as Attachment A of this Decision and incorporated herein by this reference.

SECTION 6: Indemnification. The Applicant shall agree to defend, indemnify, and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers, or employees to attack, set aside, void or annul this approval. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

SECTION 7: Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings have been based are located at the City of Ontario City Hall, 303 East "B" Street, Ontario, California 91764. The custodian for these records is the City Clerk of the City of Ontario. The records are available for inspection by any interested person, upon request.

APPROVED AND ADOPTED this 19th day of January 2021.

Development Advisory Board Chairman

Exhibit A—PROJECT LOCATION MAP



Exhibit B—SITE PLAN

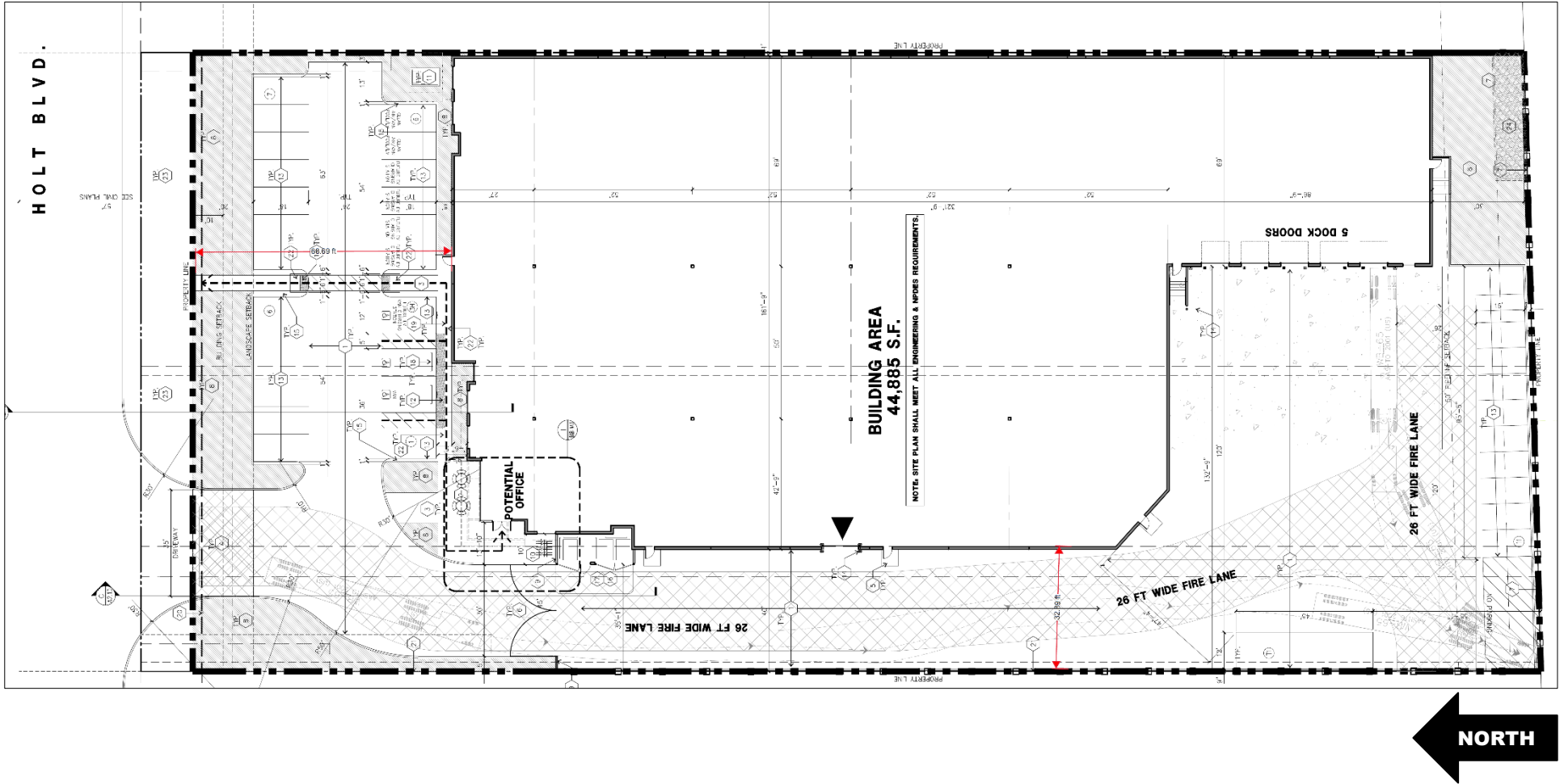
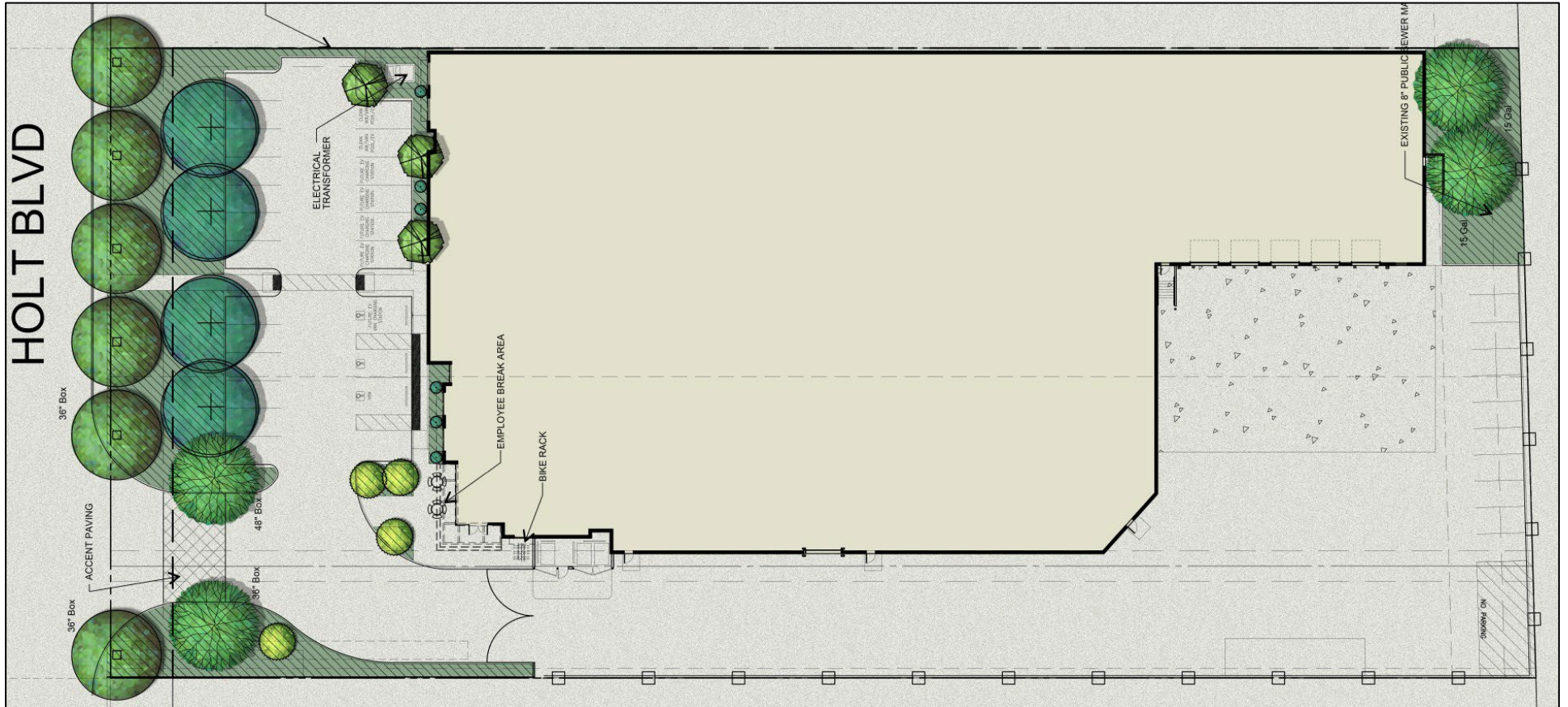


Exhibit D—ELEVATIONS



Exhibit D—LANDSCAPE PLAN



Attachment A—Departmental Conditions of Approval

(Departmental conditions of approval follow this page)

303 East B Street, Ontario, California 91764 Phone: 909.395.2036 / Fax: 909.395.2420

Date Prepared: 1/3/2022

File No: PDEV21-026

Project Description: A Development Plan to construct one industrial building totaling 44,885 square feet on 2.03 acres of land, located at 1030 and 1042 East Holt Boulevard, within the IP (Industrial Park) zoning district; (APNs: 1049-131-13 & 1049-131-14) **submitted by Holt LPIV 8 LLC.**

Prepared By: Jeanie Irene Aguilo, Associate Planner
Phone: 909.395.2418 (direct)
Email: jaguilo@ontarioca.gov

The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

1.0 Standard Conditions of Approval. The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2017. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

2.0 Special Conditions of Approval. In addition to the *Standard Conditions for New Development* identified in condition no. 1.0, above, the project shall comply with the following special conditions of approval:

2.1 Time Limits.

(a) Development Plan approval shall become null and void 2 years following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

2.2 General Requirements. The Project shall comply with the following general requirements:

(a) All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, utility, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Planning Department.

(b) The project site shall be developed in conformance with the approved plans on file with the City. Any variation from the approved plans must be reviewed and approved by the Planning Department prior to building permit issuance.

(c) The herein-listed conditions of approval from all City departments shall be included in the construction plan set for project, which shall be maintained on site during project construction.

2.3 Landscaping.

(a) The Project shall provide and continuously maintain landscaping and irrigation systems in compliance with the provisions of Ontario Development Code Division 6.05 (Landscaping).

(b) Comply with the conditions of approval of the Planning Department; Landscape Planning Division.

(c) Landscaping shall not be installed until the Landscape and Irrigation Construction Documentation Plans required by Ontario Development Code Division 6.05 (Landscaping) have been approved by the Landscape Planning Division.

(d) Changes to approved Landscape and Irrigation Construction Documentation Plans, which affect the character or quantity of the plant material or irrigation system design, shall be resubmitted for approval of the revision by the Landscape Planning Division, prior to the commencement of the changes.

2.4 Walls and Fences. All Project walls and fences shall comply with the requirements of Ontario Development Code Division 6.02 (Walls, Fences and Obstructions).

2.5 Parking, Circulation and Access.

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) All drive approaches shall be provided with an enhanced pavement treatment. The enhanced paving shall extend from the back of the approach apron, into the site, to the first intersecting drive aisle or parking space.

(c) Areas provided to meet the City's parking requirements, including off-street parking and loading spaces, access drives, and maneuvering areas, shall not be used for the outdoor storage of materials and equipment, nor shall it be used for any other purpose than parking.

(d) The required number of off-street parking spaces and/or loading spaces shall be provided at the time of site and/or building occupancy. All parking and loading spaces shall be maintained in good condition for the duration of the building or use.

(e) Parking spaces specifically designated and conveniently located for use by the physically disabled shall be provided pursuant to current accessibility regulations contained in State law (CCR Title 24, Part 2, Chapters 2B71, and CVC Section 22507.8).

(f) Bicycle parking facilities, including bicycle racks, lockers, and other secure facilities, shall be provided in conjunction with development projects pursuant to current regulations contained in CALGreen (CAC Title 24, Part 11).

2.6 Outdoor Loading and Storage Areas.

(a) Loading facilities shall be designed and constructed pursuant to Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Areas designated for off-street parking, loading, and vehicular circulation and maneuvering, shall not be used for the outdoor storage of materials or equipment.

(c) Outdoor loading and storage areas, and loading doors, shall be screened from public view pursuant to the requirements of Development Code Paragraph 6.02.025.A.2 (Screening of Outdoor Loading and Storage Areas, and Loading Doors) Et Seq.

(d) Outdoor loading and storage areas shall be provided with gates that are view-obstructing by one of the following methods:

(i) Construct gates with a perforated metal sheet affixed to the inside of the gate surface (50 percent screen); or

(ii) Construct gates with minimum one-inch square tube steel pickets spaced at maximum 2-inches apart.

(e) The minimum gate height for screen wall openings shall be established based upon the corresponding wall height, as follows:

| Screen Wall Height | Minimum Gate Height |
|---------------------------|----------------------------|
| 14 feet: | 10 feet |
| 12 feet: | 9 feet |
| 10 feet: | 8 feet |
| 8 feet: | 8 feet |
| 6 feet: | 6 feet |

2.7 Site Lighting.

(a) All off-street parking facilities shall be provided with nighttime security lighting pursuant to Ontario Municipal Code Section 4-11.08 (Special Residential Building Provisions) and Section 4-11.09 (Special Commercial/Industrial Building Provisions), designed to confine emitted light to the parking areas. Parking facilities shall be lighted from sunset until sunrise, daily, and shall be operated by a photocell switch.

(b) Unless intended as part of a master lighting program, no operation, activity, or lighting fixture shall create illumination on any adjacent property.

2.8 Mechanical and Rooftop Equipment.

(a) All exterior roof-mounted mechanical, heating and air conditioning equipment, and all appurtenances thereto, shall be completely screened from public view by parapet walls or roof screens that are architecturally treated so as to be consistent with the building architecture.

(b) All ground-mounted utility equipment and structures, such as tanks, transformers, HVAC equipment, and backflow prevention devices, shall be located out of view from a public street, or adequately screened through the use of landscaping and/or decorative low garden walls.

2.9 Security Standards. The Project shall comply with all applicable requirements of Ontario Municipal Code Title 4 (Public Safety), Chapter 11 (Security Standards for Buildings).

2.10 Signs. All Project signage shall comply with the requirements of Ontario Development Code Division 8.1 (Sign Regulations).

2.11 Sound Attenuation. The Project shall be constructed and operated in a manner so as not to exceed the maximum interior and exterior noised levels set forth in Ontario Municipal Code Title 5 (Public Welfare, Morals, and Conduct), Chapter 29 (Noise).

2.12 Environmental Review.

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to **Section 15332 (Class 32, In-Fill Development Projects)** of the CEQA Guidelines, and meets all of the following conditions:

(i) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as the applicable zoning designation and regulations;

(ii) The proposed development occurs within city limits, on a project site of no more than five acres, and is substantially surrounded by urban uses;

(iii) The project site has no value as habitat for endangered, rare, or threatened species;

(iv) Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and

(v) The Project site can be adequately served by all required utilities and public services.

(b) If human remains are found during project grading/excavation/construction activities, the area shall not be disturbed until any required investigation is completed by the County Coroner and Native American consultation has been completed (if deemed applicable).

(c) If any archeological or paleontological resources are found during project grading/excavation/construction, the area shall not be disturbed until the significance of the resource is determined. If determined to be significant, the resource shall be recovered by a qualified archeologist or paleontologist consistent with current standards and guidelines, or other appropriate measures implemented.

2.13 Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

2.14 Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination ("NOD") filing fee shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act ("CEQA"). The filing of a NOE is voluntary; however, failure to provide said fee within the time specified will result in the extension of the statute of limitations for the filing of a CEQA lawsuit from 30 days to 180 days.

(b) After the Project's entitlement approval, and prior to issuance of final building permits, the Planning Department's Plan Check and Inspection fees shall be paid at the rate established by resolution of the City Council.

2.15 Additional Requirements.

(a) The existing fencing along the west property line shall be replaced with an 8-foot tube steel fence with vine pockets to match the proposed fencing along the east property line.



**ENGINEERING DEPARTMENT
CONDITIONS OF APPROVAL**

(Engineering Services Division [Land Development Section and Environmental Section], Traffic & Transportation Division, Ontario Municipal Utilities Company and Broadband Operations & Investment and Revenue Resources Department Conditions incorporated)

| | | |
|--|--|------------------------------------|
| <input checked="" type="checkbox"/> DEVELOPMENT PLAN <input type="checkbox"/> OTHER | <input type="checkbox"/> PARCEL MAP <input type="checkbox"/> FOR CONDOMINIUM PURPOSES | <input type="checkbox"/> TRACT MAP |
| PROJECT FILE NO. : <u>PDEV21-026</u> RELATED FILE NO(S). _ | | |
| <input checked="" type="checkbox"/> ORIGINAL <input type="checkbox"/> REVISED: <u> </u> / <u> </u> / <u> </u> | | |

CITY PROJECT ENGINEER & PHONE NO: David Zurita (909) 395-2155

CITY PROJECT PLANNER & PHONE NO: Jeanie Aguilo (909) 395-2418

DAB MEETING DATE: January 19, 2021

PROJECT NAME / DESCRIPTION: **A Development Plan to construct one (1) industrial building totaling 45,085 square feet on 2.03 acres of land within the Industrial Park (IP) zoning district.**

LOCATION: **1030 and 1042 East Holt Boulevard (APN: 1049-131-13 & 1049-131-14)**

APPLICANT: Holt LPIV 8 LLC

REVIEWED BY: Raymond Lee 4/12/22
 Raymond Lee, P.E. Date
 Assistant City Engineer

APPROVED BY: for Khoi Do 4/12/2022
 Khoi Do, P.E. Date
 City Engineer



THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE GENERAL STANDARD CONDITIONS OF APPROVAL ADOPTED BY THE CITY COUNCIL (RESOLUTION NO. 2017-027) AND THE PROJECT SPECIFIC CONDITIONS OF APPROVAL SPECIFIED IN HEREIN. ONLY APPLICABLE CONDITIONS OF APPROVAL ARE CHECKED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COMPLETION OF ALL APPLICABLE CONDITIONS OF APPROVAL PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, ISSUANCE OF PERMITS AND/OR OCCUPANCY CLEARANCE, AS SPECIFIED IN THIS REPORT.

1. PRIOR TO FINAL MAP OR PARCEL MAP APPROVAL, APPLICANT SHALL: Check When Complete

- 1.01 Dedicate to the City of Ontario, the right-of-way, described below:
 _____ feet on _____
 Property line corner 'cut-back' required at the intersection of _____
 and _____.
- 1.02 Dedicate to the City of Ontario, the following easement(s): _____

- 1.03 Restrict vehicular access to the site as follows: _____
- 1.04 Vacate the following street(s) and/or easement(s): _____
- 1.05 Submit a copy of a recorded private reciprocal use agreement or easement. The agreement or easement shall ensure, at a minimum, common ingress and egress and joint maintenance of all common access areas and drive aisles.
- 1.06 Provide (original document) Covenants, Conditions and Restrictions (CC&Rs) as applicable to the project and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&Rs shall provide for, but not be limited to, common ingress and egress, joint maintenance responsibility for all common access improvements, common facilities, parking areas, utilities, median and landscaping improvements and drive approaches, in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project. The CC&Rs shall also address the maintenance and repair responsibility for public improvements/utilities (sewer, water, storm drain, recycled water, etc.) located within open space/easements. In the event of any maintenance or repair of these facilities, the City shall only restore disturbed areas to current City Standards.
- 1.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.
- 1.08 File an application for Reapportionment of Assessment, together with payment of a reapportionment processing fee, for each existing assessment district listed below. Contact the Financial Services Department at (909) 395-2124 regarding this requirement.
 (1) _____
 (2) _____
- 1.09 Prepare a fully executed Subdivision Agreement (on City approved format and forms) with accompanying security as required, or complete all public improvements.



- 1.10 Provide a monument bond (i.e. cash deposit) in an amount calculated by the City's approved cost estimate spreadsheet (available for download on the City's website: www.ci.ontario.ca.us) or as specified in writing by the applicant's Registered Engineer or Licensed Land Surveyor of Record and approved by the City Engineer, whichever is greater.
- 1.11 Provide a preliminary title report current to within 30 days.
- 1.12 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 1.13 New Model Colony (NMC) Developments:
 - 1) Provide evidence of final cancellation of Williamson Act contracts associated with this tract, prior to approval of any final subdivision map. Cancellation of contracts shall have been approved by the City Council.
 - 2) Provide evidence of sufficient storm water capacity availability equivalents (Certificate of Storm Water Treatment Equivalents).
 - 3) Provide evidence of sufficient water availability equivalents (Certificate of Net MDD Availability).
- 1.14 Other conditions: _____

2. PRIOR TO ISSUANCE OF ANY PERMITS, APPLICANT SHALL:

**A. GENERAL
 (Permits includes Grading, Building, Demolition and Encroachment)**

- 2.01 Record Parcel Map/Tract Map No. _____ pursuant to the Subdivision Map Act and in accordance with the City of Ontario Municipal Code.
- 2.02 Submit a PDF of the recorded map to the City Engineer's office.
- 2.03 **The subject parcels are recognized parcel in the City of Ontario per Map of Bon View Tract Lots 3 & 4 recorded in the County of San Bernardino Map Book 18 Page 24. Note that a Lot Line Adjustments (LLA) will be required to merge the two lots.**
- 2.04 Note that the subject parcel is an 'unrecognized' parcel in the City of Ontario and shall require a Certificate of Compliance to be processed unless a deed is provided confirming the existence of the parcel prior to the date of March 4, 1972.
- 2.05 **Apply for a:**
 - Certificate of Compliance with a Record of Survey;**
 - Lot Line Adjustment (Record a Conforming Deed with the County of San Bernardino within six months of the recordation of the Lot Line Adjustment to conform the new LLA legal description. Submit a copy of the recorded Conforming Deed to the Engineering Department.);**
 - Make a Dedication of Easement.



- 2.06 Provide (original document) Covenants, Conditions and Restrictions (CC&R's), as applicable to the project, and as approved by the City Attorney and the Engineering and Planning Departments, ready for recordation with the County of San Bernardino. The CC&R's shall provide for, but not be limited to, common ingress and egress, joint maintenance of all common access improvements, common facilities, parking areas, utilities and drive approaches in addition to maintenance requirements established in the Water Quality Management Plan (WQMP), as applicable to the project.

- 2.07 For all development occurring south of the Pomona Freeway (60-Freeway) and within the specified boundary limits (per Boundary Map found at <http://tceplumecleanup.com/>), the property developer/owner is made aware of the South Archibald Trichloroethylene (TCE) Plume "Disclosure Letter". Property owner may wish to provide this Letter as part of the Real Estate Transfer Disclosure requirements under California Civil Code Section 1102 et seq. This may include notifications in the Covenants, Conditions and Restrictions (CC&Rs) or other documents related to property transfer and disclosures. Additional information on the plume is available from the Santa Ana Regional Water Quality Control Board at http://geotracker.waterboards.ca.gov/profile_report?global_id=T10000004658.

- 2.08 **Submit a soils/geology report.**

- 2.09 **Other Agency Permit/Approval: Submit a copy of the approved permit and/or other form of approval of the project from the following agency or agencies:**
 - State of California Department of Transportation (Caltrans)
 - San Bernardino County Road Department (SBCRD)
 - San Bernardino County Flood Control District (SBCFCD)
 - Federal Emergency Management Agency (FEMA)
 - Cucamonga Valley Water District (CVWD) for sewer/water service
 - United States Army Corps of Engineers (USACE)
 - California Department of Fish & Game
 - Inland Empire Utilities Agency (IEUA)
 - Other: Non-interference letter required from each easement holder listed on the title report.**

- 2.10 **Dedicate to the City of Ontario the right-of-way described below:**
 - 1. **17-foot street dedication along property frontage of Holt Boulevard.**
 - 2. **The applicant/developer shall make an irrevocable of dedication, for a temporary construction easement varying in width from the ultimate right-of-way line (to be finalized during plan check), along the entire project frontage in accordance with the approved West Valley Connector plans.**

- 2.11 Dedicate to the City of Ontario the following easement(s): _____

- 2.12 **New Model Colony (NMC) Developments:**
 - 1) Submit a copy of the permit from the San Bernardino County Health Department to the Engineering Department and the Ontario Municipal Utilities Company (OMUC) for the destruction/abandonment of the on-site water well. The well shall be destroyed/abandoned in accordance with the San Bernardino County Health Department guidelines.
 - 2) Make a formal request to the City of Ontario Engineering Department for the proposed temporary use of an existing agricultural water well for purposes other than agriculture, such as grading, dust control, etc. Upon approval, the Applicant shall enter into an agreement with the City of Ontario and pay any applicable fees as set forth by said agreement.
 - 3) Design proposed retaining walls to retain up to a maximum of three (3) feet of earth. In no case



shall a wall exceed an overall height of nine (9) feet (i.e. maximum 6-foot high wall on top of a maximum 3-foot high retaining wall.

- 2.13 **Submit a security deposit to the Engineering Department to guarantee construction of the public improvements required herein valued at 100% of the approved construction cost estimate. Security deposit shall be in accordance with the City of Ontario Municipal Code. Security deposit will be eligible for release, in accordance with City procedure, upon completion and acceptance of said public improvements.**
- 2.14 **The applicant/developer shall submit all necessary survey documents prepared by a Licensed Surveyor registered in the State of California detailing all existing survey monuments in and around the project site. These documents are to be reviewed and approved by the City Survey Office.**
- 2.15 **Pay all Development Impact Fees (DIF) to the Building Department. Storm Drain Development Impact Fee, approximately \$47,690.70, shall be paid to the Building Department. Final fee shall be determined based on the approved site plan.**
- 2.16 Other conditions: _____



B. PUBLIC IMPROVEMENTS
 (See attached Exhibit 'A' for plan check submittal requirements.)

2.17 Design and construct full public improvements in accordance with the City of Ontario Municipal Code, current City standards and specifications, master plans and the adopted specific plan for the area, if any. These public improvements shall include, but not be limited to, the following (checked boxes):

| Improvement | Holt Boulevard | Street 2 | Street 3 | Street 4 |
|---------------------------------|--|---|---|---|
| Curb and Gutter | <input type="checkbox"/> New; ___ ft. from C/L <input checked="" type="checkbox"/> Replace Existing <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New; ___ ft. from C/L <input type="checkbox"/> Replace damaged <input type="checkbox"/> Remove and replace |
| AC Pavement | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions | <input type="checkbox"/> Replacement <input type="checkbox"/> Widen ___ additional feet along frontage, including pavm't transitions |
| PCC Pavement (Truck Route Only) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Drive Approach | <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Abandon existing approaches | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Sidewalk | <input type="checkbox"/> New <input checked="" type="checkbox"/> Replace existing | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| ADA Access Ramp | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |
| Parkway | <input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/ temporary irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) |
| Raised Landscaped Median | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace | <input type="checkbox"/> New <input type="checkbox"/> Remove and replace |



| | | | | |
|--|--|---|---|---|
| Fire Hydrant | <input checked="" type="checkbox"/> New / Upgrade <input checked="" type="checkbox"/> Relocate to ultimate location | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation |
| Sewer (see Sec. 2.C) | <input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral |
| Water (see Sec. 2.D) | <input type="checkbox"/> Main <input checked="" type="checkbox"/> Services: Domestic Water, Fire, & Irrigation | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service |
| Recycled Water (see Sec. 2.E) | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service | <input type="checkbox"/> Main <input type="checkbox"/> Service |
| Traffic Signal System (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Traffic Signing and Striping (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Street Light (see Sec. 2.F) | <input checked="" type="checkbox"/> New at ultimate location <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation | <input type="checkbox"/> New / Upgrade <input type="checkbox"/> Relocation |
| Bus Stop Pad or Turn-out (see Sec. 2.F) | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing | <input type="checkbox"/> New <input type="checkbox"/> Modify existing |
| Storm Drain (see Sec. 2G) | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral | <input type="checkbox"/> Main <input type="checkbox"/> Lateral |
| Fiber Optics (see Sec. 2K) | <input checked="" type="checkbox"/> Conduit / Appurtenances | <input type="checkbox"/> Conduit / Appurtenances | <input type="checkbox"/> Conduit / Appurtenances | <input type="checkbox"/> Conduit / Appurtenances |
| Overhead Utilities | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate | <input type="checkbox"/> Underground <input type="checkbox"/> Relocate |
| Removal of Improvements | Abandon unused services. | _____ | _____ | _____ |

Specific notes for improvements listed in item no. 2.17, above: _____



- 2.18 Construct a 2" asphalt concrete (AC) grind and overlay on the following street(s): Holt Boulevard
- 2.19 Reconstruction of the full pavement structural section, per City of Ontario Standard Drawing number 1011, may be required based on the existing pavement condition and final street design. Minimum limits of reconstruction shall be along property frontage, from street centerline to curb/gutter.
- 2.20 Make arrangements with the Cucamonga Valley Water District (CVWD) to provide water service
 sewer service to the site. This property is within the area served by the CVWD and Applicant shall provide documentation to the City verifying that all required CVWD fees have been paid.
- 2.21 Overhead utilities shall be under-grounded, in accordance with Title 7 of the City's Municipal Code (Ordinance No. 2804 and 2892). Developer may pay in-lieu fee, approximately _____, for undergrounding of utilities in accordance with Section 7-7.302.e of the City's Municipal Code.
- 2.22 Other conditions: _____

C. SEWER

- 2.23 A 10-inch sewer main is available for connection by this project along the southerly property line within a sewer easement.
 (Ref: Sewer plan bar code: S11546)
- 2.24 Design and construct a sewer main extension. A sewer main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.25 Submit documentation that shows expected peak loading values for modeling the impact of the subject project to the existing sewer system. The project site is within a deficient public sewer system area. Applicant shall be responsible for all costs associated with the preparation of the model. Based on the results of the analysis, Applicant may be required to mitigate the project impact to the deficient public sewer system, including, but not limited to, upgrading of existing sewer main(s), construction of new sewer main(s) or diversion of sewer discharge to another sewer.
- 2.26 Other conditions:
 1. Provide a monitoring manhole on private property, with a separate domestic waste line tying down stream of this monitoring manhole.
 2. No permanent structure, large tree and/or rainwater infiltration shall be allowed to be within the PUE of the existing public sewer main, running east-west parallel to the southerly property line.
 3. The Occupant/Applicant shall apply for a Wastewater Discharge Permit for their establishment and shall comply will all the requirements of the Wastewater Discharge Permit. The application can be downloaded from the City's Utilities website in the drop-down of the "Pretreatment" section (www.ontarioca.gov/OMUC/Utilities). Please select the appropriate application that applies to your type of business. Requirements of the Wastewater Discharge Permit may include, but not limited to: Installation of wastewater pretreatment equipment, such as grease interceptors or clarifiers. For wastewater permit application questions, please contact:

Michael Birmelin, Environmental Programs Manager
omucenvironmental@ontarioca.gov
 Phone: (909) 395-2661

D. WATER

- 2.27 A 12-inch water main is available for connection by this project in Holt Blvd.
 (Ref: Water plan bar code: W11984)
- 2.28 Design and construct a water main extension. A water main is not available for direct connection. The closest main is approximately _____ feet away.
- 2.29 Other conditions:
 1. Water meters, backflow devices, DCDA, fire hydrants, and all other appurtenances shall be installed at their ultimate location.



E. RECYCLED WATER

- 2.30 A _____ inch recycled water main is available for connection by this project in _____. (Ref: Recycled Water plan bar code: _____)
 - 2.31 Design and construct an on-site recycled water system for this project. A recycled water main does exist in the vicinity of this project.
 - 2.32 Design and construct an on-site recycled water ready system for this project. A recycled water main does not currently exist in the vicinity of this project, but is planned for the near future. If Applicant would like to connect to this recycled water main when it becomes available, the cost for the connection shall be borne solely by the Applicant.
 - 2.33 Submit two (2) hard copies and one (1) electronic copy, in PDF format, of the Engineering Report (ER), for the use of recycled water, to the OMUC for review and subsequent submittal to the California Department of Public Health (CDPH) for final approval.
- Note: The OMUC and the CDPH review and approval process will be approximately three (3) months. Contact the Ontario Municipal Utilities Company at (909) 395-2647 regarding this requirement.
- 2.34 Other conditions: _____

F. TRAFFIC / TRANSPORTATION

- 2.35 Submit a focused traffic impact study, prepared and signed by a Traffic/Civil Engineer registered in the State of California. The study shall address, but not be limited to, the following issues as required by the City Engineer:
 - 1. On-site and off-site circulation
 - 2. Traffic level of service (LOS) at 'build-out' and future years
 - 3. Impact at specific intersections as selected by the City Engineer
- 2.36 New traffic signal installations shall be added to Southern California Edison (SCE) customer account number # 2-20-044-3877.
- 2.37 **Other conditions:**
 - 1. **Property frontage along Holt Blvd shall be signed "No Parking Anytime."**
 - 2. **Proposed gates on Holt Blvd shall remain open at all times during business hours.**
 - 3. **Design and construct proposed driveways in accordance with City of Ontario Standard Drawing No. 1204 for commercial Driveway along Holt Boulevard.**

G. DRAINAGE / HYDROLOGY

- 2.38 A _____ inch storm drain main is available to accept flows from this project in _____. (Ref: Storm Drain plan bar code: _____)
- 2.39 **Submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California. The study shall be prepared in accordance with the San Bernardino County Hydrology Manual and City of Ontario standards and guidelines. Additional drainage facilities, including, but not limited to, improvements beyond the project frontage, may be required to be designed and constructed, by Applicant, as a result of the findings of this study.**
- 2.40 **An adequate drainage facility to accept additional runoff from the site does not currently exist downstream of the project. Design and construct a storm water detention facility on the project site. 100 year post-development peak flow shall be attenuated such that it does not exceed 80% of pre-development peak flows, in accordance with the approved hydrology study and improvement plans.**



- 2.41 Submit a copy of a recorded private drainage easement or drainage acceptance agreement to the Engineering Department for the acceptance of any increase to volume and/or concentration of historical drainage flows onto adjacent property, prior to approval of the grading plan for the project.
- 2.42 Comply with the City of Ontario Flood Damage Prevention Ordinance (Ordinance No. 2409). The project site or a portion of the project site is within the Special Flood Hazard Area (SFHA) as indicated on the Flood Insurance Rate Map (FIRM) and is subject to flooding during a 100 year frequency storm. The site plan shall be subject to the provisions of the National Flood Insurance Program.
- 2.43 **Other conditions:**
 - 1. **The proposed 18" HDPE and 8" HDPE Pipe along with the bubbler must be five (5) feet north of the northerly edge of the sewer PUE. Also, grade this area to have an earthen swale with a flow line directly over these two proposed pipes.**

H. STORM WATER QUALITY / NATIONAL POLLUTANT DISCHARGE AND ELIMINATION SYSTEM (NPDES)

- 2.44 401 Water Quality Certification/404 Permit – Submit a copy of any applicable 401 Certification or 404 Permit for the subject project to the City project engineer. Development that will affect any body of surface water (i.e. lake, creek, open drainage channel, etc.) may require a 401 Water Quality Certification from the California Regional Water Quality Control Board, Santa Ana Region (RWQCB) and a 404 Permit from the United States Army Corps of Engineers (USACE). The groups of water bodies classified in these requirements are perennial (flow year round) and ephemeral (flow during rain conditions, only) and include, but are not limited to, direct connections into San Bernardino County Flood Control District (SBCFCD) channels.
If a 401 Certification and/or a 404 Permit are not required, a letter confirming this from Applicant's engineer shall be submitted.
Contact information: USACE (Los Angeles District) (213) 452-3414; RWQCB (951) 782-4130.
- 2.45 **Submit a Water Quality Management Plan (WQMP). This plan shall be approved by the Engineering Department prior to approval of any grading plan. The WQMP shall be submitted, utilizing the current San Bernardino County Stormwater Program template, available at: <http://www.sbcounty.gov/dpw/land/npdes.asp>.**
- 2.46 Design and construct a Connector Pipe Trash Screen or equivalent Trash Treatment Control Device, per catch basin located within or accepting flows tributary of a Priority Land Use (PLU) area that meets the Full Capture System definition and specifications, and is on the Certified List of the State Water Resources Control Board. The device shall be adequately sized per catch basin and include a deflector screen with vector control access for abatement application, vertical support bars, and removable component to facilitate maintenance and cleaning.
- 2.47 **Other conditions:**
 - 1. **Land use consisting of high-density residential, defined as a land use with at least ten (10) dwelling units per acre, industrial, commercial, mixed urban, and public transportation station land uses shall comply with the statewide Trash Provisions adopted by the State Water Resources Control Board (SWRBC).**
 - 2. **Activities resulting in land disturbance of one acre or more is required to obtain coverage under the Construction General Permit (CGP). The owner is the legally responsible person (LRP) of the site and shall have a Stormwater Pollution Prevention Plan (SWPPP) developed and submitted through the SMARTS website at <https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogic.xhtml>.**

J. SPECIAL DISTRICTS



- 2.48 File an application, together with an initial deposit (if required), to establish a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities District Act of 1982. The application and fee shall be submitted a minimum of four (4) months prior to final subdivision map approval, and the CFD shall be established prior to final subdivision map approval or issuance of building permits, whichever occurs first. The CFD shall be established upon the subject property to provide funding for various City services. An annual special tax shall be levied upon each parcel or lot in an amount to be determined. The special tax will be collected along with annual property taxes. The City shall be the sole lead agency in the formation of any CFD. Contact Investment and Revenue Resources at (909) 395-2341 to initiate the CFD application process.
- 2.49 Other conditions: _____

K. FIBER OPTIC

- 2.50 Design and construct fiber optic system to provide access to the City's conduit and fiber optic system per the City's Fiber Optic Master Plan. Building entrance conduits shall start from the closest OntarioNet hand hole constructed along the project frontage in the ROW and shall terminate in the main telecommunications room for each building. Conduit infrastructure shall interconnect with the primary and/or secondary backbone fiber optic conduit system at the nearest OntarioNet hand hole; see Fiber Optic Exhibit herein.
- 2.51 Refer to the City's Fiber Optic Master Plan for design and layout guidelines. Contact the Broadband Operations Department at (909) 395-2000, regarding this requirement.

L. INTEGRATED WASTE

- 2.52 Onsite solid waste shall be designed in accordance with the City's Refuse & Recycling Planning Manual located at:

<https://www.ontarioca.gov/OMUC/IntegratedWaste>
- 2.53 Other conditions:
 - a. Prior to the issuance of a Building Permit, the applicant/developer shall comply with the following:
 - i. Submit a Solid Waste Handling Planning (SWHP) & Integrated Waste Management Report (IWMR) with the Precise Grading Plan and Trash Enclosure Detail with the Building (Architectural) Plan for the Ontario Municipal Utilities Company (OMUC) to review and approve. Additionally, email a PDF copy of the plans after the building permit number is created to bishii@ontarioca.gov (if files are larger than 20MB, then send a link to download files).
 - ii. Size the trash enclosure for a minimum of three (3) 4CY bins (one 4CY bin for refuse, one 4CY bin for recycling, and one 4CY bin for organics) plus any other bins/storage or other handling required by the SWHP and IWMR.

For questions on the SWHP and IWMR submittal requirements, please contact:
Blaine Ishii, Integrated Waste Assistant Division Manager
bishii@ontarioca.gov
Phone: (909) 395-2775

3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPLICANT SHALL:

- 3.01 Set new monuments in place of any monuments that have been damaged or destroyed as a result of construction of the subject project. Monuments shall be set in accordance with City of Ontario standards and to the satisfaction of the City Engineer.



- 3.02 Complete all requirements for recycled water usage.
 - 1) Procure from the OMUC a copy of the letter of confirmation from the California Department of Public Health (CDPH) that the Engineering Report (ER) has been reviewed and the subject site is approved for the use of recycled water.
 - 2) Obtain clearance from the OMUC confirming completion of recycled water improvements and passing of shutdown tests and cross connection inspection, upon availability/usage of recycled water.
 - 3) Complete education training of on-site personnel in the use of recycled water, in accordance with the ER, upon availability/usage of recycled water.
- 3.03 **The applicant/developer shall submit all final survey documents prepared by a Licensed Surveyor registered in the State of California detailing all survey monuments that have been preserved, revised, adjusted or set along with any maps, corner records or Records of Survey needed to comply with these Conditions of Approvals and the latest edition of the California Professional Land Survey Act. These documents are to be reviewed and approved by the City Survey Office.**
- 3.04 NMC Projects: For developments located at an intersection of any two collector or arterial streets, the applicant/developer shall set a monument if one does not already exist at that intersection. Contact the City Survey office for information on reference benchmarks, acceptable methodology and required submittals.
- 3.05 **Confirm payment of all Development Impact Fees (DIF) to the Building Department.**
- 3.06 **Submit electronic copies (PDF and Auto CAD format) of all approved improvement plans, studies and reports (i.e. hydrology, traffic, WQMP, etc.).**

4. PRIOR TO FINAL ACCEPTANCE, APPLICANT SHALL:

- 4.01 **Complete all Conditions of Approval listed under Sections 1-3 above.**
- 4.02 **Pay all outstanding fees pursuant to the City of Ontario Municipal Code, including but not limited to, plan check fees, inspection fees and Development Impact Fees.**
- 4.03 **The applicant/developer shall submit a written request for the City's final acceptance of the project addressed to the City Project Engineer. The request shall include a completed Acceptance and Bond Release Checklist, state that all Conditions of Approval have been completed and shall be signed by the applicant/developer. Upon receipt of the request, review of the request shall be a minimum of 10 business days. Conditions of Approval that are deemed incomplete by the City will cause delays in the acceptance process.**
- 4.04 **Submit record drawings (PDF) for all public improvements identified within Section 2 of these Conditions of Approval.**



EXHIBIT 'A'

ENGINEERING DEPARTMENT First Plan Check Submittal Checklist

Project Number: PDEV21-026

The following items are required to be included with the first plan check submittal:

1. **A copy of this check list**
2. **Payment of fee for Plan Checking**
3. **One (1) copy of Engineering Cost Estimate (on City form) with engineer's wet signature and stamp.**
4. **One (1) copy of project Conditions of Approval**
5. **Include a PDF (electronic submittal) of each required improvement plan at every submittal.**
6. **Two (2) sets of Potable and Recycled Water demand calculations (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size).**
7. **Three (3) sets of Public Street improvement plan with street cross-sections**
8. **Three (3) sets of Private Street improvement plan with street cross-sections**
9. **Four (4) sets of Public Water improvement plan (include water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size)**
10. **Four (4) sets of Recycled Water improvement plan (include recycled water demand calculations showing low, average and peak water demand in GPM for the proposed development and proposed water meter size and an exhibit showing the limits of areas being irrigated by each recycled water meter)**
11. **Four (4) sets of Public Sewer improvement plan**
12. **Five (5) sets of Public Storm Drain improvement plan**
13. **Three (3) sets of Public Street Light improvement plan**
14. **Three (3) sets of Signing and Striping improvement plan**
15. **Three (3) sets of Fiber Optic plan (include Auto CAD electronic submittal)**
16. **Three (3) sets of Dry Utility plans within public right-of-way (at a minimum the plans must show existing and ultimate right-of-way, curb and gutter, proposed utility location including centerline dimensions, wall to wall clearances between proposed utility and adjacent public line, street work repaired per Standard Drawing No. 1306. Include Auto CAD electronic submittal)**
17. **Three (3) sets of Traffic Signal improvement plan and One (1) copy of Traffic Signal Specifications with modified Special Provisions. Please contact the Traffic Division at (909) 395-2154 to obtain Traffic Signal Specifications.**
18. **Two (2) copies of Water Quality Management Plan (WQMP), including one (1) copy of the approved Preliminary WQMP (PWQMP).**
19. **One (1) copy of Hydrology/Drainage study**
20. **One (1) copy of Soils/Geology report**

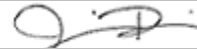


- 21. Payment for Final Map/Parcel Map processing fee
- 22. Three (3) copies of Final Map/Parcel Map
- 23. One (1) copy of approved Tentative Map
- 24. **One (1) copy of Preliminary Title Report (current within 30 days)**
- 25. One (1) copy of Traverse Closure Calculations
- 26. **One (1) set of supporting documents and maps (legible copies): referenced improvement plans (full size), referenced record final maps/parcel maps (full size, 18"x26"), Assessor's Parcel map (full size, 11"x17"), recorded documents such as deeds, lot line adjustments, easements, etc.**
- 27. Two (2) copies of Engineering Report and an electronic file (include PDF format electronic submittal) for recycled water use
- 28. Other: _____

CITY OF ONTARIO
LANDSCAPE PLANNING DIVISION
 303 East "B" Street, Ontario, CA 91764

CONDITIONS OF APPROVAL

Sign Off



1/10/2022

Jamie Richardson, Sr. Landscape Planner

Date

Reviewer's Name:

Jamie Richardson, Sr. Landscape Planner

Phone:

(909) 395-2615

D.A.B. File No.:

PDEV21-026

Case Planner:

Jeanie Aguilo

Project Name and Location:

Industrial Building
 1030 & 1042 E Holt Blvd.

Applicant/Representative:

HPA, Inc. (949) 862-2107 msizemore@panattoni.com
 18831 Bardeen Avenue, Suite 100
 Irvine, CA 92612



Preliminary Plans (dated 1/10/2022) meet the Standard Conditions for New Development and have been approved considering that the following conditions below be met upon submittal of the landscape construction documents.



Preliminary Plans (dated) have not been approved. Corrections noted below are required before Preliminary Landscape Plan approval.

A RESPONSE SHEET IS REQUIRED WITH RESUBMITTAL OR PLANS WILL BE RETURNED AS INCOMPLETE.

Landscape construction plans with plan check number may be emailed to:
landscapeplancheck@ontarioca.gov

Civil/ Site Plans

1. Provide a plan that includes the locations of the existing tree inventory. Show and note existing trees in good condition to remain and note trees proposed to be removed. Include existing trees within 15' of adjacent property that would be affected by new walls, footings, or on-site tree planting. Replacement and mitigation for removed trees shall equal the trunk diameter of heritage trees removed per the Development Code Tree Preservation Policy and Protection Measures, section 6.05.020. Cinnamomum camphora is a Heritage Tree (Historic Characteristic); provide mitigation if removal is proposed; monetary value is \$1,400.
2. Adjust parking lot allow for landscape island fingers for required tree locations.
3. Before permit issuance, stormwater infiltration devices located in landscape areas shall be reviewed and plans approved by the Landscape Planning Division. Any stormwater devices in parkway areas shall not displace street trees.
4. Dimension transformer set back 5' from paving all sides.
5. Note for compaction to be no greater than 85% at landscape areas. All finished grades at 1 1/2" below finished surfaces. Slopes to be maximum 3:1.
6. Dimension, show and call out for step-outs at parking spaces adjacent to planters; a 12" wide monolithic concrete curb, DG paving or pavers with edging.

Landscape Plans

7. Call out all fences and walls, materials proposed, and heights.
8. Landscape construction plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>
9. After a project's entitlement approval, the applicant shall pay all applicable fees for landscape plan check and inspections at a rate established by resolution of the City Council.

AIRPORT LAND USE COMPATIBILITY PLANNING

CONSISTENCY DETERMINATION REPORT



Project File No.: PDEV21-026

Address: 1030 & 1042 East Holt Blvd.

APN: 1049-131-13 & 1049-131-14

Existing Land Use: Vacant Lot and residential

Proposed Land Use: Development Plan to construct 1 Industrial Building totaling 44,885 SF

Site Acreage: 2.03 Proposed Structure Height: 43 FT

ONT-IAC Project Review: n/a

Airport Influence Area: ONT

Reviewed By: Lorena Mejia

Contact Info: 909-395-2276

Project Planner: Jeanie Aguilo

Date: 8/17/2021

CD No.: 2021-045

PALU No.: n/a

The project is impacted by the following ONT ALUCP Compatibility Zones:

| Safety | Noise Impact | Airspace Protection | Overflight Notification |
|---------------------------------|--|---|--|
| <input type="radio"/> Zone 1 | <input type="radio"/> 75+ dB CNEL | <input type="checkbox"/> High Terrain Zone | <input type="checkbox"/> Avigation Easement Dedication |
| <input type="radio"/> Zone 1A | <input type="radio"/> 70 - 75 dB CNEL | <input checked="" type="checkbox"/> FAA Notification Surfaces | <input checked="" type="checkbox"/> Recorded Overflight Notification |
| <input type="radio"/> Zone 2 | <input type="checkbox"/> 65 - 70 dB CNEL | <input checked="" type="checkbox"/> Airspace Obstruction Surfaces | <input type="checkbox"/> Real Estate Transaction Disclosure |
| <input type="checkbox"/> Zone 3 | <input type="checkbox"/> 60 - 65 dB CNEL | <input type="checkbox"/> Airspace Avigation Easement Area | |
| <input type="radio"/> Zone 4 | | Allowable Height: <u>100 FT</u> | |
| <input type="radio"/> Zone 5 | | | |

The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1 Zone 2 Zone 3 Zone 4 Zone 5 Zone 6

Allowable Height: _____

CONSISTENCY DETERMINATION

This proposed Project is: Exempt from the ALUCP Consistent Consistent with Conditions Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: _____



CITY OF ONTARIO

MEMORANDUM

TO: Jeanie Irene Aguilo, Associate Planner
Planning Department

FROM: Mike Gerken, Deputy Fire Chief/Fire Marshal
Fire Department

DATE: August 2, 2021

SUBJECT: PDEV21-026 - A Development Plan to construct one (1) industrial building totaling 44,885 square feet on 2.03 acres of land located at 1030 and 1042 East Holt Boulevard, within the Industrial Park (IP) zoning district (APN(s): 1049-131-13 & 1049-131-14).

-
- The plan **does** adequately address Fire Department requirements at this time.
- Standard Conditions of Approval apply, as stated below.

SITE AND BUILDING FEATURES:

- A. 2019 CBC Type of Construction: IIIB
- B. Type of Roof Materials: Panelized
- C. Ground Floor Area(s): 43,085 Sq. Ft.
- D. Number of Stories: 2
- E. Total Square Footage: 45,058 Sq. Ft.
- F. 2019 CBC Occupancy Classification(s): S

CONDITIONS OF APPROVAL:

1.0 GENERAL

- ☒ 1.1 The following are the Ontario Fire Department (“Fire Department”) requirements for this development project, based on the current edition of the California Fire Code (CFC), and the current versions of the Fire Prevention Standards (“Standards.”) It is recommended that the applicant or developer transmit a copy of these requirements to the on-site contractor(s) and that all questions or concerns be directed to the Bureau of Fire Prevention, at (909) 395-2029. For copies of Ontario Fire Department Standards please access the City of Ontario web site at www.ontarioca.gov/Fire/Prevention.
- ☒ 1.2 These Fire Department conditions of approval are to be included on any and all construction drawings.

2.0 FIRE DEPARTMENT ACCESS

- ☒ 2.1 Fire Department vehicle access roadways shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved. Roadways shall be paved with an all-weather surface and shall be a minimum of twenty-four (24) ft. wide. See Standard #B-004.
- ☒ 2.2 In order to allow for adequate turning radius for emergency fire apparatus, all turns shall be designed to meet the minimum twenty five feet (25’) inside and forty-five feet (45’) outside turning radius per Standard #B-005.
- ☒ 2.3 Fire Department access roadways that exceed one hundred and fifty feet (150’) in length shall have an approved turn-around per Standard #B-002.
- ☒ 2.4 Access drive aisles which cross property lines shall be provided with CC&Rs, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check.
- ☒ 2.5 "No Parking-Fire Lane" signs and /or red painted curbs with lettering are required to be installed in interior access roadways, in locations where vehicle parking would obstruct the minimum clear width requirement. Installation shall be per Standard #B-001.
- ☒ 2.6 Security gates or other barriers on fire access roadways shall be provided with a Knox brand key switch or padlock to allow Fire Department access. See Standards #B-003, B-004 and H-001.
- ☒ 2.7 Any time PRIOR to on-site combustible construction and/or storage, a minimum twenty-four (24) ft. wide circulating all weather access roads shall be provided to within 150 ft. of all portions of the exterior walls of the first story of any building, unless specifically approved by fire department and other emergency services.

3.0 WATER SUPPLY

- ☒ 3.1 The required fire flow per Fire Department standards, based on the 2019 California Fire Code, Appendix B, is 2250 gallons per minute (g.p.m.) for 4 hours at a minimum of 20 pounds per square inch (p.s.i.) residual operating pressure.
- ☒ 3.2 Off-site (public) fire hydrants are required to be installed on all frontage streets, at a minimum spacing of three hundred foot (300') apart, per Engineering Department specifications.
- ☒ 3.3 Buildings that exceed 100,000 square feet in floor area shall provide an onsite looped fire protection water line around the building(s.) The loops shall be required to have two or more points of connection from a public circulating water main.
- ☒ 3.4 The water supply, including water mains and fire hydrants, shall be tested and approved by the Engineering Department and Fire Department prior to combustible construction to assure availability and reliability for firefighting purposes.

4.0 FIRE PROTECTION SYSTEMS

- ☒ 4.1 On-site private fire hydrants are required per Standard #D-005, and identified in accordance with Standard #D-002. Installation and location(s) are subject to the approval of the Fire Department. An application with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.2 Underground fire mains which cross property lines shall be provided with CC & R, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check. The shared use of private fire mains or fire pumps is allowable only between immediately adjacent properties and shall not cross any public street.
- ☒ 4.3 An automatic fire sprinkler system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 13. All new fire sprinkler systems, except those in single family dwellings, which contain twenty (20) sprinkler heads or more shall be monitored by an approved listed supervising station. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.
- ☒ 4.5 Fire Department Connections (FDC) shall be located on the address side of the building within one hundred fifty feet (150') of a public fire hydrant on the same side of the street. Provide identification for all fire sprinkler control valves and fire department connections per Standard #D-007. Raised curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.
- ☒ 4.6 A fire alarm system is required. The system design shall be in accordance with National Fire Protection Association (NFPA) Standard 72. An application along with detailed plans shall be submitted, and a construction permit shall be issued by the Fire Department, prior to any work being done.

- ☒ 4.7 Portable fire extinguishers are required to be installed prior to occupancy per Standard #C-001. Please contact the Fire Prevention Bureau to determine the exact number, type and placement required.

5.0 BUILDING CONSTRUCTION FEATURES

- ☒ 5.1 The developer/general contractor is to be responsible for reasonable periodic cleanup of the development during construction to avoid hazardous accumulations of combustible trash and debris both on and off the site.
- ☒ 5.2 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building. Address numbers shall contrast with their background. See Section 9-1 6.06 of the Ontario Municipal Code and Standards #H-003 and #H-002.
- ☒ 5.6 Knox ® brand key-box(es) shall be installed in location(s) acceptable to the Fire Department. All Knox boxes shall be monitored for tamper by the building fire alarm system. See Standard #H-001 for specific requirements.
- ☒ 5.7 Placards shall be installed in acceptable locations on buildings that store, use or handle hazardous materials in excess of the quantities specified in the CFC. Placards shall meet the requirements of National Fire Protection Association (NFPA) Standard 704.

6.0 OTHER SPECIAL USES

- ☒ 6.1 The storage, use, dispensing, or handling of any hazardous materials shall be approved by the Fire Department, and adequate fire protection features shall be required. If hazardous materials are proposed, a Fire Department Hazardous Materials Information Packet, including Disclosure Form and Information Worksheet, shall be completed and submitted with Material Safety Data Sheets to the Fire Department along with building construction plans.
- ☒ 6.2 Any High Piled Storage, or storage of combustible materials greater than twelve (12') feet in height for ordinary (Class I-IV) commodities or storage greater than six feet (6') in height of high hazard (Group A plastics, rubber tires, flammable liquids, etc.) shall be approved by the Fire Department, and adequate fire protection features shall be required. If High Piled Storage is proposed, a Fire Department High Piled Storage Worksheet shall be completed and detailed racking plans or floor plans submitted prior to occupancy of the building.
- ☒ 6.3 Underground fuel tanks, their associated piping and dispensers shall be reviewed, approved, and permitted by Ontario Building Department, Ontario Fire Department, and San Bernardino County Fire Department Hazardous Materials Division. In fueling facilities, an exterior emergency pump shut-off switch shall be provided.



CITY OF ONTARIO

MEMORANDUM

TO: Jeanie Irene Aguilo, Associate Planner

FROM: Officer Bill Lee, Police Department

DATE: August 9, 2021

SUBJECT: PDEV21-026- A DEVELOPMENT PLAN TO CONSTRUCT ONE INDUSTRIAL BUILDING TOTALING 44,885 SQUARE FEET, LOCATED AT 1030 AND 1042 EAST HOLT BOULEVARD.

The “Standard Conditions of Approval” contained in Resolution No. 2017-027 apply. The applicant shall read and be thoroughly familiar with these conditions, including, but not limited to, the requirements below.

- Required lighting for all walkways, driveways, doorways, parking lots, hallways and other areas used by the public shall be provided. Lights shall operate via photosensor. Photometrics shall be provided to the Police Department and include the types of fixtures proposed and demonstrate that such fixtures meet the vandal-resistant requirement. Planned landscaping shall not obstruct lighting.
- Rooftop addresses shall be installed on the buildings as stated in the Standard Conditions. The numbers shall be at a minimum 6 feet tall and 2 foot wide, in reflective white paint on a flat black background, and oriented with the bottom of the numbers towards the addressed street. Associated letters shall also be included.
- The Applicant shall comply with construction site security requirements as stated in the Standard Conditions.
- Trash enclosure shall be fully secured by locks and screens/grates in order to reduce crime and encampment opportunities for homeless persons.

The Applicant is invited to contact Officer Bill Lee at (909) 408-1672 with any questions or concerns regarding these conditions.