



CITY OF ONTARIO  
**ZONING ADMINISTRATOR**  
AGENDA

July 15, 2019

Ontario City Council Chambers, 2 PM  
303 East "B" Street, Ontario

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All documents for public review are on file with the Planning Department located at  
City Hall, 303 East "B" Street, Ontario, CA 91764

**PUBLIC HEARINGS**

- A. **ENVIRONMENTAL ASSESSMENT AND CONDITIONAL USE PERMIT REVIEW FOR FILE NO. PCUP19-004**: A Conditional Use Permit (File No. PCUP19-004) request to exceed the 14 foot height and the 650 square foot area for an accessory structure proposed above an existing 3-car garage that includes the second story addition of a 672-square foot pool house and a 1,344-square foot storage area. The 0.41 acre property is located at 2036 South Helen Avenue, within the AR-2 (Residential Agricultural) zoning district. Staff has determined that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1-Existing Facilities) of the CEQA guidelines. The project is located within the Airport Influence Area of Ontario International Airport (ONT), and was evaluated and found to be consistent with the policies and criteria of the ONT Airport Land Use Compatibility Plan (ALUCP); (APN: 1014-571-22); **submitted by Mr. Mario E. Caballero**

If you wish to appeal a decision of the Zoning Administrator, you must do so within ten (10) days of the Zoning Administrator action. Please contact the Planning Department for information regarding the appeal process.

If you challenge any action of the Zoning Administrator in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or written correspondence delivered to the Zoning Administrator at, or prior to, the public hearing.

I, Maureen Duran, Office Specialist of the City of Ontario, or my designee, hereby certify that a true, accurate copy of the foregoing agenda was posted on or before **July 11, 2019**, at least 72 hours prior to the meeting per Government Code Section 54954.2 at 303 East "B" Street, Ontario.

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# ZONING ADMINISTRATOR DECISION CONDITIONAL USE PERMIT July 15, 2019

**DECISION NO.:** [insert #]

**FILE NO.:** PCUP19-004

**DESCRIPTION:** A Conditional Use Permit to establish an accessory structure in excess of 14 feet in height and 650 square feet in area, includes a 672-square foot pool house addition to the first floor of an existing 3-car garage and a 1,344-square foot second-story addition of a storage area on a 0.41-acre property located at 2036 South Helen Avenue, within the AR-2 (Residential Agricultural – 0 to 2.0 DU/Acre) zoning district; (APN: 1014-571-22) **submitted by Mario Caballero.**

## ***PART I: BACKGROUND & ANALYSIS***

MARIO CABALLERO, (herein after referred to as "Applicant") has filed an application requesting Conditional Use Permit approval for File No. PCUP19-004, as described in the subject of this Decision (herein after referred to as "Application" or "Project").

(1) **Project Setting:** The project site is comprised of a 0.41-acre parcel of land located at 2036 South Helen Avenue, and is depicted in Exhibit A: Aerial Photograph, attached. Existing land uses, General Plan and zoning designations, and specific plan land uses on and surrounding the project site are as follows:

	<i>Existing Land Use</i>	<i>General Plan Designation</i>	<i>Zoning Designation</i>	<i>Specific Plan Land Use</i>
<i>Site</i>	Single Family Residential	Rural Residential (0 to 2 DU/Acre)	AR-2 (Residential Agricultural – 0 to 2.0 DU/Acre)	N/A
<i>North</i>	Single Family Residential	Rural Residential	AR-2	N/A
<i>South</i>	Single Family Residential	Rural Residential	AR-2	N/A
<i>East</i>	Single Family Residential	Rural Residential	AR-2	N/A
<i>West</i>	Single Family Residential	Rural Residential	AR-2	N/A

<i>Prepared:</i> DC 6/25/19	<i>Reviewed:</i> CM 7/2/2019	<i>Decision:</i> [enter initial/date]
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(2) **Project Analysis:**

(a) Background — The project site is comprised of a 19,635-square foot (187 feet deep X 105 feet wide) residential lot developed with an existing 3,400-square foot one-story single-family dwelling. The existing home was built in 2003, having four bedrooms, three baths, and a detached 3-car garage (Exhibit A: Aerial Photograph, attached).

On March 5, 2019, the applicant filed a Conditional Use Permit to establish an accessory structure in excess of 14 feet in height and 650 square feet in area. The proposed accessory structure will include a 672-square foot pool house addition to the first floor of the existing detached 3-car garage and a 1,344-square foot second-story addition above the existing 3-car garage and proposed 672-square foot pool house.

(b) Proposed Use — The applicant had an above-ground swimming pool, which has been removed. However, the applicant has future plans to add an in-ground swimming pool within the backyard and is requesting to add a 672-square foot (21'X32') pool house on the first floor, in preparation for the future construction of the swimming pool. The existing 3-car garage has been used for storage of antique products and other miscellaneous items and has not been used for vehicle parking. Therefore, the applicant is requesting a 1,344-square foot (21'X64') second-floor addition to store the antique products and free up the 3-car garage, so that it can be used for vehicle parking.

The proposed site plan shows that the detached accessory structure will have a building setback of 148 feet from the east property line, 10-feet from the west property line, 29-feet from the property line to the south, and 12-feet from the property line to the north, which complies with the minimum requirements of the Development Code and the AR-2 (Residential Agricultural) zoning district (see Exhibit B: Proposed Site Plan).

The floor plan for the proposed addition will be 64-feet wide by 21-feet long, for a total of 1,344 square feet. The first floor will have a 3-car garage and a 672-square foot (21' X 32') pool house, with a 45-square foot (6'X7.5') restroom. The second floor will have a 1,344-square foot (21' X 64') storage area and a 512-square foot (8'X64') balcony area (see Exhibit C: Proposed Floor Plans). Access to the second floor will be provided by an outdoor spiral staircase, located along the building's east elevation. The balcony area will be surrounded by a decorative wrought-iron railing and it will project 8-feet out, above the first floor area (see Exhibit D: Conceptual Building Elevations). Access to the pool house will be provided by a sliding door, located on the east side of the detached structure. The existing 3-car garage will continue to be accessed by a 30-foot wide driveway, located along the southeast side of the project site.

The existing single story, Spanish style home and the detached 3-car garage has exterior stucco finish with concrete tile roof. The proposed addition will be located behind the existing home and will not be visible from Helen Avenue. However, staff has placed a condition that the proposed addition match the existing color scheme, exterior texture,

and roof finishes of the primary existing home and the existing 3-car garage. (See Exhibit F: Site Photos). The proposed detached structure will feature the following:

- Two window dormers located on the roof's east elevation
- Concrete tile roof, to match existing house
- Smooth stucco finish
- Decorative wrought iron fencing along the second-floor's balcony area

The detached accessory structure will be used for vehicle parking, pool house, and storage.

(c) Parking — According to the Ontario Development Code, the required parking for a single family dwelling is 2 spaces, within an enclosed garage. The project will provide three parking spaces, within the existing 3-car garage, with an additional 2 guest parking spaces within the existing circular driveway. Therefore, no parking issues are anticipated (see Table 1: Required Parking, below).

**Table 1: Required Parking**

<i><b>Dwelling Unit &amp; Accessory Structure</b></i>	<i><b>Building Area</b></i>	<i><b>Required Parking</b></i>	<i><b>Parking Provided</b></i>
Existing Single Family Home (Main Dwelling Unit)	3,400	2 spaces per dwelling within an enclosed garage	3 spaces within existing 3-car garage, plus 2 guest spaces on the driveway
Proposed Detached Accessory Structure Addition	2,016	0	0
<b>Total Square Footage</b>	<b>5,416</b>		
<b>Total Parking Required</b>		<b>2</b>	
<b>Total Parking Provided</b>			<b>5</b>

(d) Land Use Compatibility - The Conditional Use Permit review is required to ensure that the proposed use will be consistent with all local regulations and to ensure that the use will not be detrimental to the public health, safety, or welfare, or materially injurious to uses, properties or improvements in the vicinity. Pursuant to the Ontario Development Code, a Conditional Use Permit is required to construct a detached accessory structure that exceeds 650 square feet and is taller than 14 feet in height, within the AR-2 (Agricultural Residential) zoning district. The proposed accessory structure will be 2,016-square feet and will have a building height of 26-feet. The surrounding uses will not be exposed to any impacts beyond those that would normally be associated within a residential area. The property located to northwest of the project site has an existing 570 square foot (19' X 30') storage shed that was constructed at the rear of the property and was legally built in 1986. Also, the property located to the south of the project site has an 840 square foot (24' X 35') accessory structure that was legally

built in March of 1971. The request for approval to construct a two-story, detached accessory structure (29' X 64'), totaling approximately 1,856-square feet is consistent with other accessory structures.

The project is surrounded by single story residential homes to the east, west, north, and south sides. The property to the south of the project site currently has three (3) detached accessory structures and the property to the north, currently has four (4) detached accessory structures (see Exhibit A: Aerial Photograph). The proposed detached accessory structure will have a building setback of 148 feet from the front (east) property line, 10 feet from the rear (west) property line, 29 feet from the left side (south) property line, and 12 feet from the right side (north) property line. Staff believes that the proposed addition will not create any significant issues that will affect the surrounding property owners. Additionally, the properties located to the north, west, and south of the project site do not have any habitable structures built adjacent to, or in close proximity to, the proposed detached addition. The proposed detached structure will be located 120 feet from the single-family home located on the adjoining property to the west, 246 feet away from the single-family home located on the adjoining property to the east, 48 feet away from the single-family home located on the adjoining property to the north, and 108 feet from the single-family home located on the adjoining property to the south of the project.

(3) **Airport Land Use Compatibility Plan:** This project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan. Any special conditions of approval associated with uses in close proximity to the airport are attached to this report.

(4) **Departmental Review:** Each City department has been provided the opportunity to review and comment on the subject application and recommend conditions of approval to be imposed upon the application. At the time of the Decision preparation, recommended conditions of approval were provided and are attached to this report.

(5) **Public Notification:** A notice of the proposed project was mailed on June 21, 2019, to the adjacent neighboring property owners regarding the proposed project, asking them if they would like a community meeting to discuss the project. To date, staff has not received any phone calls or correspondence from the neighboring property owners. The subject application was also advertised as a public hearing in at least one newspaper of general circulation in the City of Ontario (the Inland Valley Daily Bulletin). In addition, notices were mailed to all owners of real property located within 300 feet of the exterior boundaries of the property that is the subject of the hearing, as shown on the records of the County Assessor.

(6) **Correspondence:** As of the preparation of this Decision, Planning Department staff has not received any written or verbal communications from the owners of properties surrounding the project site or from the public in general, regarding the subject application.

## **PART II: RECITALS**

WHEREAS, the City of Ontario has received a request for Conditional Use Permit approval as described in Part I, above; and

WHEREAS, Ontario Development Code Table 2.01-1 (Review Matrix) establishes that the Zoning Administrator has the responsibility and authority to review and act upon Conditional Use Permits for existing structures; and

WHEREAS, all members of the Development Advisory Board of the City of Ontario were provided the opportunity to review and comment on the requested Conditional Use Permit, and no comments were received opposing the proposed use; and

WHEREAS, the project is consistent with the Housing Element of the Policy Plan (General Plan) component of The Ontario Plan, as the project site is not one of the properties in the Available Land Inventory contained in Table A-3 (Available Land by Planning Area) of the Housing Element Technical Report Appendix; and

WHEREAS, the proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT; and

WHEREAS, on July 15<sup>TH</sup>, 2019, the Zoning Administrator of the City of Ontario conducted a duly noticed public hearing on the application, as follows:

(1) Denny D. Chen, Associate Planner, presented the staff report on the proposed use, indicating the staff recommendation of approval, subject to conditions. Following staff's presentation, the Zoning Administrator opened the public hearing.

(2) [Add Speaker's Name], the applicant, explained the project and spoke in favor of the application.

(3) [Add Additional Speaker's Name(s)]

(4) There being no one else to offer testimony regarding the application, the Zoning Administrator closed the public hearing.

WHEREAS, all legal prerequisites to the adoption of this Decision have occurred.

## **PART III: THE DECISION**

NOW, THEREFORE, it is hereby found, determined and resolved by the Zoning Administrator of the City of Ontario as follows:

(1) All facts set forth in this Zoning Administrator Report and Decision are true and correct.

(2) Based upon the evidence presented to the Zoning Administrator during the above-referenced public hearing, the Zoning Administrator hereby finds as follows:

(a) *The scale and intensity of the proposed land use would be consistent with the scale and intensity of land uses intended for the particular zoning or land use district.* The proposed location of the Conditional Use Permit is in accord with the objectives and purposes of the City of Ontario Development Code and the AR-2 (Agricultural Residential) zoning district, and the scale and intensity of land uses intended for the zoning district in which the use is proposed to be located. Furthermore, the proposed detached accessory structure addition will be established consistent with the objectives and purposes, and development standards and guidelines of the AR-2 (Agricultural Residential) zoning district. The scale and intensity of the proposed detached accessory structure would be consistent with the scale and intensity of land use intended for the AR-2 (Agricultural Residential) zoning district; and

(b) *The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the goals, policies, plans and exhibits of the Vision, Policy Plan (General Plan), and City Council Priorities components of The Ontario Plan.* The proposed detached accessory structure addition is located within the Rural Residential (0 to 2 du/ac) land use district of the Policy Plan Land Use Map, and the AR-2 (Agricultural Residential) zoning district. The development standards, and the conditions of approval under which the proposed land use will be established, operated, and maintained, are consistent with the goals, policies, plans, and exhibits of the Vision, City Council Priorities, and Policy Plan (General Plan) components of The Ontario Plan. Among some of these goals are: 1) To invest in the Growth and Evolution of the City's economy, 2) Operate in a business-like manner, 3) Compatibility between a wide range of uses, and 4) Staff, regulations and processes that support and allow flexible response to conditions and circumstances in order to achieve the Vision; and

(c) *The proposed use at the proposed location, and the manner in which it will be operated and maintained, is consistent with the objectives and requirements of the Development Code, and any applicable specific plan or planned unit development.* The proposed detached accessory structure is located within Rural Residential (0 – 2.0 DU/Acre) land use district of the Policy Plan Land Use Map, and the AR-2 (Agricultural Residential – 0 to 2.0 DU/Acre) zoning district, and has been reviewed and conditioned to ensure the establishment, operation and maintenance of the proposed land use is consistent with all applicable objectives, purposes, standards, and guidelines of the Development Code. The proposed detached accessory structure will have a 48-foot building separation from the existing single family home and a setback of 10 feet from the west property line, 148 feet from the east property line, and 12 feet from the north property line, which comply with the Development Code

Development Standards for AR-2 zoning district. The proposed detached addition will not be visible from the street (Helen Avenue). In addition, the detached accessory structure has been designed to be compatible and complement the existing single family home; and

(d) *The proposed use at the proposed location would be consistent with the provisions of the Airport Land Use Compatibility Plan.* The proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan; and

(e) *The establishment, maintenance, and operation of the proposed use at the proposed location would not be detrimental or injurious to property and improvements within the vicinity, nor would it be detrimental to the health, safety, or general welfare of persons residing or working in the surrounding neighborhood.* The City multi-departmental review of the proposed project has required certain safeguards, and impose certain conditions of approval, which have been established to ensure that: [i] the purposes of the Development Code are maintained; [ii] the project will not endanger the public health, safety or general welfare; [iii] the project will not result in any significant environmental impacts; and [iv] the project will be in harmony with the surrounding area in which it is proposed to be located; and

(f) The Zoning Administrator hereby finds and determines that the project identified in this Decision is categorically exempt from the requirements of the California Environmental Quality Act of 1970, as amended, and the Guidelines promulgated thereunder, pursuant to Section 15301 (Class 1 - Existing Facilities) of the State CEQA Guidelines.

(g) The Zoning Administrator hereby finds and determines that the proposed project is located within the Airport Influence Area of Ontario International Airport and was evaluated and found to be consistent with the policies and criteria of the Ontario International Airport Land Use Compatibility Plan.

(h) Based upon the findings and conclusions set forth in Parts I, II and III above, the Zoning Administrator hereby approves File No. PCUP19-004, subject to the conditions of approval attached hereto and incorporated herein by this reference.

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APPROVED AND ADOPTED this [insert day] day of July 2019.

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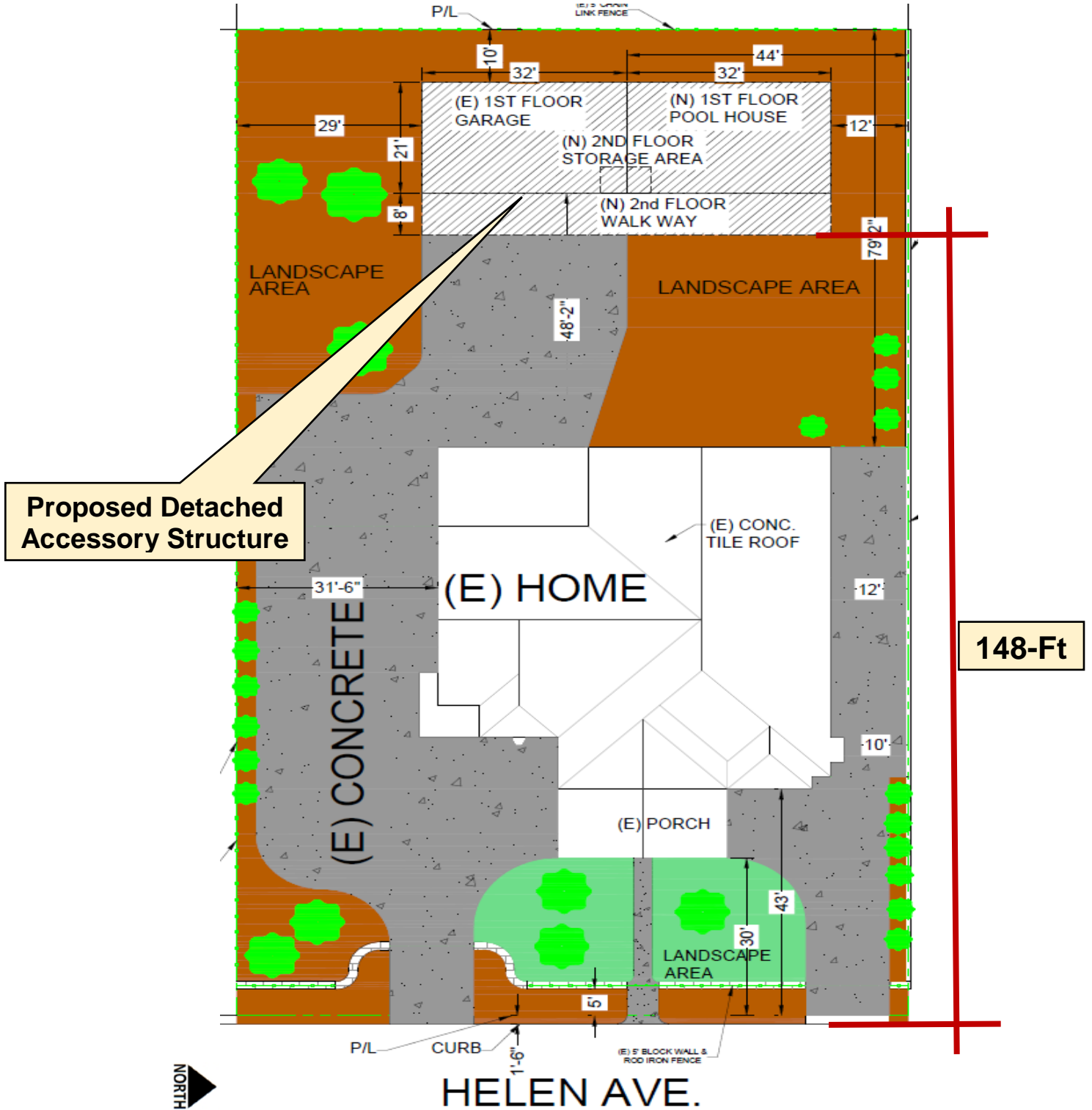
Cathy Wahlstrom  
Zoning Administrator



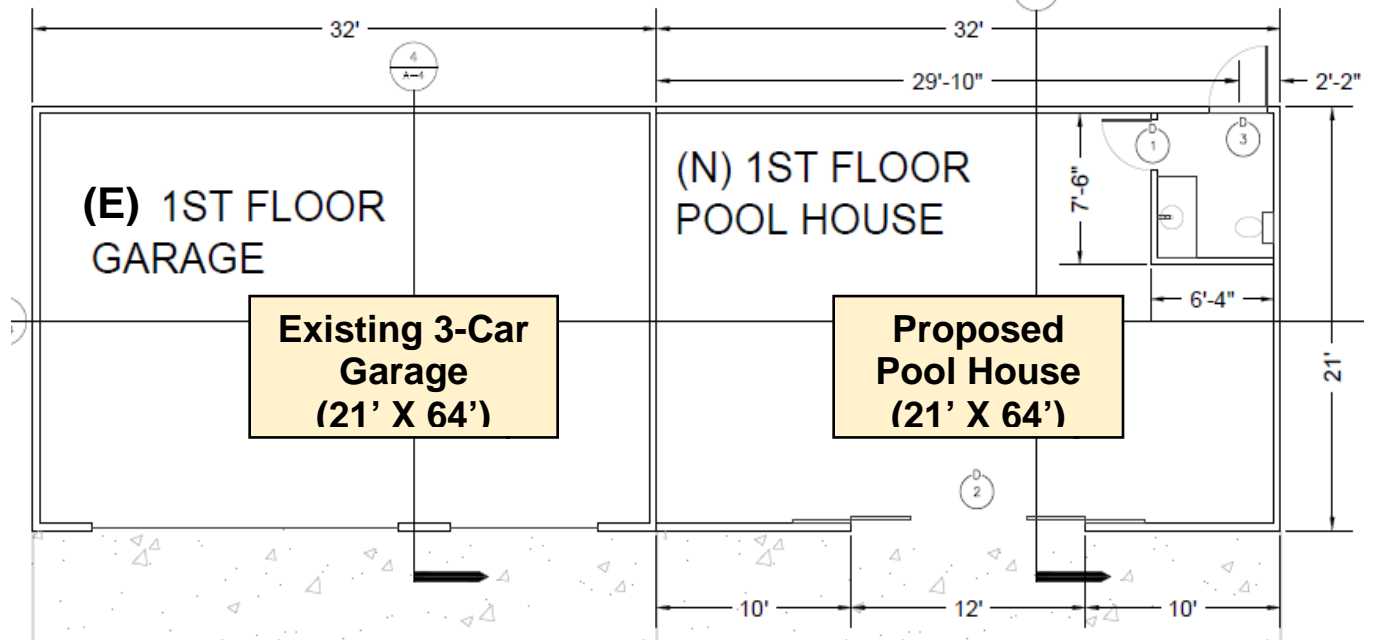
*Exhibit A: Aerial Photograph*



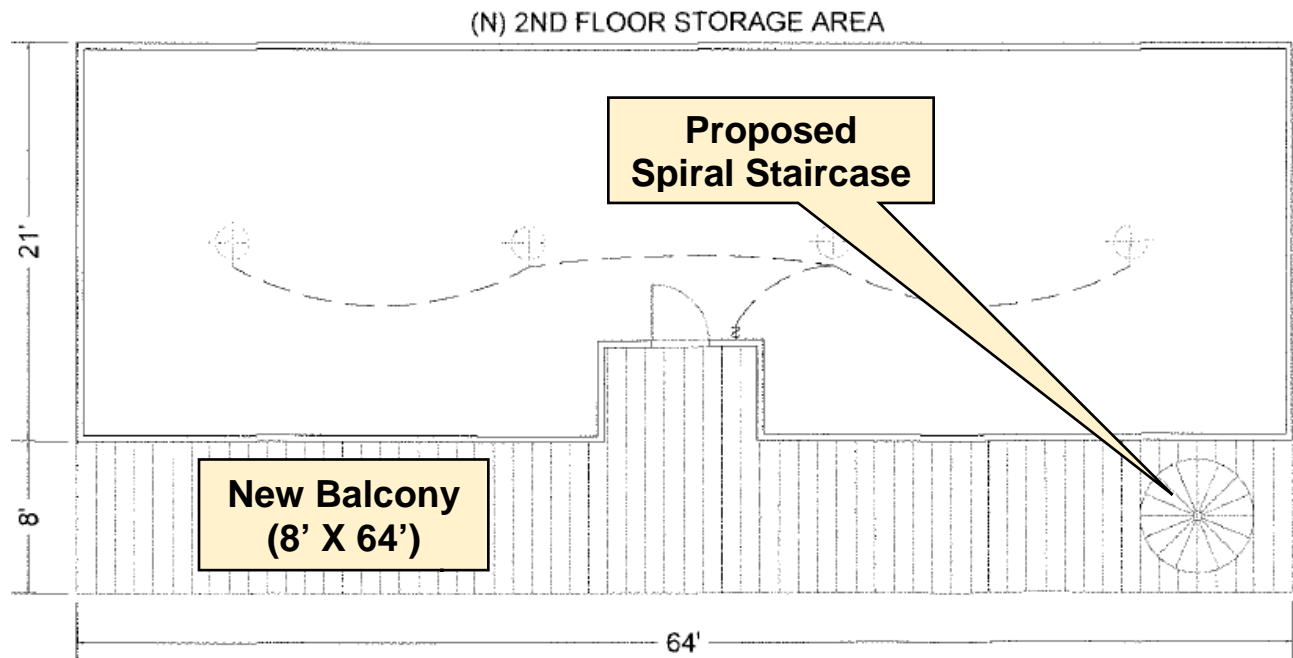
**Exhibit B: Proposed Site Plan**



**Exhibit C: Proposed Floor Plans**

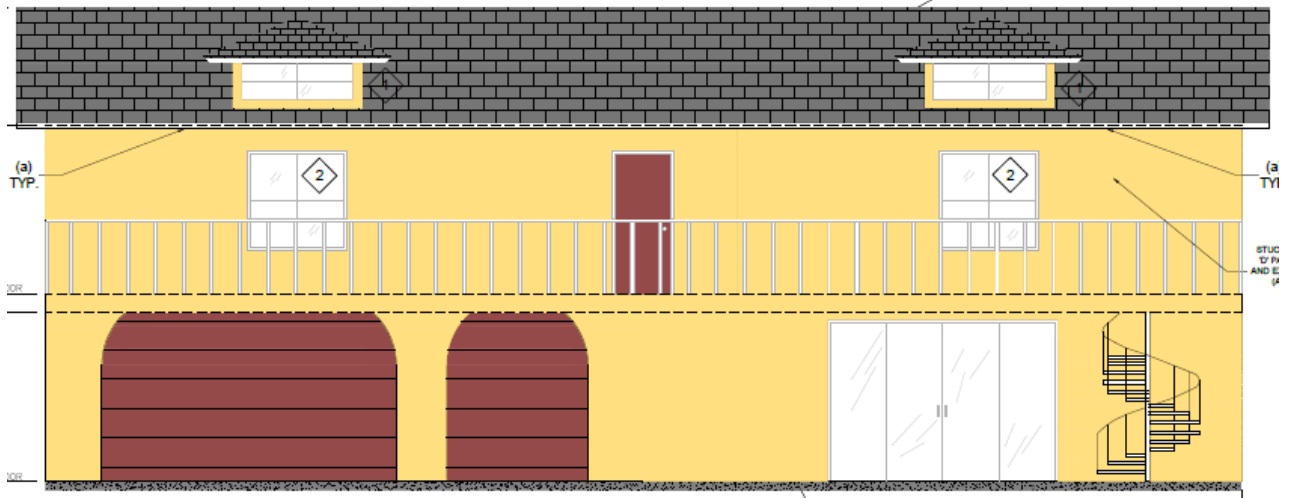


**First Floor Plan**

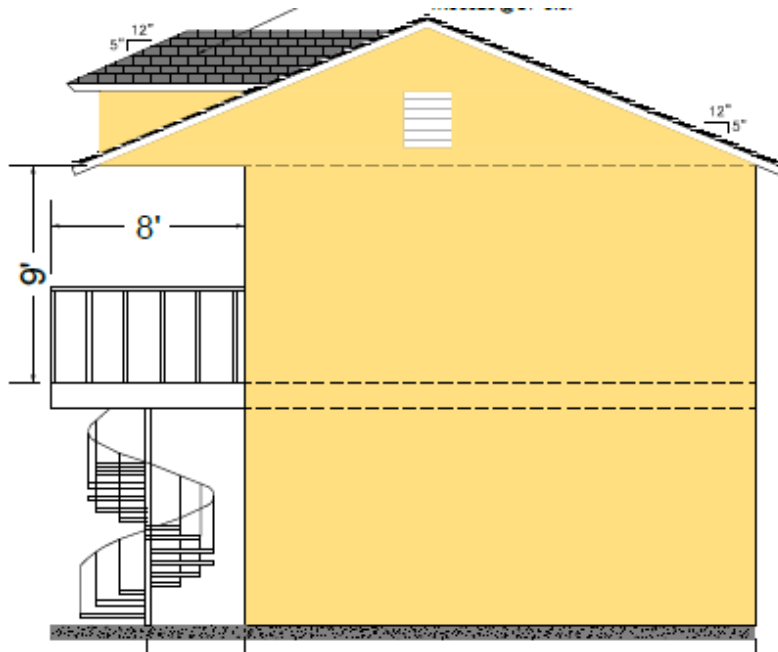


**Second Floor Plan Addition**

**Exhibit D: Conceptual Elevations**

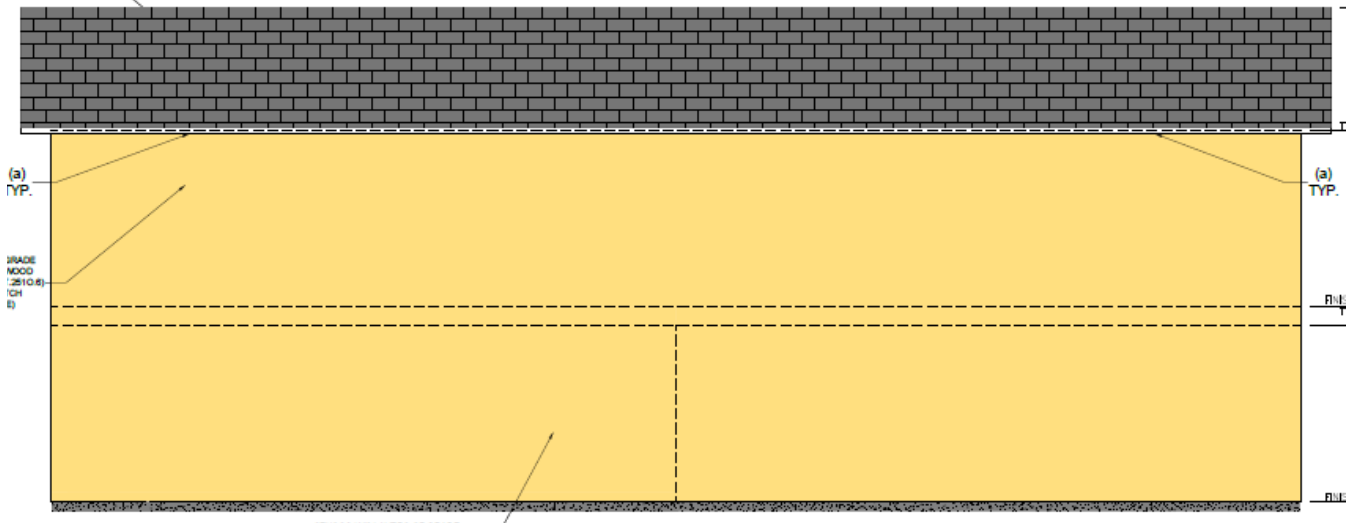


**East Elevation**

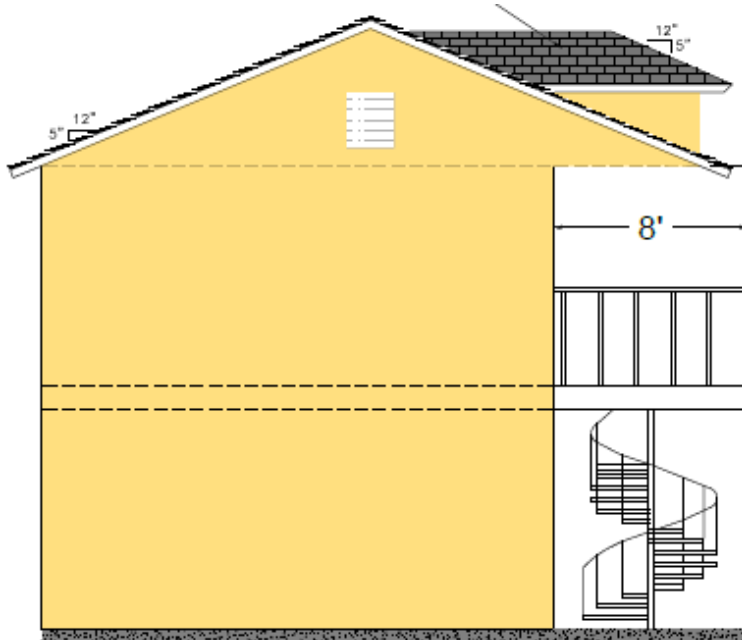


**North Elevation**

**Exhibit E: Conceptual Elevations**



**West Elevation**



**South Elevation**

***Exhibit F: Site Photos***



**East View of the Existing Home**

**Exhibit F: Site Photos**



**East View of Existing 3-Car Garage**

**Exhibit F: Site Photos**



**North View of the Existing 3-Car Garage**



**Exhibit F: Site Photos**



**West View of the Existing Single-Story Home**



City of Ontario  
Planning Department  
303 East B Street  
Ontario, California 91764  
Phone: 909.395.2036  
Fax: 909.395.2420

## ***Planning Department Land Development Division Conditions of Approval***

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**Meeting Date:** July 15, 2019  
**File No:** PCUP19-004  
**Related Files:** None

**Project Description:** A Conditional Use Permit (File No. PCUP19-004) request to exceed the 14 foot height and the 650 square foot area for an accessory structure proposed above an existing 3-car garage that includes the second story addition of a 672-square foot pool house and a 1,344-square foot storage area. The 0.41 acre property is located at 2036 South Helen Avenue, within the AR-2 (Residential Agricultural) zoning district; (APN: 1014-571-22) **submitted by Mr. Mario Caballero**

**Prepared By:** Denny D. Chen, Associate Planner  
Phone: 909.395.2424 (direct)  
Email: dchen@ontarioca.gov

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The Planning Department, Land Development Section, conditions of approval applicable to the above-described Project, are listed below. The Project shall comply with each condition of approval listed below:

**1.0 Standard Conditions of Approval.** The project shall comply with the *Standard Conditions for New Development*, adopted by City Council Resolution No. 2017-027 on April 18, 2010. A copy of the *Standard Conditions for New Development* may be obtained from the Planning Department or City Clerk/Records Management Department.

**1.1 Time Limits.**

(a) Conditional Use Permit approval shall become null and void one year following the effective date of application approval, unless a building permit is issued and construction is commenced, and diligently pursued toward completion, or a time extension has been approved by the Planning Director, except that a Variance approved in conjunction with a Development Plan shall have the same time limits as said Development Plan. This condition does not supersede any individual time limits specified herein, or any other departmental conditions of approval applicable to the Project, for the performance of specific conditions or improvements.

**1.2 Parking, Circulation and Access.**

(a) The Project shall comply with the applicable off-street parking, loading and lighting requirements of City of Ontario Development Code Division 6.03 (Off-Street Parking and Loading).

(b) Use shall provide a minimum of 2 parking spaces for the main dwelling unit.

**1.3 Environmental Review.**

(a) The proposed project is categorically exempt from the requirements of the California Environmental Quality Act of 1970 (CEQA), as amended, and the Guidelines promulgated thereunder, pursuant to Section 15301 (Class 1 - Existing Facilities) of the CEQA Guidelines.

**1.4** Indemnification. The applicant shall agree to defend, indemnify and hold harmless, the City of Ontario or its agents, officers, and employees from any claim, action or proceeding against the City of Ontario or its agents, officers or employees to attack, set aside, void or annul any approval of the City of Ontario, whether by its City Council, Planning Commission or other authorized board or officer. The City of Ontario shall promptly notify the applicant of any such claim, action or proceeding, and the City of Ontario shall cooperate fully in the defense.

**1.5** Additional Fees.

(a) Within 5 days following final application approval, the Notice of Determination (NOD) filing fee of \$50.00 dollars shall be provided to the Planning Department. The fee shall be paid by check, made payable to the "Clerk of the Board of Supervisors", which shall be forwarded to the San Bernardino County Clerk of the Board of Supervisors, along with all applicable environmental forms/notices, pursuant to the requirements of the California Environmental Quality Act (CEQA). Failure to provide said fee within the time specified may result in a 180-day extension to the statute of limitations for the filing of a CEQA lawsuit.

**1.6** Additional Requirements.

(a) Plans must be reviewed by the Planning Department prior to the issuance of building permits.

(b) The new addition shall be architecturally compatible with the main dwelling unit in colors, textures, and materials. Staff shall work with applicant, during the plan check process, to insure that the proposed detached accessory structure is compatible with the existing home.

(c) The proposed railings on the 2<sup>ND</sup> floor balcony shall be made of decorative wrought iron and powder coated to prevent rust.



# CITY OF ONTARIO MEMORANDUM

## ENGINEERING DEPARTMENT CONDITIONS OF APPROVAL FOR A CONDITIONAL USE PERMIT

**DATE:** June 11, 2019

**PROJECT:** PCUP19-004 – A plan to add a 1,827 square foot addition, consisting of a pool house and second story storage to an existing 609 square foot garage on 0.41 acres.

**APN:** 101457122

**LOCATION:** 2036 S. Helen Avenue

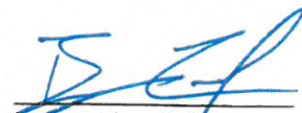
**PROJECT ENGINEER:** Matthew Holmes, Assistant Engineer Phone: 395-2155

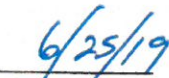
**The following items are the Conditions of Approval for the subject project:**

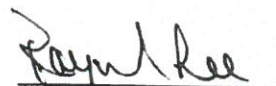
Project shall comply with the requirements as set forth in the Amendment to the Standard Conditions of Approval for New Development Projects adopted by the City Council (Resolution No. 2017-027) on April 18, 2017; as well as project-specific conditions/requirements as outlined below:

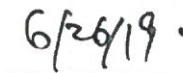
1. The applicant/developer shall prepare and record a Lot Line Adjustment to adjust the boundary between this lot (APN 101457122) and the lot to the north (APN 101457121). This will need to be completed and recorded prior to the issuance of a Building Permit.
2. The Applicant/Developer shall apply for a Temporary Encroachment (a.k.a. Fence Letter) with the Engineering Front Counter. The stone wall/wrought iron fence along Helen Avenue encroaches into the public right of way. This will need to be completed and recorded prior to the issuance of a Building Permit.
3. The applicant/developer shall construct sidewalk along Helen Avenue in accordance with City standards. This includes all ADA requirements. The standards for these are 1201, 1209, and 1216 that can be found on the City's website, <https://www.ontarioca.gov/engineering/design-guidelines-reqs-master-plans/standard-drawings-streets>. An encroachment permit shall be obtained from the Engineering Department for any work performed in the public right of way.

Note: A 5 foot easement exists along the rear parcel line as shown on Tract No. 2899, Map Book 39 page 53. No structures shall exist within this easement.

  
Bryan Lirley, P.E.  
Principal Engineer

  
Date

  
Raymond Lee, P.E.  
Assistant City Engineer

  
Date

**CITY OF ONTARIO**  
**LANDSCAPE PLANNING DIVISION**  
 303 East "B" Street, Ontario, CA 91764

**CONDITIONS OF APPROVAL**

**Sign Off**

*Carolyn Bell*  
 Carolyn Bell, Sr. Landscape Planner

4/1/19  
 Date

Reviewer's Name: <b>Carolyn Bell, Sr. Landscape Planner</b>		Phone: <b>(909) 395-2237</b>
D.A.B. File No.: <b>PCUP19-004</b>	Related Files:	Case Planner: <b>Denny Chen</b>
Project Name and Location: <b>Pool House addition</b> <b>2036 S Helen Ave</b>		
Applicant/Representative: <b>Mario Caballero</b> <b>2036 S Helen Ave</b> <b>Ontario, CA 91762</b>		
<input checked="" type="checkbox"/>	<b>A site plan (dated 3/5/19) meets the Standard Conditions for New Development and has been approved with the consideration that the following conditions below be met.</b>	
<input type="checkbox"/>	<b>A site plan (dated ) has not been approved. Corrections noted below are required prior to DAB approval.</b>	

1. Add one missing parkway tree approximately 3' behind the sidewalk and 5' from driveways or walks and 20' from other trees: 24" box size.
2. Landscape renovations shall include a weather based controller with weather sensor and system tune up to prevent any overspray or run off.
3. Contact this department for inspection when construction is completed.
4. Landscape and irrigation plans shall meet the requirements of the Landscape Development Guidelines. See <http://www.ontarioca.gov/landscape-planning/standards>

# CITY OF ONTARIO MEMORANDUM

**TO:** PLANNING DEPARTMENT, Denny Chen  
**FROM:** BUILDING DEPARTMENT, Kevin Shear  
**DATE:** March 7, 2019  
**SUBJECT:** PCUP19-004

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
- Report below.

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### Conditions of Approval

1. Standard Conditions of Approval apply.

KS:lm



# CITY OF ONTARIO

## MEMORANDUM

**TO: Denny Chen, Associate Planner**  
**Planning Department**

**FROM: Michelle Starkey, Deputy Fire Marshal**  
**Bureau of Fire Prevention**

**DATE: March 21, 2019**

**SUBJECT: PCUP19-004 A Conditional Use Permit to establish a 1,827 square-foot pool house and second-story storage area attached to an existing 609 square-foot detached garage, on 0.412 acres of land located at 2036 S. Helen Avenue, within the AR-2 zoning district (APN: 1014-571-22).**

- 
- The plan **does** adequately address the departmental concerns at this time.
- No comments
  - Report below.

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For copies of Ontario Fire Department Standards please access the City of Ontario web site at [www.ontarioca.gov](http://www.ontarioca.gov) , click on Fire Department and then on forms.



# CITY OF ONTARIO MEMORANDUM

TO: Scott Murphy, Development Director  
 Cathy Wahlstrom, Planning Director (Copy of memo only)  
 Diane Ayala, Advanced Planning Division (Copy of memo only)  
 Charity Hernandez, Economic Development  
 Kevin Shear, Building Official  
 Khoi Do, City Engineer  
 Carolyn Bell, Landscape Planning Division  
 Ahmed Aly, Municipal Utility Company  
 Doug Sorel, Police Department  
 Paul Ehrman, Deputy Fire Chief/Fire Marshal  
 Jay Bautista, T. E., Traffic/Transportation Manager  
 Lorena Mejia, Airport Planning  
 Eric Woosley, Engineering/NPDES  
 Joe De Sousa, Code Enforcement (Copy of memo only)  
 Jimmy Chang, IT Department

FROM: Denny Chen, Associate Planner

REVISION NO. 1

DATE: May 29, 2019

SUBJECT: FILE #: PCUP19-004

Finance Acct#:

The following project has been resubmitted for review. Please send one (1) copy and email one (1) copy of your DAB report to the Planning Department by **Wednesday, June 12, 2019**.

**PROJECT DESCRIPTION:** A Conditional Use Permit to add a 1,827-square foot pool house and second-story storage area to an existing 609-square foot detached garage on 0.41 acres of land located at 2036 South Helen Avenue, within the AR-2 (Residential-Agriculture – 0 to 2.0 DUs/Acre) zoning district (APN: 1014-571-22).

The plan does adequately address the departmental concerns at this time.

- No comments
- See previous report for Conditions
- Report attached (1 copy and email 1 copy)
- Standard Conditions of Approval apply

The plan does not adequately address the departmental concerns.

- The conditions contained in the attached report must be met prior to scheduling for Development Advisory Board.

ONTARIO POLICE  
 Department

*Small*  
 Signature

POLICE OFFICER  
 Title

6/11/19  
 Date



# AIRPORT LAND USE COMPATIBILITY PLANNING

## CONSISTENCY DETERMINATION REPORT



Project File No.: PCUP19-004  
 Address: 2036 South Helen Avenue  
 APN: 1014-571-22  
 Existing Land Use: Single Family Residential  
 Proposed Land Use: CUP to establish an 1,827 SF pool house and 2nd story storage  
 Site Acreage: 0.412 acres Proposed Structure Height: 26 FT  
 ONT-IAC Project Review: n/a  
 Airport Influence Area: ONT

Reviewed By: Lorena Mejia  
 Contact Info: 909-395-2276  
 Project Planner: Denny Chen  
 Date: 4/22/19  
 CD No.: 2019-018  
 PALU No.: n/a

### The project is impacted by the following ONT ALUCP Compatibility Zones:

Safety	Noise Impact	Airspace Protection	Overflight Notification
<input type="radio"/> Zone 1	<input type="radio"/> 75+ dB CNEL	<input type="radio"/> High Terrain Zone	<input type="radio"/> Avigation Easement Dedication
<input type="radio"/> Zone 1A	<input type="radio"/> 70 - 75 dB CNEL	<input checked="" type="checkbox"/> FAA Notification Surfaces	<input type="radio"/> Recorded Overflight Notification
<input type="radio"/> Zone 2	<input type="radio"/> 65 - 70 dB CNEL	<input checked="" type="checkbox"/> Airspace Obstruction Surfaces	<input checked="" type="checkbox"/> Real Estate Transaction Disclosure
<input type="radio"/> Zone 3	<input type="radio"/> 60 - 65 dB CNEL	<input type="radio"/> Airspace Avigation Easement Area	
<input type="radio"/> Zone 4		Allowable Height: 200 FT plus	
<input type="radio"/> Zone 5			

### The project is impacted by the following Chino ALUCP Safety Zones:

Zone 1   
  Zone 2   
  Zone 3   
  Zone 4   
  Zone 5   
  Zone 6  
 Allowable Height: \_\_\_\_\_

## CONSISTENCY DETERMINATION

This proposed Project is:  Exempt from the ALUCP   
 ● Consistent   
 Consistent with Conditions   
 Inconsistent

The proposed project is located within the Airport Influence Area of Ontario International Airport (ONT) and was evaluated and found to be consistent with the policies and criteria of the Airport Land Use Compatibility Plan (ALUCP) for ONT.

Airport Planner Signature: *Lorena Mejia*